

October 28, 2021

File: 19-011

Greg Newman
MCIP, RPP, Manager of Planning
City of White Rock
15322 Buena Vista Avenue,
White Rock, BC V4B 1Y6

Re: DPA Guidelines & OCP Compliance – Proposed Vidal Street Development, White Rock, BC

Dear Mr. Issak,

This is in support of the application for the development on the corner of Vidal Street and Thrift Avenue (1141 Vidal Street). This written statement demonstrates conformance with the White Rock Official Community Plan, 2017, No.2220 (the “OCP”). As per the Schedule A- Land Use Plan on the OCP the lot in question is part of the Town Centre Transition and as per the Schedule B- Form and Character Development Permit Areas the lot follows under the Multi-Family category.

Response:

1. Land Use Compliance

Compliance with the Official Community Plan, Town Centre Transition Land Use - Part B, Section 8:

The development achieves Objective 8.2, being a multi-unit residential building with easy access to the Town Centre. It also provides a transition to surrounding low to mid-rise residential areas.

Being a 4-storey residential building, it complies with Policy 8.2.1 (Uses and Building Types), which allows for residential building types low to mid-rise.

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As per Policy 8.2.2 (Density and Height) and Figure 9 on page 35 of the OCP, maximum FAR is 1.5. Therefore, the proposed 1.5 FAR complies with the regulations.

The proposed 4 storeys are permitted by the OCP, as outlined on Policy 8.2.2 (Density and Height) and as per Figure 10 on page 35 of the OCP.

We will discuss in detail item 2 below and how the proposed development complies with Policy 8.2.4 (Urban Design), specifically outlining item (j). Other items on Section 22.6.1 of the OCP are addressed in our ADP Comments Response Letter.

2. DPA Guidelines

Compliance with Official Community Plan, Multi-Family Development Permit Area - Part D, Section 22.6 item (j):

Incorporate west coast design elements with the use of natural materials, including brick, stone, concrete, exposed heavy timber, and/or steel. Vinyl siding and stucco will not be considered for cladding. Use rich natural tones which reflect the natural landscape and seascape as the dominant colours, with brighter colours used only as accents.

As "West Coast Design" is not defined clearly within the DPA guidelines, traditional west coast modernist influences & elements are reproduced here as follows:

- Generous roof overhangs, flat roofs and large overhangs on the south facade to control the summer sun while allowing for passive solar heating in winter. This indicates an early awareness of energy conservation.
- Key Themes:
 - Post-and-beam construction with sleek lines that showcase North and West Vancouver's rugged, natural setting;
 - Extensive monumental use of glass;
 - Rooms where the inside and outside seamlessly blend;
 - Includes the natural environment as part of the design and
 - The buildings are terraced to remain in harmony with the contours of the landscape.
- Materials: concrete, wood, stone, plywood, wood-stud, post, and beam construction with exposed eaves as per White Rock DPA for the Multi-family Development Area.

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The selection of materials promotes a smooth transition from materials on the existing buildings from the Town Centre with the adjacent neighbourhood, in accordance with the Policy 6.1.1 of the DPA guidelines (Character-Sensitive Growth).

The use of natural stone, exposed wood and post construction at the street level reinforce and enhance the character of the existing streetscape, complying with Policy 6.1.4 of the DPA guidelines (Streetscape Design)

The distribution of materials consists of several complimentary textures that bring depth and interest to the facades. The materials consist of stone, concrete, cement board, and aluminum composite. The building is further enhanced through west coast inspired wood features that architecturally confirm with Policy 6.1.5 (Building Design).

In conclusion, the massing and materiality of the building enhance the built and public realms while fulfilling the guideline requirements. The building follows the Community Character of the City of White Rock, fostering positive social interactions, community pride and appreciation of natural features.

If further clarification or additional information is required, please contact our office.

Sincerely,

Lukas Wykpis Project Director | Principal
Architectural Technologist AIBC

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Re: ADP Comment Response Letter – Proposed Vidal Street Development, White Rock, BC

May 18th, 2021 ADP Comments

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- Q1 - trees on the rooftop planters? Sufficient to accommodate the weight of the trees – 10m³ volume requirement can be difficult
 - Number of trees in level 4 rooftop planters were reduced following comments on ADP, and planters specified at 60mm to address tree soil volume concerns. Preliminary structural coordination has been completed and planters are designed to align to bearing walls for simplicity of structural loading. It will be detailed by our structural consultant and finalized for City approval.
 - Refer to L-03D
- Q2 - efforts to retain history
 - Applicant has endeavored to retain trees as means of supporting the heritage of the area.
 - Parkade walls have been pulled back from the tree protection zone to provide more buffer space between trees and the building.
 - Refer to L-02, RA1.41
- Q3 – access control around pad-mount transformer (PMT)
 - PMT access control and clearances will be coordinated with BC Hydro to meet planning and engineering requirements.

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- "Q4 – efforts to open the northern portion of the site up (trees and solar exposure)
 - Decks on the north façade shifted to the east and west facades to allow for more natural lighting to the north.
 - The proposed landscape and trees are scaled to be a transition from the existing tall trees on the neighbouring property. Only 4 trees are proposed, and they are concentrated on the mid portion of the North elevation, allowing for solar exposure on the building from Northeast and Northwest.
 - Refer to SD3.05, SD3.06, SD3.0, SD3.07, SD4.01, SD4.02, L-03B
- "Q5 – opportunity to establish storage on rooftop for maintenance of amenity materials
 - Storage areas have been added to the rooftop for amenity area storage use.
 - Refer to SD3.07

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- Q1 – concern with access to private patios being limited
 - Private patios accessed directly across from unit entry.
 - Shared common outdoor rooftop has access from either side of the elevator lobby and has been programmed to serve diverse needs of all residents, including an area for children, outdoor seating space, and BBQ dining area.
 - Refer to RA1.51, L-03D
- Q2 – larger rooftop patios tied to larger units
 - Yes, rooftop patio sizes are proportion to their corresponding units.
 - Refer to SD3.07
- Q3 – what is separating the patios?
 - Rooftop patios are separated by 6' high cedar partitions and planting while typical patios are separated by glazed (frosted) privacy screens. Planting in level 4 rooftop beds have been revised to provide superior screening between units.
 - Refer to RA1.51, L-03D

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- Q1 – clarification of rental tenure housing – how would this be secured – tied to single owner
 - G. Newman (City of White Rock Planning Department): Rental will be secured through zoning and its likely that rental component would be tied to a single owner.
- "Q2 – why the need for parking increase - could have less given size of units"
 - The parking provided is currently as per the City Bylaw requirements and we will continue to work with our traffic consultant to address the parking needs for this project and meet or exceed City's parking requirements.
 - Refer to SD1.21

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- Q1 – is the footprint the same?
 - The footprint has been brought back from the north side and is the same as was presented in October. It is reflected on the ground level plan.
 - Refer to SD3.04
- Q2 – efforts to retain the trees
 - Parkade footprint has been pulled back to accommodate the tree protection zone as per the arborist report.
 - Refer to L-02, RA1.41
- Q3 – is the rooftop colour light?
 - The rooftop colour will be selected in accordance with Planning requirements as the detailed design is developed. The rooftop deck mainly consists of light-coloured pavers and vegetation.
- Q4 – is the size of the smallest unit (323ft²) the same as before?
 - Units are the same square footage but there are fewer smaller units.

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- "Q5 – accessibility design – adaptable units – do the plans address accessibility?"
 - As per the BC Building Code, common areas of the building are 100% wheelchair accessible.
 - We also have adaptable units (13) have been designed to allow for accessibility if required.
 - Refer to SD2.05, SD2.06, SD2.08
- "Q6 – has this been looked at from the Energy Step Code program?"
 - While there are no current Step Code requirements at the City of White Rock, the intent is to meet Step 2 of the Step Code program and retain qualified consultants to verify energy modeling and compliance.

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- Q1 – unit mix – 14 adaptable suites (all 3 bedroom suites) – confirm?
 - Yes, this project will consist of 14 adaptable suites that are 3 bedroom units.
 - Refer to SD2.05, SD2.06, SD2.08
- Q2 – rooftop screening planned for rooftop units (would add to perceived mass of building)
 - Yes, rooftop screening would be lightweight 6'-0" high cedar partitions and planting.
 - Refer to RA1.51, L-03D
- Q3 – what is the ESC requirement in White Rock?
 - G. Newman (City of White Rock Planning Department): Project doesn't require Step Code, but must satisfy BC Building Code.
- Q4 – sound attenuation in the design of the units
 - Our standard partition walls provide an STC rating for sound attenuation that meets the BC Building Code. Detailed review of assemblies adjacent to public, common, or services areas will ensure privacy and maximum sound protection for residents.

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- BC Housing Guidelines – specify standards for size of units & bedrooms – some areas where they come short of meeting minimum standards of BC Housing Guidelines e.g., D2 (409 in plan) – bedroom – can't get around the bed because of the kink in the plans
 - Adaptable requirements specify that one bedroom, bathroom and the kitchen need to meet clearances which is met in our 3 bedroom units.
 - Kinks in the floor plans have also been removed in D2 units to allow more room for mobility.
 - Refer to SD2.05, SD2.06, SD2.08
- Q1 – balcony arrangements – lack proportion relative to unit size (e.g., 407) – why? Broad issues – storage – opposite the elevator – take out three units to provide more storage space – concern with fundamentals
 - Balcony partitions have been adjusted to make decks more proportional to unit sizes.
 - Storage has been added to P3 level to allow for 2 lockers per unit for additional storage.
 - Refer to SD3.01, SD3.07, RA1.51,

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- height on south side – 6 storeys & on north 5 storeys + stairway – J. Muego recognized the importance of framing height in terms more acceptable to public – G.Newman provided clarification of height measured per zoning – need to look at context building may need to be broken up along the block – large size of building – too big – it would look like a big ship placed among smaller boats if they were in the water (much prefer the reduced design with one less storey, 4 storey) – would recommend rejection at this point"
 - The project has been reduced to 4 storeys above grade to bring down overall massing.
 - The building footprint decreases gradually in each level from parkades to 4th floor, which is only a partial level. This partial 4th floor is a positive addition to the massing of the building, bringing proportion to the massing on the east elevation and softening the volume in relation to the Vidal Street slope.
 - The existence of a 4th floor also smooths the transition from the high risers on the town centre into adjacent neighbourhood and follows the Conception Urban Form Sections (DPA Guidelines, Part B, Section 7.0 Growth Management, Figures 7 and 8).

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- The partial condition of the 4th floor reinforces OCP - Multi-Family Development Permit Area - Part D, Section 22.6 item (a), varying in height, rooflines and massing to minimize impacts to views and solar exposure on adjacent buildings and open spaces.

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- C1 – okay response to earlier comments – still bulky – site management and circulation – north and west edge – what’s happening – access to be permitted – eyes on the street – security – more resolution and clarity – elements of design – architecture and landscaping – ability to house big trees – building that is half rental – not a best solution – on pedestals versus built in planters – a lot of programming in landscaping – type of plants shade plants – window angles unresolved – clash – cascade – access to natural light in some of the units – odd kinks in the walls of some of the building walls"
 - The project has been reduced to 4 storeys above grade to scale down overall massing.
 - CPTED considerations have been taken in overall building design.
 - eg. Raised/gated patios
 - The applicant has elected to switch to a full rental building.
 - A full planting plan has been completed and provided by our landscape architect.
 - Amenity programming is under development and will be completed during the DP and working drawing phases of the project, but includes an area for children, outdoor seating space, and BBQ dining area.
 - Kinks in the floor plans have been removed.
 - Refer to L-05A, L-05B, and L-05C, LD-02,LD-03

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- C1 – transformative neighbourhood – 12 storey building immediately north of the proposal
 - No response needed.
- C2 – housing crisis (supply) – shouldn’t cut back on developments that are otherwise allowed by policy
 - No response needed.

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- C3 – area on transit – walkable – respectful of neighbourhood - good job of aesthetically allowing the project to fit within the neighborhood – need more housing – not a concrete high rise
 - No response needed.

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- transitional area (tall buildings and lower in area) – need design where most people are happy – has design solved this? – proponents have improved design – still a lot of development to occur – projects isn't getting geared up to go to building permit – window placement / type will come and be resolved – still some things remain at conceptual level – need to know more about the interface along Thrift – need more focus on perception of design at human level – desirable to introduce townhouse design at street level – not feasible in all projects given access requirements"
 - The project has been reduced to 4 storeys above grade to bring down overall massing, and the 4th level is only a partial level to be considerate of neighbours.
 - The proposed 4 storey is permitted by the OCP, as outlined on Policy 8.2.2 (Density and Height) and as per Figure 10 on page 35 of the OCP.
 - The proposed building is very similar in size and scale to adjacent developments.
 - The building area was dramatically reduced from what was first proposed and it was converted to a full rental business.
 - The interface along Thrift Ave. is tiered planting to bring down the massing to a more pedestrian scale along with signage to clearly identify the development along the street for means of wayfinding.
 - The project has been designed with pedestrian scale in mind and in the context of public realm and the overall neighborhood integration.
 - (eg. Raised patios for privacy and views)
 - Refer to SD1.05, L-03A, L-03B, LS-01, LS-02, LS-03

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September 21th, 2021 ADP Comments

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- acknowledged positive changes – would recommend adding a little more planting on the west side (at south end) to provide separation to residential properties to the west; Q1) 12 trees on the top terrace – require structural support for the soil volume on the wood frame structure
 - Tiered planters have been added on the west façade of the south parkade wall.
 - Preliminary structural coordination has been completed and planters are designed to align to bearing walls for simplicity of structural loading.
 - Planting along South-Western building face changed to introduce more tall evergreen plant materials for softening of transition of properties.
 - Cable trellis system and climbing plants added to select portions of building South-Western face.
 - Refer to RA1.21, RA1.71
- will need to look at the structure elements closely moving forward; Q2) have you considered 10m³ per tree and related load impacts
 - Preliminary structural and landscape coordination has been completed and planters are designed to align to bearing walls for simplicity of structural loading.
- planters and space on the west side separation from the property
 - Tiered planters have been added on the west façade of the south parkade wall.
 - Refer to RA1.21
- what is the length of the study space and the balcony outside? (Concern with the amount of natural light into the bedroom)
 - Approximately 7 feet of flex space (not study) and 5 feet balcony.
 - Tall 6' high windows allow light to penetrate further into the bedroom.

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- Q1) are all the units having the closet removed
 - Any unit having a similar layout to representative unit would be designed with a similar built-in closet and a flex space. Interior design will be coordinated to respect architectural planning while providing adequate interior comfort.
- Q2) will the location of the closets/study spaces have an effect on where the windows are placed? Will the depth of the study have an impact on the appearance of the building from the exterior?
 - This will have no affect on the exterior design of the building.
- Q3) – are there too many rooftop trees proposed? (comment)
 - 06 rooftop trees have been removed and remaining trees have been aligned to bearing walls to simplify structural loading.
 - Refer to L-03D

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- Q1) – 4th floor view – unit privacy and unit connections – concern with impact of the noise impacts between amenity areas – how will outdoor activity on the 4th floor affect the privacy of the users of Unit 409
 - There is a visual connection between each unit and their corresponding rooftop patio via a floor material change between the 2 doors.
 - For privacy from the rooftop amenity area, we use a full height cedar partition and planting as a buffer.
 - Strata and property management rules will enforce noise control and protect privacy of residents and neighbours, similar to adjacent residential buildings.
 - Refer to RA1.51
- Q2) what was the response to having the corridor positioned adjacent to the unit rather than having the amenity space opposite a hallway from the related unit?

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- We considered it, but Fire and Life Safety BC Building Code requirements were key factors on the final design. Besides, the condition is furthered complicated by structural challenges and linkages to exit stairs.
- Concern regarding interface between the unit and the amenity will be addressed through interior design elements and effective separation assemblies.
- Q3) concern about stormwater detention – runoff into municipal system
 - We are working with the City on the civil design components of the project and a stormwater detention tank will be located on site for rainwater runoff.
- Q4) is there a detention tank?
 - G. Newman (City of White Rock planning department): would look at detailed civil designs following receipt of 3rd reading of any zoning bylaw amendment – would look for post-development stormwater flows to match pre-development flows.
 - As mentioned on Q3, we are working on civil design with the City.
- Q5) energy step – Step 2 will be a requirement by 2022 in the BCBC and pushing for Step 3
 - The building will comply with all requirements of the BC Building Code. Although there are no current Step Code requirements at the City of White Rock, the intent is to meet Step 2 of the Step Code program and retain qualified consultants to verify energy modeling and compliance.
- Q6) ability to ensure trees are protected
 - G. Newman (City of White Rock planning department): securities would be held for the retention of protected trees with requirements for monitoring.

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- (Comments) – looks like there is an opening next to the amenities, a locking gate that can only be accessed by those going to their private spaces, not accessible by others - energy step code --- the

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higher the code the more expensive the construction / design – impacts to future owners – support adding interest throughout the corridor

- No response needed.

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- Q1) what is the quantity and quality of storage – will storage end up on the balconies?
 - Additional storage has been added to the P3 level. Strata provisions won't allow for balcony storage, similar to adjacent residential properties.
 - Refer to SD3.01
- Q2) – what does the storage compartment look like (chain link?)
 - Bike storage interior design not finalized yet but will be detailed to comply with City requirements.
- Q3) could the space be converted to storage?
 - Yes, although 1 bike storage per unit must remain.
- Q4) will there be a need for a raised step from the corridor to the patio space? Wouldn't the step need to be inside the corridor?
 - For the common amenity, we can design it to match floor without the need for a step, for accessibility purposes.
 - We could slope to the private roof decks if accessibility is needed.
- Q5) what is the mechanical system?
 - Pressurization units for the corridors.
- Q6) how will the functional elements of the building be addressed in the design – hot water, heating
 - Would be a communal boiler / hot water system.
 - has yet to be decided – potentially include ceiling mounted cassettes.

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- Q7) have you considered the wall separating the corridor from the amenity space – 172 lineal feet – have you thought about opening this up?
 - Visual accents at the unit entry doors will break up the long corridor.
 - Refer to RA1.61
- Q8) ref to RA1.21 – what is the guard rail – inclusion of material on the railing
 - Plantings will be on top of the railings.
- Q9) would be irrigated?
 - This will be addressed by the property manager.
- (Comments) could add some of the balcony to the living space for the bachelor unit – 9-foot ceiling could be dropped in some places

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- (Comments) welcome the changes made to the landscape – southwest side concern with the separation of the parkade and so many floors looming on the property line (not enough for the plantings proposed) – rooftop/landscape concerns with the number of trees and the volume of soil required – would suggest replacement of trees within shrubs – add screens – might want to consider the implications of those kind of plantings on the structure ~82m corridor – concern with the length – concern with lighting within the units – could intersperse the smaller units with wider units – to allow for improved opportunity for lighting within the units - would like Architect to rethink design of corridor wall within the 4th storey (introduction of glazing)
 - Decks have been pulled back to allow space for tiered planting as well as sufficient natural light.
 - Visual accents at unit entry doors will break up the long corridor, in addition to interior design aspects listed above.
 - Large windows allow light to penetrate deep into each unit.
 - Windows have been added to rooftop unit decks to allow more natural light into corridor.
 - Number of trees in level 4 rooftop planters reduced, and planters specified at 600mm to address tree soil volume concerns.

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- Planting in level 4 rooftop beds revised to provide superior screening between units.

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- (Comments) concern the building is too long (400ft long) – should have included a break in the building – the length of the building has created a domino effect of issues related to landscaping and relating the project to existing development
 - The articulation proposed break up the long elevation, culminating with the lobby pop-up to break up the massing of the building. The architectural features establish a rhythm along Vidal Street and follows the OCP guidelines, Multi Family Development Permit Area Section 22.6, item (f).

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- (Comments) want the building to provide feasible living spaces for residents of the community – will the rooftop be able to support the trees –I do like the built-in closets and the study
 - Preliminary structural coordination has been completed and planters are designed to align to bearing walls for simplicity of structural loading.

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- (Comments) original concern with the length of the building – appreciate drop in the height and density of the building – concerns remain with the length of the building – now defer to Council's consideration of the zoning amendment application
 - Our building design uses the lobby pop-up to break up the massing of the building. Refer to response to Nicholas comment's above.

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- (Comments) Panel to give recommendations (not make a decision) – to Architect – a little disappointed with the lack of changes – simple ways to improve light penetration – fixed to amenity areas and suites

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– believe the design remains largely unchanged – storage remained limited – concern with quality of life perspective not enough has been done – struggling with aspects that could be improved

- No response needed.

4th Submission City Comments Based on DP Submission Package (July 26th, 2021)

- Please ensure your final Presentation to the ADP includes drawings (e.g., renderings, floor plans, elevations, etc.) that are consistent with the details presented in the corresponding Architectural Design package (“DP Resubmission”) and the Landscape Plans. Where appropriate, it would be worthwhile adding reference to how the design of the project aligned with applicable development permit area guidelines (Multi-Family Development Permit Area Guidelines – Section 22.6 of the Official Community Plan).
 - References made to the DPA regarding ‘west coast design’.
 - Refer to RA1.11
- One of the recurring comments from the Panel was the need for the inclusion of more natural materials representative of “west coast design”. The materials proposed include a high use of hardy board, cement board and wood-coloured aluminum cladding.
 - DPA guidelines were considered for material selections, to include of west coast design. We are using natural materials such as stone and exposed heavy timber, wood accents and rich natural tones which reflect the natural landscape.
 - Our updated materials include:
 - Stained combed faced lumber for the 2 storey entry column.
 - Natural stone (Pangaea – Westcoast LedgeStone) at the base of the building (columns & walls).
 - Natural stone (Pangaea – Hearthstone, Black Rundle) at the entry frame.
 - Refer to RA1.11
- There are inconsistencies in the use of hatching (e.g., missing in SD3.06), the depiction of rooftop furniture, and the scaling of details in the floor plans such that it creates confusion and difficulty in

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interpretation (e.g., SD3.04 and SD3.05 are at different scales – makes it challenges to understand the stepped form of the building on the south side).

- All hatches have been updated.
- Rooftop furniture inconsistencies has been addressed on landscape drawings.
- Scales vary only on the lower-level sheets in order to fit the length of the building.
 - Refer to LD-02 & LD-03
- Members of the Panel requested confirmation of changes to the setbacks applicable to the parkade. It may be worthwhile to include a slide that illustrates the original design (as presented to the Panel) and the current design – including confirmation of the dimensioning / setback changes.
 - Setbacks shown with dimensions and a dashed red line denoting the tree protection zone as per the arborist report.
 - Refer to RA1.41
- Regarding Step Code staff believe there would be value in confirming how components of the design would achieve a certain “step” no otherwise required by the BC Building Code.
 - We will build to requirement of the BC Building Code but also plan to meet the equivalent of step 2 of Step Code.
 - The City of White Rock has not yet adopted a step code requirement.

- SD1.40:

Material 5 (Manufactured Stone Veneer) It appears that this manufactured stone material is used quite widely across the east elevation shown in the view on this page. Policy 22.6.(i). in the OCP speaks to the use of ‘natural’ materials like brick and stone. Recommended that there be more of a mix between natural and manufactured materials.

- Material 5 has changed to Natural stone (Pangaea – Westcoast LedgeStone) at the base of the building (columns & walls).
 - Refer to RA1.11

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2 Storey Column in the Main Entryway. Unclear if the proposed column is being cladded or not. If yes, what is the cladding material? (please include it in the legend as well). If no, how is the column being treated (paint, wrap etc.)?

- Stained combed faced lumber for the 2 storey entry column.
 - Refer to RA1.11

Material 16 (Manufactured Stone Veneer). Potential to use natural stone vs. manufactured stone veneer in order to soften the overall unnatural look of materials being proposed for the entryway (Aligns with Policy 22.6.(i). of the OCP)"

- Material 16 has changed to Natural stone (Pangaea – Hearthstone, Black Rundle) at the entry frame
 - Refer to RA1.11

- SD3.03:

Room adjacent to P1 Lobby space (see appendix I – marking in yellow). Please clarify the function of this space.

- This space is a vestibule used for exiting purposes.

- SD3.04:

Double hatching to define outdoor amenity space for 1st floor in plan. This makes it unclear to read the plan. Recommended to revise the hatch to a single hatch pattern.

- Landscape has revised hatching.

Narrow passage strip along south-east edge of indoor amenity room (see appendix II, label A). Unclear if this is an access to the main outdoor amenity space from this passage strip. Please specify width.

- This passage is meant for exiting purposes and is 3'-10" clear in width.

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East facing outdoor amenity space (outside room titled 'amenity') Is the function of that space meant for outdoor seating? If so, please clearly place a furniture block as it is not clearly represented in this plan (this is also the case for the south facing amenity space on this level where the furniture layout is also unclear)

- Landscape has clarified the use and furniture layout in this space.

Staircase in amenity space on Level P1 as seen on this floor plan. Please soften the hatch layer for the outdoor south staircase on Level P1 to enable distinguishing between staircase on Level 1 and P1. Additionally, please specify break line for staircase for the 1st floor level outdoor stairs (south) to distinguish between level 1 and level P1.

- We have updated the plan to clarify stair layouts.

- SD3.07

The flooring variation outside Unit 401 (Unit B4). Extend the flooring pattern outside Unit 401 till the emergency exit door (northeast) to maintain the overall flooring material variation along the entire corridor.

- We have updated the flooring hatch.

Mechanical room in Unit 401 Roof Deck. Please clarify how this room will be accessed for servicing, considering that it is placed within Unit 401's private roof deck? The other two mechanical rooms proposed are accessed from the common outdoor amenity space, but the placement of this mechanical room stands to cause inconvenience to occupants of Unit 401.

- Access to the mechanical enclosure will be via the unit 409 rooftop patio. It is typical for condo and apartment units to have mechanical access in this fashion and that there will be privacy and acoustical considerations made for the unit.

Hatching for east facing decks for Units 407, 408, 409. Please revise the drawing to make it consistent overall.

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- We have updated the hatching.

- SD4.02

Staircases in West Elevation. There is difficulty in differentiating between the staircases on the south side of level P1 and level 1 from the exterior unit elevation as they all appear to be of a similar colour tone. Please represent the staircases to read more visibly.

- We have updated the line weights to emphasize depth and corresponding levels for each stair.

- RA1.11

Material 18 label missing on the page. Please update drawing to show Material 18. Unclear how “key themes” relate to the White Rock context unless this is to say that “west coast design” is defined by North and West Vancouver’s rugged natural setting. As noted above, more emphasis would perhaps be better-directed towards the material choice and the related DPA Guidelines which encourage the use of natural materials.

- We have updated our drawings to show material 18.
- We address ‘west coast design’ in relation to White Rock context via a note added to the sheet, following OCP guidelines (22.3.1 (j) or 22.4.1 (j)).
- We have updated to match White Rock DPA comments.

- RA1.21

Views need to be consistent. The bottom right view is not consistent from the other two shown. Please revise.

- We have revised the elevational view to match perspective views.

The vast usage of cladding used on the west side outdoor corridor connecting the units to the amenity space. Recommended that the long stretch of cladded wall on Level P1 and Level 1 have vertical landscaping (like green wall) as a way to elevate the viewing of the current façade on the west side.

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Lighter coloured materials along this wall may also help to soften its impact on abutting residential lands."

- We have reviewed and updated our west façade cladding to add variation and break up the large massing.
- Green wall was not the best option as the adjacent buildings would limit sunlight.
- We updated with planter boxes and alternating material patterns on the lower stone walls.
- As per OCP Multi-Family Development Permit Area - Part D, Section 22.6 item (c), the design, materials, and architectural features proposed have visual interest and comfort for pedestrians along all elevations.

- RA1.61

Alignment of balconies to units cross corridor. The photo in the middle of page RA1.61 is not, in the opinion of City staff, very appealing and may detract from the intended message; by contrast the image on the right does help demonstrate options for ceiling treatment to provide linkages / queues along the corridor.

- We revised the images used to be more consistent.

- RA1.71

Screening. The balcony screening between units appears to have some degree of transparency. Staff believe this will take away from the privacy of these spaces.

- Screening is to be frosted glass or another similar product.
- Meant to be translucent but not transparent.

- RA2.01

Mechanical Units. The mechanical units shown in this page appear to create conflicts with the navigability of the rooftop and, for example, appear to create conflicts with the intended use of the open seating areas (e.g., arrangement of furniture, conflicts with noise relative to seating for leisure, etc.). The southernmost unit is shown with a transparency (hatching underneath) whereas the other units are not.

KEYSTONE ARCHITECTURE & PLANNING LTD

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- We have revised our hatching.
 - The seating area has been updated to allow for better access to amenity deck areas and to minimize the visual impact of the mechanical screening.
- L093D
 - East facing private decks for unit 407-409. Please update hatching for private decks for Units 407- 409
 - Hatches have been updated by landscape.

We hope the above responses are to your satisfaction. If further clarification or additional information is required, please let us know.

Kind regards,

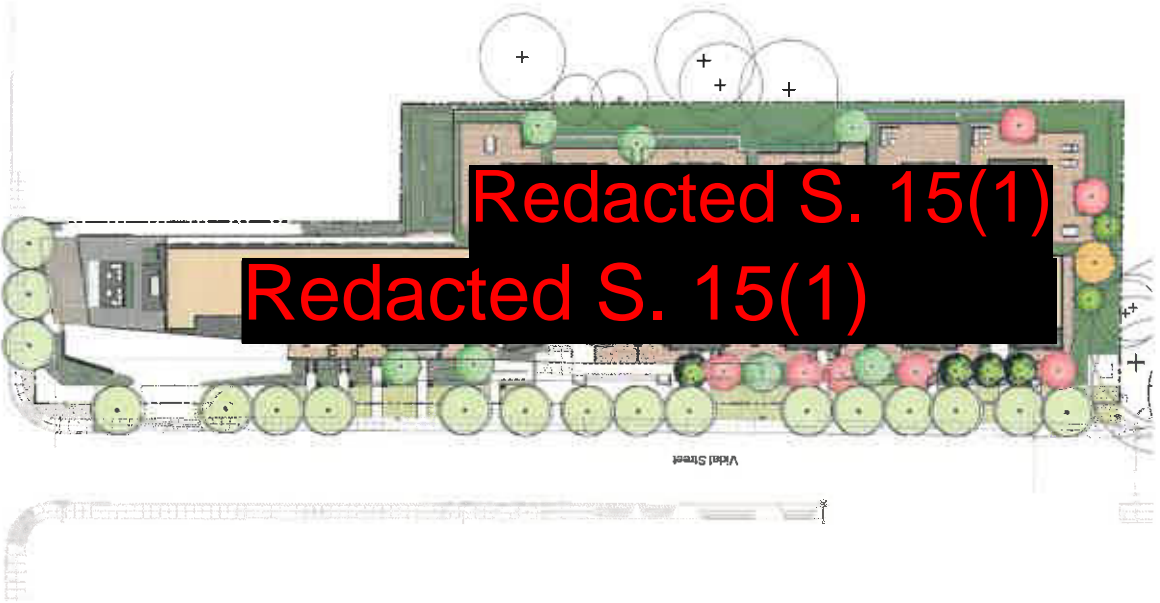
Lukas Wykpis Project Director | Principal
Architectural Technologist AIBC

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Vidal Street Development

Response to ADP



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Redacted S. 15(1)

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER SHEET
L-02	TREE PROTECTION AND REMOVAL PLAN
L-03A	LANDSCAPE PLAN - LEVEL P1 & P2
L-03B	LANDSCAPE PLAN - LEVEL 1
L-03C	LANDSCAPE PLAN - LEVEL 2
L-03D	LANDSCAPE PLAN - LEVEL 4
L-04	GRADING PLAN
L-05A	PLANTING PLAN LEVEL P1 & P2
L-05B	PLANTING PLAN - MAIN FLOOR
L-05C	PLANTING PLAN 4TH FLOOR
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LS-01	SECTIONS
LS-02	SECTIONS
LS-03	SECTIONS

Contact Information

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 Primary project contact:
 Gregor Weller
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Alternate contact (please email):
 Mark Van der Zahn
 m.vanderzahn@vzi.ca
 604-510-0025

Other Key Contacts:

Project Name	Contact	Phone
The Weststone Group	Michael Zeman Project Manager	403-524-0133 604-455-1838
Keynote Architecture	Project Building Architect	403-53131 Dean Frankley 403-291 604-455-0477

Legal Address and Description:

LOT 1 PLAN BPPR6879, LOT 8 PLAN 13819, AND STRATA PLAN HM62236, ALL OF SEC 10 "1" NWD



2 LOCATION MAP
Site N13

1 SITE PLAN
Site N13

Response to ADP Comments

1. The proposed design team has been added to the outdoor amenity.
2. Proposed location for tree protection on the site.
3. Proposed location for gas table and shower on the site, with the proposed expanded street parking.
4. Expanded street parking.
5. Proposed location for the new building.
6. The new building will be built on the site.

Response to ADP Comments

1. Check street system and building footprint.
2. Building street system and building footprint.
3. Check street system and building footprint.
4. Check street system and building footprint.
5. Check street system and building footprint.
6. Check street system and building footprint.

REVISIONS TABLE FOR DRAWINGS

No.	By	Comment	Date
11	SM	Response to ADP Comments	Oct 15, 2021
10	SM	Response to ADP Comments	July 22, 2021
9	ET	Revised ADP	July 1, 2021
8	LD	Issued by ADP	March 9, 2021
7	SM	Issued for Construction	Feb. 28, 2021
6	SM	Issued for Construction	Dec. 29, 2020
5	SM	Issued for Construction	Oct. 8, 2020
4	SM	Issued for ADP	March 11, 2020
3	SM	Issued for ADP	March 9, 2020
2	SM	Issued for ADP	May 21, 2019
1	SM	Issued for ADP	Nov 15, 2018

Project:
Vidal Street Development

Location:
Vidal Street & Thrift Ave,
White Rock, BC

Drawn:	SM	Stamp:
Checked:	SM	
Approved:	ASB	Original Sheet Size:
Scale:	1:200	

Scale:
ASBROWN

Author:
ASBROWN



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	7	CONCRETE PATTERNS (AS SHOWN)
	7	GRAVEL (AS SHOWN)
	7	GRAVEL (AS SHOWN)
	7	GRAVEL (AS SHOWN)

FENCING

KEY	REF.	DESCRIPTION
	8	QUICK SET FENCING

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	2,3	SHRUBS (AS SHOWN)

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	7	LOUNGE SEATING
	7	LOUNGE SEATING
	7	LOUNGE SEATING
	3	LUNGE TABLE

NOTES:
1. Softscapes are to be coordinated from early in project file at the applicants expense

LEGEND

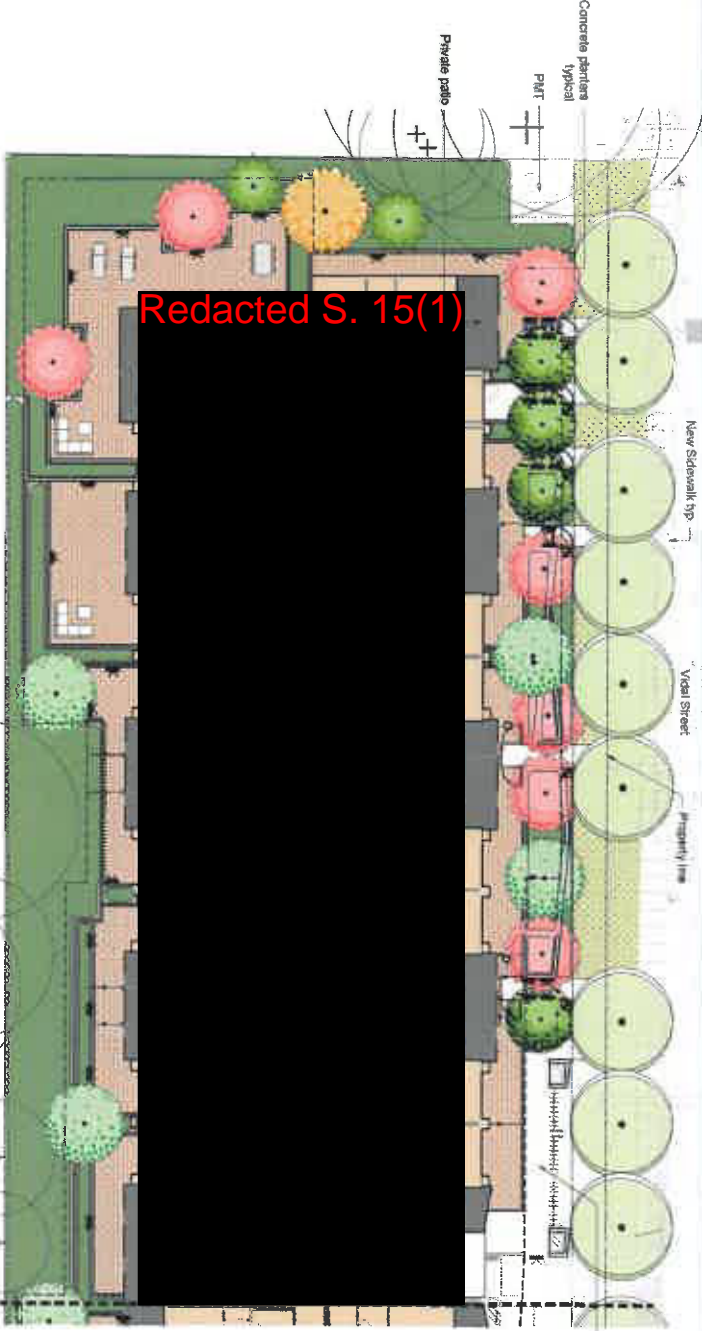
KEY	REF.	DESCRIPTION
	▲	Light by Director
	▲	RECESSED WALL/STEP LIGHT by Director
	▲	Light by Director

PLANT SCHEDULE ON-SITE

PLANT	BOTANICAL / COMMON NAME	COULT	SIZE	QTY
	Zinnia plantinum / Bicolor / Bicolor	B.A.B	4cm dia	7
	Cornus s. 'Rutata' / Cornus Dogwood	B.A.B	4cm dia	8
	Ficus s. 'variegata' / Ficus	B.A.B	6cm dia	9
	Parrotia persica 'Venezia' / Parrotia Persia	B.A.B	3.0m dia	1
	Prunella s. 'Rosa' / Prunella	B.A.B	3.0m dia	2

BUILDING LEVELS

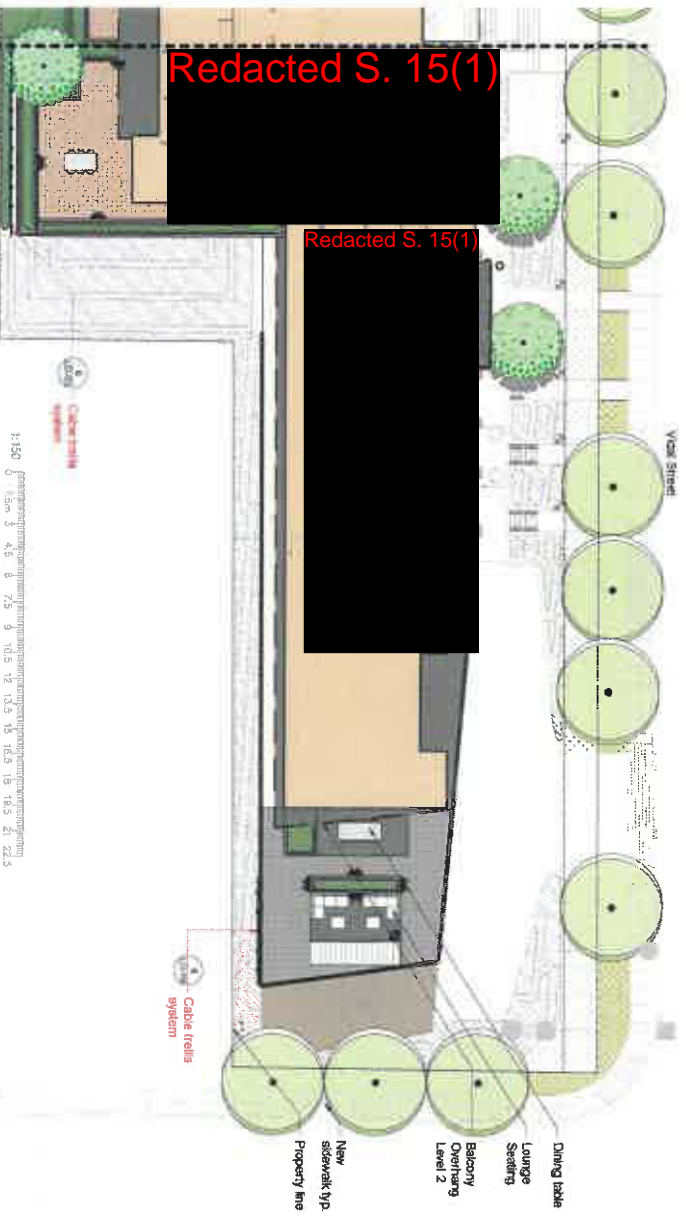
KEY	DESCRIPTION
	LEVEL 1
	LEVEL 2
	LEVEL 3



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Redacted S. 15(1)

Redacted S. 15(1)



VDZ+A
 1500 EASTERN AVENUE SUITE 100
 VANCOUVER, BC V6L 4K6
 TEL: 604.278.1111
 WWW.VDZ+A.COM

- Revisions to ACP Comments**
1. Clarify level system and existing building South-Western corner
 2. Revising existing South-Western corner to be averaged into materials
 3. For existing level in level 1, existing materials indicated and existing specified at bottom to indicate level
 4. Revising to level 1, existing level indicated by 'existing' material

RESPONSE TABLE FOR COMMENTS

No.	By	Description	Date
1	AD	Review and Comments	Sept 8, 2020
2	EV	Revisions	Oct 15, 2020
3	AD	Reviewed by ADP	Aug 23, 2021
4	EV	Revised by ADP	June 4, 2021
5	EV	Revised by ADP	Sept 9, 2021
6	EV	Revised by ADP	Sept 9, 2021
7	EV	Revised by ADP	Sept 9, 2021
8	EV	Revised by ADP	Sept 9, 2021
9	EV	Revised by ADP	Sept 9, 2021
10	EV	Revised by ADP	Sept 9, 2021
11	EV	Revised by ADP	Sept 9, 2021
12	EV	Revised by ADP	Sept 9, 2021
13	EV	Revised by ADP	Sept 9, 2021
14	EV	Revised by ADP	Sept 9, 2021
15	EV	Revised by ADP	Sept 9, 2021

REVISION TABLE FOR SHEET

No.	By	Description	Date
1	AD	Review and Comments	Sept 8, 2020
2	EV	Revisions	Oct 15, 2020

Project: Vidal Street Development
Location: Vidal Street & Thrift Ave, White Rock, BC
Client: [Redacted]
Scale: 1:150

Revisions by ADR Comments

1. July 20, 2021 - Review notes have been added to the outdoor amenity.
2. Proposed location of the table shown on the right.
3. Proposed location for the table shown on the right.
4. Estimated 2' net height.
5. Private patio shown on the right.
6. Items were removed from the 100 net patio.

Revisions by ADR Comments

1. Create table system per existing building South-Western.
2. Revising zoning district number from ULE to ULE-2.
3. Revising zoning district number from ULE to ULE-2.
4. Revising zoning district number from ULE to ULE-2.
5. Revising zoning district number from ULE to ULE-2.
6. Revising zoning district number from ULE to ULE-2.
7. Revising zoning district number from ULE to ULE-2.
8. Revising zoning district number from ULE to ULE-2.
9. Revising zoning district number from ULE to ULE-2.
10. Revising zoning district number from ULE to ULE-2.

REVISIONS TABLE FOR PERMITS

No.	By	Description	Date
11	ADR	Response by ADR Comments	Oct 16, 2021
10	ADR	Response by ADR Comments	July 20, 2021
9	ADR	Response by ADR Comments	June 4, 2021
8	ADR	Response by ADR Comments	March 3, 2021
7	ADR	Response by ADR Comments	February 20, 2021
6	ADR	Response by ADR Comments	December 22, 2020
5	ADR	Response by ADR Comments	October 8, 2020
4	ADR	Response by ADR Comments	August 24, 2020
3	ADR	Response by ADR Comments	August 10, 2020
2	ADR	Response by ADR Comments	July 24, 2020
1	ADR	Response by ADR Comments	May 10, 2019

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	ADR	Response by ADR Comments	July 20, 2021

Project:
 Vidal Street Development

Location:
 Vidal Street & Third Ave,
 White Rock, BC

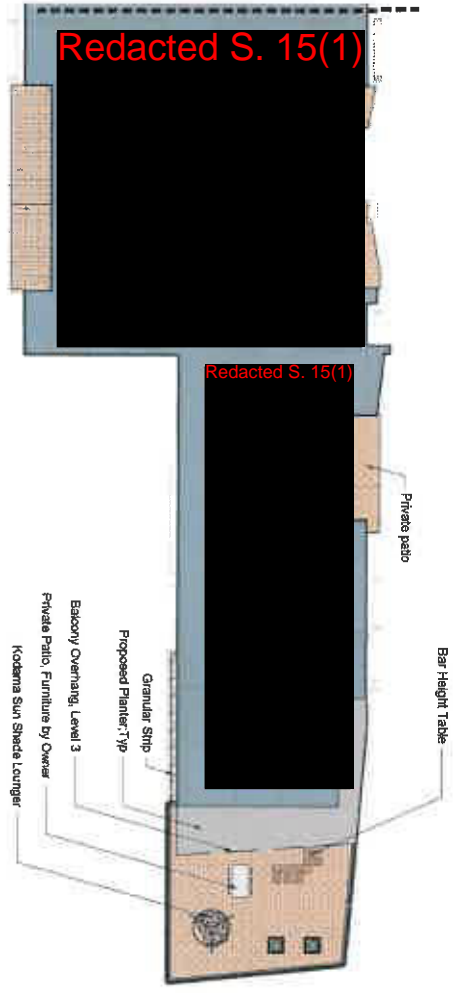
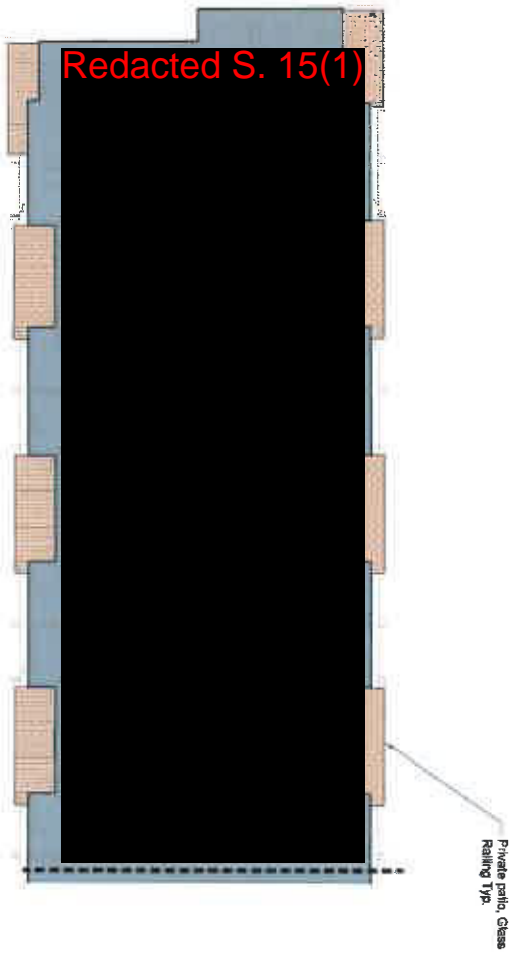
Client:
 Genp

Checked:
 [Signature]

Approved:
 [Signature]

Scale:
 1:150

Sheet:
 1:150



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
[Color swatch]	4	Private Patio, Glass Railing Typ.

FENCING

KEY	REF.	DESCRIPTION
[Color swatch]	8	Glass Railing

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
[Color swatch]	2, 3	Grass Planting

LEGEND

KEY	REF.	DESCRIPTION
[Symbol]		Assessed Yellow/Red Light
[Symbol]		by Electrical
[Symbol]		ATTN: LIGHT
[Symbol]		by Electrical

NOTES:
 1. LANDSCAPE LIGHTING PLAN PROVIDES LIGHT LOCATION AND REFERENCE TO THE ELECTRICAL LIGHTING PLAN. FOR MORE INFORMATION, REFER TO ELECTRICAL DRAWINGS.

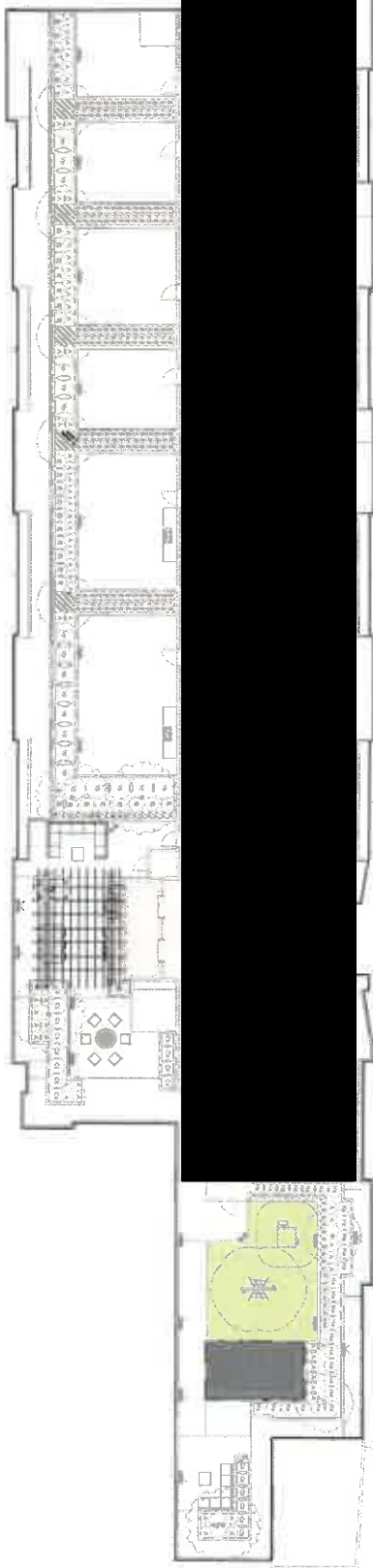
BUILDING LEVELS

KEY	DESCRIPTION
[Color swatch]	P2 LEVEL
[Color swatch]	P1 LEVEL
[Color swatch]	LEVEL 1
[Color swatch]	LEVEL 2
[Color swatch]	LEVEL 3



- PLANTING NOTES:**
1. PLANTS IN THIS PLAN LIST ARE SPECIFIED ACCORDING TO THE CURRENT MEMBER LANDSCAPE ASSOCIATION STANDARD BRANDS FOR MEMBER STOCK AND SECTION 12 CONTAINER GROWN PLANTS OF THE LANDSCAPE STANDARD CHARACTER SECTION.
 2. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY EQUUS OR EQUUS GUIDE WHEN PLANT MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
 3. TOPSOIL SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED BY THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
 4. A MINOR TOPSOIL TEST FOR ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. RESPECT TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
 5. TOPSOIL DEPTH FOR PLANTING AS FOLLOWS:
 - A. 60cm DEPTH
 - B. 90cm DEPTH
 - C. 120cm DEPTH (EXCEPT WITHIN 300mm FROM ROOT BALL)
 6. 7" MINUS CORNER CUT SHALL TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- IRRIGATION NOTE:**
1. ALL AREAS TO BE IRRIGATED. IRRIGATION SYSTEM TO MEET OR EXCEED IBCS STANDARDS. LANDSCAPE ARCHITECT TO REVIEW IRRIGATION PLANS.

Redacted S. 15(1)



1 5TH FLOOR PLANTING PLAN
 Scale: 1:50

PLANT SCHEDULE 5TH FLOOR

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
A	Agrostis nebulosa / Cloud Grass	#1	0.75m	71
Aa	Asiella x erendellii / Snowdrift / Pink Rockrose	#1	0.45m	17
Cs	Cistus Corcobaensis / Graywood Pink / Pink Rockrose	#2	1m	18
Ha	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	#3	0.9m	27
S	Stimonia japonica 'Kew White' / Kew White Stimonia	#1	0.45m	174
Si	Taxus x media 'Hillii' / Yew	#3	0.9m	32
Th	Viburnum plicatum Popcorn / Popcorn Japanese Snowball	#3	1.2m ht.	65
Vp		#3	1.5m	21

GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Arctostaphylos uva-ursi 'Vancouver Jade' / Vancouver Jade Bearberry	#1	300mm	85



REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	JV	Issued for RFP	May 24, 2019
2	JV	Issued for RFP	Nov 18, 2019
3	JV	Overnight	

PROJECT:
 Vidale Street Development

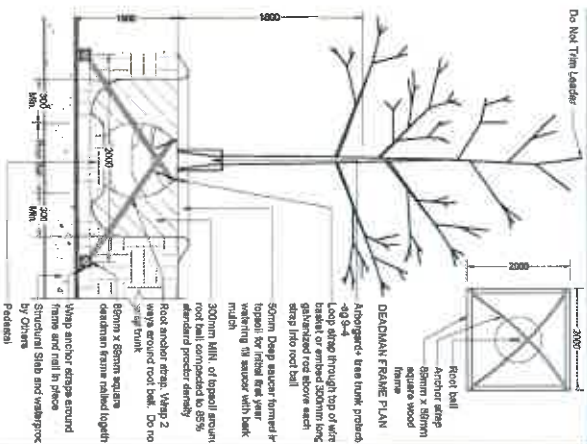
LOCATION:
 Vidale Street & Thrift Ave,
 White Rock, BC

DESIGN: Stamp

SCALE: 1:50

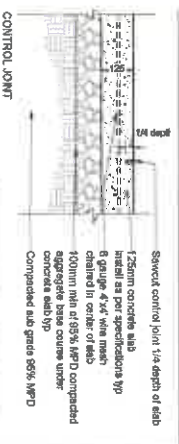
APPROVED: Original Sheet Size: 24" x 36"

NOTES:
 1. THIS PLAN IS A PART OF THE PROJECT AND SHALL BE USED IN ACCORDANCE WITH THE PROJECT CONTRACT AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD DATA AND SURVEY INFORMATION.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC AREAS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE AND DEBRIS IN ACCORDANCE WITH LOCAL REGULATIONS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL SAFETY MEASURES DURING CONSTRUCTION.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING REGULAR COMMUNICATION AND REPORTING TO THE ARCHITECT AND CLIENT.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING THE PROJECT WITHIN THE AGREED TIMEFRAME AND BUDGET.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCURATE RECORDS OF ALL CONSTRUCTION ACTIVITIES.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE ENVIRONMENT AND MINIMIZING DISTURBANCE TO THE SURROUNDING COMMUNITY.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE RELEVANT AUTHORITIES.
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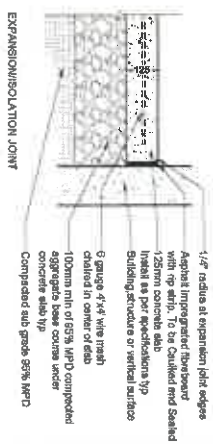


NOTES:
 1. Staking/bounding to be located and dropped to the bottom of the planting hole, all edging wires, etc. to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 4. All trees shall be single stem trees, specified otherwise.

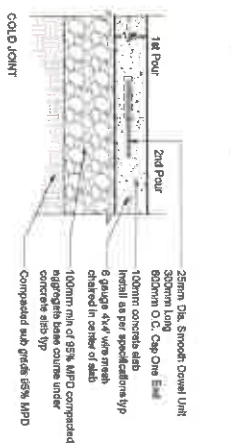
1 TREE ON STRUCTURAL SLAB
 Scale: 1:20



CONTROL JOINT

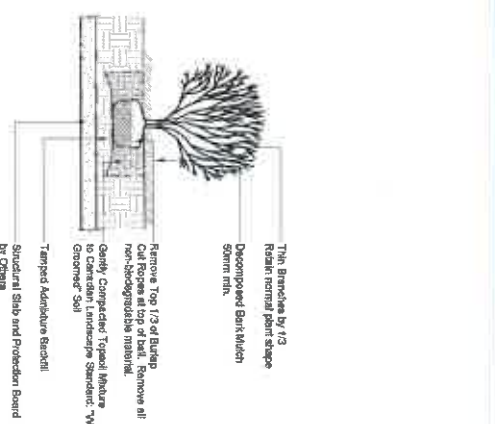


EXPANSION/ISOLATION JOINT



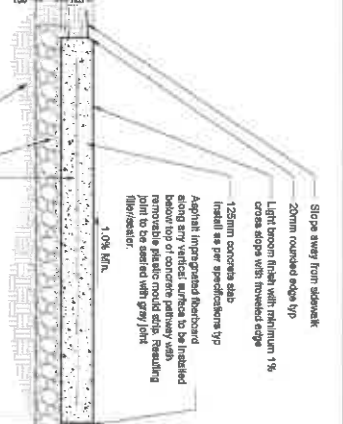
COLD JOINT

5 CONCRETE JOINTS
 Scale: 1:10

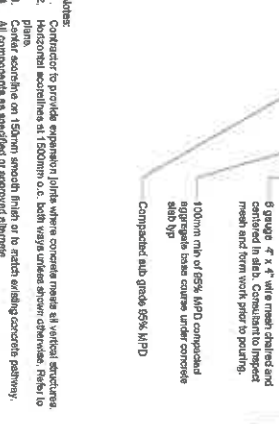


NOTES:
 1. Remove all edging, twigs, rock, logs from plant.
 2. All soil, mulch and plant material to meet Metek Canadian Landscape Standard, minimum diameter to be 1.5x diameter of plant container.
 3. O.C. spacing per planting plan.

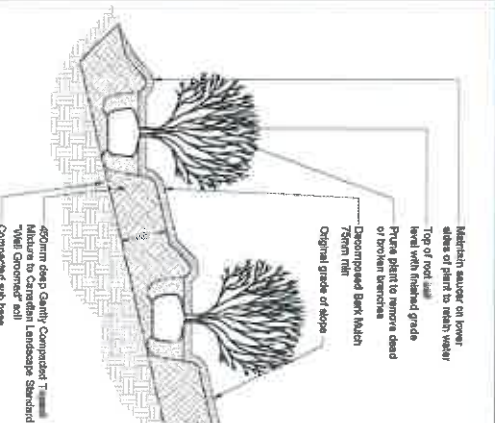
2 SHRUB ON STRUCTURAL SLAB
 Scale: 1:25



CONTROL JOINT



6 CONCRETE SLAB ON GRADE
 Scale: 1:10

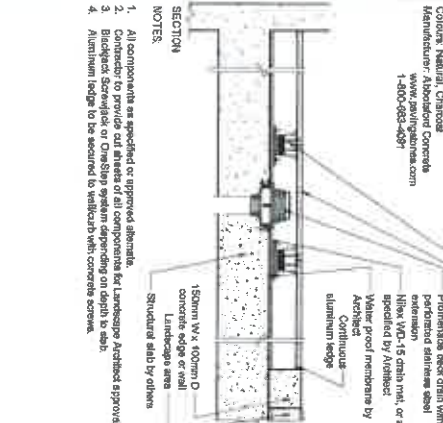


NOTES:
 1. Remove all edging, twigs, rock, logs from plant.
 2. All soil, mulch and plant material to meet Metek Canadian Landscape Standard, minimum diameter to be 1.5x diameter of plant container.
 3. O.C. spacing per planting plan.

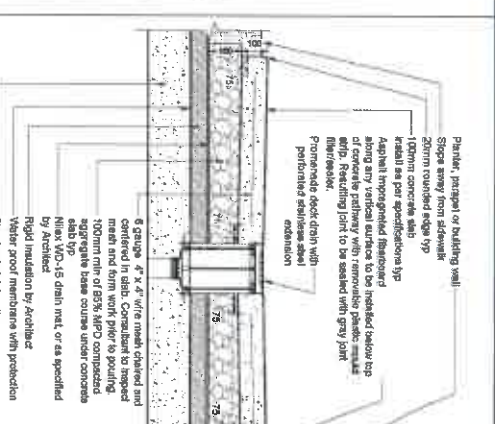
3 SHRUB PLANTING
 Scale: 1:25



CONTROL JOINT



7 HYDRAPRESSED SLAB ON STRUCTURAL SLAB
 Scale: 1:10



NOTES:
 1. Contractor to provide expansion joints where concrete meets at vertical structures.
 2. Horizontal coverings at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
 3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
 4. All components as specified or approved alternate.
 5. Expansion joint every 3000mm o.c. both ways.

4 CONCRETE SLAB ON STRUCTURAL SLAB
 Scale: 1:10



CONTROL JOINT

No.	By	Description	Date
11	SH	Response to LDR Comments	Oct 15, 2021
10	SH	Response to ADR Comments	Aug 23, 2021
9	ET	Revised by ADR	June 4, 2021
8	L4	Revised by ADR	March 5, 2021
7	SH	Revised by ADR	Feb. 26, 2021
6	SH	Revised by ADR	Feb. 26, 2021
5	SH	Revised by ADR	Oct. 8, 2020
4	SH	Revised by ADR	June 23, 2020
3	SH	Revised by ADR	March 8, 2020
2	SH	Revised by ADR	Jan. 21, 2020
1	AVZ	Revised by ADR	Nov. 28, 2019

REVISIONS TABLE FOR DRAWINGS
 Prepared by: [Name]
 Checked by: [Name]
 Date: [Date]

No.	By	Description	Date
1	AVZ	Revised by ADR	Nov. 28, 2019

REVISIONS TABLE FOR SHEET

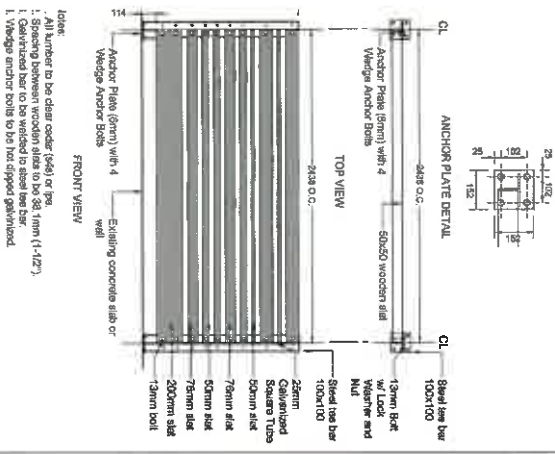
No.	By	Description	Date
1	AVZ	Revised by ADR	Nov. 28, 2019

Project: Vidal Street Development
Location: Vidal Street & Thrift Ave, White Rock, BC
Drawn: SHAP
PW: [Name]
Checked: [Name]
Approved: [Name]
Scale: AS SHOWN



precedent image

1 ARTIFICIAL TURF PLAY SURFACE
Scale: NTS



Note:
1. All numbers to be clear order (size) or for
2. Dimensions to be clear order (size) or for
3. Dimensions to be clear order (size) or for
4. Dimensions to be clear order (size) or for
5. Dimensions to be clear order (size) or for
6. Dimensions to be clear order (size) or for
7. Dimensions to be clear order (size) or for
8. Dimensions to be clear order (size) or for
9. Dimensions to be clear order (size) or for
10. Dimensions to be clear order (size) or for

5 CEDAR FENCE
Scale: 1/20



Precedent image
Supplier: Kodama
Product: Zome Lounger Sun Shade

2 LOUNGER SUN SHADE
Scale: NTS



Precedent image
Manufacturer: Gemstone Masonry & Landscape Supply Ltd
Custom Natural Gas Fire Table
Or approved Equal

6 FIRE PIT
Scale: NTS



Precedent image
Shop Drawings to be submitted to Landscape Architect for Approval

3 TRELLIS
Scale: NTS



Precedent image

7 LOUNGE
Scale: NTS



Precedent image
Or approved Equal

4 SUNDECK CHAIR
Scale: NTS



Precedent image

8 GLASS RAILING
Scale: NTS

No.	Rev.	Description	Date
11	01	Response to ADR Comments	Oct 16, 2011
10	02	Response to ADR Comments	Aug 23, 2011
9	01	Revised for ADR	June 9, 2011
8	01	Revised for ADR	March 9, 2011
7	01	Revised for ADR	Feb. 26, 2011
6	01	Revised for Construction	Dec. 23, 2010
5	01	Revised for Construction	Oct. 9, 2010
4	01	Revised for IP	June 26, 2010
3	01	Revised for IP	March 5, 2010
2	01	Revised for IP	Nov. 24, 2009
1	01	Revised for IP	Nov. 19, 2009
No.	Rev.	Description	Date

REVISIONS TABLE FOR SHEET

Project: Vidal Street Development
Location: Vidal Street & Think Ave, White Rock, BC

Owner: [Redacted]
FW: [Redacted]
Checked: [Redacted]
Date: [Redacted]

Approved: [Redacted]
Original Sheet Size: 28" x 36"

Scale: AS SHOWN

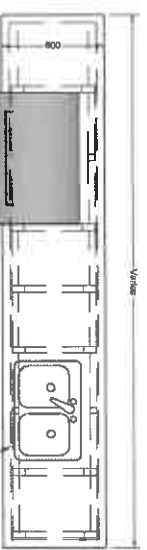


1 SEAT WALL
 Scale: NTS

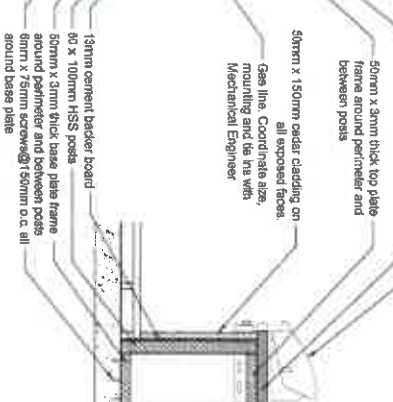
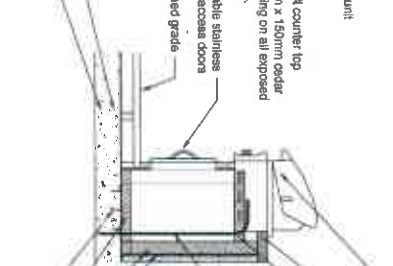
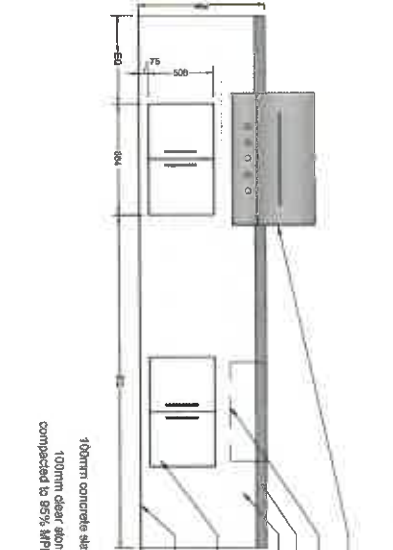
2 BAR HEIGHT TABLE
 Scale: NTS

3 DINING TABLE
 Scale: NTS

4 TABLE & CHAIRS
 Scale: NTS



1.00m concrete slab
 100mm cedar (80mm compacted to 95% MFD)



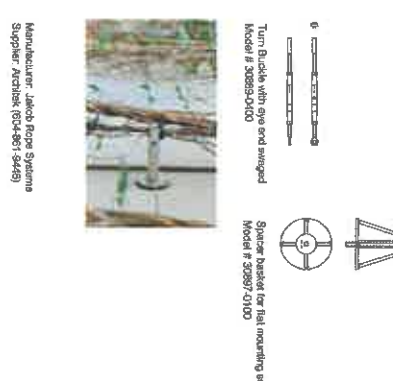
Manufacturer: Landscape Forms or approved equals
 Model: Klippan 307 dining table
 Colour: Silver, wood inserts

Manufacturer: Landscape Forms or approved equals
 Model: Klippan 307 dining table
 Colour: Silver

- Note:**
1. Contractor to verify BBQ dimensions prior to construction of BBQ enclosure.
 2. Contractor to submit shop drawings for approval.
 3. BBQ grill to be installed per manufacturers specifications.
 4. Gas line to be coordinated with Mechanical Engineer and to meet BBQ manufacturers specifications.
 5. BBQ Unit model Fire Magic Aurora AT80, or approved equal.

BBQ unit:
 Sink
 Base: counter top
 50mm x 150mm cedar cladding on all exposed faces
 Lockable stainless steel access doors
 Finished grade

BBQ unit:
 Base: counter top
 50mm x 3mm thick top plate frame around perimeter and between posts
 50mm x 150mm cedar cladding on all exposed faces.
 Gas line, Control valve, mounting and the gas with Mechanical Engineer



Manufacturer: Litch Bros Systems
 Supplier: Arislex (604-461-9449)

5 OUTDOOR KITCHEN & BBQ
 Scale: 1:20

6 CABLE TRELLIS SYSTEM
 Scale: NTS

No.	Br.	Description	Date
01	SH	Response to ADP Comments	Oct 13, 2020
02	SH	Response to ADP Comments	Apr 23, 2021
03	BT	Revised for ADP	June 4, 2021
04	BT	Revised for ADP	March 8, 2021
05	BT	Revised for Construction	Feb. 26, 2021
06	BT	Revised for Construction	Dec. 23, 2020
07	BT	Revised for Construction	Oct. 6, 2020
08	BT	Revised for ADP	June 23, 2020
09	BT	Revised for ADP	March 6, 2020
10	BT	Revised for ADP	May 21, 2019
11	BT	Revised for ADP	Nov. 14, 2018

REVISIONS TABLE FOR DRAWINGS
 Copyright reserved. This drawing shall be the property of the firm and shall not be reproduced or used for any other project without the written consent of the firm.

REVISIONS TABLE FOR SHEET

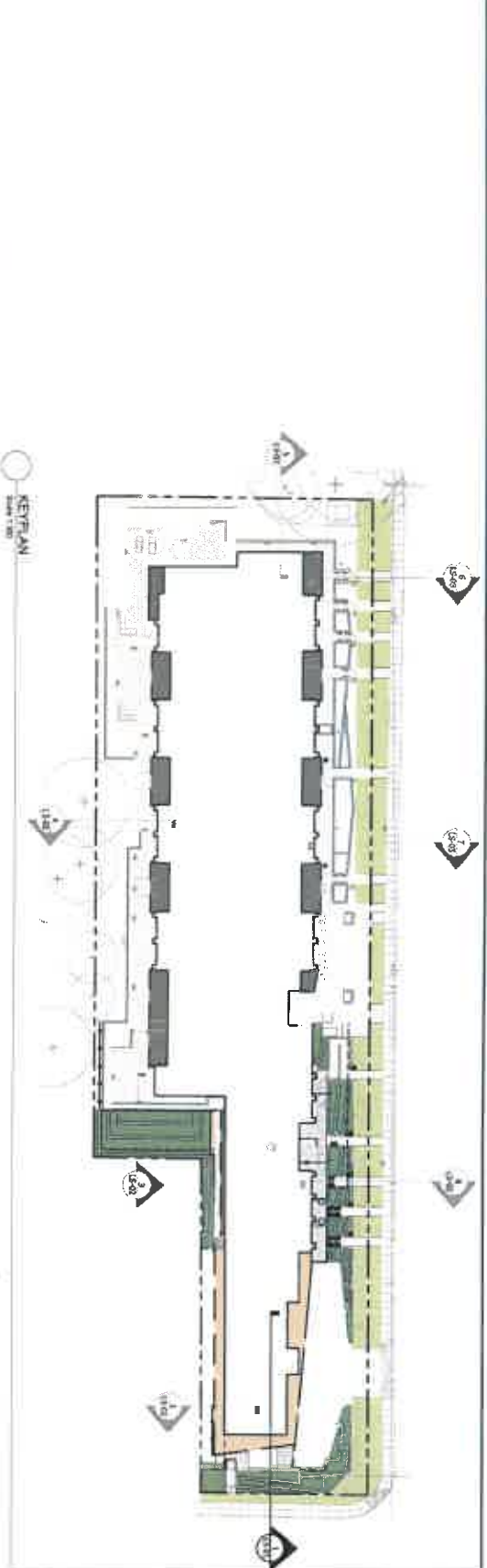
No.	Br.	Description	Date
01	SH	Response to ADP Comments	Oct 13, 2020

Project:
 Vidali Street Development
Location:
 Vidali Street & Think Ave,
 White Rock, BC

Drawn: SH
PW
Checked: JH
AS SHOWN

Approved: MDCZ
 24.5.20

6 CABLE TRELLIS SYSTEM
 Scale: NTS



1 SECTION 1 - BUILDING TO SOUTH PROPERTY LINE A
 Scale 1:50



No.	By	Description	Date
1	DV	RESPONSIVE TABLE FOR SHEET	

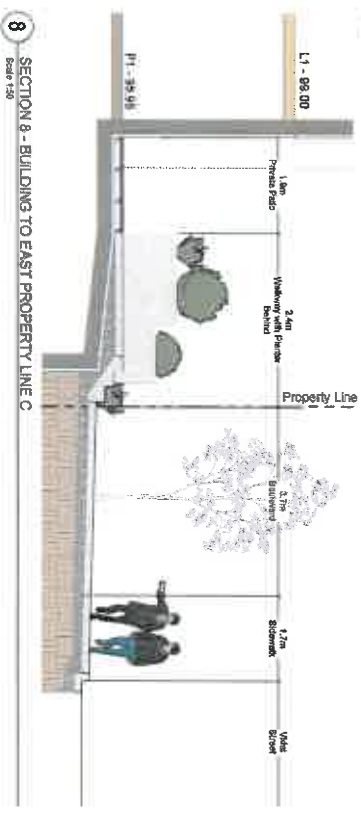
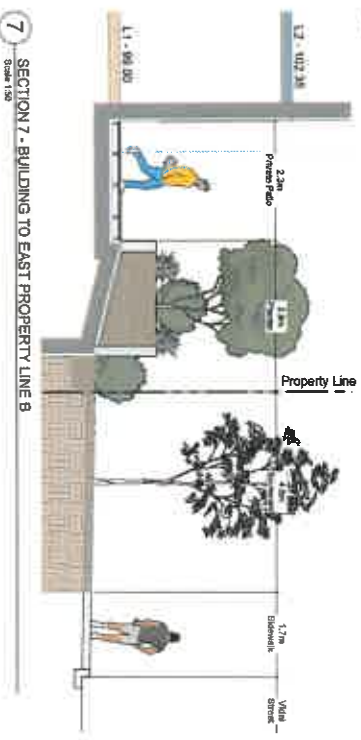
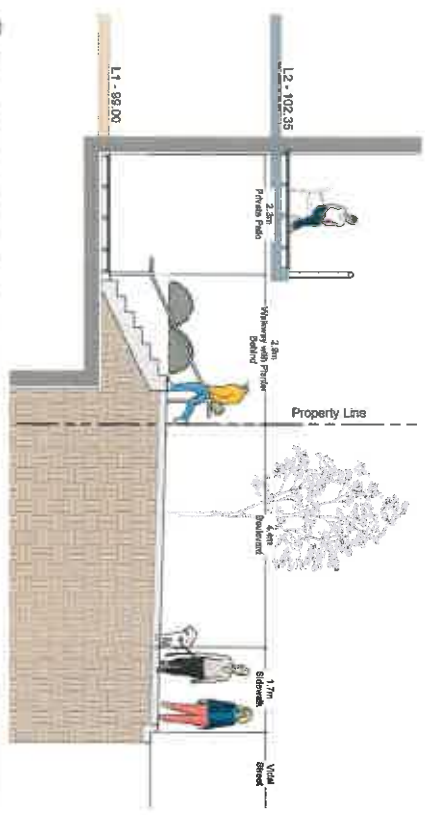
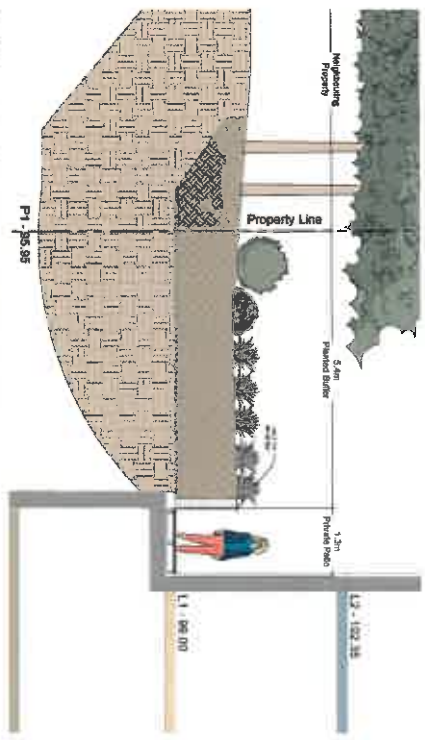
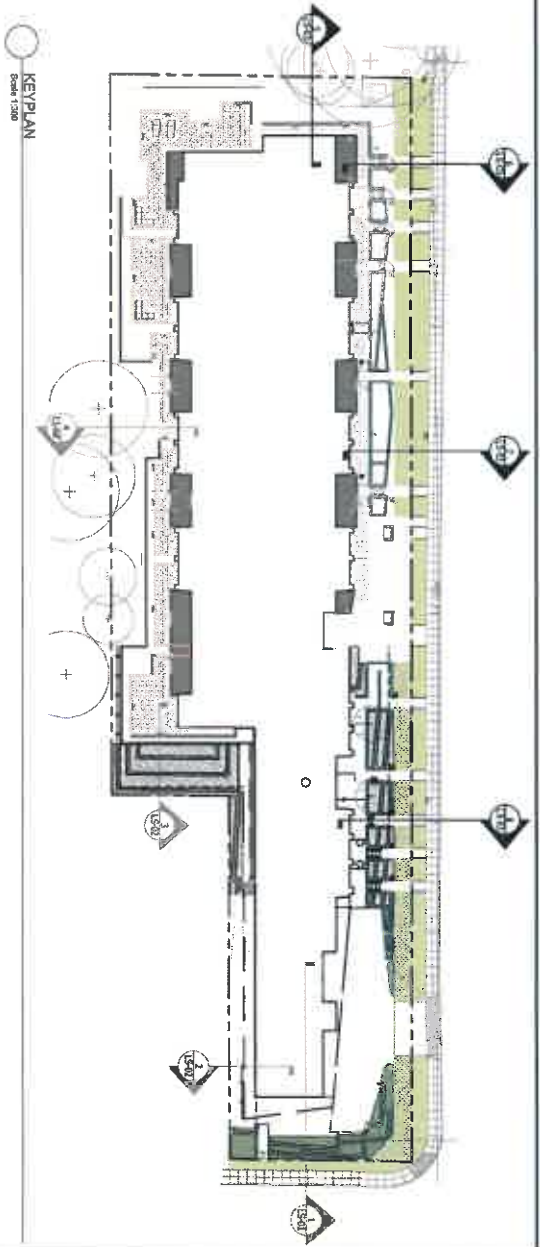
Project:
 Vidal Street Development

Location:
 Vidal Street & Trunk Ave,
 White Rock, BC

Drawn:	DV	Stamp:	
Checked:	SM		
Approved:	MDZ	Original Stamp Size:	24"x36"

Scale:
 1:50

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



No.	By	Description	Date
11	94	Response to ADR Comments	Oct 15, 2017
10	94	Response to ADR Comments	July 23, 2017
9	ST	Reviewed for ADP	June 4, 2017
8	LJ	Issued for ADP	March 8, 2017
7	94	Issued for ADP	Feb. 26, 2017
6	94	Issued for Construction	Dec. 23, 2016
5	94	Issued for Construction	Oct. 6, 2016
4	en	Issued for DP	June 29, 2016
3	94	Issued for DP	March 8, 2016
2	94	Issued for DP	May 24, 2015
1	JW	Issued for Review	Nov. 18, 2014
No.	By	Description	Date

REGISTRATION TABLE FOR REGISTRARS
 Completed: The table provides a summary of the registration process for the project. The table includes the name of the registrar, the date of registration, and the status of the registration.

No.	By	Description	Date
1	94	Response to ADR Comments	Oct 15, 2017

REVISIONS TABLE FOR SHEET

Project:
 Vidal Street Development

Location:
 Vidal Street & Trill Ave,
 White Rock, BC

Change	By	Stamp
DV		
Checked	SI	
Approved	KACZ	
Scale	Original Sheet Size	26 x 36"

1:50

0 1 2 3 4 5 6 7 8

1:50



sheet schedule

SD0.01	COVER PAGE	SD1.35	FRONT PERSPECTIVE	SD3.04	1ST LEVEL PLAN
SD0.02	CONTEXT PLANS	SD1.36	ENTRY PERSPECTIVE	SD3.05	2ND LEVEL PLAN
SD1.01	PROJECT DATA	SD1.37	STREETSCAPE PERSPECTIVE	SD3.06	3RD LEVEL PLAN
SD1.03	PRECEDENT IMAGES	SD1.38	OUTDOOR AMENITY	SD3.07	4TH LEVEL PLAN
SD1.05	STREETSCAPES	SD1.39	NEIGHBOURHOOD AERIAL	SD3.08	ROOF LEVEL PLAN
SD1.20	SITE PLAN	SD3.01	P3 LEVEL PLAN	SD4.01	BUILDING ELEVATIONS
SD1.21	SITE SECTIONS	SD3.02	P2 LEVEL PLAN	SD4.02	BUILDING ELEVATIONS
SD1.30	SHADOW STUDY	SD3.03	P1 LEVEL PLAN	SD4.03	PERSPECTIVE ELEVATIONS
				SD4.04	PERSPECTIVE ELEVATIONS

keystone architecture & planning ltd.

T 604.850.0577 | 300 - 33131 south fraser way
F 1.855.398.4578 | abbotsford, bc v2s 2b1



VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

COVER PAGE

SCALE: N.T.S.

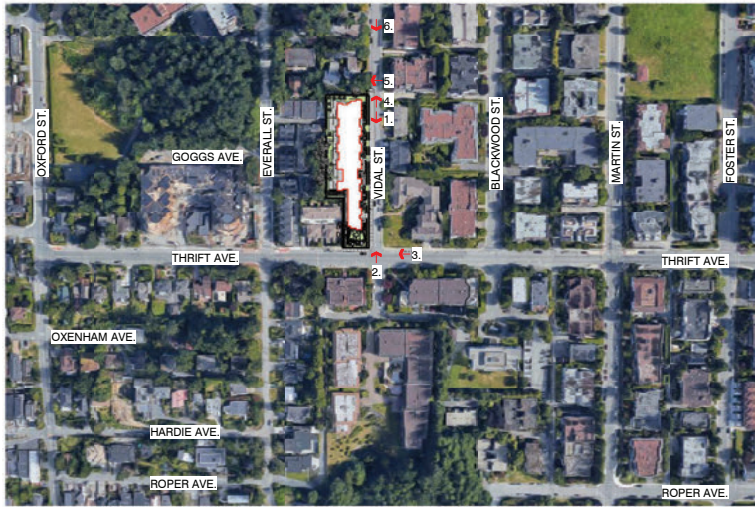
RE-ISSUED FOR DP

06/15/22 REVISION #:

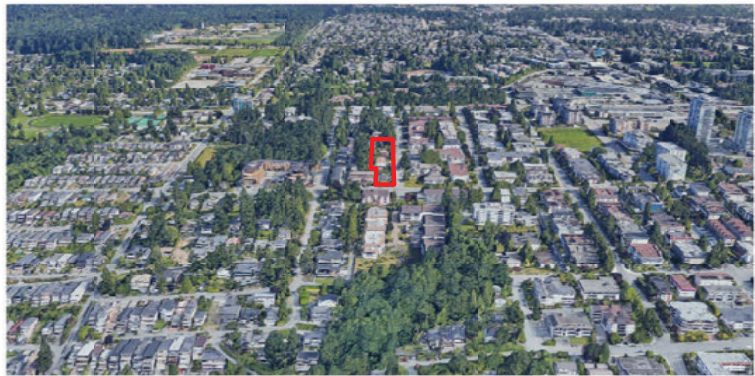
PROJECT NUMBER: 17-170



SD0.01



 **context plan**



aerial view looking north



vidal st. - looking south 1.



vidal st. - looking north 4.



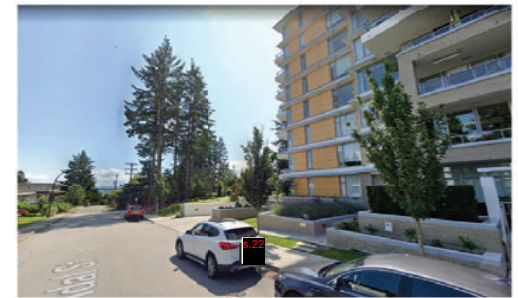
vidal st. - looking north west 2.



vidal st. - looking west (park) 5.



thrift ave. - looking west 3.



vidal st. - looking south (park) 6.

0.1. project data

PROJECT:	VIDAL STREET (RESIDENTIAL APARTMENT BUILDING)
EXISTING ZONING:	RS-1, RT-1, CD
PROPOSED ZONING:	CD (COMPREHENSIVE DEVELOPMENT ZONE)
CIVIC ADDRESS:	VIDAL STREET, WHITE ROCK, B.C.
LEGAL DESCRIPTION:	LOT 1 PLAN EPP46879, LOT 8 PLAN 13684, AND STRATA PLAN NWS2236, ALL OF SEC 10 TP 1 NWD
VARIANCES APPLIED FOR:	
BYLAW EXEMPTIONS:	
MAXIMUM BUILDING HEIGHT:	
MINIMUM BUILDING ELEVATION:	
SITE AREA:	41,714 S.F. (3,875.4 S.M.) (0.958 ACRES)
BUILDING AREA:	16,517 S.F.
F.A.R.:	62,425 S.F. / (GROSS FLOOR AREA) / 41,714 S.F. = 1.50
LOT COVERAGE:	16,517 S.F. / 41,714 S.F. = 39.6%
BUILDING HEIGHT:	116.98m - 96.66m = 20.32m (T.O. ROOF ELEV. - OVERALL AVERAGE NATURAL GRADE = BLDG. HEIGHT)
AVERAGE NATURAL GRADE:	NORTH: 100.25M, EAST: 97.14M, SOUTH: 92.25M, WEST: 96.99M OVERALL: 96.66M
EFFICIENCY:	51,334 S.F. / 62,425 S.F. = 82.2%
RESIDENTIAL FLOOR AREA:	51,334 S.F.
CIRCULATION AREA:	10,276 S.F.
NOTE:	F.A.R. (GROSS FLOOR AREA) DOES NOT INCLUDE INDOOR AMENITY OR STORAGE IN TOTAL

NOTE: "GRADE, AVERAGE NATURAL" MEANS THE AVERAGE THAT IS DETERMINED BY MEASURING AT THE MIDPOINTS OF THE WALLS OF THE FOUR SIDES OF THE BUILDING OR STRUCTURE.

0.2. building floor area summary

LEVEL	AREA
P3 LEVEL	12323 SF
P2 LEVEL	30508 SF
P1 LEVEL	21470 SF
	64301 SF
GROSS FLOOR AREA	
P1 LEVEL	1704 SF
1st LEVEL	10934 SF
2nd LEVEL	16160 SF
3rd LEVEL	16405 SF
4th LEVEL	16405 SF
5th LEVEL (ROOFTOP)	815 SF
	62425 SF
INDOOR AMENITY	
1st LEVEL	5492 SF
	5492 SF
OUTDOOR AMENITY	
5th LEVEL (ROOFTOP)	12672 SF
	12672 SF
STORAGE	
P1 LEVEL	1287 SF
	1287 SF

NOTE: "GROSS FLOOR AREA" MEANS THE SUM TOTAL OF FLOOR AREAS OF EACH STOREY IN A BUILDING, INCLUSIVE OF EXTERIOR WALLS. GROSS FLOOR AREA SHALL EXCLUDE COMMUNITY AMENITY SPACE.

0.3. circulation area summary

UNIT	AREA	COUNT	LEVEL	TYPE	TOTAL AREA
COMMON AREA	1704 SF	1	P1 LEVEL	CIRCULATION	1,704 SF
COMMON AREA	2603 SF	1	1st LEVEL	CIRCULATION	2,603 SF
COMMON AREA	2068 SF	1	2nd LEVEL	CIRCULATION	2,068 SF
COMMON AREA	1950 SF	1	3rd LEVEL	CIRCULATION	1,950 SF
COMMON AREA	1950 SF	1	4th LEVEL	CIRCULATION	1,950 SF
COMMON AREA: 5					10,276 SF

0.4. unit floor area summary

UNIT	UNIT AREA	COUNT	LEVEL	TYPE	TOTAL UNIT AREA
UNIT B	460 SF	3	1st LEVEL	1 BEDROOM	1,381 SF
UNIT B	460 SF	4	2nd LEVEL	1 BEDROOM	1,841 SF
UNIT B	460 SF	3	3rd LEVEL	1 BEDROOM	1,381 SF
UNIT B	460 SF	3	4th LEVEL	1 BEDROOM	1,381 SF
UNIT B: 13					5,983 SF
UNIT B2	483 SF	1	1st LEVEL	1 BEDROOM	483 SF
UNIT B2	483 SF	1	2nd LEVEL	1 BEDROOM	483 SF
UNIT B2: 2					967 SF
UNIT B3	580 SF	1	2nd LEVEL	1 BEDROOM	580 SF
UNIT B3: 1					580 SF
UNIT B4	569 SF	1	1st LEVEL	1 BEDROOM	569 SF
UNIT B4	569 SF	1	2nd LEVEL	1 BEDROOM	569 SF
UNIT B4	569 SF	1	3rd LEVEL	1 BEDROOM	569 SF
UNIT B4	569 SF	1	4th LEVEL	1 BEDROOM	569 SF
UNIT B4: 4					2,276 SF
UNIT B5	519 SF	1	1st LEVEL	1 BEDROOM	519 SF
UNIT B5	519 SF	2	2nd LEVEL	1 BEDROOM	1,039 SF
UNIT B5	519 SF	1	3rd LEVEL	1 BEDROOM	519 SF
UNIT B5	519 SF	1	4th LEVEL	1 BEDROOM	519 SF
UNIT B5: 5					2,596 SF
UNIT C	752 SF	1	2nd LEVEL	2 BEDROOM	752 SF
UNIT C	752 SF	1	3rd LEVEL	2 BEDROOM	752 SF
UNIT C	752 SF	1	4th LEVEL	2 BEDROOM	752 SF
UNIT C: 3					2,255 SF
UNIT C2	783 SF	1	1st LEVEL	2 BEDROOM	783 SF
UNIT C2	783 SF	2	2nd LEVEL	2 BEDROOM	1,566 SF
UNIT C2	783 SF	2	3rd LEVEL	2 BEDROOM	1,566 SF
UNIT C2	783 SF	2	4th LEVEL	2 BEDROOM	1,566 SF
UNIT C2: 7					5,480 SF
UNIT C3	783 SF	1	1st LEVEL	2 BEDROOM	783 SF
UNIT C3	783 SF	1	2nd LEVEL	2 BEDROOM	783 SF
UNIT C3	783 SF	1	3rd LEVEL	2 BEDROOM	783 SF
UNIT C3	783 SF	1	4th LEVEL	2 BEDROOM	783 SF
UNIT C3: 4					3,131 SF
UNIT C4	794 SF	1	2nd LEVEL	2 BEDROOM	794 SF
UNIT C4	794 SF	1	3rd LEVEL	2 BEDROOM	794 SF
UNIT C4	794 SF	1	4th LEVEL	2 BEDROOM	794 SF
UNIT C4: 3					2,382 SF
UNIT C6	585 SF	1	2nd LEVEL	2 BEDROOM	585 SF
UNIT C6	585 SF	1	3rd LEVEL	2 BEDROOM	585 SF
UNIT C6	592 SF	1	3rd LEVEL	2 BEDROOM	592 SF
UNIT C6	585 SF	1	4th LEVEL	2 BEDROOM	585 SF
UNIT C6	592 SF	1	4th LEVEL	2 BEDROOM	592 SF
UNIT C6: 5					2,939 SF
UNIT C8	871 SF	1	1st LEVEL	2 BEDROOM	871 SF
UNIT C8: 1					871 SF
UNIT C9	833 SF	1	3rd LEVEL	2 BEDROOM	833 SF
UNIT C9	833 SF	1	4th LEVEL	2 BEDROOM	833 SF
UNIT C9: 2					1,667 SF

0.4. unit floor area summary

UNIT	UNIT AREA	COUNT	LEVEL	TYPE	TOTAL UNIT AREA
UNIT D	1046 SF	1	1st LEVEL	3 BEDROOM	1,046 SF
UNIT D	1046 SF	1	2nd LEVEL	3 BEDROOM	1,046 SF
UNIT D	1051 SF	1	2nd LEVEL	3 BEDROOM	1,051 SF
UNIT D	1046 SF	1	3rd LEVEL	3 BEDROOM	1,046 SF
UNIT D	1051 SF	1	3rd LEVEL	3 BEDROOM	1,051 SF
UNIT D	1046 SF	1	4th LEVEL	3 BEDROOM	1,046 SF
UNIT D	1051 SF	1	4th LEVEL	3 BEDROOM	1,051 SF
UNIT D: 7					7,338 SF
UNIT D2	979 SF	1	1st LEVEL	3 BEDROOM	979 SF
UNIT D2	979 SF	1	2nd LEVEL	3 BEDROOM	979 SF
UNIT D2	979 SF	1	3rd LEVEL	3 BEDROOM	979 SF
UNIT D2	979 SF	1	4th LEVEL	3 BEDROOM	979 SF
UNIT D2: 4					3,915 SF
UNIT D3	916 SF	1	1st LEVEL	3 BEDROOM	916 SF
UNIT D3	916 SF	1	2nd LEVEL	3 BEDROOM	916 SF
UNIT D3	916 SF	1	3rd LEVEL	3 BEDROOM	916 SF
UNIT D3	916 SF	1	4th LEVEL	3 BEDROOM	916 SF
UNIT D3: 4					3,665 SF
UNIT D4	1110 SF	1	2nd LEVEL	3 BEDROOM	1,110 SF
UNIT D4	1110 SF	1	3rd LEVEL	3 BEDROOM	1,110 SF
UNIT D4	1110 SF	1	4th LEVEL	3 BEDROOM	1,110 SF
UNIT D4: 3					3,329 SF
UNIT D6	979 SF	1	3rd LEVEL	3 BEDROOM	979 SF
UNIT D6	979 SF	1	4th LEVEL	3 BEDROOM	979 SF
UNIT D6: 2					1,959 SF
UNIT TOTALS: 70					51,334 SF

0.5. parking

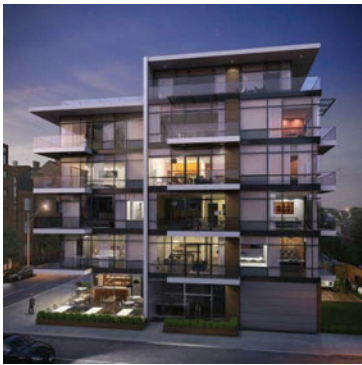
REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL	TOTALS
DWELLING UNIT VISITOR	70	*1.2	84	
BARRIER FREE (DWELLING UNITS)	51-100	1 VAN-ACCESSIBLE/1...		
BARRIER FREE (VISITOR)	11-50	1 VAN-ACCESSIBLE		
TOTAL STALLS			105	105 REQUIRED
ELECTRIC STALLS	105 STALLS	*0.1	11	11 EV
OFF STREET LOADING				1 REQUIRED
PROVIDED				
TENANT (P1 FLOOR)	SMALL CAR	BARRIER FREE	EV	TOTAL
TENANT (P2 FLOOR)	17	0	0	36
TENANT (P3 FLOOR)	17	1 VAN / 1...	11	37
VISITOR (P2 FLOOR)	3	0	0	25
VISITOR (P2 FLOOR)	8	1 VAN-ACCESSIBLE	1	25
TOTAL STALLS	45	3	12	123 PROVIDED
OFF STREET LOADING				1 PROVIDED
BIKE PARKING REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL	
BIKE STALLS CLASS I	70	*1	70	
BIKE STALLS CLASS II	70	*0.2	14	
TOTAL STALLS			84	84 REQUIRED
BIKE PARKING PROVIDED				
BIKE STALLS CLASS I				81
BIKE STALLS CLASS II				18
TOTAL STALLS				99 PROVIDED

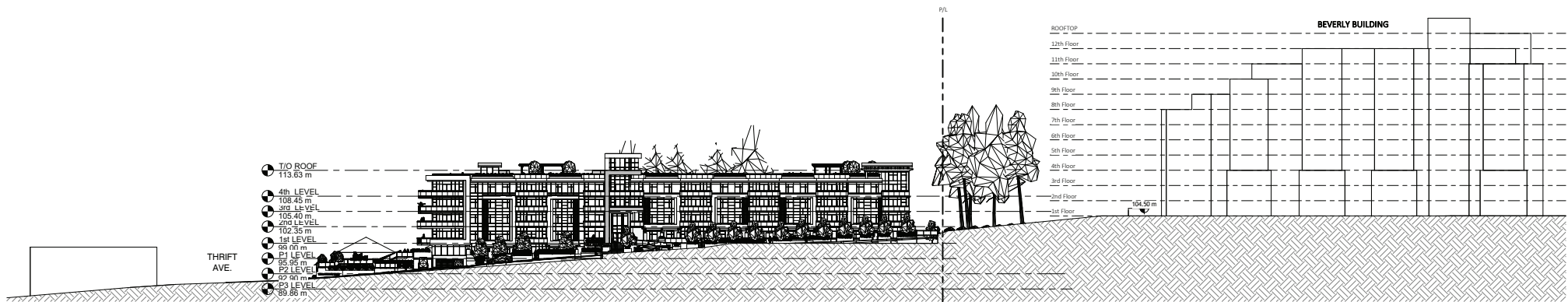
NOTE 1: NI = NOT INCLUDED IN TOTALS
NOTE 2: 1 BIKE LOCKER PER UNIT CAN BE CONVERTED INTO REGULAR STORAGE

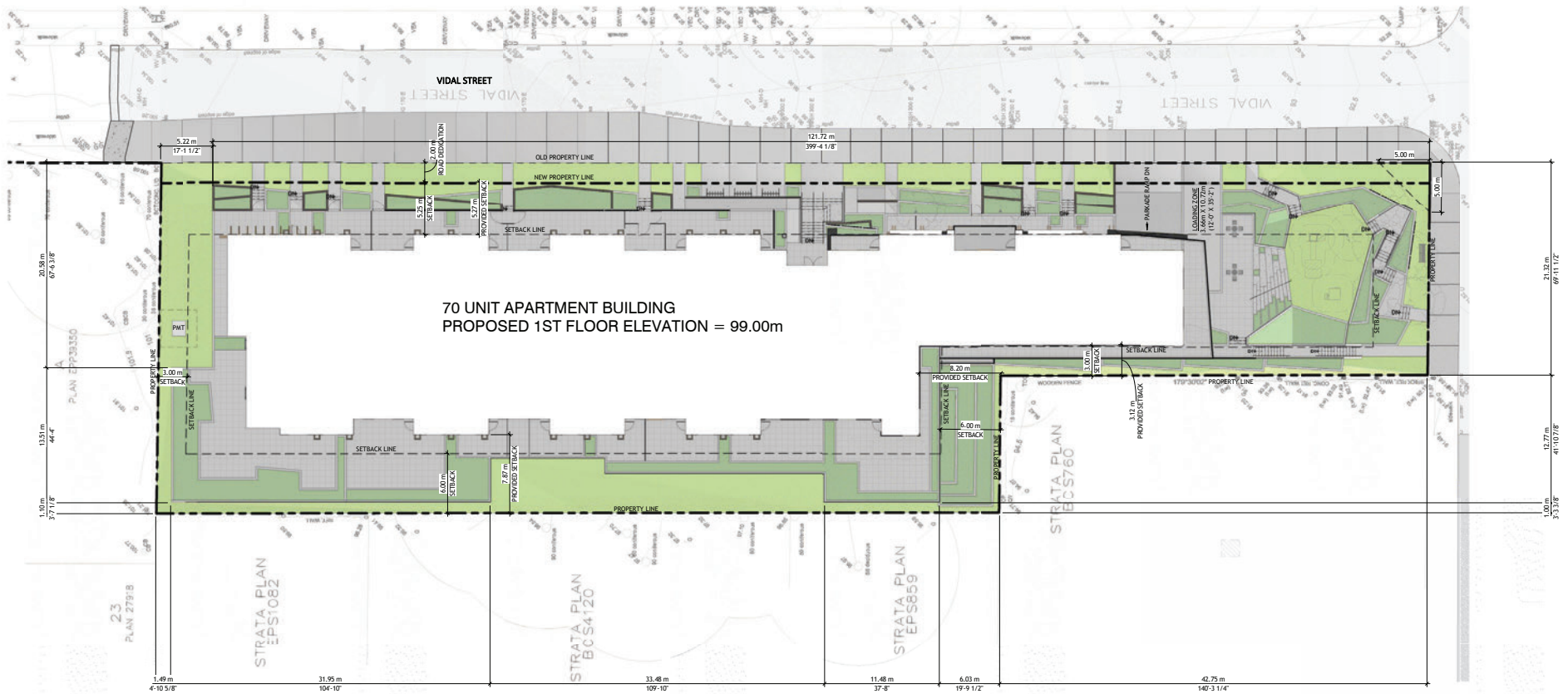
0.6. unit count

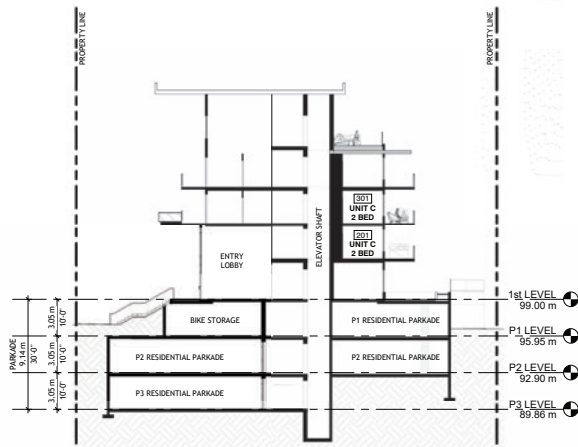
RESIDENTIAL	UNIT #	UNIT %
3 BED	20	28.6%
2 BED	25	35.7%
1 BED	25	35.7%
TOTAL UNITS	70	

NOTE:
 • NO CURRENT STEP CODE REQUIREMENTS FOR CITY OF WHITE ROCK
 • INTENT FOR PROPOSED CONSTRUCTION TO MEET STEP 2 EQUIVALENCY
 • WOOD FRAME THERMAL PERFORMANCE BETTER THAN STEEL OR CONCRETE
 • DEVELOPER IS AWARE OF THE IMPORTANCE OF ENERGY EFFICIENCY IN THE CURRENT MARKET



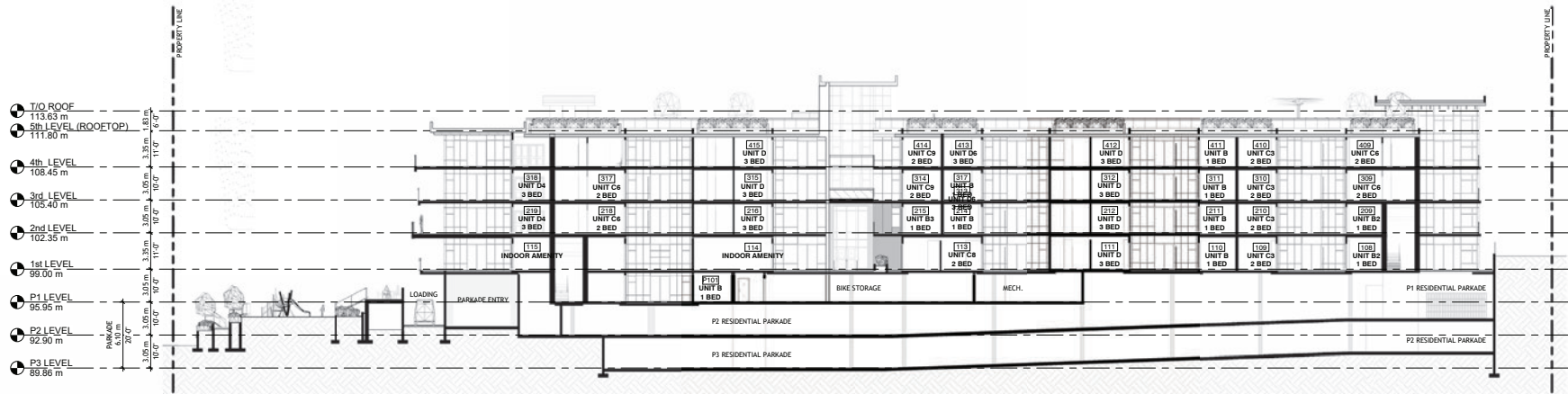






site section a

1/16" = 1'-0"



site section b

1/16" = 1'-0"



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VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

SITE SECTIONS

SCALE: 1/16" = 1'-0"

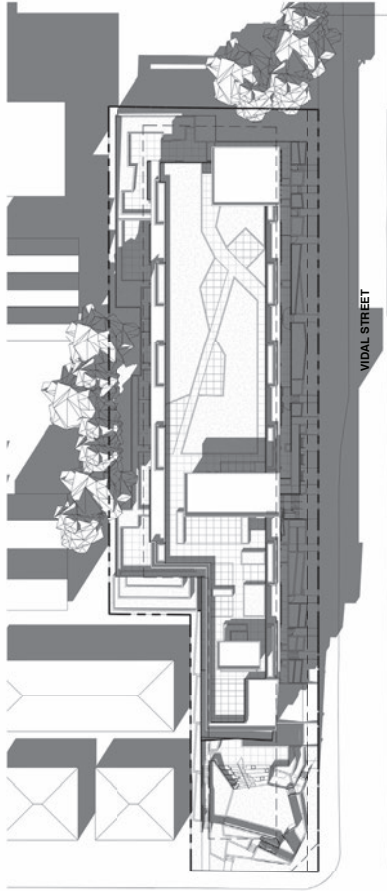
RE-ISSUED FOR DP

06/15/22 REVISION #:

PROJECT NUMBER: 17-170



SD1.21

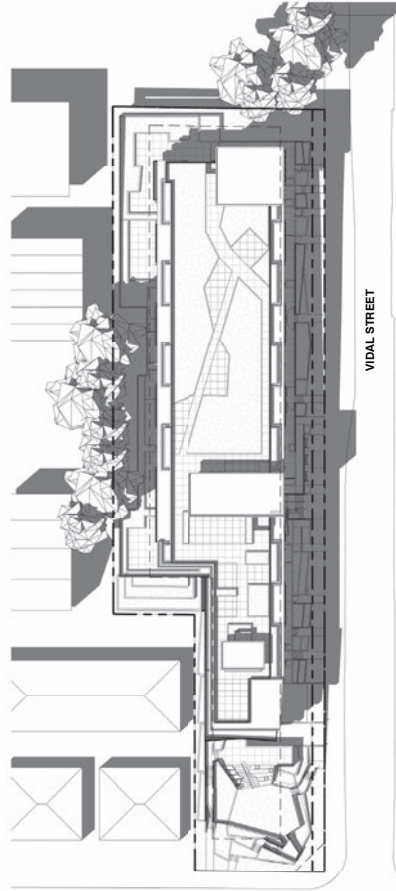


VIDAL STREET

THRIFT AVENUE

march 21 - 3pm

1/32" = 1'-0"

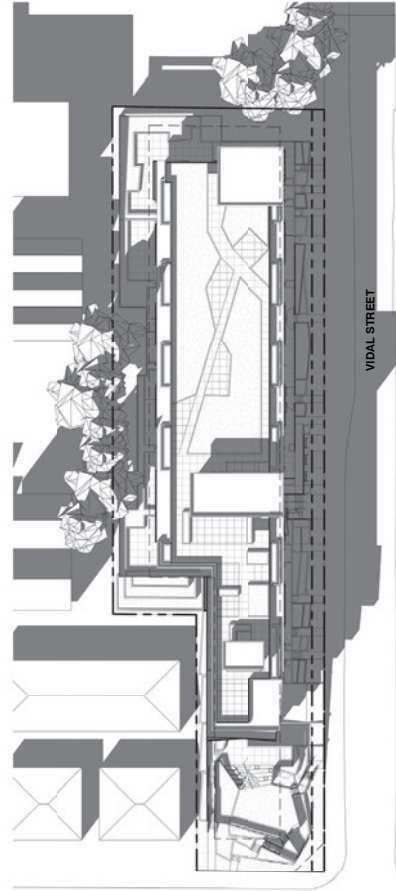


VIDAL STREET

THRIFT AVENUE

june 21 - 3pm

1/32" = 1'-0"

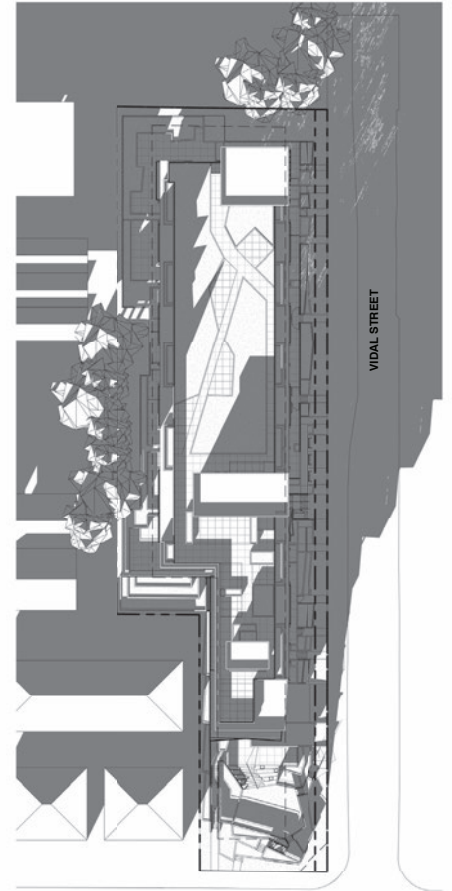


VIDAL STREET

THRIFT AVENUE

september 21 - 3pm

1/32" = 1'-0"



VIDAL STREET

THRIFT AVENUE

december 21 - 2pm

1/32" = 1'-0"



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VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

SHADOW STUDY

SCALE: 1/32" = 1'-0"



RE-ISSUED FOR DP

06/15/22 REVISION #:

PROJECT NUMBER: 17-170



SD1.30





VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

ENTRY PERSPECTIVE

SCALE: N.T.S.

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PROJECT NUMBER: 17-170



SD1.36



VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

STREETSCAPE PERSPECTIVE

SCALE: N.T.S.

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PROJECT NUMBER: 17-170



SD1.37



roof deck - plaza & elevator lobby



roof deck - trellis seating area & picnic area



roof deck - green roof & plaza



ground level greenspace - street view



ground level greenspace - aerial view



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VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

NEIGHBOURHOOD AERIAL

SCALE: N.T.S.

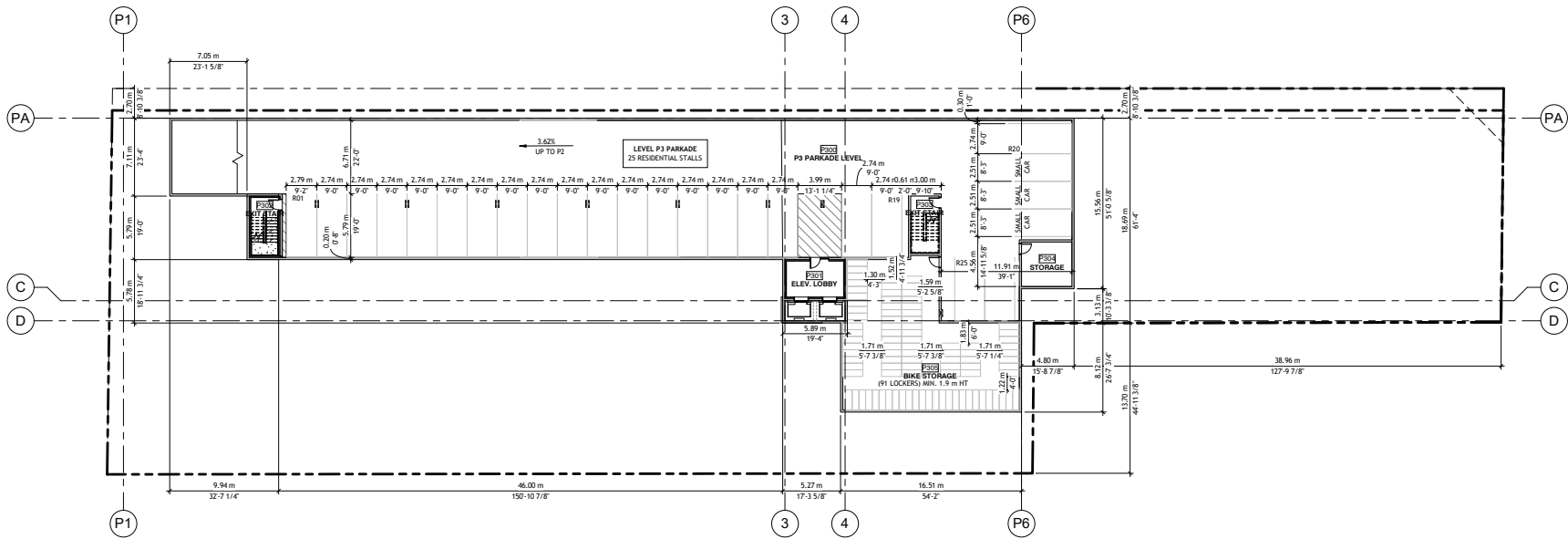
RE-ISSUED FOR DP

06/15/22 REVISION #:

PROJECT NUMBER: 17-170



SD1.39



VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

P3 LEVEL PLAN

SCALE: 1/16" = 1'-0"



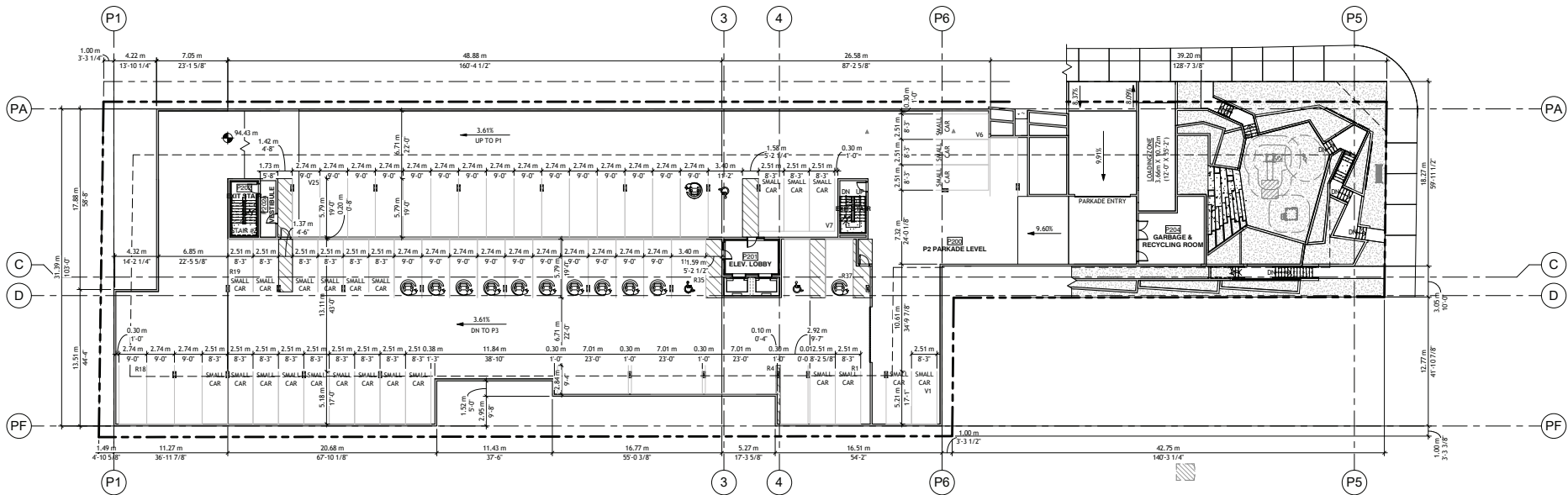
RE-ISSUED FOR DP

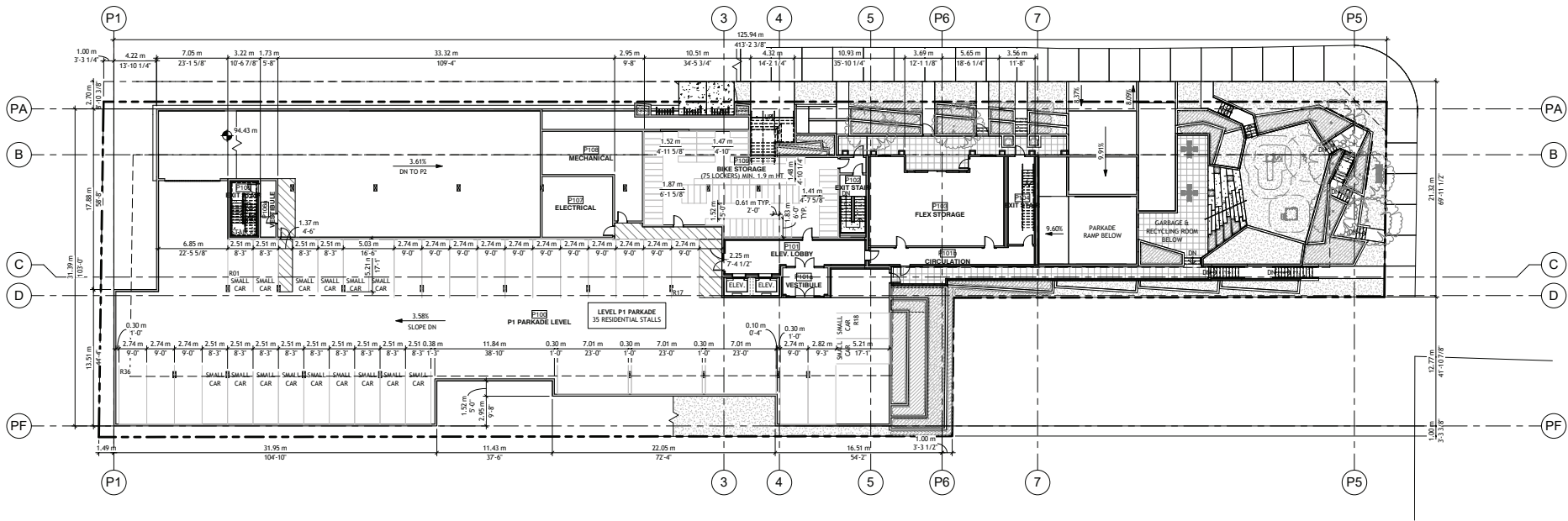
06/15/22 REVISION #:

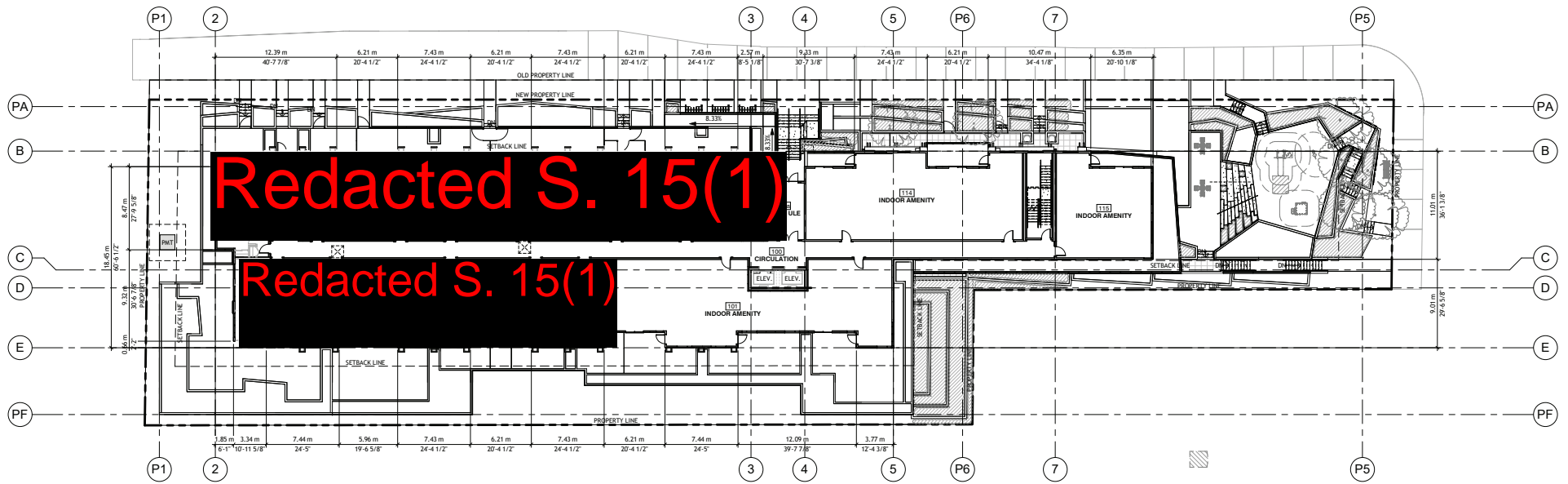
PROJECT NUMBER: 17-170



SD3.01







VIDAL STREET DEVELOPMENT
 VIDAL STREET, WHITE ROCK, B.C.

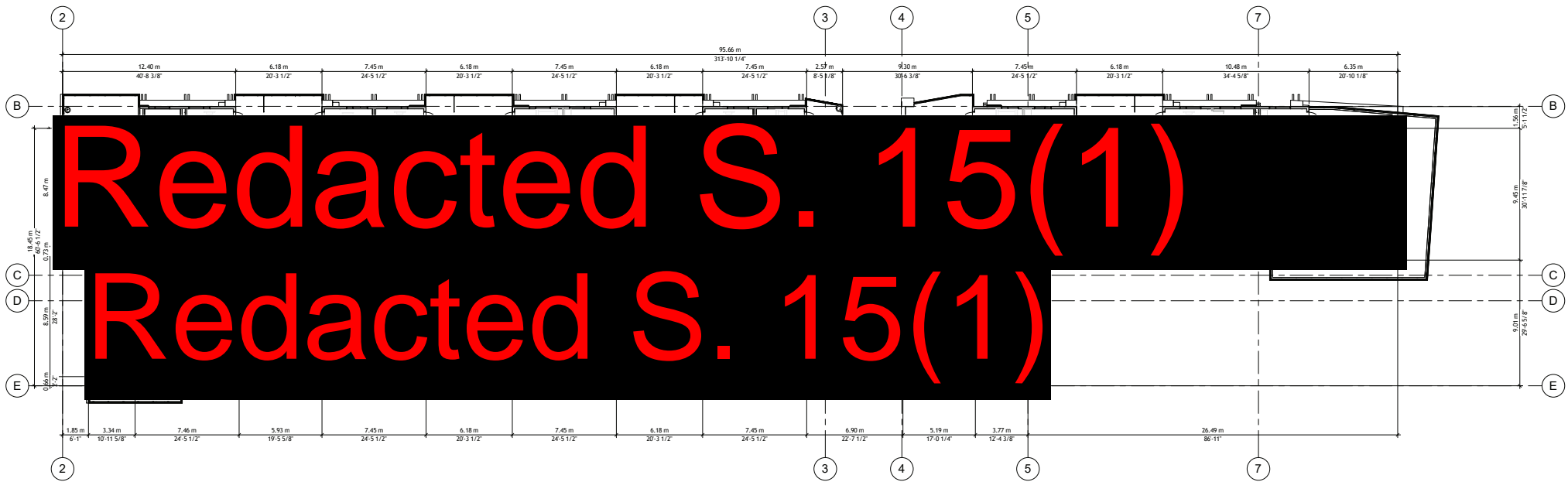
1ST LEVEL PLAN
 SCALE: 1/16" = 1'-0"

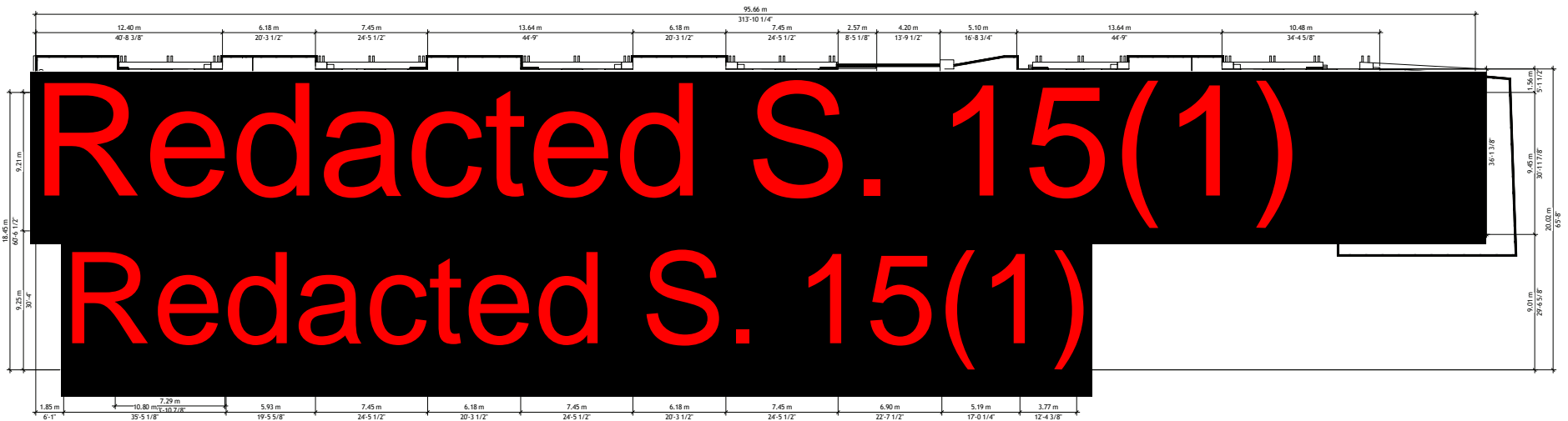


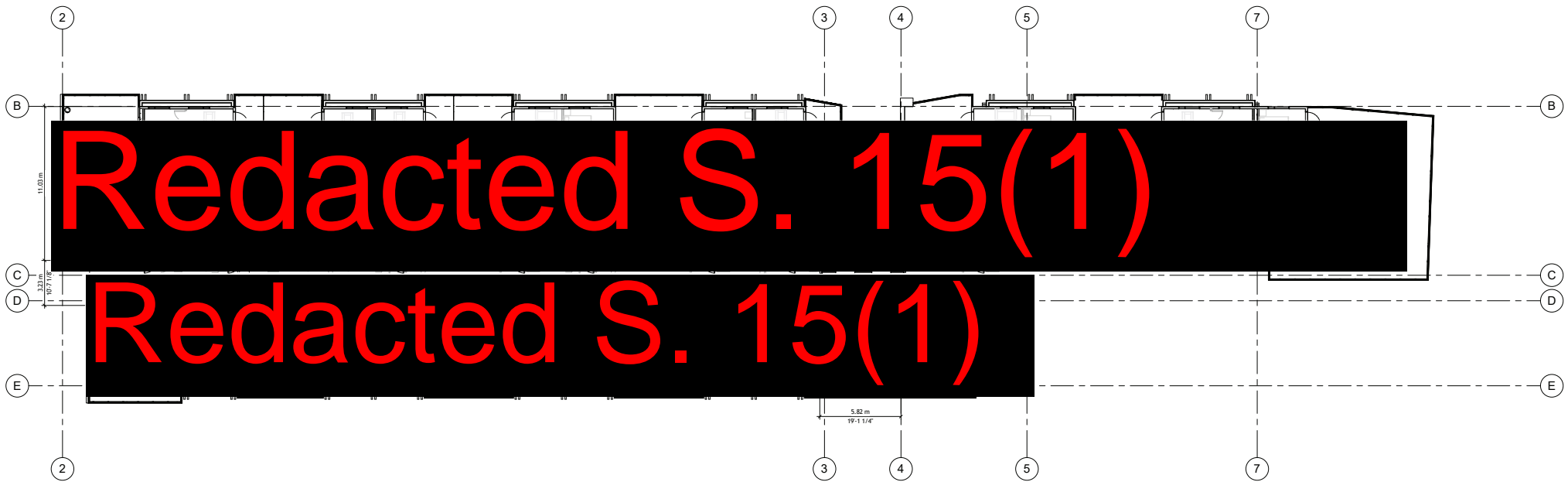
RE-ISSUED FOR DP
 06/15/22 REVISION #:
 PROJECT NUMBER: 17-170

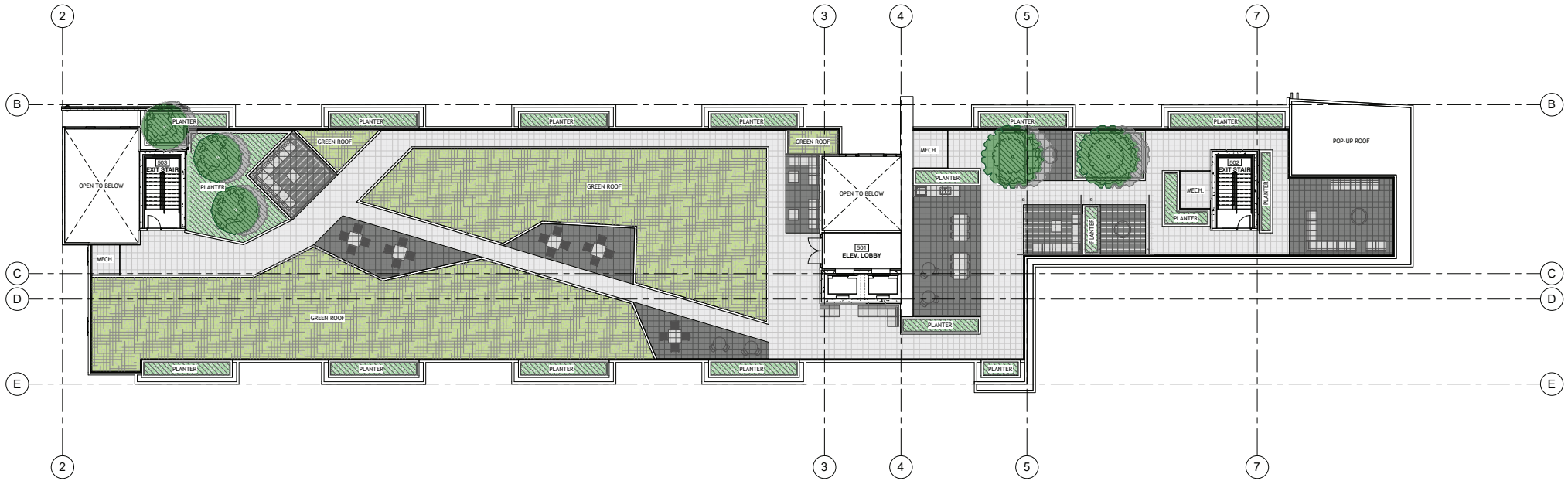


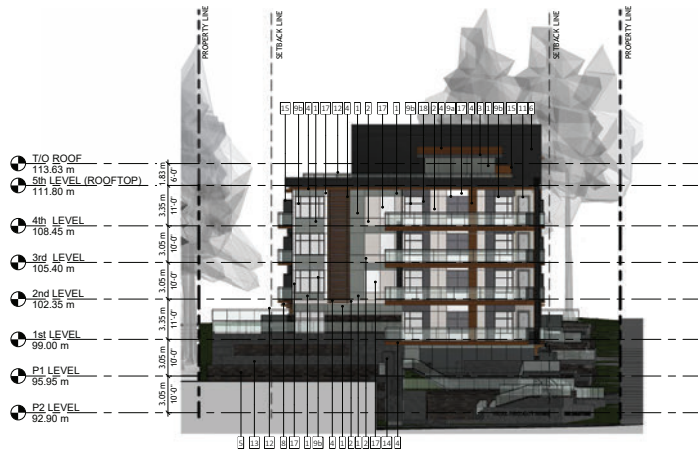
SD3.04











south elevation (facing Thrift Ave.)

1/16" = 1'-0"

MATERIAL LEGEND	
1	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE: COLOUR: NIGHT GRAY (REVEAL COLOUR: CHARCOAL)
2	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE: COLOUR: PEARL GRAY (REVEAL COLOUR: VSM BONE WHITE)
3	HARDIE TRIM/FASCIA BOARD (SMOOTH): - JAMES HARDIE: COLOUR: MIDNIGHT BLACK
4	ALUMINUM SOFFIT/CLADDING (6" CHANNEL/WOODGRAIN) - LONGBOARD: COLOUR: DARK NATIONAL WALNUT
5	NATURAL STONE VENEER: - COLOUR: WESTCOAST LEDGESTONE
6	ALUMINUM FACED COMPOSITE PANEL: - ARCHITECTURAL PANEL SYSTEM, COLOUR: CLASSIC BLACK
7	ALUMINUM FACED COMPOSITE PANEL: - ARCHITECTURAL PANEL SYSTEM, COLOUR: CHARCOAL
8	STAINED COMBED FACE LUMBER: - COLOUR: CEDAR
9	WINDOW ALUMINUM: - COLOUR: (a) CLEAR ANODIZED (b) DARK GRAY
10	SLIDING PATIO DOOR ALUMINUM: - COLOUR: CLEAR ANODIZED
11	SWING PATIO DOOR ALUMINUM: - COLOUR: CLEAR ANODIZED
12	ALUMINUM BALCONY RAILING: - COLOUR: BLACK
13	CONCRETE WALL: - COLOUR: CLEAR SEALER
14	EXTERIOR METAL DOOR: - BENJAMIN MOORE, COLOUR: GRAY
15	PRIVACY SCREEN: - FRAME COLOUR: BLACK
16	NATURAL STONE VENEER: - STONE PANEL, COLOUR: HEARTHSTONE - BLACK RUNDLE
17	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE: COLOUR: ARCTIC WHITE (REVEAL COLOUR: VSM POLAR WHITE)
18	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE: COLOUR: ANCHOR BLACK (REVEAL COLOUR: VSM BLACK)



east elevation (facing Vidal St.)

1/16" = 1'-0"



VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

BUILDING ELEVATIONS

SCALE: As indicated

RE-ISSUED FOR DP

06/15/22 REVISION #:

PROJECT NUMBER: 17-170



SD4.01



north elevation (facing highrise)

1/16" = 1'-0"



west elevation (facing townhouses)

1/16" = 1'-0"

MATERIAL LEGEND

- | | |
|----|--|
| 1 | CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS):
- JAMES HARDIE: COLOUR: NIGHT GRAY (REVEAL COLOUR: CHARCOAL) |
| 2 | CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS):
- JAMES HARDIE: COLOUR: PEARL GRAY (REVEAL COLOUR: VSM BONE WHITE) |
| 3 | HARDIE TRIM/FASCIA BOARD (SMOOTH):
- JAMES HARDIE: COLOUR: MIDNIGHT BLACK |
| 4 | ALUMINUM SOFFIT/CLADDING (6" CHANNEL/WOODGRAIN)
- LONGOARDS: COLOUR: DARK NATIONAL WALNUT |
| 5 | NATURAL STONE VENEER:
- COLOUR: WESTCOAST LEDGESTONE |
| 6 | ALUMINUM FACED COMPOSITE PANEL:
- ARCHITECTURAL PANEL SYSTEM, COLOUR: CLASSIC BLACK |
| 7 | ALUMINUM FACED COMPOSITE PANEL:
- ARCHITECTURAL PANEL SYSTEM, COLOUR: CHARCOAL |
| 8 | STAINED COMBED FACE LUMBER:
- COLOUR: CEDAR |
| 9 | WINDOW ALUMINUM:
- COLOUR: (a) CLEAR ANNOXIDIZED (b) DARK GRAY |
| 10 | SLIDING PATIO DOOR ALUMINUM:
- COLOUR: CLEAR ANNOXIDIZED |
| 11 | SWING PATIO DOOR ALUMINUM:
- COLOUR: CLEAR ANNOXIDIZED |
| 12 | ALUMINUM BALCONY RAILING:
- COLOUR: BLACK |
| 13 | CONCRETE WALL:
- COLOUR: CLEAR SEALER |
| 14 | EXTERIOR METAL DOOR:
- BENJAMIN MOORE, COLOUR: GRAY |
| 15 | PRIVACY SCREENS:
- FRAME COLOUR: BLACK |
| 16 | NATURAL STONE VENEER:
- STONE PANEL: COLOUR: HEARTHSTONE - BLACK RUNDLE |
| 17 | CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS):
- JAMES HARDIE: COLOUR: ARCTIC WHITE (REVEAL COLOUR: VSM POLAR WHITE) |
| 18 | CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS):
- JAMES HARDIE: COLOUR: ANCHOR BLACK (REVEAL COLOUR: VSM BLACK) |



east perspective elevation



west perspective elevation



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VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

PERSPECTIVE ELEVATIONS

SCALE: N.T.S.

RE-ISSUED FOR DP

06/15/22 REVISION #:

PROJECT NUMBER: 17-170



SD4.03



south perspective elevation



north perspective elevation

June 23, 2022

File: 17-170

Anne Berry
MCIP RPP, Director Planning & Development Services
City of White Rock
15322 Buena Vista Avenue,
White Rock, BC V4B 1Y6

RE: 14937 Thrift Ave. & 1441, 1443-45 & 1465 Vidal St. (White Rock Application No: 19-011)

Please see below for a summary of the design changes made to the drawings to reduce the FAR from 1.66 as shown on the submission drawings dated June 2, 2022, to 1.50 as shown on the submission drawings dated June 15, 2022.

Summary of changes:

- Unit Count reduced from 79 units to 70 units
 - Level P1 – 2 units removed and replaced with flex storage
 - Level L1 - 7 units removed and replaced with indoor amenity
- Indoor amenity and Flex storage spaces not added to the FSR calculation

Further to those latest changes, please note the following list of changes that were previously incorporated into the June 2, 2022 resubmission drawings:

- Weststone has opted for the 4-storey option with a rooftop amenity that will soften the overall view from the Beverly and the Townhouses to the North. In looking at the trees etc., as part of the development residents of the Beverly on the lower floors will not see the building at all, and if they were to get a glimpse it would be of the landscaped rooftop amenity.
- The building has continued to be cut back on the west with the significant addition of the “community greenspace” on the west side.
- Weststone has decided to make the project 100% rental in order to make the Performa work, and this also fits the City’s desire for more rental.
- Building Height: 4.5 storeys (Partial P1 Level)
- Gross Floor Area: ± 68,100 SF
 - Ground Level Greenspace: ±4,500 SF
 - Rooftop Outdoor Amenity: ±10,610 SF
- FSR: 1.63

KEYSTONE ARCHITECTURE & PLANNING LTD

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Steven Bartok Architect AIBC AAA MRPAIC Principal | Lukas Wykypis Architectural Technologist AIBC Principal
ABBOTSFORD BC | 300 – 33131 South Fraser Way V2S 2B1 | Phone 604 850 0577

CALGARY AB | 410 – 333 1st Avenue SW T2R 1L9 | Phone 587 391 4768

Fax 1 855 398 4578 | mail@keystonearch.ca | keystonearch.ca

- Unit Mix:
 - 3 Bed: 22 units (27.50%)
 - 2 Bed: 29 units (37.25%)
 - 1 Bed: 28 units (35.25%)
 - Total: 79 units
- Parking:
 - 98 Residential Stalls
 - 25 Visitor Stalls
 - 123 Total Stalls

Sincerely,

Lukas Wykpiś



Keystone Architecture & Planning Ltd.

Project Director | Principal

KEYSTONE ARCHITECTURE & PLANNING LTD

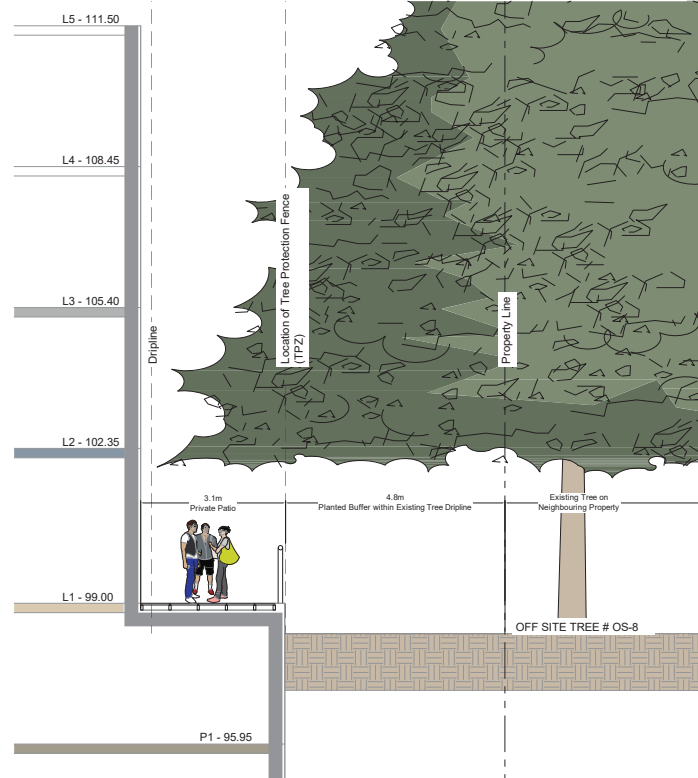
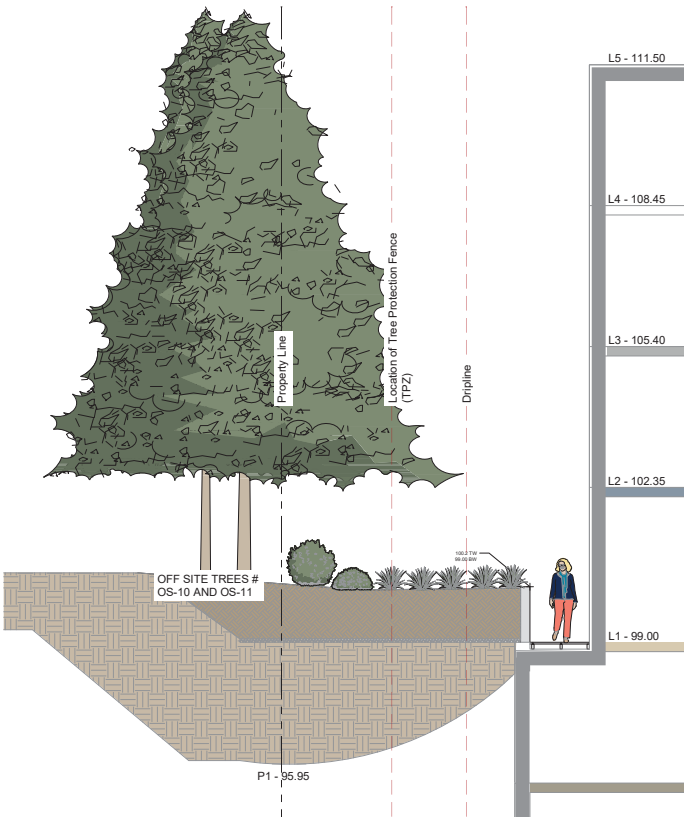
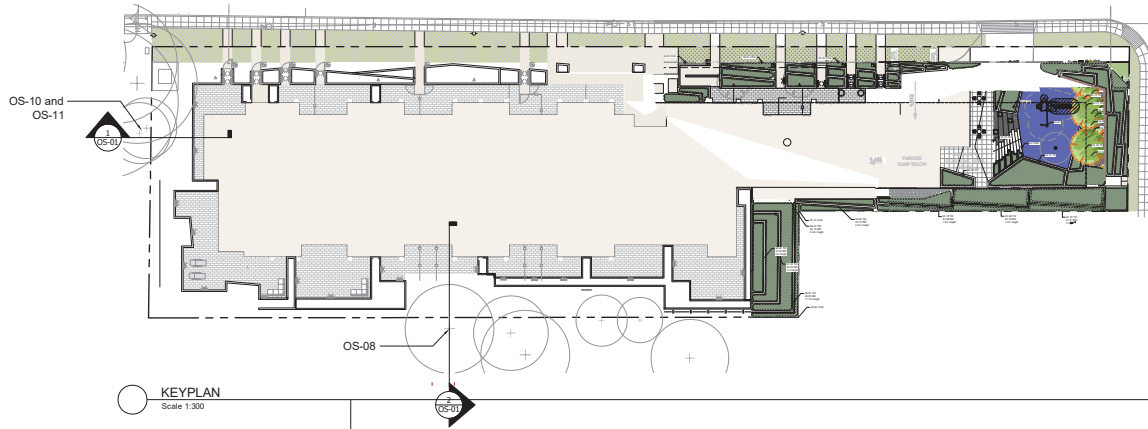
Eric Poxleitner Architect AIBC AAA MRPAIC LEED® AP BD+C Sr. Principal

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No.	By	Description	Date
13	SH	Issued for Planning Review	May 31, 2022
11	SH	Issued for DP	Oct 18, 2021
10	SH	Response to ADP Comments	July 23, 2021
9	ST	Revised for ADP	June 4, 2021
8	LJ	Issued for ADP	March 9, 2021
7	SH	Issued for Coordination	Feb. 26, 2021
6	SH	Issued for Coordination	Dec. 23, 2020
5	SH	Issued for Coordination	Oct. 6, 2020
4	SH	Issued for DP	June 25, 2020
3	SH	Issued for DP	March 6, 2020
2	SH	Issued for DP	May 24, 2019
1	JW	Issued for DP Review	Nov 16, 2018

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
1	SH	Arboret Response	Sept. 26, 2022

REVISIONS TABLE FOR SHEET

Project:
Vidal Street Development

Location:
Vidal Street & Thrift Ave,
White Rock, BC

Drawn: DV

Stamp:

Checked: SH

Approved: GR

Original Sheet Size: 24"x36"

Scale: 1:50

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. THE EXCLUSIVE PROPERTY OF THE OWNER AND IT SHALL BE RETURNED AT THE CONCLUSION OF THE WORK. ALL REVISIONS OR AMENDMENTS TO THIS DRAWING MUST BE IN WRITING AND COORDINATED WITH THE CONSULTANT FOR THEIR COORDINATION.



11 July 2022

PROJECT: VIDAL STREET DEVELOPMENT

SITE ADDRESS: 14937 Thrift Ave & 1441/1443-45/1465 Vidal Street, White Rock, BC

CLIENT: WESTSTONE GROUP
10090 152ND St.
Surrey, BC, V3R 8X8

VDZ PROJECT # DP2018-59

SITE REVIEW DATE(s): October 16, 2018
September 15, 2020
July 8, 2022

PREPARED BY: VDZ+A Consulting Ltd.
102 – 355 Kingsway
Vancouver, BC
V5T 3J7

PROJECT ARBORIST: D. Glyn Romaine
ISA Certified Arborist PN 7929A
TRAQ

FORMER PROJECT ARBORIST: KELLY KOOME
ISA Certified Arborist PN 5962A
ISA Tree Risk Assessment Qualified Certified
Wildlife Danger Tree Assessor #P2546

Original Report November 5, 2018
Revision 1 May 8, 2019
Revision 2 September 23, 2020 – A.L.
Revision 3 July 11, 2022 – D.G.R. - Updated Survey.



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INTRODUCTION

ASSIGNMENT

VDZ + A Consulting Inc. (VDZ) have been retained by the client to prepare an arborist report to assess the tree(s) located at 14937 Thrift Avenue & 1441 / 1443-45 / 1465 Vidal Street, White Rock, BC. VDZ arborists performed site reviews entailing identification and visual assessment of the tree(s) on-site. A tree survey of all off-site trees was completed by the client or representative(s).

The Project Arborist will provide recommendations for the retention of tree(s) based on the existing site conditions and the proposed use of the site. Mitigation of development impact on the tree(s) has been considered as part of the tree assessment process.

LIMITS OF THE ASSIGNMENT

VDZ's observations were limited to site visits on October 16, 2018, September 15, 2020, and July 8, 2022. No tissue or soil samples were sent to a lab for identification or analysis. VDZ + A Consulting Inc. located the trees using existing landmarks and onsite navigation.

TESTING AND ANALYSIS

VDZ arborists used visual tree assessment and mallet sounding to test the trees' health, condition, and risk level.

PURPOSE AND USE OF REPORT

The purpose of this report is to assist the property owner in compliance with the White Rock Tree Protection Bylaw, 2021 No. 2407.

SITE DESCRIPTION



SITE REVIEW



Fig. 1 – Aerial view of property (WROMS)

PROPOSED SITE DEVELOPMENT

The demolition of existing structure and the development of midrise multi-family residential building.

ENVIRONMENTAL DESCRIPTION

ISA Certified Arborist Austin Peterson of VDZ + A Consulting Inc. conducted a site review and evaluation of the trees located at the above referenced property on October 16, 2018. A site review was also conducted September 15th, 2020 by Kelly Koome and on July 8, 2022 by Glyn Romaine

The site consists of four residential lots, three of which have existing houses. All four lots have established landscapes composed of mature trees and shrubs. The southernmost lot is a single-



family residential home that fronts onto Thrift Avenue. It is joined via the north property line to the first three lots proceeding up the west side of Vidal Street. From Thrift Avenue, Vidal Street inclines north. To the west lay an assortment of low-rise multifamily residences and to the north is a newer high-rise development.

There are no seasonal creeks that transect the property.

There is no evidence of raptors nests, osprey nests or heron colonies on the site. Removal of trees however between March 15 – August 15 (date subject to change depending on seasonal nesting behavior and therefore must be confirmed with City of Maple Ridge) will require a bird nesting survey. This is as prescribed by the federal Migratory Birds Convention Act (MBCA), 1994 and Section 34 of the BC Wildlife Act. It is the responsibility of the owner/developer to ensure they are in compliance with the city's regulations governing nesting birds on sites where development is occurring.

Off-site Trees – There are private off-site trees associated with this project.

Municipal Trees – There are City of White Rock trees associated with this project.

Trees Straddling the Property Line – There are trees straddling the property line associated with this project

TREE PRESERVATION SUMMARY

All the Trees identified on the Tree Retention/Removal Plan and within the Tree Assessment Data Table have been given their Retention/Removal recommendation on a preliminary basis. Final recommendations will be based upon design/construction and grading details.

Long-term tree preservation success is dependent on minimizing the impact caused during pre-construction clearing operations, construction, and post construction activities. Best efforts must be made to ensure the Tree Protection Zone remains undisturbed.

Ongoing monitoring of retained trees through the development process and implementation of mitigating works (watering, mulching, etc.) is essential for success. Once excavation starts, the consulting arborist needs to be contacted to monitor the work that is done near the trees.

TREE HEALTH CARE PLAN DURING CONSTRUCTION

To ensure continued health of the protected trees during construction, the following is recommended:

1. Remove dead, dying, and diseased branches prior to the start of construction.
2. Install tree protection barriers per bylaw specifications.



3. Regular weekly watering of trees between June 1 – October 1.
4. Application of wood chips within the tree protection zone (1-3 inches).
5. Monthly monitoring of protected trees by assigned Arborist.

Retained protected trees will require supplemental watering on a weekly basis (weather dependent), as well as the application of wood chips or mulch to the tree protection zone within the tree protection barriers. Wood chips are preferred to ensure porous movement through soil and protection from compaction during construction. The mulch or wood chip height should not exceed the root collar (not to exceed 10cm) to avoid moisture retention concentrated on the stem. In addition to the City's requirements, recommendations include the pruning of dead or dying limbs, if applicable, prior to construction for worker safety, as well as monthly monitoring of the trees by an Arborist to ensure the health and well-being of the protected trees.

As there are off-site trees with driplines that extend into the subject property, there may be interconnected root systems within the grouping (OS9-OS11) which likely extend onto the property. BC Plant Health Care Root Radar results determined the roots of tree 06 has poor structure and multiple trunks with decay. In addition, OS2-OS6 have feeder or structural roots which grow towards the property. Any work done within the critical root zone will need to be monitored by the arborist. Any retention wall should be maintained to avoid root disruption and destabilization.

SUMMARY OF FINDINGS

- Tree 03, grows adjacent to foundation of the existing house
- Tree 04, noticeable pruning completed prior to visit. Potentially for utility clearance.
- Tree 06 noticeable decay on single stem of the multi-stemmed tree.
- OS 02-OS 08, dripline extends to/over subject property line. Root radar used to assess root systems. Will need an arborist present to monitor excavation on the property line, and during installation of the proposed retaining wall / landscape features.
- Tree 05 suffered a failed limb prior to September 15th, 2020 visit.
- Tree protection fencing requires repairs and placing for all protected trees prior to any land clearing activities.
- Knotweed was observed at 1441 Vidal. This should be managed, and all plant parts must be disposed of separately.
- Significant amount of Scots broom onsite – to be kept separate from other vegetation debris upon removal.
- Hypodermic needles were observed at 1445 Vidal.



TABLE 1

TREE #	TAG #	COMMON NAME <i>BOTANICAL NAME</i>	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
Comments written for 376 and OS2-OS8, in italics, have been transferred from the BC Plant Health Care Inc. Arborist Report for Tree Root Mapping, dated March 18, 2019.								
The following trees are located on 14937 Thrift Avenue.								
01	370	English holly <i>Ilex aquifolium</i>	Yes	-	-	-	Listed as an invasive species by City of White Rock. Dash ("-") indicates the arborist was not required to measure this species. WITHIN BUILDING FOOTPRINT	Remove
02	371	English holly <i>Ilex aquifolium</i>	Yes	-	-	-	Listed as an invasive species by City of White Rock. Dash ("-") indicates the arborist was not required to measure this species. WITHIN BUILDING FOOTPRINT	Remove
The following trees are located on 1441 Vidal Street.								
03	373	Threadleaf false-cypress <i>Chamaecyparis pisifera</i> 'Filifera'	Yes	54 (17,18,19)	3.0	60	Fair form and structure. TRUNK – Growing directly adjacent to the foundation of the existing house. WITHIN BUILDING FOOTPRINT	Remove
The following trees are located on 1465 Vidal Street.								
04	374	Crimson King Norway maple <i>Acer platanoides</i> 'Crimson King'	Yes	44	5.1	80	DBH measured at 1 m. Fair form and structure. CROWN – Previously side pruned for utility line clearance. Previously topped. WITHIN PARKADE FOOTPRINT	Remove



TREE #	TAG #	COMMON NAME <i>BOTANICAL NAME</i>	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
05	375	Common lilac <i>Syringa vulgaris</i>	No	31 (10,10,11)	3.0	30	HANDPLOTTED Poor form and structure. TRUNK – Multi-stem from base. Single limb failure since original visit. WITHIN PARKADE FOOTPRINT	Remove
06	376	Red alder <i>Alnus rubra</i>	Yes	114 (42,41,31)	9.4	80	Fair form and structure. TRUNK – 3stems from base. Decay present in one stem (0.5 meters in length). Rope girdling eastern trunk, previous tear-out on western trunk. Natural lean east. <i>BC Plant Health Care root radar results: Poor structure with multiple trunks and decay. Conflict with proposed development.</i> WITHIN PARKADE FOOTPRINT	Remove
07	377	Flowering plum <i>Prunus cerasifera</i>	No	62 (15,18,29)	5.8	80	HANDPLOTTED Fair form and structure. CROWN: Heavy ivy up trunk into crown. Some dieback at branch ends. WITHIN PARKADE FOOTPRINT	Remove
08	378	Mountain ash <i>Sorbus aucuparia</i>	No	38 (11,12,15)	4.5	80	HANDPLOTTED Fair form and structure. CROWN: Heavy ivy up trunk into crown. Some dieback at branch ends. WITHIN BUILDING FOOTPRINT	Remove



TREE #	TAG #	COMMON NAME <i>BOTANICAL NAME</i>	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
09	379	Japanese maple <i>Acer palmatum</i>	No	36 (10, 13, 13)	5.6	75	HANDPLOTTED Fair form and structure. TRUNK: Ivy up trunk. WITHIN LIKELY EXCAVATION ZONE	Remove
10	380	Mountain ash <i>Sorbus aucuparia</i>	No	37 (11, 13, 13)	4.5	40	HANDPLOTTED Fair form and structure. CROWN – Shade suppressed on north and east sides. TRUNK: Ivy up trunk. WITHIN PARKADE FOOTPRINT	Remove
11	381	Vine maple <i>Acer circinatum</i>	No	51 (15, 16, 20)	4.0	80	HANDPLOTTED Fair form and structure. TRUNK: Multi-stemmed. Ivy up trunk. WITHIN LIKELY EXCAVATION ZONE	Remove
12	382	Bitter cherry <i>Prunus emarginata</i>	No	54 (16, 16, 22)	4.5	80	HANDPLOTTED Fair form and structure. Multi-stemmed. CROWN: Dieback on one stem. WITHIN LIKELY EXCAVATION ZONE	Remove
13	435	Fruiting cherry. <i>Prunus sp.</i>	No	31	4.3	50	Good form and structure TRUNK: Ivy up trunk. WITHIN LIKELY EXCAVATION ZONE	Remove



TREE #	TAG #	COMMON NAME <i>BOTANICAL NAME</i>	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
14	300	Crimson King Norway maple <i>Acer platanoides</i> 'Crimson King'	No	23	5.5	60	Good form and structure TRUNK: Ivy up trunk. WITHIN LIKELY EXCAVATION ZONE	Remove
The following trees are located offsite.								
Trees OS 1 – OS 8 were inspected visually from a distance. DBH figures have been estimated by the Project Arborist.								
OS 01	No tag	Douglas-fir <i>Pseudotsuga menziesii</i>	Yes	25	3.5	90	Good form and structure. TRUNK – Located within (0.25 meters) of retaining wall on two sides. Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.	Retain
OS 02	No tag	Paper birch <i>Betula papyrifera</i>	Yes	55	8.0	50	Good form and structure. CROWN – Dripline extends 3.0 meters onto subject property. <i>BC Plant Health Care root radar results: Feeder roots detected in the 0-20 cm depth range. The tree is about 6 meters from the proposed development. Critical Root Zone does not enter the subject lot. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall / landscape feature.</i> Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.	Retain

TREE ASSESSMENT



TREE #	TAG #	COMMON NAME BOTANICAL NAME	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
OS 03	No tag	Douglas-fir <i>Pseudotsuga menziesii</i>	Yes	95	6.0	75	<p>Good form and structure.</p> <p>OS 03 – OS 05 are part of a larger grouping of trees with approximately 6.0 meter dripline(s) that extend to subject property line.</p> <p>ROOTS – Interconnected within grouping and likely extending onto subject property.</p> <p><i>BC Plant Health Care root radar results:</i> <i>Feeder roots detected in the 0 – 20 cm depth range. The tree is about 8 meters from the proposed development. Critical Root Zone does not enter the subject lot. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall / landscape feature.</i></p> <p>Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain
OS 04	No tag	Douglas-fir <i>Pseudotsuga menziesii</i>	Yes	50	5.8	75	<p>Good form and structure.</p> <p>OS 03 – OS 05 are part of a larger grouping of trees with approximately 6.0 meter dripline(s) that extend to subject property line.</p> <p>ROOTS – Interconnected within grouping and likely extending onto subject property.</p> <p><i>BC Plant Health Care root radar results:</i> <i>Assessment blocked by a shed. Roots may grow towards the shed. About 24% of Critical Root Zone will be impacted. Retain with no cut at Property Line. Design a point-footing retaining wall with suspended beams. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall / landscape feature.</i></p> <p>Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain



TREE #	TAG #	COMMON NAME <i>BOTANICAL NAME</i>	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
OS 05	No tag	Douglas-fir <i>Pseudotsuga menziesii</i>	Yes	60	8.0	60	<p>Good form and structure. OS 03 – OS 05 are part of a larger grouping of trees with approximately 6.0 meters dripline(s) that extend to subject property line. ROOTS – Interconnected within grouping and likely extending onto subject property.</p> <p><i>BC Plant Health Care root radar results:</i> May have structural, lateral, and feeder roots growing towards the east in the 0 – 20 cm depth range. About 27% of Critical Root Zone will be impacted. Retain with no cut at Property Line. Design a point-footing retaining wall with suspended beams. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall / landscape feature.</p> <p>Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain
OS 06	No tag	Douglas-fir <i>Pseudotsuga menziesii</i>	Yes	90	8.8	75	<p>Good form and structure. CROWN – Dripline extends 3.5 meters onto subject property.</p> <p><i>BC Plant Health Care root radar results:</i> The tree is about 6 meters from the proposed development. Critical Root Zone does not enter the subject lot. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall / landscape feature.</p> <p>Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain



TREE #	TAG #	COMMON NAME <i>BOTANICAL NAME</i>	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
OS 07	No tag	Western redcedar <i>Thuja plicata</i>	Yes	60	6.2	60	<p>Good form and structure. CROWN – Dripline extends 3.8 meters onto subject property.</p> <p><i>BC Plant Health Care root radar results: May have structural, lateral, and feeder roots growing towards its southeast in the 0 – 20 cm depth range. About 6% of Critical Root Zone may be impacted. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall / landscape feature.</i></p> <p>Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain
OS 08	No tag	Douglas-fir <i>Pseudotsuga menziesii</i>	Yes	95	9.1	50	<p>Good form and structure. CROWN – Dripline extends 7.0 meters onto subject property.</p> <p><i>BC Plant Health Care root radar results: Assessment blocked by Tree 376 and shrubs. About 25% of Critical Root Zone will be impacted. Retain with no cut at Property Line. Design a point-footing retaining wall with suspended beams. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall / landscape feature.</i></p> <p>Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain
Trees OS 9 – OS 13 form the edge of a larger grouping of private off-site trees.								
OS 9	6346	Douglas-fir <i>Pseudotsuga menziesii</i>	Yes	67	6.0	50	<p>Good form and structure. TRUNK: Crook at 16 m.</p> <p>Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain



TREE #	TAG #	COMMON NAME <i>BOTANICAL NAME</i>	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
OS 10	6411	Western redcedar <i>Thuja plicata</i>	Yes	38	4.7	80	Fair form and structure. CROWN: Sheared on south side. TRUNK – Previously topped. Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.	Retain
OS 11	6336	Western redcedar <i>Thuja plicata</i>	Yes	38	4.7	80	Fair form and structure. CROWN: Sheared on south side. TRUNK – Previously topped. Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.	Retain
OS12	6332	Douglas-fir <i>Pseudotsuga menziesii</i>	Yes	41	6.9	80	Good form and structure. Crown: Previous shearing or clearance pruning on south side. Minor flagging. ROOTS: Large exposed roots. Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.	Retain
OS13	6334	Douglas-fir <i>Pseudotsuga menziesii</i>	Yes	71	7.1	80	Good form and structure. Trunk: Resinosis. Tree Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.	Retain



TREE #	TAG #	COMMON NAME <i>BOTANICAL NAME</i>	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
The following trees are straddling the City of White Rock property.								
SH 01	No tag	Common privet hedge <i>Ligustrum vulgare</i>	Yes	-	1.3	100	Height = 2.2M Shared with 14937 Thrift Ave. Indirect conflict with civil sidewalk upgrades and proposed street trees. Written permission required from City to remove.	Remove
SH 02	No tag	Boxwood hedge <i>Buxus Sempervirens</i>	Yes	-	1.0	100	Height = 2.0M Shared with 14937 Thrift Ave. Indirect conflict with civil sidewalk upgrades and proposed street trees. Written permission required from City to remove.	Remove
SH 03	No tag	Common privet hedge <i>Ligustrum vulgare</i>	Yes	-	1.5	100	Height = 2.5M Shared with 14937 Thrift Ave. Indirect conflict with civil sidewalk upgrades and proposed street trees. Written permission required from City to remove.	Remove
SH 04	No tag	English laurel <i>Prunus laurocerasus</i>	Yes	-	2.2	100	Height = 5.0M Shared with 1441 Vidal St. Indirect conflict with civil sidewalk upgrades and proposed street trees. Written permission required from City to remove.	Remove



TREE #	TAG #	COMMON NAME <i>BOTANICAL NAME</i>	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
SH 05	No tag	English laurel <i>Prunus laurocerasus</i>	Yes	-	1.8	100	Height = 3.5M Shared with 1443-45 Vidal St. Indirect conflict with civil sidewalk upgrades and proposed street trees. Written permission required from City to remove.	Remove
SH 06	372	Cherry <i>Prunus spp.</i>	Yes	59	5.5	30	Growing within the SH 04 hedge. Fair condition. CROWN: Some dieback. Shared with 1441 Vidal St. Indirect conflict with civil sidewalk upgrades and proposed street trees. Written permission required from City to remove.	Remove
The following trees belong to the City of White Rock.								
C 1	No tag	Pyramidalis hedge <i>Thuja occidentalis</i> 'Pyramidalis'	Yes	-	1.0	100	HANDPLOTTED Height = 6.0M Indirect conflict with civil sidewalk upgrades and proposed street trees. Written permission required from City to remove.	Remove
C 2	No tag	Mixed hedge	No	-	2.5	100	HANDPLOTTED Height = 6.0M Indirect conflict with civil sidewalk upgrades and proposed street trees. Written permission required from City to remove.	Remove



TREE REPLACEMENT SUMMARY

Onsite & Straddling:

Size	To be Removed	Replacement Trees Required
Undersized (<20cm dbh), (hedges, invasive holly)	5	0
≤ 50cm dbh	7	14
51-65cm dbh	5	15
66-75cm dbh	0	0
76-85cm dbh	0	0
>85cm dbh	1	6
Total	20	35

Offsite City:

Size	To be Removed	Replacement Trees
(<30cm dbh) (hedges)	2	0
≤ 50cm dbh	0	0
51-65cm dbh	0	0
66-75cm dbh	0	0
76-85cm dbh	0	0
>85cm dbh	0	0
Total	2	0

TREE PROTECTION AND REPLACEMENT SECURITIES

Tree Protection securities:

Size of Tree Retained	Securities
Dbh ≤ 50cm	\$3,000.00 per retained tree
Dbh of 51-65cm	\$4,500.00 per retained tree
Dbh > 65cm	\$10,000 per retained tree

Tree Replacement securities:

Size Tree Removed*	Replacement Ratio	Securities / Cash-in-lieu (\$1,500 per replacement tree)
≤ 50cm dbh	2:1	\$3,000
51-65cm dbh	3:1	\$4,500
66-75cm dbh	4:1	\$6,000
76-85cm dbh	5:1	\$7,500
>85cm dbh	6:1	\$9,000

PHOTOS



Fig. 2 - View facing south along Vidal Street to Thrift Avenue.



Fig. 3 - Off-site Douglas-fir tree

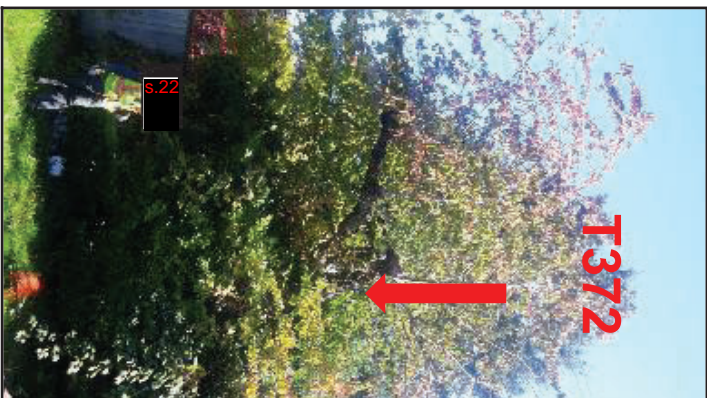


Fig. 4 - Tree 03 growing within S4



Fig. 5 - View of Trees OS2 – OS8



Fig. 6 – Stand of off-site conifers located directly west of 1441/1443-45/1465 Vidal Street.



Fig. 7 – View facing north/northwest. OS 9 – OS 11 make up part of the edge of a larger grouping of conifers.



Fig. 8 – Alternate view of Trees OS 9 – OS 11

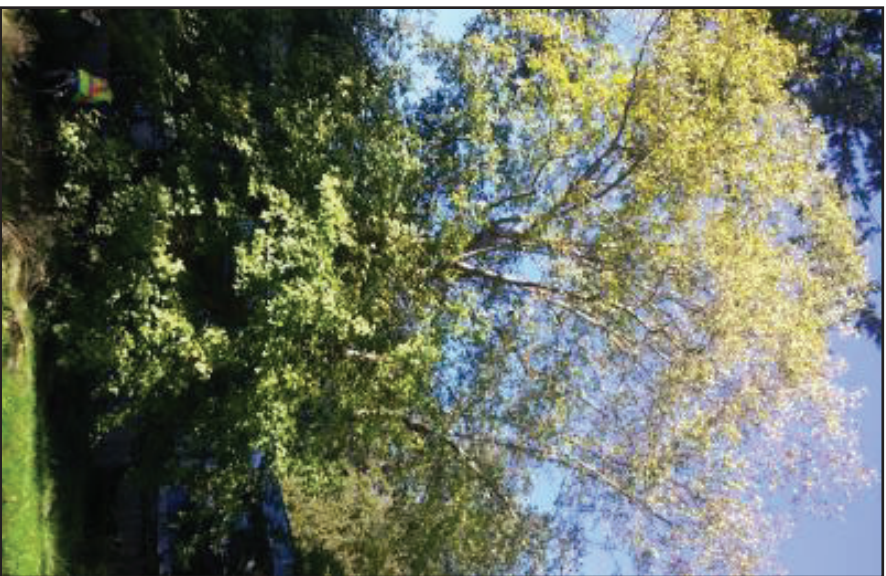


Fig. 9 – Red alder (376) located on 1465 Vidal Street.



Fig. 9 – View facing east on 1465 Vidal st, tree protection fencing damaged. Needs repair.



Fig. 10 – View facing east. Southeast corner of 1445 Vidal st. C2 hedge, #4 norway maple, and #5 lilac.



Fig. 11 – Northwest corner of 1465 Vidal.



Fig. 12 – Looking south from 1443-45 Vidal St.

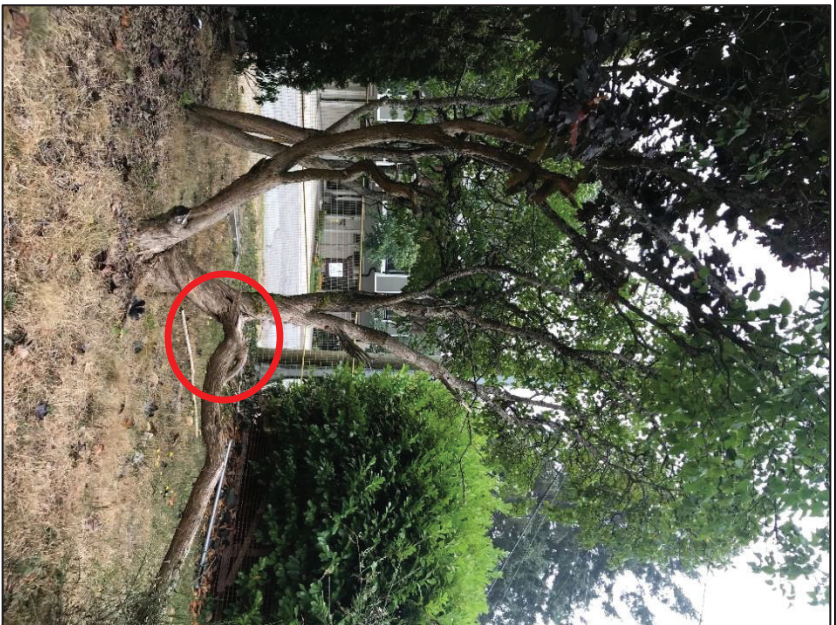


Fig. 13 – Tree #5, failed limb.



Fig. 14 – Pruning of tree branches along east property line, 1465, 1443-45.



Fig. 15 – North property line of 1441 Vidal St, east corner.



Fig. 16 – North property line of 1441 Vidal St, west corner.

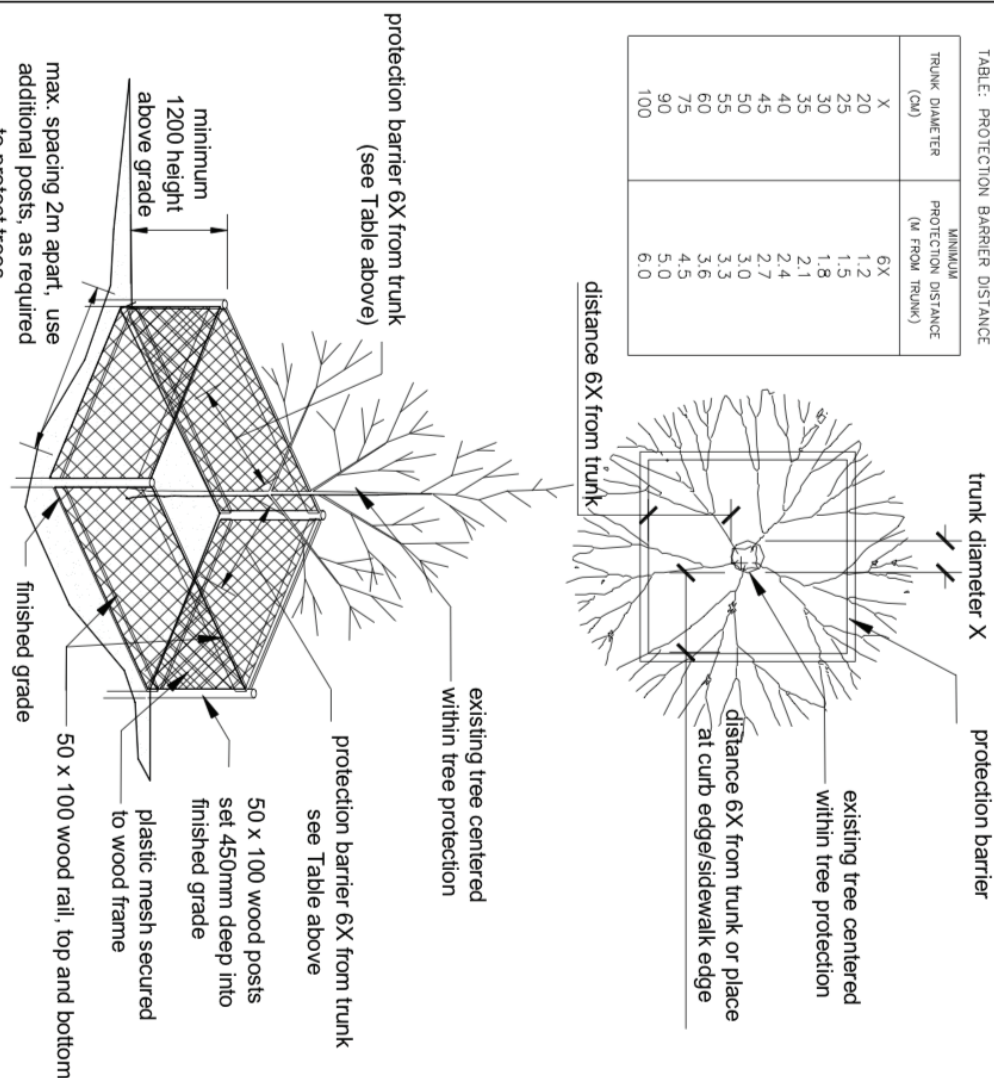
CONSTRUCTION ACTIVITY AROUND TREE PROTECTION ZONE

TREE PROTECTION FENCING

Specifications for Tree Protection Barriers

TABLE: PROTECTION BARRIER DISTANCE

TRUNK DIAMETER (CM)	MINIMUM PROTECTION DISTANCE (M FROM TRUNK)
X	6X
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3.0
55	3.3
60	3.6
75	4.5
90	5.0
100	6.0



protection barrier 6X from trunk (see Table above)

existing tree centered within tree protection

protection barrier 6X from trunk see Table above

50 x 100 wood posts set 450mm deep into finished grade

plastic mesh secured to wood frame

50 x 100 wood rail, top and bottom

minimum 1200 height above grade

max. spacing 2m apart, use additional posts, as required to protect trees

finished grade

existing tree centered within tree protection

distance 6X from trunk or place at curb edge/sidewalk edge

trunk diameter X

protection barrier

TABLE: PROTECTION BARRIER DISTANCE

TRUNK DIAMETER (CM)

MINIMUM PROTECTION DISTANCE (M FROM TRUNK)

X

20

25

30

35

40

45

50

55

60

75

90

100

6X

1.2

1.5

1.8

2.1

2.4

2.7

3.0

3.3

3.6

4.5

5.0

6.0

NOTES

Install tree protection barrier before construction begins and keep in place until landscape installation is complete.

Storage of building materials & litter within or against protection barrier is prohibited. Developer/Owner responsible for maintenance within Tree Protection Barrier.

Damaged trees will be replaced at Developer/Owner's cost.

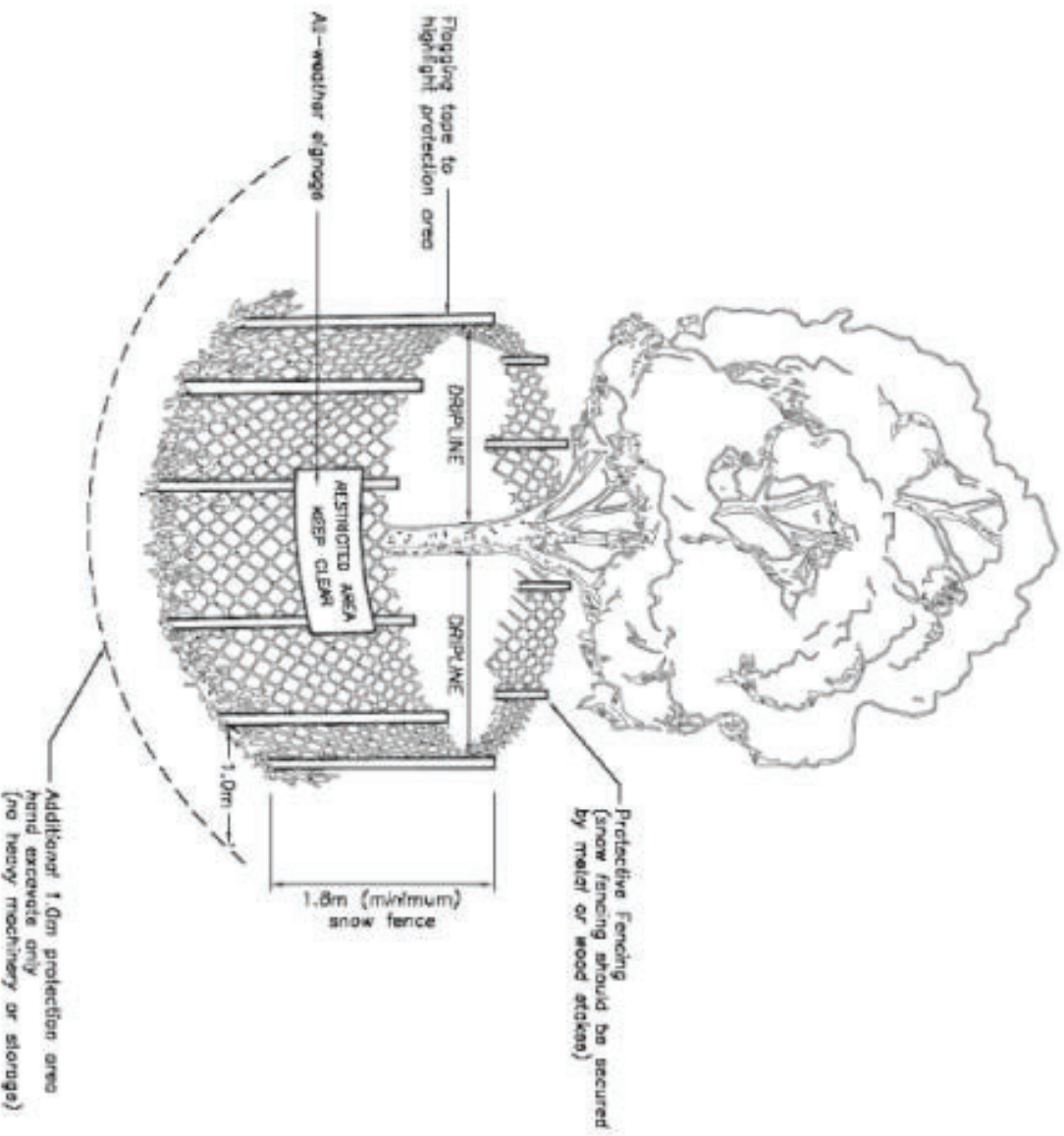
Maintain existing grades at protection barrier for all protected retained and existing trees.

Regrading outside of protection barrier should not adversely compromise protected retained and existing trees.

TREE PROTECTION

How do I safely retain trees on, or adjacent to, the property?

Prior to construction activity you should erect temporary fencing at the dripline of the tree to protect the roots and canopy.



GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE PROTECTION ZONE

- The Contractor shall not engage in any construction activity within the Tree Protection Zone (TPZ) without the approval of the Project Arborist including: operating, moving or storing equipment; storing supplies or materials; locating temporary facilities including trailers or portable toilets and shall not permit employees to traverse the area to access adjacent areas of the project or use the area for lunch or any other work breaks. Permitted activity, if any, within the Tree Protection Zone maybe indicated on the drawings along with any required remedial activity as listed below.
- If construction activity is unavoidable within the Tree Protection Zone, notify the Project Arborist and submit a detailed written plan of action for approval. The plan shall include: a statement detailing the reason for the activity including why other areas are not suited; a description of the proposed activity; the time period for the activity, and a list of remedial actions that will reduce the impact on the Tree Protection Zone from the activity. Remedial actions shall include but shall not be limited to the following:
 - In general, demolition and excavation within the drip line of trees and shrubs shall proceed with extreme care either using hand tools, directional boring and/or Air Spade. If any excavation work is required within the Tree Protection Zone (TPZ), the Project Arborist must be present during excavation, and a trench should be 'hand dug' to a depth of 60 cm outside the Drip Line, to uncover any potential roots. The Project Arborist should cleanly prune roots and recommend the appropriate treatment for any structural roots encountered.
 - Knife excavation where indicated or with other low impact equipment that will not cause damage to the tree, roots soil.
 - When encountered, exposed roots, 1 inches and larger in diameter shall be worked around in a manner that does not break the outer layer of the root surface (bark). These roots shall be covered in Wood Chips and shall be maintained above permanent wit point at all times. Roots one inch and larger in diameter shall not be cut without the approval of the Project Arborist. Excavation shall be tunnelled under these roots without cutting them. In the areas where roots are encountered, work shall be performed and scheduled to close excavations as quickly as possible over exposed roots.
 - Tree branches that interfere with the construction may be tied back or pruned to clear only to the point necessary to complete the work. Other branches shall only be **RETAINED** when specifically indicated by the Project Arborist. Tying back or trimming of all branches and the cutting of roots shall be in accordance with accepted arboriculture practices (ANSI A300, part 8) and be performed under supervision of the Project Arborist.
 - Do not permit foot traffic, scaffolding or the storage of materials within the Tree Protection Zone.
- Protect the Tree Protection Zone at all times from compaction of the soil; damage of any kind to trunks, bark, branches, leaves and roots of all plants; and contamination of the soil, bark or leaves with construction materials, debris, silt, fuels, oils, and any chemicals substance. Notify the Project Arborist of any spills, compaction or damage and take corrective action immediately using methods approved by the Project Arborist

GLOSSARY OF KEY TERMS

Abutment: A structure built to support the lateral pressure of an arch or span, e.g., at the ends of a bridge.

Adapted Trunk Diameter Method: This method uses the trees age and tolerance to construction damage to determine the factor that will be multiplied by the diameter to provide a sufficient tree protection zone given these factors.

Age: The relative age (young, intermediate, mature) within the particular stand of trees or forest.

Algae: Is a simple, nonflowering plant (includes seaweeds and many single-celled forms). They do contain chlorophyll (but lack true stems, roots, and vascular tissue)

ALR: The Agricultural Land Reserve in which agriculture is recognized as the priority.

Bole: The stem or trunk of a tree.

Chlorotic: Yellowing of plant tissues caused by nutrient deficiency &/or pathogen.

Co-dominant Leaders: Forked dominant stems nearly the same size in diameter, arising from a common junction.

Co-dominant Within Stand: Individual tree whose height is generally equal to trees (regardless of species) within the same stand.

Compaction: Compression of the soil that breaks down soil aggregates and reduces soil volume and total pore space, especially macropore space.

Conk: A fungal fruiting structure typically found on trunks and indicating internal decay.

Dead Standing: A tree that has died but is still standing erect.

DBH: The Diameter of the tree at 1.40 meters above the ground.

Dominant Within Stand: Individual tree whose height is significantly greater than adjacent trees (regardless of species) within the same stand.

C-rad: Crown radius, is the dripline measured from the edge of the trunk to the outermost branches of the crown.

CRZ: Critical Root Zone - means the area of land surrounding the trunk of a tree contained within a radius equal to the DBH of the tree multiplied by six (6), or one (1) metre beyond the drip line of the tree, whichever is greater.

Fair: Healthy but has some defects such as co-dominant trunk, dead branches.



Feeder Roots: The smaller roots responsible for water and nutrient absorption and gas exchange. These roots can extend far beyond the Drip Line (or outer canopy) of the tree.

Fungus (singular) / Fungi (plural): Unicellular, multicellular or syncytial spore-producing organisms that feed on organic matter (including molds, yeast, mushrooms and toadstools)

Girdling Root: Root that encircles all or part of the trunk of a tree or other roots and constricts the vascular tissue and inhibits secondary growth and the movement of water.

Good: Good form and structure, healthy with no defects.

Hazardous: Significant hazard exists with a high risk of immediate failure; which could result in serious damage to property or person(s).

Height: Height of tree is approximate.

LCR: Live Crown Ratio – The ratio of crown length to total tree length.

Level 1 Limited Visual Assessment: Limited visual assessment looking for obvious defects such as, but not limited to dead trees, large cavity openings, large dead or broken branches, fungal fruiting structures, large cracks, and severe leans.

Level 2 Basic Visual Assessment: Detailed visual inspection (aboveground roots, trunk, canopy) of tree(s) may include the use of simple tools to perform assessment (i.e. sounding mallet, trowel, measuring tape, binoculars). The assessment does not include advanced resistance drilling of trunk.

Level 3 Advanced Assessment: To provide detailed information about specific tree parts, defects, targets, or side conditions. May include aerial inspection, resistance drilling of tree parts, laboratory diagnosis of fungal or plant tissue.

Mildew: Is a minute powdery or web-like fungi (of different colours) that is found on diseased or decaying substances.

Moss: A small, green, seedless plant that grows on stones, trees or ground.

No Disturbance Zone: (Trunk Diameter x 6) + Trunk Radius + (60 cm excavation zone). For example, a 50-cm diameter tree would have a No Disturbance Zone = 3.85 meters measured from the edge of the trunk.

Poor: multiple defects, disease, poor structure and or form, root and or canopy damage.

Phloem: Plant vascular tissue that transports sugar and growth regulators. Situated on the inside of the bark, just outside the cambium. Is bidirectional (transports up and down). Contrast with xylem.

Phototropic: Growth toward light source or stimulant.

Retain & Monitor: Monitor health and condition of tree every 12 months for signs of deterioration.

Root Crown: Also, called the root collar, it includes the flare at the base of the trunk and the initial roots that develop below the trunk. These roots generally taper and subdivide rapidly to form the root system of the tree.

SPEA: Streamside Protection and Enhancement Area

Spiral Decline: The health and condition of the tree is deteriorating.

Sub-dominant Within Stand: Individual tree whose height is significantly less than adjacent trees (regardless of species) within the same stand.

Suppressed: Individual tree whose growth, health and condition are negatively impacted by adjacent tree(s).

TPZ: Tree Protection Zone - The area between the trunk and the Tree Protection Barrier.

Wildlife Tree: A tree or a group of trees that are identified to be retained to provide future wildlife habitat. Wildlife habitat can exist in tree risks (cavities, dead snags, broken tops). Often times the tree risk to potential targets (people & property) is reduced by removing that part of the tree posing the risk of failure, but the tree (or portion of) is retained to provide future habitat.

Witches Broom: A dense mass of shoots growing from a single point, with the resulting structure resembling a broom or a bird's nest.

Xylem: Thin overlapping cells that helps provide support and that conducts water and nutrients upward from the roots all the way to the leaves.

LIMITATIONS

This report is valid for the day the trees were reviewed. This report is not to be re-printed, copied, published, or distributed without prior approval by VDZ + A Consulting Inc.

Sketches, diagrams, and photographs contained in this report being intended as visual aids, should not be construed as engineering reports or legal surveys.

Only the subject tree(s) was inspected and no others. This report does not imply or in any other way infer that other trees on this site or near this site are sound and healthy.

The tendency of trees or parts of trees to fall due to environmental conditions and internal problems are unpredictable. Defects are often hidden within the tree or underground. The project arborist has endeavored to use his skill, education, and judgment to assess the potential for failure, with reasonable methods and detail. It is the owner's responsibility to maintain the trees and inspect the trees to reasonable standards and to carry out recommendations for mitigation suggested in this report.

REFERENCES

Bond, Jerry & Buchanan, Beth (2006) Best Management Practices: Tree Inventories, International Society of Arboriculture, Champaign, IL.

Dunster, Dr. Julian (2003) *Preliminary Species Profiles for Tree Failure Assessment*. ISA Pacific Northwest Chapter, Silverton, OR, USA

Dunster, Dr. Julian & Edmonds, Dr. R. (2014) Common Fungi Affecting Pacific Northwest Trees, ISA Pacific Northwest Chapter, Silverton, OR, USA

Fite, Kelby & Smiley, E. Thomas (2016) Best Management Practices: Managing Trees During Construction, International Society of Arboriculture, Champaign, IL.

Sibley, David Allen (2009) *The Sibley Guide to Trees*. Alfred A. Knopf, New York, NY

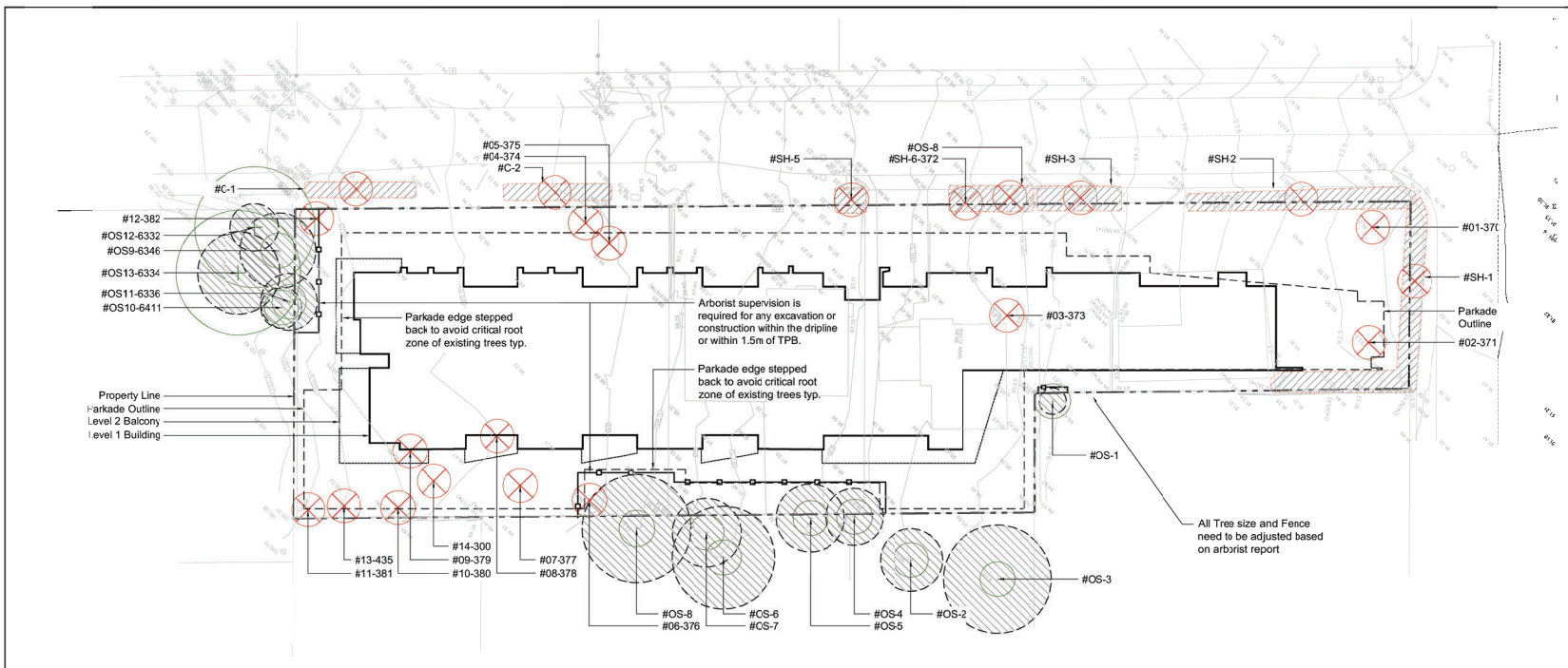
Smiley, E.T., Matheny, N., Lilly, S. (2011) Best Management Practices: Tree Risk Assessment. International Society of Arboriculture, Champaign, IL.

TREE MANAGEMENT PLAN

See attached Tree Management Plan

Original size: 24x36

Print as 11x17 for foldout



1 TREE PROTECTION AND REMOVAL PLAN
 Scale 1:250

Consulted: Veritas - White Duck Tree Management Bylaw, 2008, No. 131
 Page 18 of 18

LEGEND

CRZ	CR			
Existing Tree to be Retained CRZ: Critical Root Zone CR: Crown Radius	Existing Tree to be Removed	Tree Protection Fencing		

Tree Tag Legend
 XX - Tag number
 C-XX - Muniplote tree
 OS-XX - Off-site tree
 SH-XX - Straddling tree. Written permission required from owner to remove trees.

SCHEDULE "A"

Specifications for Tree Protection Barriers

TRUNK PROTECTION SLIPPER DISTANCE	MINIMUM PROTECTION BARRIER (BY FROM TRUNK)
0	0.6
25	1.2
50	1.8
75	2.4
100	3.0
125	3.6
150	4.2
175	4.8
200	5.4

NOTES:
 Install tree protection barrier before construction begins and keep in place until landscape installation is complete.
 Storage of building materials & other works on adjacent protection barrier is prohibited. Developer/Owner responsible for maintenance within Tree Protection Barrier.
 Damaged trees will be replaced at Developer/Owner's cost.
 Maintain existing grades at protection barrier for all protected retained and existing trees.
 Regrading outside of protection barrier should not adversely compromise protected retained and existing trees.

Note:
 1. Contact Arborist (Glyn Romaine, 604 841 9977, glyn@vdz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ) If during excavation it is found that it cannot be completed without severing trees that are critical to the trees health or stability it may be necessary to remove additional trees.
 2. Read this plan together with the arborist report prepared by VDZ+A.
 3. An additional 1m setback is shown for all hand-plotted trees to be retained
 4. If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
 5. It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 *Locating TPZ Fencing
 *Locating Work Zone and Machine access corridors where required
 *Reviewing the Report with the project foreman or site supervisor.

2 TREE PROTECTION FENCE
 Scale NTS

REVISIONS TABLE FOR DRAWINGS

Copyright reserved. This drawing is made in the property of Vdz + A Inc. and may not be reproduced or used for other projects without permission.

12	SH	Issued for Planning Review	May 31, 2022
11	SH	Issued for DP	Oct 18, 2021
10	SH	Response to ADP Comments	July 23, 2021
9	ET	Re-issued for ADP	June 4, 2021
8	LJ	Issued for ADP	March 9, 2021
7	SH	Issued for Coordination	Feb. 26, 2021
6	SH	Issued for Coordination	Dec. 23, 2020
5	SH	Issued for Coordination	Oct. 6, 2020
4	SH	Issued for DP	June 25, 2020
3	SH	Issued for DP	March 6, 2020
2	SH	Issued for DP	May 24, 2019
1	JW	Issued for DP Review	Nov 16, 2018
No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

4	KM	Arborist Report Revision	Sept 23rd, 20
3	SH	Arborist Report Revision	Feb. 4, 2020
2	SH	Arborist Report Revision	June 18, 2019
1	SH	Arborist Report Revision	May 18, 2019
No.	By:	Description	Date

Project:
 Vidal Street Development

Location:
 Vidal Street & Thrift Ave,
 White Rock, BC

Drawn: FW
Stamp:

Checked: JW

Approved: MVDZ
Original Sheet Size: 24"x36"

Scale:
 1:250

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. THE WORKER SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY DISCREPANCIES. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE CORRECTION OF ANY DISCREPANCIES.



PROJECT: VIDAL STREET DEVELOPMENT, 2018-19, VIDAL STREET DEVELOPMENT, 2018-19, TREE PROTECTION AND REMOVAL PLAN, 2021

Date: July 21, 2022

VDZ Project File No.:	DP 2018-59
Project Name:	Vidal Street Development
Site Address:	14937 Thrift Ave & 1441/1443-45/1465 Vidal
Consulting Arborist:	D. Glyn Romaine - VDZ + A Consulting Inc.
Attention:	Stephen Heller VDZ + Associates Krista Baronian WestStone Group Lukas Wypkis Keystone Architecture

Number of Pages:	4
Subject:	<u>Arborist Report Concerns received via email from Alex Wallace – June 24th, 2022</u>

This memo provides a response to the following comments from the City of White Rock:

Arborist Report Concerns received via email from Alex Wallace – June 24th, 2022

- The revised arborist report still says the offsite large trees have been handplotted as the property legal survey from 2018 has not included all of OS3-OS8 Douglas fir trees. It is required and prudent to demonstrate the exact percentage of roots protected or potentially calculated for loss when revising the plans.

VDZ+A Project Arborist Response:

The legal survey was updated by Adam Fulkerson of Target Land Surveying Inc. on July 4, 2022 and shows the correct locations of offsite trees OS1-OS13 (Fig 1). VDZ+A project arborist, Glyn Romaine visited the site on July 8, 2022, to confirm the off-site tree locations matched those on the survey. The report and Tree Protection Plan were updated on July 11, 2022 using the latest survey. Douglas-fir trees OS3-OS8 are shown in their correct locations with root protection zones in the updated Tree Protection Plan (Fig 2).

Any hand-plotted trees referenced in the July 11, 2022 arborist report and tree protection plan are on-site and within the excavation footprint. These trees are recommended for removal.

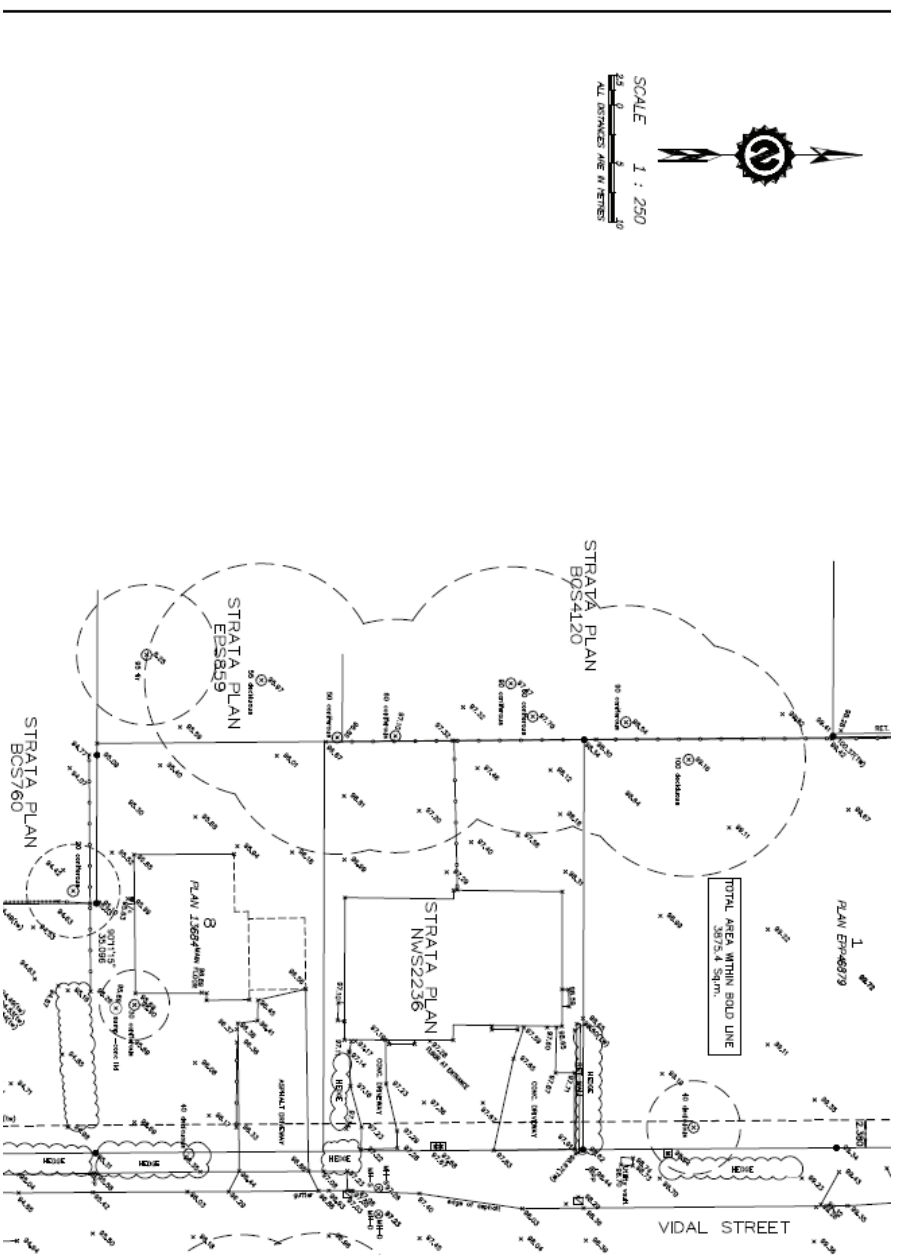


Figure 1 - Screenshot of survey showing locations of off-site Douglas-fir trees OS3-OS8.

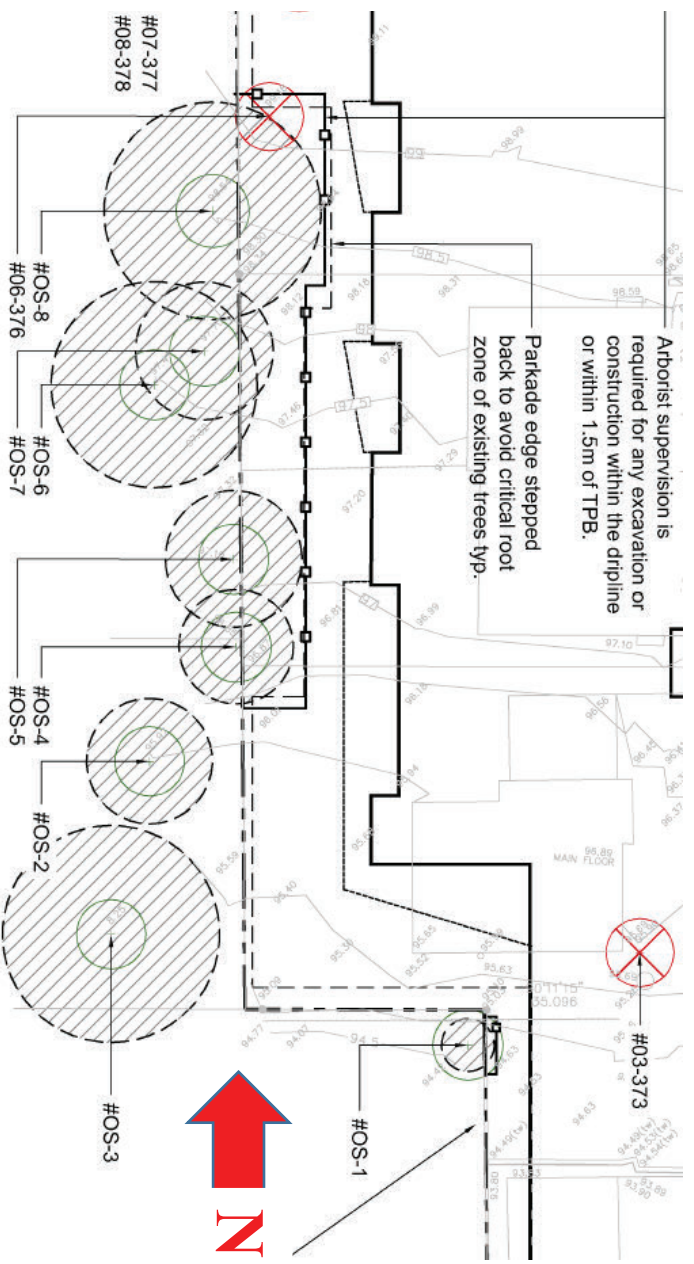


Figure 2 - Screen shot of Tree Protection Plan with off-site Douglas fir trees OS3-OS8 in there correct locations based on the July 4, 2022 Survey.

LIMITATIONS:

This report is valid for the day the trees were reviewed. This report is not to be re-printed, copied, published, or distributed without prior approval by VDZ + A Consulting Inc.

Sketches, diagrams, and photographs contained in this report being intended as visual aids, should not be construed as engineering reports or legal surveys.

Only the subject tree(s) was inspected and no others. This report does not imply or in any other way infer that other trees on this site or near this site are sound and healthy.

The tendency of trees or parts of trees to fall due to environmental conditions and internal problems are unpredictable. Defects are often hidden within the tree or underground. The project arborist has endeavored to use his skill, education, and judgment to assess the potential for failure, with reasonable methods and detail. It is the owner's responsibility to maintain the trees and inspect the trees to reasonable standards and to carry out recommendations for mitigation suggested in this report.

If you have any further questions or concerns regarding this report, please contact VDZ+A Consulting Inc. at 604-882-0024.

Sincerely,



D. Glyn Romaine TFT
ISA Certified Arborist PN-7929A
ISA Tree Risk Assessment Qualification

Arborist response below in **blue**:

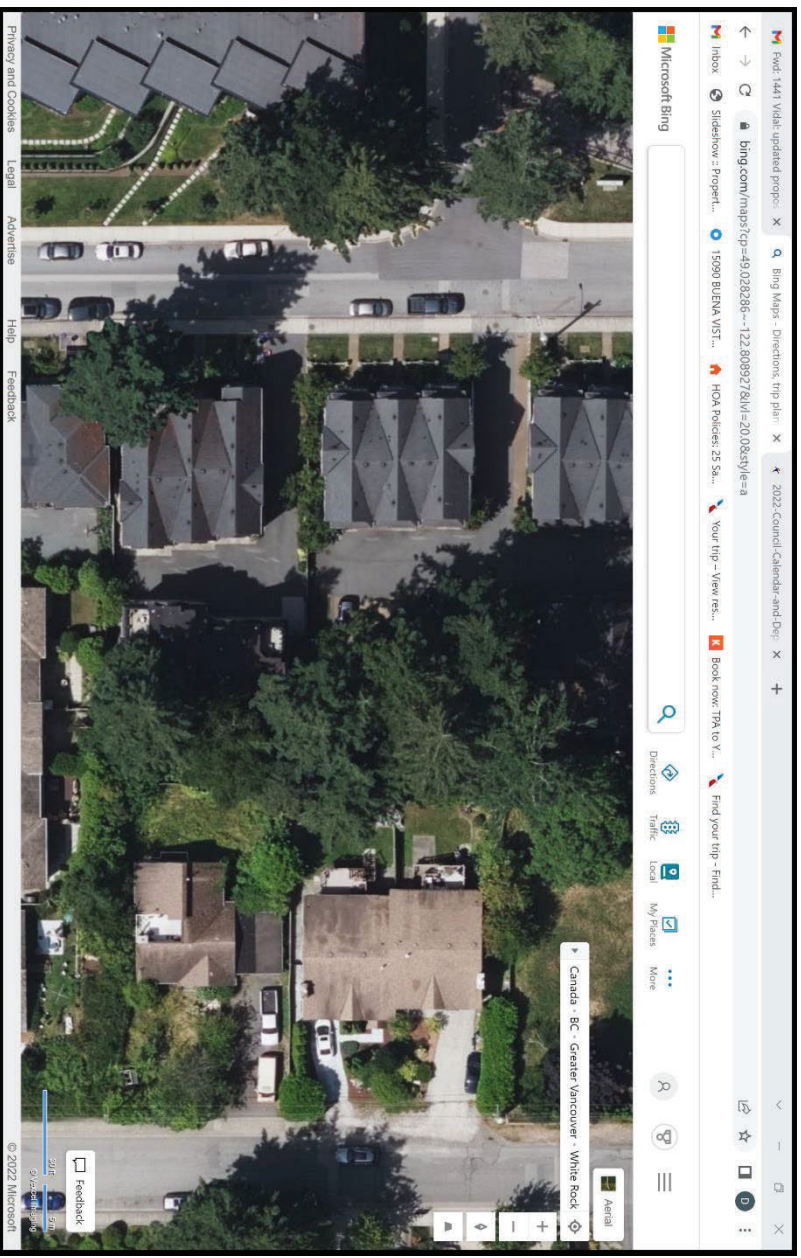
There are three very large trees in the back yard of 1434 Everall, moving from south to north:

*Tree 1 is a very, very large Douglas Fir with a trunk more than 5 meters from the property line, although the canopy extends to the property line and beyond as can be seen on the satellite map below. It is one of the largest trees in the City. It is not shown at all on the project documents and I presume its exclusion is because of the distance to the property line. I believe that is a problem because the critical root zone determined in accordance with the Tree Protection Bylaw goes into the development lot. It's a huge tree. The general scoping requirements for the arborist report (4m) are not relevant to the operative parts of the Tree Protection Bylaw. The criterion for protection is extent of critical root zone, not distance from the property line. You have the authority to require the arborist to include this tree, and its critical root zone, in their report and I urge you to do that. **Arborist response: This tree is included in the Arborist report and shown on the Tree Management Plan (TMP) as #OS-3, and the Critical Root Zone (CRZ) is noted (Fig. 1-3).***

*Tree 2 is a deciduous tree about 3.5 meters from the property line and the drip line for this tree extends well into the proposed development lot. Drawings I have seen are inaccurate when they show that this tree ends at the property line. It extends about two meters into the development lot. You can tell from the satellite photo it extends just as far as the trees to the north, which necessitated the pullback of the parkade. The critical root zone for Tree 2 is within the area designated for the parkade. **Arborist response: This tree is included in the Arborist report and shown on the Tree Management Plan as #OS-2. (Fig. 1, 2, 4). Root mapping with radar has been done for this tree and the results support using 6x trunk diameter at 1.4 m to determine the CRZ. The Tree Management Plan shows this CRZ.***

*Tree 3 is one of a cluster of Douglas Firs. Only a part of this cluster of trees is shown on the reports that I have seen, and I think the omission (assuming this has not been remedied) means that the extent of the grove that is competing for water in the area is understated. When that report is issued, I will be checking to make sure that it meets the requirements of the Tree Protection Bylaw by showing all offsite trees within 4 metres. For now, I will simply report that the dripline for Tree 3 extends well into the development lot and unlike for the trees to the north, the notch of the parkade ends too soon to allow for the 1 metre of clearance beyond the drip line of this tree on the south side. **Arborist response: This tree is included in the Arborist report and shown on the Tree Management Plan as #OS-4. (Fig. 1, 2, 5) Root mapping with radar has been done for this tree and the results support using 6x trunk diameter at 1.4 m to determine the CRZ. Arborist supervision is required for any work done withing 1.5 m of the CRZ. All trees within 4 m of the property line are shown on the Tree Management Plan and listed in the Arborist Report.***

I am inserting a screenshot from Bing maps which shows the overhang onto the development lot all along the back fence of 1434 Everall.



These trees are protected trees under the White Rock Tree Protection Bylaw. Arborist response: Agree.

The critical root zone for each of these trees extends into the area shown as parkade in the drawings. Arborist response: Root mapping with radar has been done for these trees and the evidence supports using 6x trunk diameter at 1.4 m to determine the CRZ. The proposed parkade has been adjusted to accommodate the critical roots of these trees and the CRZ of these trees is shown on the TMP.

The last submission I have seen for this project shows absolutely no tree protection for Trees 1 and 2. Let me repeat that because I know it is an astounding statement. The plan is to dig up the roots of protected trees, including roots in the critical root zone, and replace the soil volume with a multi-story parking garage. No fencing, no control of construction activities such as compaction, no notice, no supervision, nothing. It is as though those trees don't exist.

Arborist response: Tree Protection and arborist supervision during excavation is noted as a requirement for these two trees in the Arborist Report. The Tree Management Plan shows the CRZ, and notes requirement for arborist supervision of excavation in proximity, but Tree Protection Barrier (TPB) was omitted from the TMP. The TMP will be updated to include TPB for these two trees.

That this is a problem is not obvious when looking at the project submission because Tree 1 is not shown at all and the critical root zone for Tree 2 is not shown properly. These omissions in the

*Planning process will eventually come to light even if the project gets a green light because first a demolition and later a building permit must be obtained and then we will all be focussed on the actual wording of the Tree Protection Bylaw. My remedy at that point is much more effective than mumbling at a public hearing, an injunction. I think I would get it because the proposal is, as outlined above, inconsistent with the Tree Protection Bylaw. Arborist response: **Tree 1 (#OS-3) is shown on the TMP. See above comments regarding the CRZ of Tree 2 (#OS-2).***

I have always understood that part of the role of Planning and Development was to ensure that projects conform to all related bylaws. How will a building permit ever be issued since this does not comply with the Tree Protection Bylaw? Is the project approval by Council somehow a secret waiver of the Tree Bylaw? No. Will Council be subjected to having to issue a waiver at some point in the future because an approved project is inconsistent with that bylaw? Will that waiver come before or after the injunction? No member of staff is given the authority to waive the protections of the Tree Protection Bylaw except in specified circumstances that are not applicable here. I think that Council will be in a very difficult position.

*I do know that you are new to the Department and that much of what I am concerned about was in place before your arrival. I am hoping though that you too will view it as a Planning Department function to ensure that the projects sent for approval comply, or certainly to the extent that they may not, that itself is not hidden. Arborist response: **No comment.***

Now it may be that recent project revisions have changed all this, and the parkade has been pulled back all along the west boundary. Hoping, but not expecting that.

*Before I sign off I would like to add one more concern I have. I can see out my window that there is a very large stump where a tree was cut down on the project lot. It was part of the cluster of Douglas Firs that includes Tree 3. How it came to be a stump, not a tree, is unclear but I think that the project arborist should be asked to explain how the removal of this stump may affect the integrity of the stand it was part of since the plan is to cut off roots for these trees. If it was still a tree and slated for removal that would have been addressed in the report. The impact of removal, if any, on the remaining trees in that cluster should be addressed because this stump is in the critical root zone of that stand of trees. Arborist response: **VDZ has been Arborist on this project since Fall 2018. No tree has been noted in this location. If the stump is within or near the CRZ of the other trees, the project arborist will be required on site during excavation, and removal of the stump. As the stump has been dead for at least 4 years, it is likely that it will have decay and many roots will have rotted.***

I am eager to hear if the more recent submissions from the developer have addressed my concerns, and also whether there can be an opportunity to discuss this prior to the public hearing. Please let me know.

FIGURES:

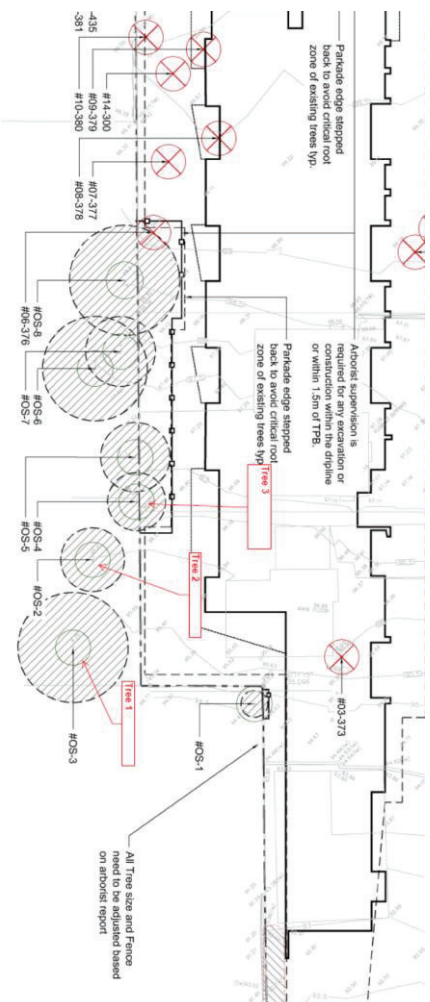


Figure 1 - Screenshot from May 31, 2022 Tree Management Plan. Oriented with north to the left.



Figure 2 - Screen shot from July 11, 2022 Report update.

TREE #	TAG #	COMMON NAME BOTANICAL NAME	LOCATED ON THE SURVEY	DBH (cm)	Crown Radius (m)	LCR (%)	COMMENTS	RETAIN / REMOVE
OS 03	No tag	Douglas-fir <i>Pse uddobugæ men æræsi</i>	Yes	95	6.0	75	<p>Good formand structure.</p> <p>OS 03 – OS 05 are part of a larger grouping of trees with approximately 6.0 meter dripline(s) that extend to subject property line.</p> <p>ROOTS – interconnected within grouping and likely extending onto subject property.</p> <p>BC Root Health Care rootrødder/results: Feeder roots detected in the 0 – 20 cm depth range. The tree is about 5 meters from the proposed development Critical Root Zone does not enter the subject lot. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall/landscape feature.</p> <p>The Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain

Figure 3 - Screen shot from July 11, 2022 Report update.

OS 02	No tag	Paper birch <i>Betula papyrifera</i>	Yes	55	3.0	50	<p>Good formand structure.</p> <p>CROWN – Dripline extends 3.0 meters onto subject property.</p> <p>BC Root Health Care rootrødder/results: Feeder roots detected in the 0-20 cm depth range. The tree is about 6 meters from the proposed development Critical Root Zone does not enter the subject lot. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall/landscape feature.</p> <p>The Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain
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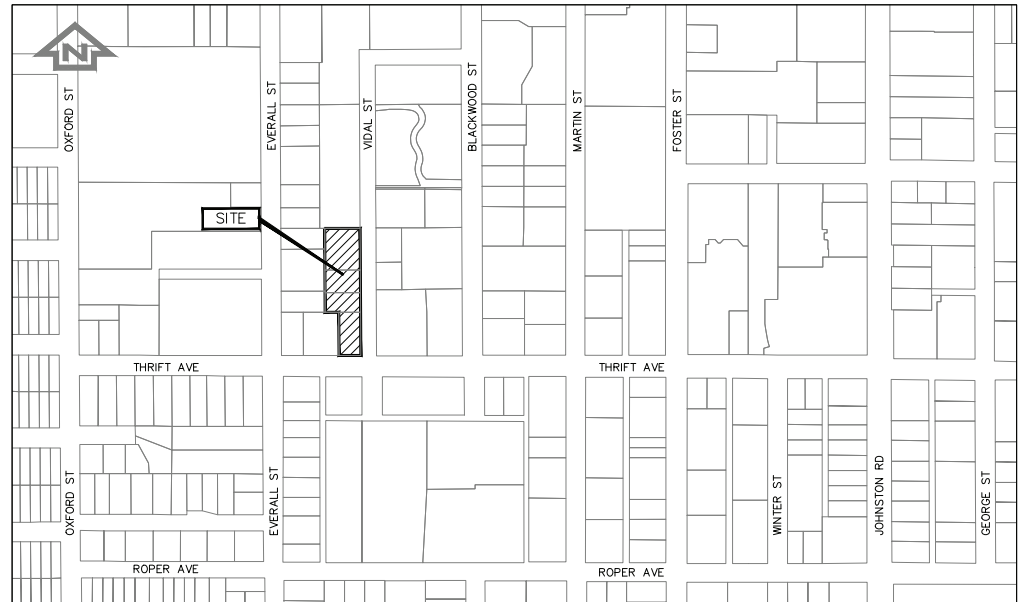
Figure 4 - Screen shot from July 11, 2022 Report update.

OS 04	No tag	Douglas-fir <i>Pse uddobugæ men æræsi</i>	Yes	50	5.8	75	<p>Good formand structure.</p> <p>OS 03 – OS 05 are part of a larger grouping of trees with approximately 6.0 meter dripline(s) that extend to subject property line.</p> <p>ROOTS – interconnected within grouping and likely extending onto subject property.</p> <p>BC Root Health Care rootrødder/results: Assessment blocked by a shed. Roots may grow towards the shed. About 20% of Critical Root Zone will be impacted. Retain with no cut at Property Line. Design a point-loading retaining wall with suspended beams. Arborist oversight recommended for the excavation at Property Line for the installation of the proposed retaining wall/landscape feature.</p> <p>The Protection Barrier (TPB) required. Arborist supervision required during excavation and any construction activities within 1.5 m of the dripline.</p>	Retain
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Figure 5 - Screen shot from July 11, 2022 Report update.



City of White Rock
ENGINEERING SERVICES



SITE PLAN
SCALE: 1:2500

VIDAL STREET-
MULTI UNIT RESIDENTIAL DEVELOPMENT

1441, 1443-45, 1465 VIDAL ST AND 14937 THRIFT AVE
WHITE ROCK. BC

WS VIDAL PROPERTIES LP



THE WEDLER GROUP
 ■ Abbotsford 1,604,745,0000
 ■ Chilliwack 1,604,750,0651
 ■ Courtenay 1,250,334,3053
 ■ Surrey 1,604,688,1919

www.wedler.com
 EGC PERMIT TO PRACTICE NUMBER: 1000196

DRAWING INDEX	
DRAWING TITLE	DRAWING NUMBER
GENERAL NOTES	S19-0280/A-02
CONCEPTUAL KEY PLAN	S19-0280/A-02
CONCEPTUAL STORM WATER MANAGEMENT PLAN	S19-0280/A-03

GENERAL

- FOR SITE DIMENSIONS, REFER TO LEGAL SURVEYOR'S PLANS. FOR BUILDING LAYOUT DIMENSIONS, REFER TO ARCHITECTURAL SITE PLANS.
- ALL ELEVATIONS AND POINTS ARE SHOWN IN METRES RELATED TO GEODETIC SURVEY OF CANADA.
- ALL DIMENSIONS ARE SHOWN IN METRES, PIPE DIAMETERS ARE SHOWN IN MILLIMETRES.
- ALL WORKS, MATERIALS AND TESTING SHALL BE IN ACCORDANCE WITH THE CITY OF WHITE ROCK STANDARDS, THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS AND THE B.C. PLUMBING CODE AS APPLICABLE.
- THE CONTRACTOR SHALL PHOTOGRAPH, PRIOR TO CONSTRUCTION, ANY EXISTING FEATURES TO BE DISTURBED. THE CONTRACTOR SHALL RESTORE ALL DISTURBED PAVEMENT, CURBS, SIDEWALKS, LANDSCAPING, FENCES OR ANY OTHER FEATURES AFFECTED BY THE CONSTRUCTION WORKS TO ORIGINAL CONDITIONS OR BETTER, AND TO THE SATISFACTION OF THE CITY OF WHITE ROCK AND WEDLER ENGINEERING.
- THE CONTRACTOR MUST CONTACT THE CITY OF WHITE ROCK AND WEDLER ENGINEERING PRIOR TO CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING AND INSPECTIONS WILL BE DISCUSSED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT.
- CHANGES TO THE DESIGN MUST BE APPROVED IN WRITING BY WEDLER ENGINEERING. FAILURE TO NOTIFY WEDLER ENGINEERING IN ADVANCE OF CHANGES MAY RESULT IN REJECTION OF WORK.
- SUBSTITUTION OF ANY MATERIAL SPECIFIED WITH A MATERIAL EQUAL OR BETTER IN QUALITY OR PERFORMANCE WILL BE PERMITTED ONLY WITH THE EXPRESS WRITTEN APPROVAL OF WEDLER ENGINEERING. WEDLER ENGINEERING'S DETERMINATION FOR THE "EQUAL OR BETTER" SHALL BE FINAL AND BINDING.
- THE CONTRACTOR SHALL NOTIFY WEDLER ENGINEERING A MINIMUM OF 2 WORKING DAYS PRIOR TO REQUIRED INSPECTIONS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - DURING PIPE LAYING
 - DURING PREPARATION OF PAVEMENT STRUCTURE
 - TESTING OF ALL UTILITIES
 - AFTER COMPLETION OF ALL WORK
- TRENCHES ACROSS EXISTING PAVEMENT, CURBS, SIDEWALK AND BOULEVARDS SHALL BE REINSTATED IN COMPLIANCE WITH CITY OF WHITE ROCK SPECIFICATIONS AND MASTER MUNICIPAL CONSTRUCTION DOCUMENTS STANDARD DETAIL DRAWINGS AND ANY RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN ALL MUNICIPAL AND STRATA ROADS PROVIDING ACCESS TO THE CONSTRUCTION SITE AND ARRANGE FOR ADEQUATE STREET CLEANING DURING TIMES OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN SERVICES AND ACCESS TO EXISTING RESIDENCES AND BUSINESSES AT ALL TIMES. ANY DISRUPTIONS THAT ARE UNAVOIDABLE WILL REQUIRE A MINIMUM OF 48 HOURS NOTICE. AS A MINIMUM, SINGLE LANE TRAFFIC MUST BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL AT ALL TIMES IMPLEMENT AND MAINTAIN ADEQUATE TRAFFIC CONTROL TO ENSURE THE CONVENIENCE AND SAFETY OF THE TRAVELING PUBLIC, THE SAFETY OF THE WORKERS ON THE PROJECT AND THE PROTECTION OF THE WORK TO THE SATISFACTION OF WEDLER ENGINEERING AND THE CITY OF WHITE ROCK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROPRIATE MEASURES TO ENSURE THE SAFETY OF PEDESTRIANS, CYCLISTS AND MOTORISTS, AND THE SECURITY OF THE WORK AREA DURING CONSTRUCTION. ALL EXCAVATION LEFT OPEN DURING NON-CONSTRUCTION AND UNSUPERVISED PERIODS SHALL BE ADEQUATELY FENCED AND BARRIRED.
- PRIOR TO FINALIZING BUILDING SERVICE LOCATIONS, THE CONTRACTOR SHALL VERIFY AND CONFIRM WITH INSTALLED BUILDING PLUMBING AND COORDINATE WITH ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL ACCURATELY RECORD, ON A CURRENT SET OF PLANS, IN A NEAT MANNER, ALL CHANGES AND DELETIONS TO REFLECT THE "AS CONSTRUCTED" INSTALLATION. THIS SET OF PLANS SHALL BE MAINTAINED ON SITE, AND WILL BE REVIEWED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THIS SET OF PLANS SHALL BE RETURNED TO THE ENGINEER AT THE COMPLETION OF THE WORKS AND PRIOR TO THE ISSUANCE OF SUBSTANTIAL PERFORMANCE.
- TRAFFIC CONTROL IS TO BE MAINTAINED AT ALL TIMES WHEN WORKING ON MUNICIPAL RIGHTS-OF-WAY (SIGNS, BARRICADES, FLAGPERSONS). A HIGHWAY USE PERMIT MUST BE OBTAINED FROM THE CITY OF WHITE ROCK ENGINEERING DEPARTMENT PRIOR TO WORKS WITHIN THE MUNICIPAL RIGHT-OF-WAY.
- CONSTRUCTION IN AND ABOUT A WATERCOURSE MUST RECEIVE PRIOR APPROVAL FROM THE PROVINCIAL MINISTRY OF ENVIRONMENT AND/OR THE FEDERAL DEPT. OF FISHERIES AND OCEANS, WHERE APPLICABLE.
- LEGAL SURVEY POSTS MONUMENTS ARE TO BE REPLACED IF DESTROYED OR DAMAGED DURING CONSTRUCTION; THIS WORK IS TO BE UNDERTAKEN BY A B.C. LAND SURVEYOR.
- APPROVED PIT RUN MUST BE USED FOR BACKFILL IN TRENCHES WHEN INSIDE ROAD LIMITS, APPROVED NATIVE MATERIAL MAY BE USED AS DIRECTED BY THE ENGINEER.
- WHERE INFILLING OF EXISTING DITCHES, ETC. IS REQUIRED OR PROPOSED, AND WHERE SERVICES ARE CONSTRUCTED IN FILL SECTIONS, THE FILL MATERIAL IS TO BE APPROVED GRANULAR MATERIAL, PLACED IN LIFTS NOT EXCEEDING 300mm AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.

EXISTING STRUCTURES AND UTILITIES

- INFORMATION ON THE DRAWINGS REGARDING EXISTING UTILITIES WAS COMPILED FROM MUNICIPAL RECORD DRAWINGS, CONSTRUCTION DRAWINGS AND FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DATA BY EXPOSURE PRIOR TO ANY CONSTRUCTION AND TO IMMEDIATELY REPORT ANY DISCREPANCIES TO WEDLER ENGINEERING. PRIOR TO CONSTRUCTION, ALL TIE-IN INVERTS SHALL BE CONFIRMED, AND EXPOSURES PERFORMED WHERE THERE IS POTENTIAL FOR CONFLICTS BETWEEN EXISTING AND PROPOSED SERVICES. ANY COSTS RESULTING FROM THE CONTRACTOR'S FAILURE TO DO SO SHALL BE AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO ANY WORKS THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXACT LOCATION OF BOUNDARIES OF LEGAL PROPERTIES, RIGHTS-OF-WAY OR EASEMENTS. ANY COST RESULTING FROM SPECIAL CONSTRUCTION METHODS, EQUIPMENT OR MATERIALS REQUIRED TO PERFORM ANY WORKS FORMING PART OF THIS CONTRACT WITHOUT ENCRoACHING ON OR CAUSING DAMAGE TO OTHER PROPERTY, SHALL BE INCLUDED IN THE CONTRACT PRICE, AND NO ADDITIONAL PAYMENT WILL BE MADE FOR SUCH WORKS.
- PRIOR TO ANY WORKS THE CONTRACTOR SHALL CONFIRM LOCATION OF EXISTING ONSITE STORM, WATER AND SANITARY MAINS. ANY DISCREPANCIES BETWEEN ACTUAL PIPE LOCATIONS AND DESIGN DRAWING ASSUMPTIONS SHALL BE REPORTED TO WEDLER ENGINEERING.
- EXISTING ONSITE CATCH BASINS AND MANHOLES TO BE REMOVED AND LEADS CAPPED.
- ANY EXISTING SITE SERVICES ENCOUNTERED DURING CONSTRUCTION SHOULD BE CONFIRMED AS ABANDONED, AND REMOVED WHERE CONFLICTS WITH NEW WORK EXISTS. FOR PIPES THAT ARE TO BE LEFT IN PLACE, ENDS ARE TO BE PLUGGED WITH SANDBAGS AS REQUIRED.

WATER SYSTEM

- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS AND FITTINGS REQUIRED FOR THE TIE-INS.
- THE CONTRACTOR SHALL ENSURE THAT ALL SECTIONS OF MAINS HAVE TEST POINTS AND TEMPORARY BLOW-OFFS SUITABLE TO ENSURE ADEQUATE PRESSURE TESTING, CHLORINATION AND FLUSHING.
- PRESSURE TESTING, CHLORINATION AND FLUSHING PROCEDURES TO CONFORM TO AWWA STANDARDS.
- DISCHARGE OF CHLORINATED WATER INTO DITCHES, STORM SEWERS OR WATERCOURSES IS STRICTLY PROHIBITED.
- THRUST BLOCKS SHALL BE INSTALLED AT ALL FITTINGS AND CHANGES IN DIRECTION UNLESS JOINT RESTRAINTS SPECIFIED. TO BE INSTALLED AS PER MMD SPECIFICATIONS.
- PIPES MAY BE DEFLECTED AT JOINT TO MAXIMUM OF 1/8 MANUFACTURER'S RECOMMENDATION ALLOWABLE.
- DOMESTIC WATER SERVICES TO COMPLY WITH THE B.C. PLUMBING CODE. WATER PIPE TO HAVE A MINIMUM COVER OF 1.0m BELOW FINISHED GRADE.
- ALL VALVE BOXES TO BE MR-6, 300mm HEIGHT.
- ALL FIRE HYDRANTS TO BE MULLER SUPER CENTURION A423 PER CITY OF WHITE ROCK STANDARD DETAIL SSD-104A.
- THE CONTRACTOR SHALL ACCURATELY RECORD, ON A CURRENT SET OF PLANS, IN A NEAT MANNER, ALL CHANGES AND DELETIONS TO REFLECT THE "AS CONSTRUCTED" INSTALLATION. THIS SET OF PLANS SHALL BE MAINTAINED ON SITE, AND WILL BE REVIEWED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THIS SET OF PLANS SHALL BE RETURNED TO THE ENGINEER AT THE COMPLETION OF THE WORKS AND PRIOR TO THE ISSUANCE OF SUBSTANTIAL PERFORMANCE.
- REFER TO CITY OF WHITE ROCK STANDARD DETAIL SSD-W12 FOR RESIDENTIAL WATER SERVICE CONNECTION DETAILS

GENERAL WATER UTILITY INFORMATION

WATER QUALITY TESTING:

- REQUIRED TESTING FROM CONTRACTORS TO BE BY 3RD PARTY TESTING COMPANY OR OBSERVED BY CITY WATER STAFF PRIOR TO THE CITY ACCEPTING AND TIE-IN TO EXISTING WATER UTILITY DISTRIBUTION SYSTEM;
- PRESSURE TEST TO MMD 30 11 01 PAGE 20, 3.19.3 OR AWWA M23 & C605 STANDARD, AND OBSERVED BY CITY WATER OPERATOR OR 3RD PARTY CONTRACTOR.
 - DISINFECTION OF AWWA STANDARDS. UNITS TO BE IN ppm RESIDUAL AFTER 24 HOURS
 - MICRO BIOLOGICAL TEST TO AWWA STANDARD, 2 TESTS 24 HOURS APART (TOTAL COLIFORM AND E. COLI COUNT)
 - PROVIDE MICRO BIOLOGICAL TEST FOR EACH TIE-IN POINT AND ENDS OF THE INSTALLED WATERMAIN
 - PROVIDE MICRO BIOLOGICAL TEST FOR EACH SERVICE CONNECTION
 - THE CONTRACTOR IS TO CONTACT SIMON PITHER, LEAD WATER OPERATOR, AT 604-880-4220 TO CONFIRM THE TIE IN PROCEDURE AND WORKS, AT THE START OF THE PROJECT.

SANITARY SEWER & DRAINAGE SYSTEM

- SUMP MANHOLES REQUIRED FOR DRAINAGE SYSTEM WORKS, UNLESS OTHERWISE NOTED.
- THE PIPE DISTANCES SHOWN ON STORM AND SANITARY SEWER DRAWINGS ARE MEASURED HORIZONTALLY FROM MANHOLE CENTERLINE TO MANHOLE CENTERLINE TO CORRESPOND WITH THE "MEASUREMENT AND PAYMENT" SECTIONS FOR STORM & SANITARY SEWERS IN THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS.
- THE GRADE OF THE PIPE IS DETERMINED FROM THE INVERT ELEVATIONS AT THE INLETS & OUTLETS OF THE MANHOLES AND THE HORIZONTAL DISTANCE BETWEEN THE MANHOLE INLET & OUTLET OF THE PIPE RUN.
- ALL MANHOLES TO BE 1050# UNLESS OTHERWISE NOTED.
- ALL PIPES TO BE PVC CLASS 150 UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE OIL INTERCEPTOR FOR APPROVAL PRIOR TO PURCHASING.

QUALITY CONTROL

- ALL TESTING SHALL BE PERFORMED BY A CERTIFIED TESTING COMPANY AT EXPENSE TO THE OWNER.
- ALL MATERIALS TESTING OF THE SUBGRADE, GRANULAR MATERIALS, CONCRETE, ASPHALT, TOPSOIL AND COMPACTION TESTS REQUIRED IS THE RESPONSIBILITY OF THE CONTRACTOR, THE COSTS ASSOCIATED WITH MATERIALS TESTING TO BE BORNE BY THE OWNER.
- THE COSTS FOR ALL CLEANING, FLUSHING, PRESSURE AND LEAKAGE TESTING, DISINFECTION AND BACTERIOLOGICAL TESTING AS REQUIRED FOR WATER, SANITARY AND DRAINAGE SYSTEMS TO BE BORNE BY THE CONTRACTOR.
- IN ADDITION TO THE CITY OF WHITE ROCK REQUIREMENTS, THE CERTIFICATE OF SUBSTANTIAL PERFORMANCE WILL NOT BE ISSUED PRIOR TO RECEIPT BY WEDLER ENGINEERING OF COPIES OF ALL REQUIRED CERTIFICATES, INSPECTION AND TESTING REPORTS.

TREE PROTECTION

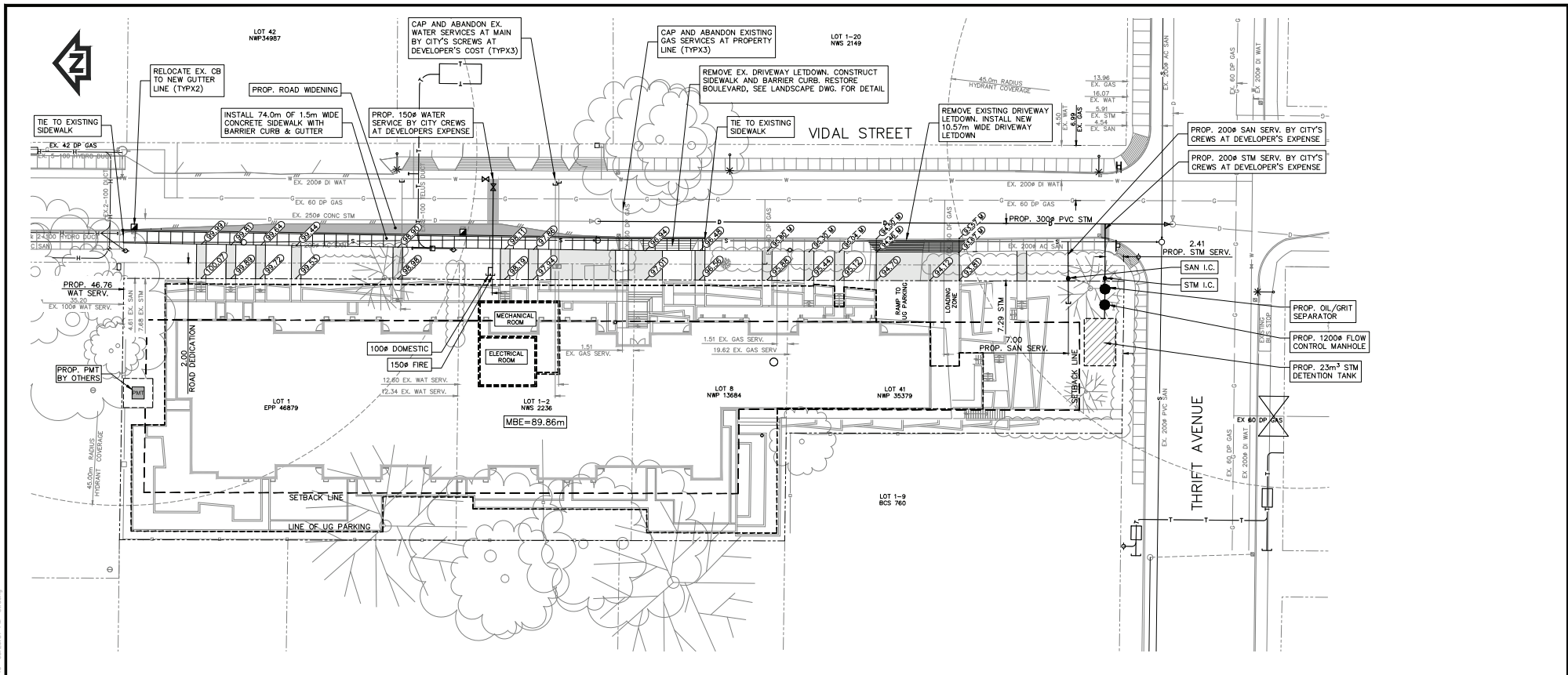
- MAINTAIN TREE PROTECTION BARRIER DURING SITE CLEARING AND CONSTRUCTION.
- ANY CONSTRUCTION WITHIN THE TREE RETENTION AREA IS TO BE SUPERVISED BY THE PROJECT ARBORIST.
- NO EXCAVATIONS, DRAINS, SERVICE TRENCHES OR ANY OTHER DISRUPTION IS PERMITTED WITHIN THE RETENTION AREA. CONTACT THE PROJECT ARBORIST PRIOR TO PROCEEDING WITH ANY DISTURBANCES WITHIN THE RETENTION AREA.
- MAINTAIN EXISTING GRADES AT THE LIMITS OF THE PROTECTION BARRIER.

BEFORE YOU DIG

EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING WERE COMPILED FROM A COMBINATION OF VARIOUS AS-COMPLETED RECORD DRAWINGS AND SOME FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WHERE POTENTIAL CONFLICTS EXIST. CONTRACTOR TO CONTACT TELUS, B.C. HYDRO, FORTISBC, AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS FOR UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT. ANY DISCREPANCIES REQUIRING CHANGES TO DESIGN MUST BE REPORTED TO WEDLER ENGINEERING LLP IMMEDIATELY. ALL UTILITIES IN THE PATHWAY OF PROPOSED INSTALLATIONS SHALL BE PRE-LOCATED TO DETERMINE IF THERE ARE ANY CONFLICTS PRIOR TO CONSTRUCTION OF NEW UTILITY.

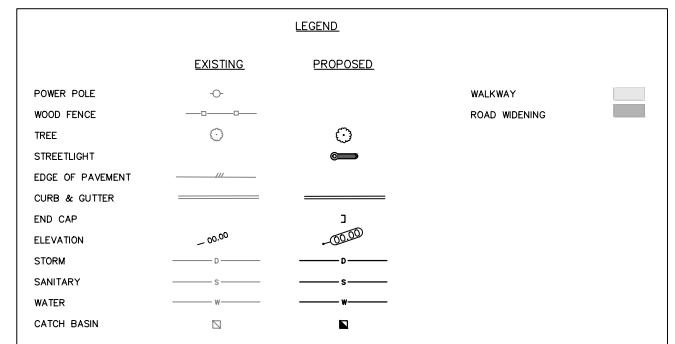
2022/07/19 04:42:32 PM - Wedler - White Rock Utility - Council Drawings Files\19-0280A - 02018.dwg
 2022/07/19 04:42:32 PM - Wedler - White Rock Utility - Council Drawings Files\19-0280A - 02018.dwg

LEGAL: LOT 1 PLAN 19846 LOT 2 PLAN 19849 LOT 41 PLAN 19720 STRATA PLAN 19838 ALL OF SEC 10 TO 11 NO 10	A ISSUED FOR DP 2019-01-29 EF				PROJ. MGR. SR DESIGN/DRAN ST/SR PEER REVIEWED SR HORIZ. SCALE -- VERT. SCALE --	THE WEDLER GROUP ■ Abbotsford 1.500.746.0300 ■ Chilliwack 1.604.736.0661 ■ Courtenay 1.250.554.0263 ■ Surrey 1.604.985.1919	WS VIDAL PROPERTIES LP VIDAL STREET - RESIDENTIAL BUILDING 1441, 1443-45, 1465 VIDAL ST AND 14937 THRIFT AVE, WHITE ROCK	DRAWING NO. of --2-- S19-0280/A-01 LOCAL GOVERNMENT FILE -FILE-
	B UPDATED BASEPLAN 2020-02-24 EF							
	C UPDATED BASEPLAN 2022-05-18 ST							GENERAL NOTES PHASE REVISION C



NOTES

- EXISTING SANITARY AND STORM SERVICES INFORMATION IS NOT AVAILABLE, TO BE INVESTIGATE DURING DETAIL DESIGN.
- ALL EXISTING SERVICES ARE TO BE CAPPED AND ABANDONED.
- GEOTECHNICAL RECOMMENDATIONS ARE REQUIRED FOR ROAD WIDENING
- ONSITE LANDSCAPING TO ACT AS STORMWATER BMP FOR TREATMENT AND BIO-FILTRATION.
- APPROXIMATELY 23m³ OF STORM DETENTION IS REQUIRED.
- WATER METER AND DCVA TO BE PROVIDED, INSIDE BUILDING. REFER TO MECHANICAL DRAWINGS FOR DETAILS.

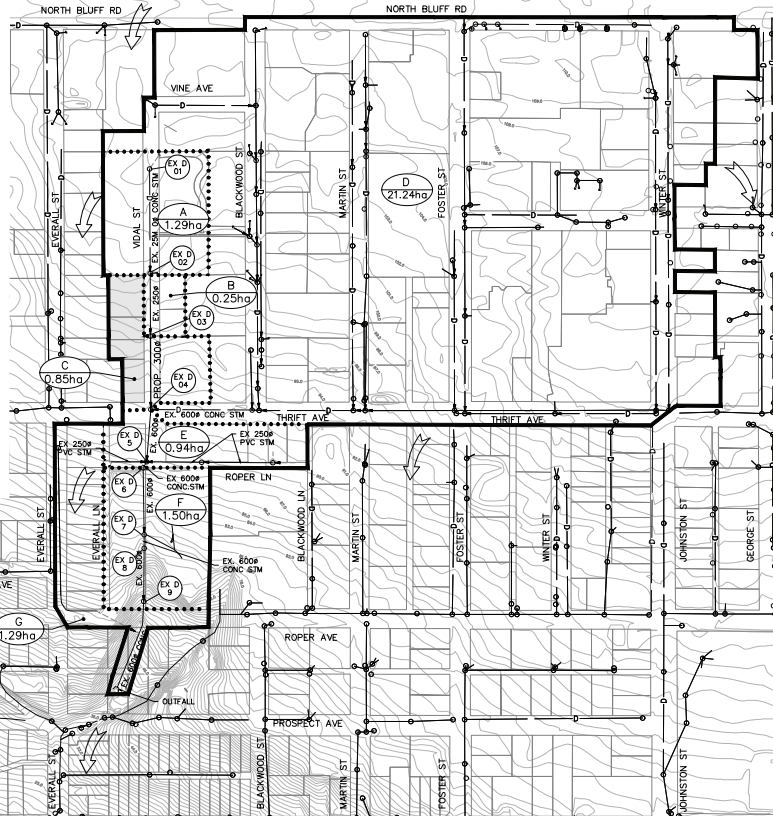


LEGAL: LOT 1 PLAN EPP 46879 LOT 8 PLAN NWS 2149 LOT 41 PLAN NMP 35379 STRATA PLAN WBC308 ALL OF SEC 10 P 11 1ND	A ISSUED FOR DP 2019-01-29 EF	B UPDATED BASEPLAN 2020-02-24 EF	C UPDATED BASEPLAN 2022-05-18 ST		PROJ. MGR. SR DESIGN/DRN. ST/SR PEER REVIEWED SR HORIZ. SCALE 1:250 VERT. SCALE --		THE WEDLER GROUP ■ Abbotsford 1-250-746-0300 ■ Coquitlam 1-604-762-0861 ■ Courtenay 1-250-634-0363 ■ Surrey 1-604-205-1919	WS VIDAL PROPERTIES LP VIDAL-RESIDENTIAL BUILDING 1441, 1443-45, 1465 VIDAL ST AND 14937 THRIFT AVE, WHITE ROCK	DRAWING NO. OF -2- S19-0280/A-02 LOCAL GOVERNMENT FILE -FILE- PHASE REVISION C
	REV DESCRIPTION YYYY-MM-DD BY REV DESCRIPTION YYYY-MM-DD BY	REV DESCRIPTION YYYY-MM-DD BY REV DESCRIPTION YYYY-MM-DD BY			EMB/ELEVATIONS ARE GEODETIC TIME 10:00-10:00 METERS DERIVED FROM CONTROL MONUMENT BRANDY LOCATED AT THE CORNER OF THE INTERSECTION OF VIDAL ST. AND THRIFT AVE. ELEVATION=144.00		2022-05-24 WEDLER ENGINEERING LLP 1000-1000-1000 1000-1000-1000 1000-1000-1000	www.wedler.com EGCBC PERMIT TO PRACTICE NUMBER: 1000196	CONCEPTUAL KEY PLAN & GRADING PLAN



LEGEND

- OVERLAND FLOW DIRECTION
- MAJOR CATCHMENT BOUNDARY
- MINOR CATCHMENT BOUNDARY
- EXISTING STORM SEWER
- EXISTING MANHOLE LABELS
- CATCHMENT AREA (D AND AREA)
- SITE LOCATION
- EXISTING CONTOUR



STORMWATER MANAGEMENT PLAN
SCALE : 1:2500

Storage requirements per Modified Rational Method

Project: Vidal Street Development, White Rock
White Rock STP Rain Gauge

AREA	Hectares	A=	0.39
DESIGN RETURN PERIOD	Years		5

CONTROL TO 50% OF THE 2-YEAR POST-DEVELOPMENT RATE

RUNOFF COEFFICIENT	R _w =	0.8
TIME OF CONCENTRATION	T _c =	15
RAINFALL INTENSITY	I =	23.64
2-yr RELEASE RATE	Q _{2yr} =	0.020
50% 2-yr RELEASE RATE	Q _{2yr(50%)} =	0.010

5-YEAR POST DEVELOPMENT CONDITIONS

RUNOFF COEFFICIENT		0.85	
EFFECTIVE AREA	Hectares	AR=	0.33

Time (min)	Intensity (mm/hr)	Post Q (cms)	Storm Volume (cu.m)	Release Q (cms)	Release Volume (cu.m)	Storage Volume (cu.m)
5	63.39	0.06	17.43	0.010	3.00	14.43
10	43.93	0.04	24.16	0.010	6.00	18.16
15	35.45	0.03	29.25	0.010	9.00	20.25
20	30.44	0.03	33.48	0.010	12.00	21.48
30	24.57	0.02	40.54	0.010	18.00	22.54
40	21.10	0.02	46.42	0.010	24.00	22.42
50	18.75	0.02	51.56	0.010	30.00	21.56
60	17.03	0.02	56.20	0.010	36.00	20.20
120	11.80	0.01	77.88	0.010	72.00	5.88
180	8.52	0.01	94.25	0.010	108.00	-13.75
240	6.18	0.01	107.98	0.010	144.00	-36.02
300	4.77	0.01	119.96	0.010	180.00	-60.04
360	3.60	0.01	130.68	0.010	216.00	-85.32
420	2.68	0.01	140.45	0.010	252.00	-111.55
480	1.97	0.01	149.69	0.010	288.00	-136.31
540	1.32	0.00	158.00	0.010	324.00	-166.00
600	0.94	0.00	166.32	0.010	360.00	-193.68

ORIFICE CALCULATION: AREA= $\frac{q}{C \cdot 2gh}$ Dia = $\frac{4q}{C \cdot \pi \cdot 2gh}$

q = 0.010
C = 0.62
h = 0.37
Dia = 87.30388 mm

DETENTION/FLOW CONTROL REQUIREMENTS

CONTROL TO 50% OF THE 2-YEAR POST DEVELOPMENT RATE. RELEASE RATE=0.010m³/sec.
REQUIRED DETENTION=22.54m³=23m³.



DRAINAGE SYSTEM DESIGN - CALCULATION SHEET

Client: WS Vidal Properties Ltd. Date: May 20, 2022
Project: 1441-14937 Thrift Avenue, White Rock. Date Printed: May 20, 2022
Project #: S19-0280/A. By: L.J. DESIGN RETURN PERIOD: 5 year / 100 year

Based on Surrey - White Rock STP IDF Curve

Pipe Run Info		Drainage Area Parameters					IDF Info		Flow Calculations		Pipe Design											
Series	Length L (m)	Conduit Slope	Catch. Area (m ²)	BaseF Coeff. R _a	BaseF Coeff. R _{ra}	Contrib. (R ² A _s) (m ²)	Contrib. (R ² A _{ra}) (m ²)	Contrib. T _c (minutes)	15 year Q _p (mm/hr)	100 yr Q _p (mm/hr)	Discharge D (mm)	Pipe Slope S (%)	Pipe #	Pipe Capacity V _{cap} (m ³ /min)	Time t (minutes)	Q ² t (m ³)	HGL (%)	HGL (%)	100 YR HGL (%)			
EX D 1	EX D 2	184.0	A	12870	0.7	0.84	9009	10811	15.00	35.45	67.87	0.009	0.304	750	0.013	3.3	0.168	2.197	0.79	2.21	11.75	EN PIPE
EX D 2	EX D 3	62.3	B	2510	0.7	0.84	10766	12919	15.79	34.50	65.95	0.103	0.217	750	0.013	7.1	0.158	3.228	0.32	3.01	15.84	ON SURFACE
EX D 3	EX D 4	73.2	C	8400	0.7	0.84	16688	20026	16.11	34.13	65.21	0.138	0.363	100	0.012	6.7	0.250	3.341	0.34	2.68	14.07	ON SURFACE
EX D 4	EX D 5	53.5	D	21270	0.7	0.84	14859	17891														
EX D 5	EX D 6	6.5	E	3370	0.7	0.84	171906	206287	16.46	33.75	64.44	1.612	3.692	600	0.011	7.8	1.625	5.746	0.15	6.89	36.16	ON SURFACE
EX D 6	EX D 7	40.5	F	15040	0.7	0.84	171906	206287	16.61	33.59	64.10	1.604	3.673	600	0.011	11.1	1.047	7.248	0.61	6.82	35.79	ON SURFACE
EX D 7	EX D 8	15.5	F	15040	0.7	0.84	182434	218921	16.62	33.57	64.07	1.701	3.896	600	0.012	11.9	2.031	7.189	0.15	7.68	40.27	ON SURFACE
EX D 8	EX D 9	53.0	F	15040	0.7	0.84	182434	218921	16.78	33.41	63.74	1.693	3.876	600	0.012	14.2	2.322	8.212	0.05	7.60	39.85	ON SURFACE
EX D 9	Outfall	86.8	G	12940	0.7	0.84	191402	229790	16.87	33.31	63.53	1.772	4.055	750	0.023	13.8	2.575	5.829	0.26	9.37	49.08	BELOW SURFACE

LEGAL: LOT 1 PLAN 084879, LOT 2 PLAN 10674, LOT 3 PLAN 10674, STRATA PLAN 10674, ALL OF SEC 10, TP 11 N40

A	ISSUED FOR DP	2019-01-29	EF		
B	UPDATED BASEPLAN	2020-02-24	EF		
C	UPDATED BASEPLAN	2022-05-18	ST		

REV	DESCRIPTION	YYYY-MM-DD	BY	REV	DESCRIPTION	YYYY-MM-DD	BY
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PROJ. NO. SR
DESIGN/DRWN ST/SR
PEER REVIEWED ST/SR
HORIZ. SCALE 1:2500
VERT. SCALE --

WEDLER ENGINEERING
www.wedler.com
EGBC PERMIT TO PRACTICE NUMBER: 1000196

THE WEDLER GROUP
Abbotsford 1-250-246-5500
Coquitlam 1-604-736-0861
Courtenay 1-250-244-0283
Surrey 1-604-265-1919

WS VIDAL PROPERTIES LP
VIDAL-RESIDENTIAL BUILDING
1441, 1443-45, 1465 VIDAL ST AND 14937 THRIFT AVE, WHITE ROCK

STORMWATER MANAGEMENT PLAN

DRAWING NO. -2-
S19-0280/A-03
LOCAL GOVERNMENT FILE -FILE-
PHASE REVISION C

Vidal Street Development

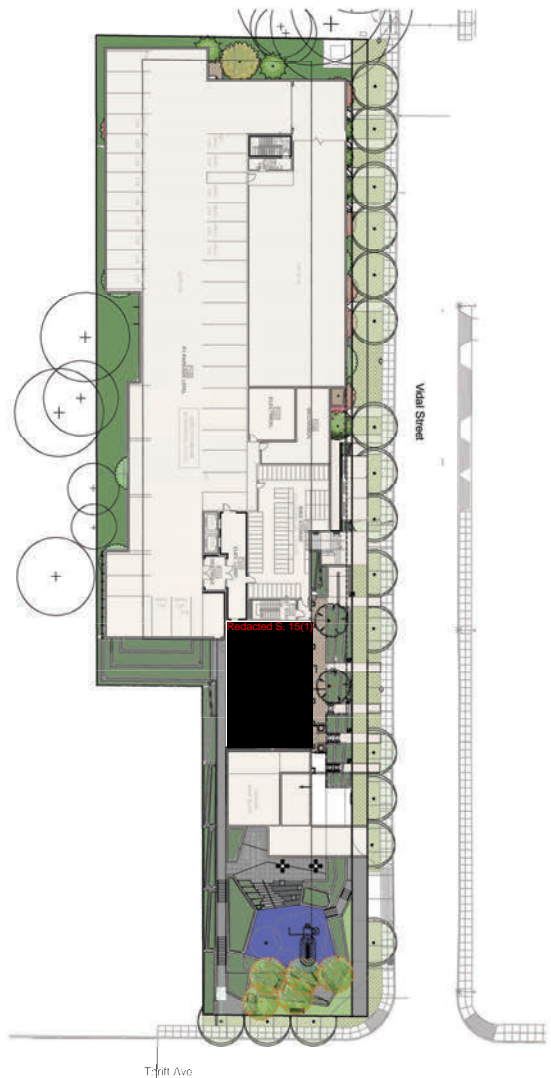
Issued for Development Permit

VDZ+A

FORT LANGLEY STUDIO / MOUNT PLEASANT STUDIO
 302-9381 Church St | 302-353 Kingsway
 Fort Langley BC | Vancouver, BC
 V3M 2M8 VST 317
 www.vdz.ca 604-882-0024



May 31, 2022 Site Plan Revisions
 1. Rooftop and Level P1 green space design have been updated to reflect revised architecture drawings.
 2. Detail sheet has been added to show updated green roof and play equipment details.
 3. New section created to show elevation changes within Level P1 green space.



Sheet List Table

Sheet Number	Sheet Title
L-01	COVER SHEET
L-02A	LANDSCAPE PLAN - LEVEL P1 & P2
L-02B	LANDSCAPE PLAN - MAIN FLOOR
L-02C	LANDSCAPE PLAN - LEVEL 6 ROOFTOP
L-03	GRADING PLAN
LP-01	PLANTING PALETTE
LS-01	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS

Contact Information van der Zalm + associates Inc. Project Landscape Architecture 102 - 9181 Church Street Fort Langley, British Columbia, V3M 2R8 t. 604 882 0024 f. 604 882 0042 Primary project contact: Stephen Heller stephen@vdz.ca o. 604 848 0928 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 546 0920	Other Key Contacts: The Weststone Group Project Owner 10090 152nd St Surrey, BC V3R 8X8 o. 604-266-1996 Keystone Architecture Project Building Architecture 300 - 33131 South Fraser Way Abbotsford, BC V2S 2B1 o. 604-850-0577
Legal Address and Description: LOT 1, PLAN EPP46879, LOT 8 PLAN 13664, AND STRATA PLAN NWS2236, ALL OF SEC. 10 TP. 1 NWD	



2 LOCATION MAP
 Scale: 1:1000

No.	By	Description	Date
12	SH	Issued for Planning Review	May 31, 2022
11	SH	Issued for DP	Oct 16, 2021
10	SH	Response to ADP Comments	July 23, 2021
9	ET	Re-issued for ADP	June 4, 2021
8	LJ	Issued for ADP	March 9, 2021
7	SH	Issued for Coordination	Feb. 26, 2021
6	SH	Issued for Coordination	Dec. 23, 2020
5	SH	Issued for Coordination	Oct. 6, 2020
4	SH	Issued for DP	June 25, 2020
3	SH	Issued for DP	March 6, 2020
2	SH	Issued for DP	May 24, 2019
1	JW	Issued for DP Review	Nov 16, 2018
No.	By	Description	Date

REVISIONS TABLE FOR DRAWINGS

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REVISIONS TABLE FOR SHEET

Project:
 Vidal Street Development
Location:
 Vidal Street & Thrift Ave,
 White Rock, BC

Drawn:
 DV
 FW
Checked:
 SH
Approved:
 [Signature]
 [Date]



1 SITE PLAN
 Scale: 1:1000

Drawing Title: COVER SHEET



VDZ Project #: DP2018-59

Drawing #: L-01

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	7 LD-01	HYDRAPRESSED SLAB Pattern: Running Street Color: Natural Manufacturer: AtlasBoard Concrete as approved detail
	7 LD-01	HYDRAPRESSED SLAB Pattern: Black Board Color: Charcoal & Natural Manufacturer: AtlasBoard Concrete as approved detail

FENCING

KEY	REF.	DESCRIPTION
		PATIO DIVIDER, Refer to Arch.
	8 LD-02	GLASS RAILING

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	2.3 LD-01	SHRUB PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	7 LD-02	LOUNGING SEATING
	4 LD-02	SUN DECK CHAIR
	7 LD-02	LOUNGING SEATING
	3 LD-01	DINING TABLE

NOTES:
1. Sidewalks are to be reconstructed from curb to property line at the applicants expense

LEGEND

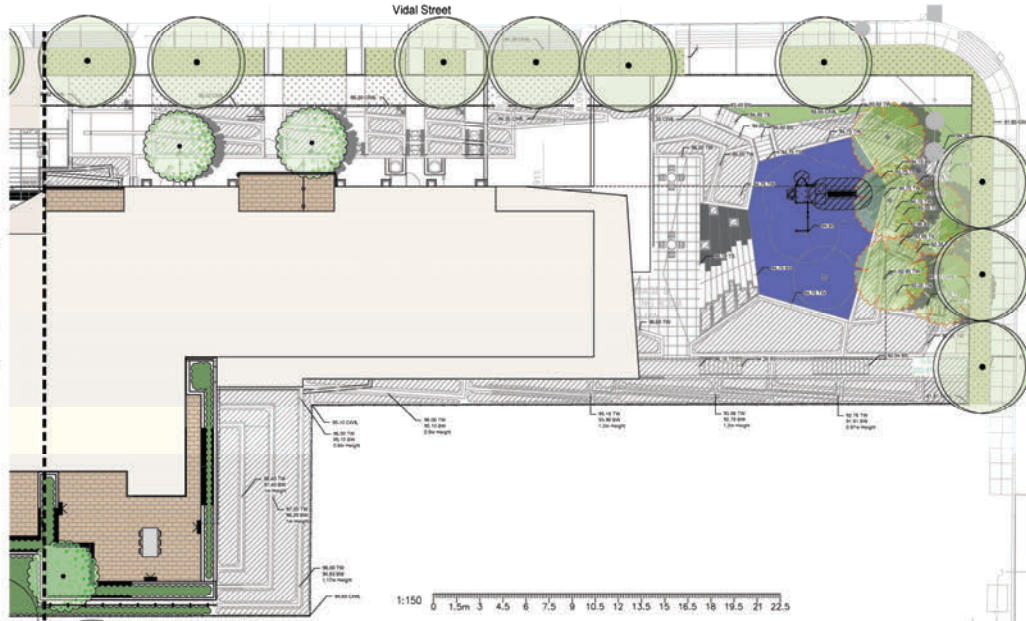
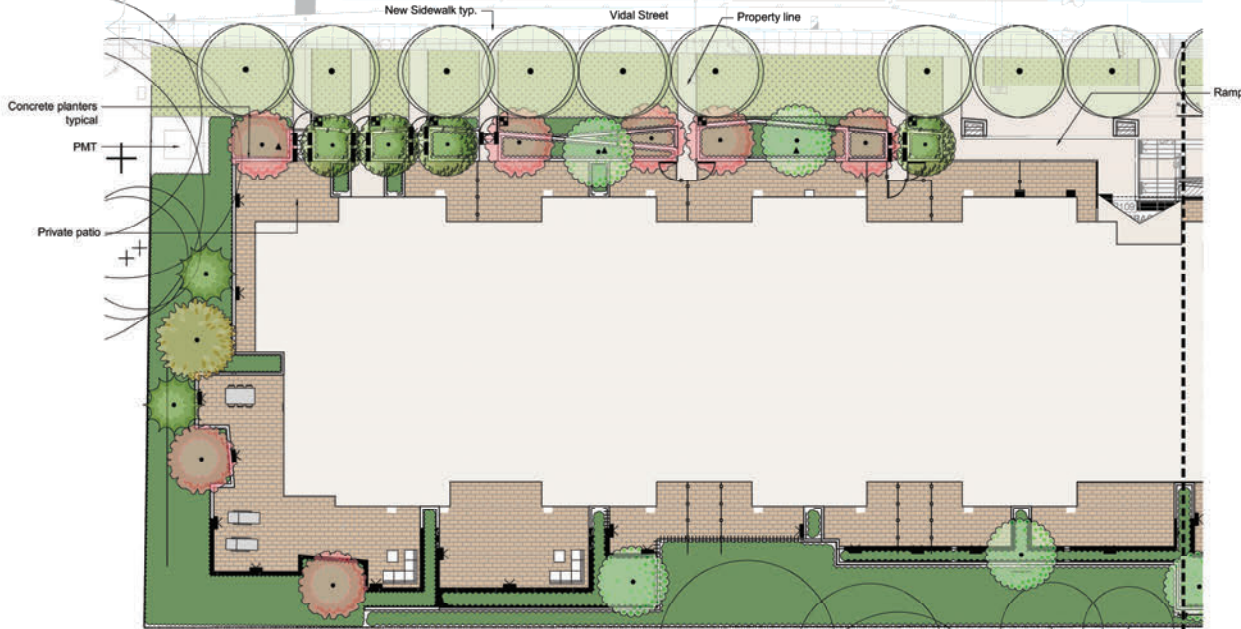
KEY	REF.	DESCRIPTION
		UPLIGHT by Electrical
		RECESSED WALL/STEP LIGHT by Electrical
		PATH LIGHT by Electrical

BUILDING LEVELS

KEY	DESCRIPTION
	P2 LEVEL
	P1 LEVEL
	LEVEL 1
	LEVEL 2
	LEVEL 3

PLANT SCHEDULE ON-SITE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	Ø 8.8	60cm cal.	7
	Cornus x Rutata / Celestial Dogwood	Ø 8.8	60cm cal.	8
	Fagus sylvatica 'Dawyck' / Dawyck Beech	Ø 8.8	60cm cal.	6
	Parrotia persica 'Vanessa' / Persian Parrotia	Ø 8.8	3.0m H	1
	Picea abies 'Rubra Spicata' / Red Tipped Norway Spruce	Ø 8.8	3.0m H	2



VDZ+A
 VISION DESIGN ZONE
 FORT LANGLEY STUDIO/MOUNT PLEASANT STUDIO
 302-9381 Church St | 302-353 Kingsway
 Fort Langley, BC | Vancouver, BC
 (604) 281-1317 | 604-882-0024
 www.vdz.ca

May 31, 2022 Site Plan Revisions
 1. Rooftop and Level P1 green space design have been updated to reflect revised architectural drawing.
 2. Detail sheet has been added to show updated green roof and play equipment details.
 3. New section created to show elevation changes within Level P1 green space.

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date
11	SH	Issued for DP	Oct 16, 2021
10	SH	Response to ADP Comments	July 23, 2021
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5	SH	Issued for Coordination	Oct. 6, 2020
4	SH	Issued for DP	June 26, 2020
3	SH	Issued for DP	March 6, 2020
2	SH	Issued for DP	May 24, 2019
1	JW	Issued for DP Review	Nov 16, 2018

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date
1	AD	Review and Coordination	March 5, 2020

Project:
Vidal Street Development

Location:
Vidal Street & Thrift Ave,
White Rock, BC

Drawn: DV
Stamp:

Checked: SH

Approved: MVDZ
Original Sheet Size: 24"x36"

Scale: 1:150

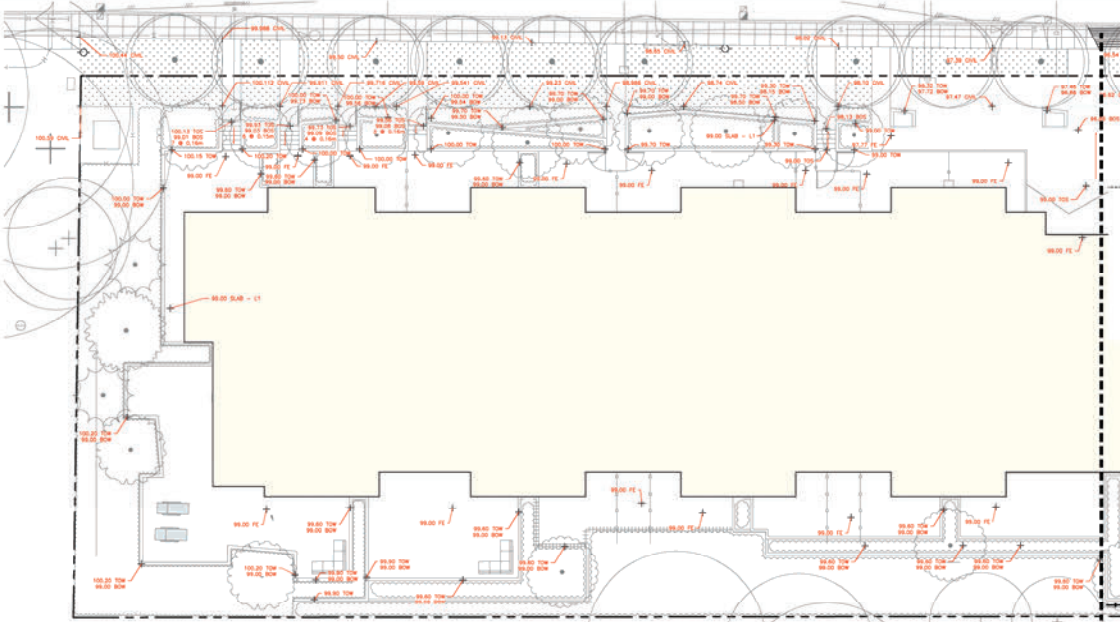
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK. ANY DISCREPANCY TO THE CONTRACT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR BEFORE PROCEEDING. EXCLUSIVE OF THE CONTRACTOR'S LIABILITY, THE WORK SHALL BE DONE AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.



Drawing Title: **LANDSCAPE PLAN - MAIN FLOOR**

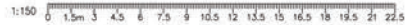
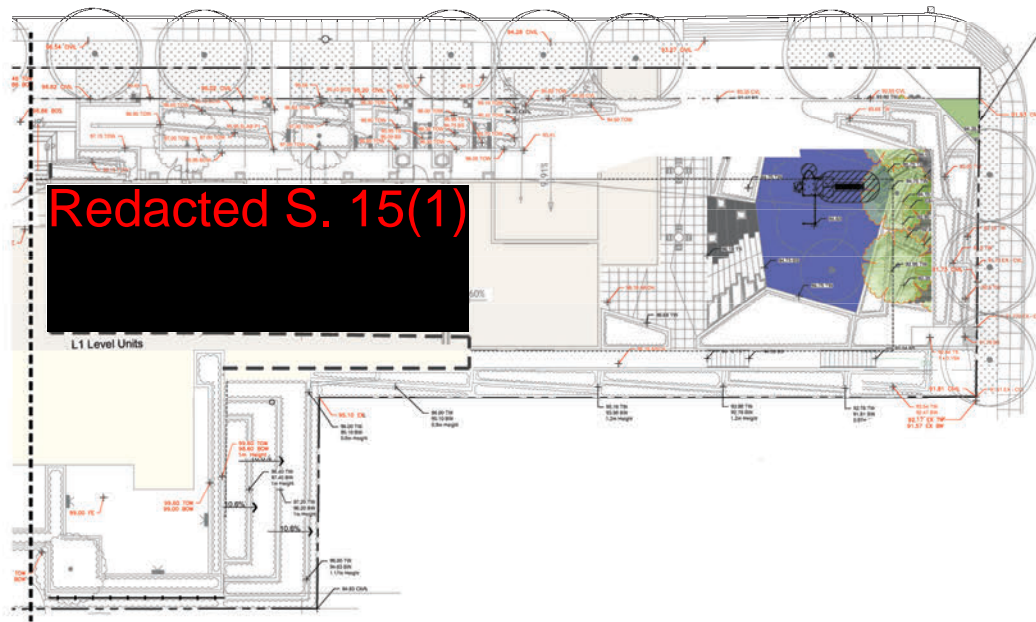
VDZ Project #: **DP2018-59**

Drawing #: **L-02B**



BUILDING LEVELS

KEY (COLOUR CODE)	DESCRIPTION
	P2 LEVEL
	P1 LEVEL
	LEVEL 1
	LEVEL 2
	LEVEL 3



No.	By:	Description	Date
12	SH	Issued for Planning Review	May 31, 2020
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4	SH	Issued for DP	June 25, 2020
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1	JW	Issued for DP Review	Nov 16, 2018
No.	By:	Description	Date

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
Vidal Street Development

Location:
Vidal Street & Thrift Ave,
White Rock, BC

Drawn: DV	Stamp:
Checked: SH	
Approved: MYDZ	Original Sheet Size: 24"x36"

Scale:
1:150

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SHALL BE HELD RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK. ALL DIMENSIONS OF THE WORK SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL NOT BE ASSUMED UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE LABELED CLEARLY FOR THE CONTRACTOR.

Drawing Title: **GRADING PLAN**



VDZ Project #: **DP2018-59**

Drawing #: **L-03**

TREE PALETTE



SHRUB PALETTE



GRASSES, PERENNIALS AND GROUNDCOVERS PALETTE



PRECEDENT IMAGES



VDZ+A
 VISION DESIGN ZONE ARCHITECTURE
 FORT LANGLEY STUDIO/MOUNT PLEASANT STUDIO
 303-9381 Church St | 302-353 Kingsway
 Fort Langley BC | Delta BC
 V3M 2M8 V3T 3T7
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1	JW	Issued for DP Review	Nov 14, 2018

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REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:
Vidal Street Development

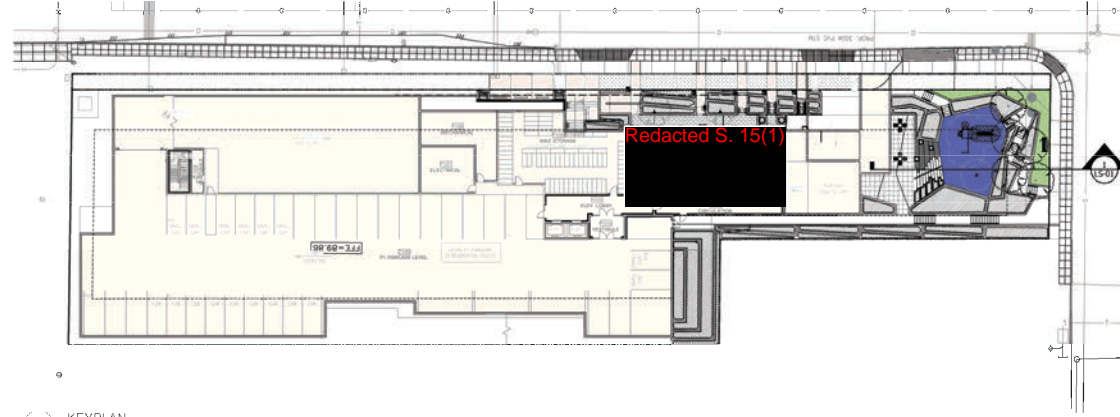
Location:
Vidal Street & Thrift Ave,
White Rock, BC

Drawn: SZ	Stamp:
Checked: SH	
Approved: MVDZ	
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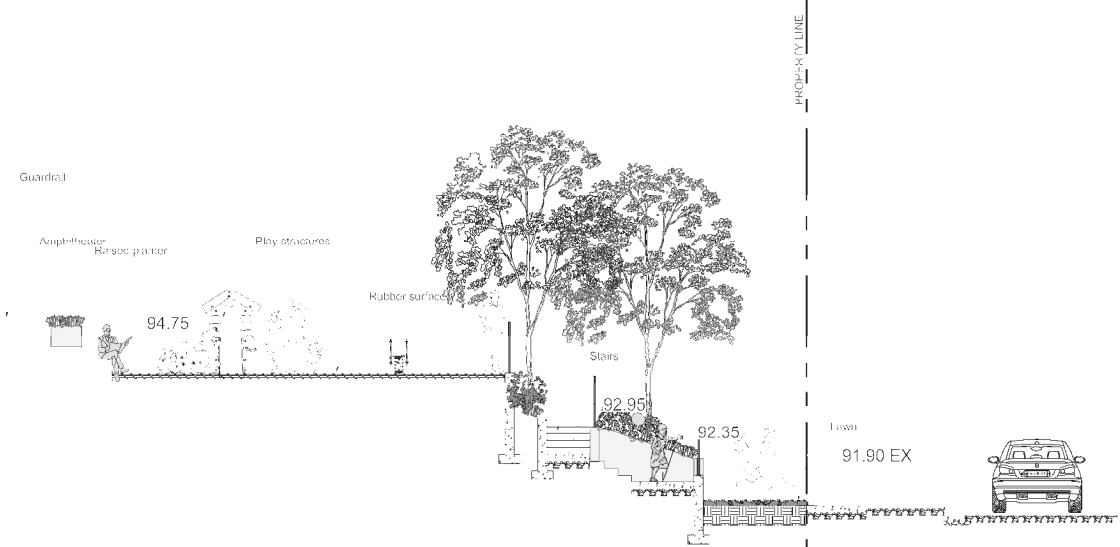
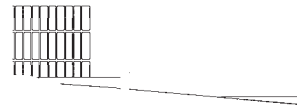
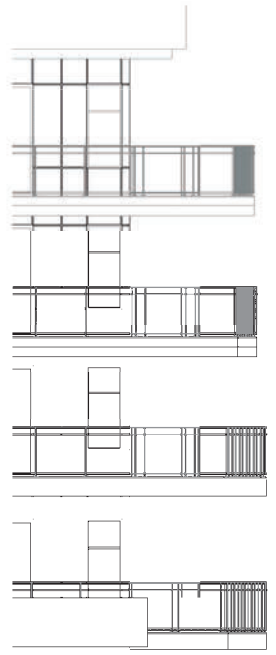
CONTRACTOR NOTE: CHECK ALL DIMENSIONS ON THE WORK. ADD FINISH ANNOTATIONS TO THE CONSTRUCTION BEFORE PROCEEDING. ALL MATERIALS AND WORK SHALL BE AS SHOWN ON THE WORK. ALL DIMENSIONS OF CONSTRUCTION SHALL BE AS SHOWN ON THE CONSTRUCTION UNLESS OTHERWISE NOTED ON THE CONSTRUCTION.

Z:\PRODUCTION\PERMITS\ACTIVATION\504_VIDA_STREET\DWG\PLANTING\PLANTING_PALETTE.DWG

Drawing Title: **PLANTING PALETTE**
 Drawing #: **LP-01**
 Project #: **DP2018-59**
 NORTH



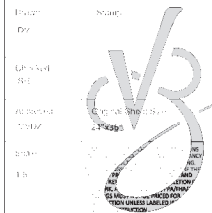
KEYPLAN
Sheet 15 of 15

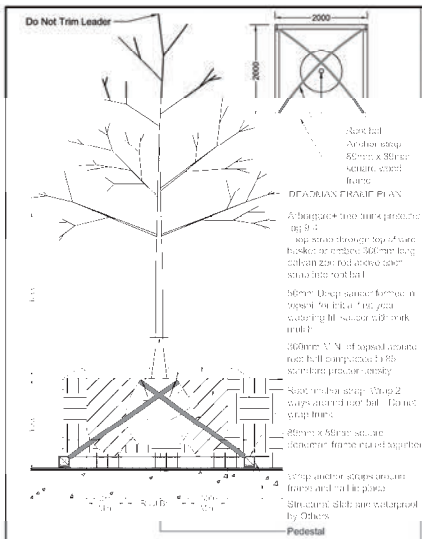


SECTION 1 - BUILDING TO SOUTH PROPERTY LINE A

REVISIONS

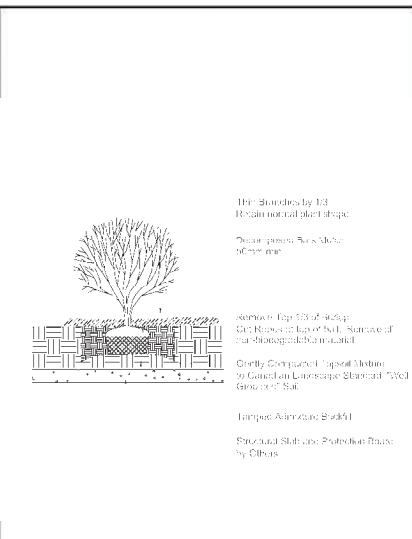
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4	2018-07-01	REVISED TO REFLECT PERMIT COMMENTS
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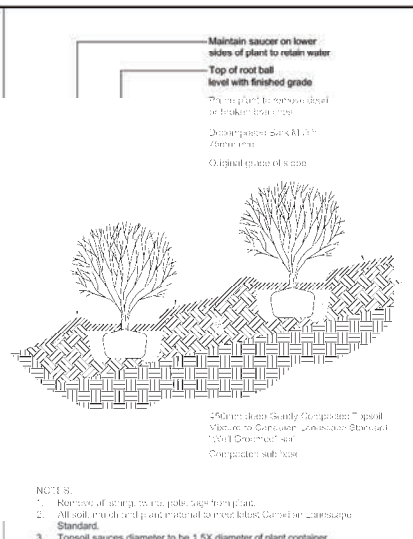
1 TREE ON STRUCTURAL SLAB
Scale 1:30

- NOTES:**
1. Sacking/burlap to be loosened and dropped to the bottom of the planting hole, all string, twine, etc. to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stem unless specified otherwise.



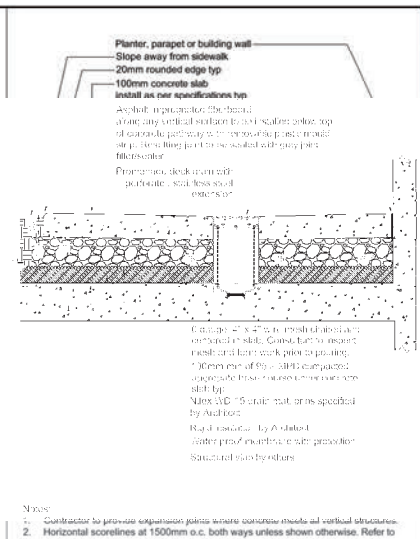
2 SHRUB ON STRUCTURAL SLAB
Scale 1:25

- NOTES:**
1. Retain soil on top of saucer for planting.
 2. All soil on and around planting hole shall be amended to meet landscape Standard.
 3. Topsoil saucer diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.



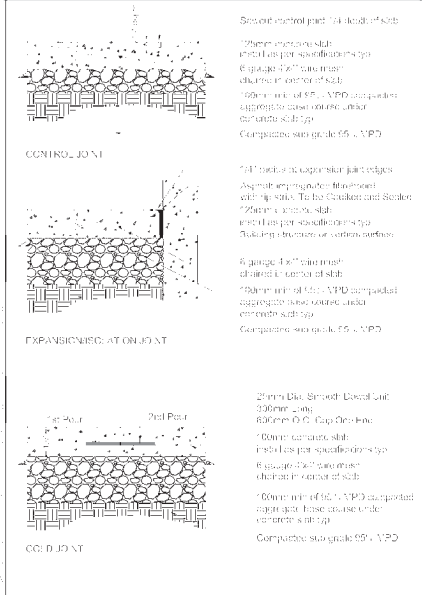
3 SHRUB PLANTING
Scale 1:25

- NOTES:**
1. Retain soil on top of saucer for planting.
 2. All soil on and around planting hole shall be amended to meet landscape Standard.
 3. Topsoil saucer diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.

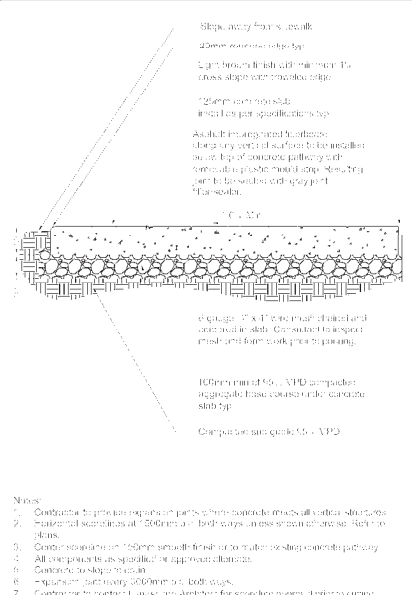


4 CONCRETE SLAB ON STRUCTURAL SLAB
Scale 1:10

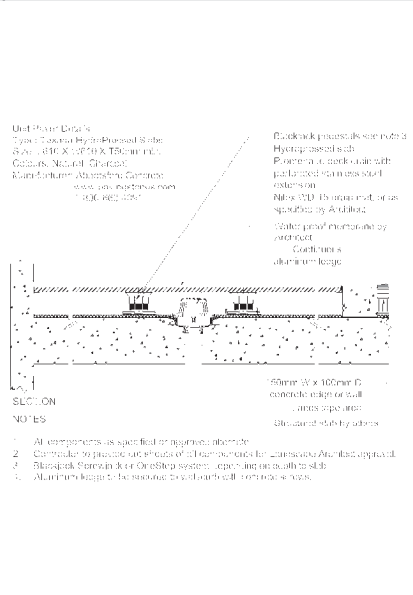
- NOTES:**
1. Contractor to provide expansion joints where concrete meets all vertical structures.
 2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
 3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
 4. All components as specified or approved alternate.
 5. Concrete to slope to drain.
 6. Expansion joint every 3000mm o.c. both ways.



5 CONCRETE JOINTS



6 CONCRETE SLAB ON CRADLE



7 HYDRAPRESS SLAB ON STRUCTURAL SLAB



10	SH	Issued for Planning Review	May 21, 2020
11	SH	Issued for DP	Oct 16, 2021
12	SH	Response to ADP Comments	July 23, 2021
9	ET	Revised for ADP	June 4, 2021

REVISIONS

NO.	DATE	DESCRIPTION
1	2020-05-21	Issued for Planning Review
2	2020-05-21	Issued for Planning Review
3	2020-05-21	Issued for Planning Review
4	2020-05-21	Issued for Planning Review
5	2020-05-21	Issued for Planning Review
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9	2020-05-21	Issued for Planning Review
10	2020-05-21	Issued for Planning Review
11	2020-05-21	Issued for Planning Review
12	2020-05-21	Issued for Planning Review

REVISIONS

Project: V.ca Sunset Development

Location: V.ca Sunset & T-11 Ave, White Rock, BC

Project: V.ca Sunset Development

Location: V.ca Sunset & T-11 Ave, White Rock, BC

Project: V.ca Sunset Development

Location: V.ca Sunset & T-11 Ave, White Rock, BC

Project: V.ca Sunset Development

Location: V.ca Sunset & T-11 Ave, White Rock, BC



Precedent Image

1 RUBBER PLAY SURFACE
Scale NTS



Precedent Image
Supplier: Kodama
Product: Zome Lounger Sun Shade

2 LOUNGER SUN SHADE
Scale NTS



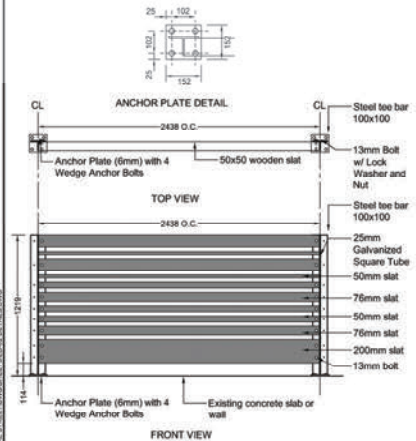
Precedent Image
Shop Drawings to be submitted to Landscape Architect for Approval

3 TRELLIS
Scale NTS



Precedent Image
Or approved Equal

4 SUNDECK CHAIR
Scale NTS



5 CEDAR FENCE
Scale NTS



Precedent Image
Manufacturer: Gemstone Masonry & Landscape Supply Ltd.
Custom Natural Gas Fire Table
Or approved Equal

6 FIRE PIT
Scale NTS



Precedent Image

7 LOUNGE
Scale NTS



Precedent Image

8 GLASS RAILING
Scale NTS



No.	By:	Description	Date
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2	SH	Issued for DP	May 24, 2019
1	JW	Issued for DP Review	Nov 16, 2018

REVISIONS TABLE FOR DRAWINGS

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REVISIONS TABLE FOR SHEET

Project:
Vidal Street Development

Location:
Vidal Street & Thrift Ave,
White Rock, BC

Drawn: [Signature]
Stamp: [Stamp]

Checked: [Signature]
Approved: [Signature]
Date: 2023-07-23
Scale: 1:100
Project No.: DP2018-59



1 SEAT WALL
Scale NTS



Precedent Image

2 BAR HEIGHT TABLE
Scale NTS



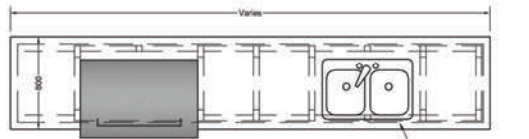
Manufacturer: Landscape Forms or approved equals
Model: Morrison 30" tall
Colour: Silver w/ wood inserts

3 DINING TABLE
Scale NTS

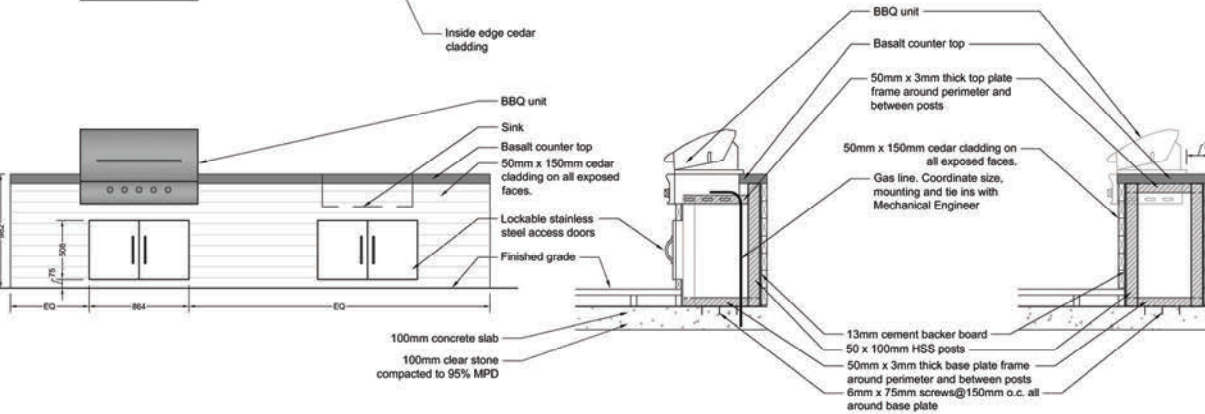


Manufacturer: Landscape Forms or approved equals
Model: Chipman 30" dining w/ armless chairs
Colour: Silver

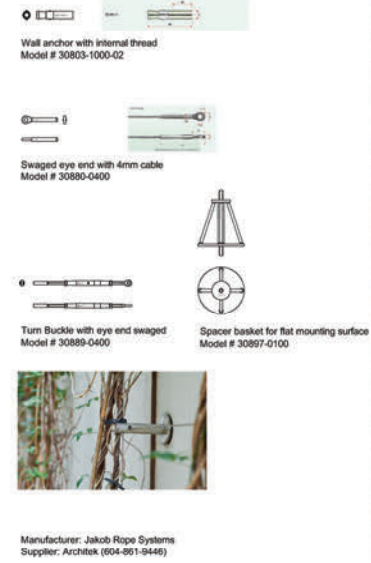
4 TABLE & CHAIRS
Scale NTS



- Notes:
1. Contractor to verify BBQ dimensions prior to construction of BBQ enclosure.
 2. Contractor to submit shop drawings for approval.
 3. BBQ grill to be installed per manufacturers specifications.
 4. Gas line to be coordinated with Mechanical Engineer and to meet BBQ manufacturers specifications.
 5. BBQ Unit model Fire Magic Auroa A790i, or approved equal.



5 OUTDOOR KITCHEN & BBQ
Scale NTS



6 CABLE TRUSS SYSTEM
Scale NTS



No.	By:	Description	Date
12	SH	Issued for Planning Review	May 21, 2020
11	SH	Issued for DP	Oct 18, 2021
10	SH	Response to ADP Comments	July 23, 2021
9	ET	Re-issued for ADP	June 4, 2021
8	LJ	Issued for ADP	March 8, 2021
7	SH	Issued for Coordination	Feb. 26, 2021
6	SH	Issued for Coordination	Dec. 23, 2020
5	SH	Issued for Coordination	Oct. 6, 2020
4	SH	Issued for DP	June 26, 2020
3	SH	Issued for DP	March 8, 2020
2	SH	Issued for DP	May 14, 2019
1	JW	Issued for DP Review	Nov 16, 2018

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project: Vidal Street Development

Location: Vidal Street & Thrift Ave, White Rock, BC

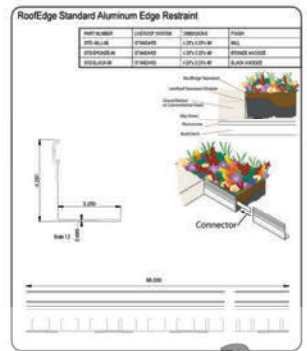
Drawn: FW	Stamp:
Checked: JW	
Approved: MYDZ	Original Sheet Size: 24"x36"

Scale: 1/8" = 1'-0"

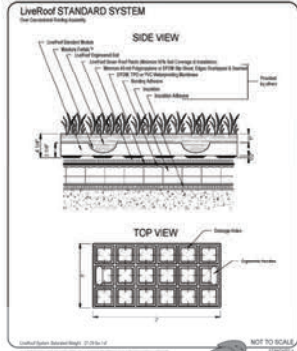
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ANY DIMENSIONS NOT SHOWN SHALL BE AS SHOWN.



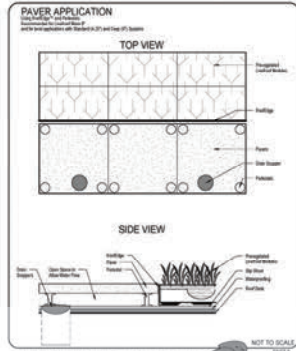
Precedent Image



LiveRoof



LiveRoof



LiveRoof

1 GREEN ROOF
Scale NTS

2 ROOFEDGE STANDARD ALUMINUM EDGE RESTRAINT
Scale NTS

3 LIVEROOF STANDARD SYSTEM
Scale NTS

4 PAVER APPLICATION
Scale NTS

No.	By:	Description	Date
12	SH	Issued for Planning Review	May 31, 2020
11	SH	Issued for DP	Oct 18, 2021
10	SH	Response to ADP Comments	July 23, 2021
9	ET	Re-issued for ADP	June 4, 2021
8	LJ	Issued for ADP	March 9, 2021
7	SH	Issued for Coordination	Feb. 26, 2021
6	SH	Issued for Coordination	Dec. 23, 2020
5	SH	Issued for Coordination	Oct. 6, 2020
4	SH	Issued for DP	June 26, 2020
3	SH	Issued for DP	March 6, 2020
2	SH	Issued for DP	May 24, 2019
1	JW	Issued for DP Review	Nov 16, 2018

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Vidal Street Development

Location:
Vidal Street & Thrift Ave,
White Rock, BC

Drawn: FW

Stamp:

Checked: JN

Date: 2023.04.12.06

Scale: 1:1

Project No.: DP2018-59

Sheet No.: LD-04



Precedent Image

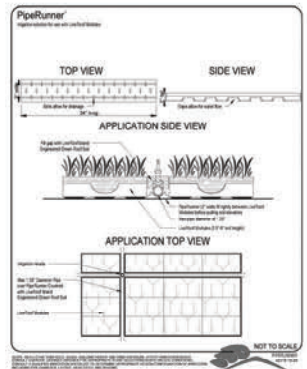


Precedent Image

5 PIPE RUNNER IRRIGATION
Scale NTS

6 PLAY STRUCTURE
Scale NTS

7 PLAY SPINNER
Scale NTS



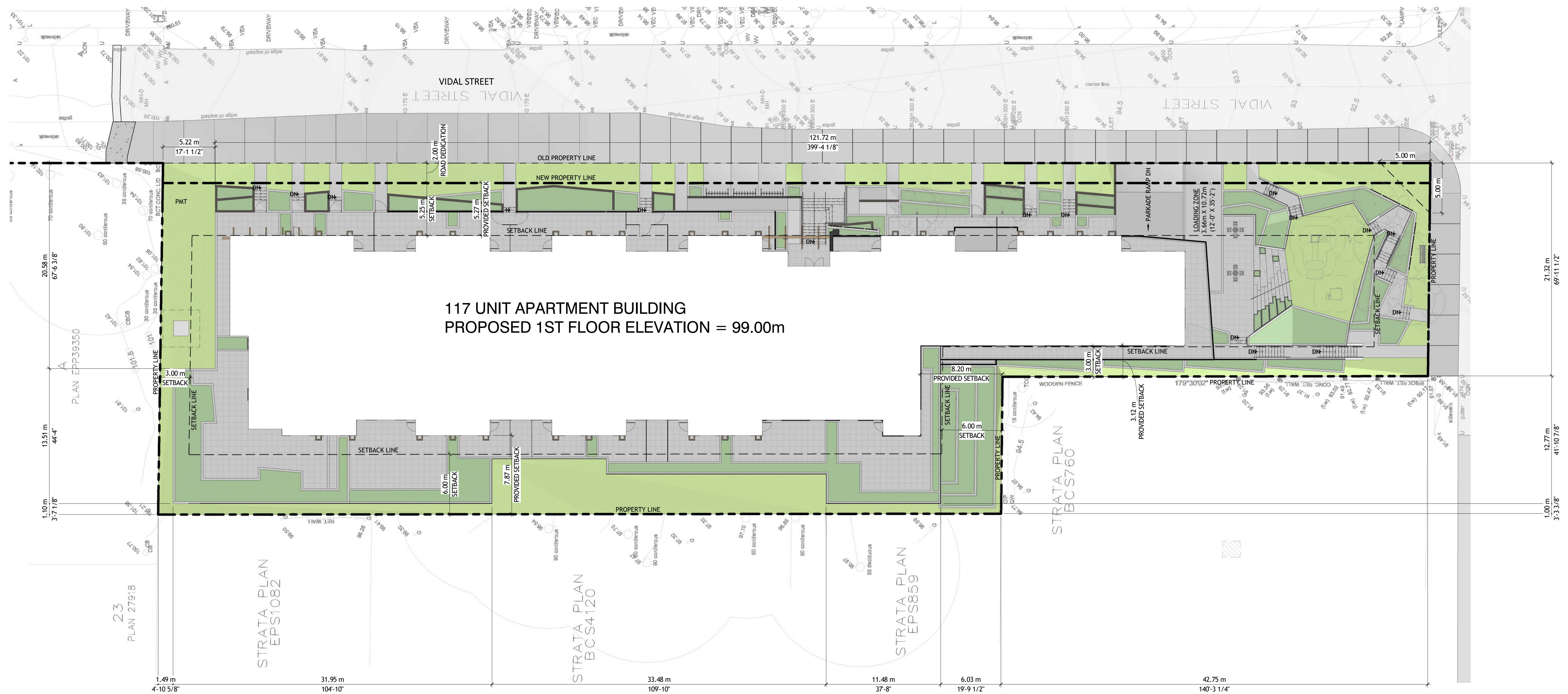
LiveRoof

Drawing Title: DETAILS

VDZ Project #: DP2018-59

Drawing #: LD-04

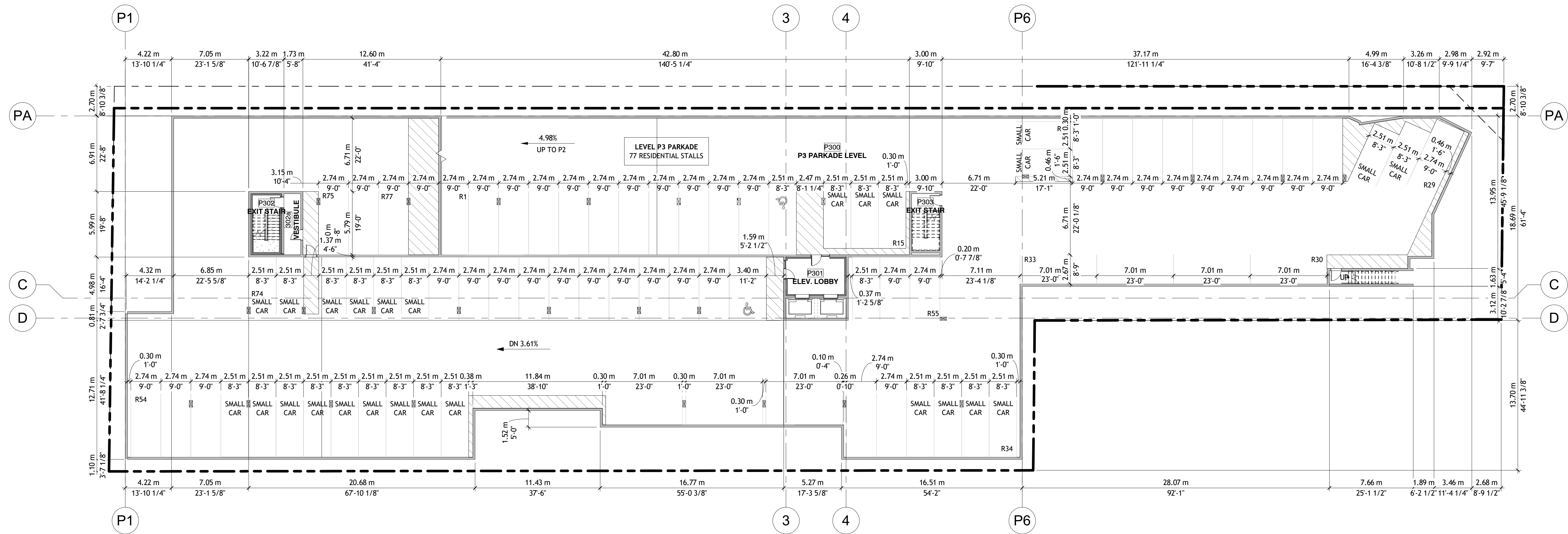
Landscape Architecture: 2023.04.12.06



**117 UNIT APARTMENT BUILDING
PROPOSED 1ST FLOOR ELEVATION = 99.00m**

UNIT COUNT & MIX - TOTALS

STUDIO - 17 UNITS	12.3%
1 BED - 63 UNITS	45.7%
2 BED - 28 UNITS	20.3%
3 BED - 30 UNITS (18 ADAPTABLE)	21.7% (13.0%)
TOTAL - 138 UNITS	100%



TENANT PARKING PROVIDED - P3
 STANDARD - 41 STALLS
 PARALLEL - 7 STALLS
 ACCESSIBLE - 2 STALLS
 SMALL CAR - 27 STALLS
 TOTAL - 77 STALLS



VIDAL STREET DEVELOPMENT
 VIDAL STREET, WHITE ROCK, B.C.

P3 LEVEL PLAN
 SCALE: 1/16" = 1'-0"

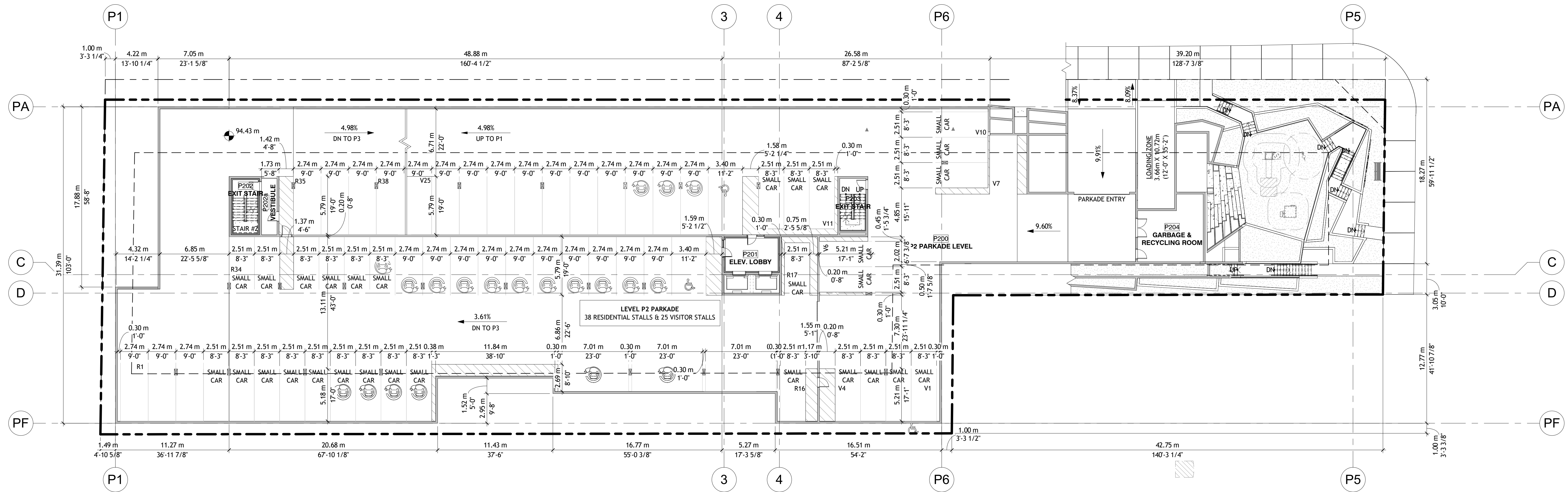


ISSUED FOR CLIENT REVIEW

06/02/22 REVISION #:
 PROJECT NUMBER: 17-110



SD3.01



TENANT PARKING PROVIDED - P2
 STANDARD - 17 STALLS (10 EV)
 PARALLEL - 3 STALLS (2 EV)
 ACCESSIBLE - 1 STALLS
 SMALL CAR - 17 STALLS (5 EV)
 TOTAL - 38 STALLS (17 EV)

VISITOR PARKING PROVIDED - P2
 STANDARD - 12 STALLS (3 EV)
 ACCESSIBLE - 1 STALLS
 SMALL CAR - 12 STALLS
 TOTAL - 25 STALLS (3 EV)



VIDAL STREET DEVELOPMENT
 VIDAL STREET, WHITE ROCK, B.C.

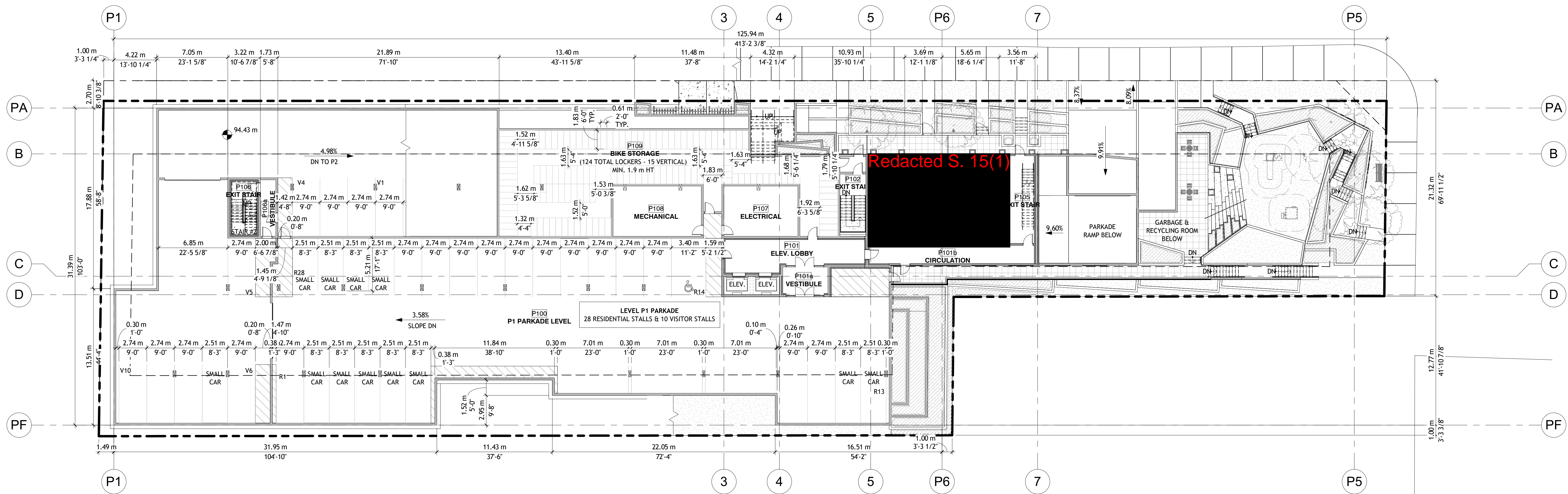
P2 LEVEL PLAN
 SCALE: 1/16" = 1'-0"



ISSUED FOR CLIENT REVIEW
 06/02/22 REVISION #:
 PROJECT NUMBER: 17-170



SD3.02

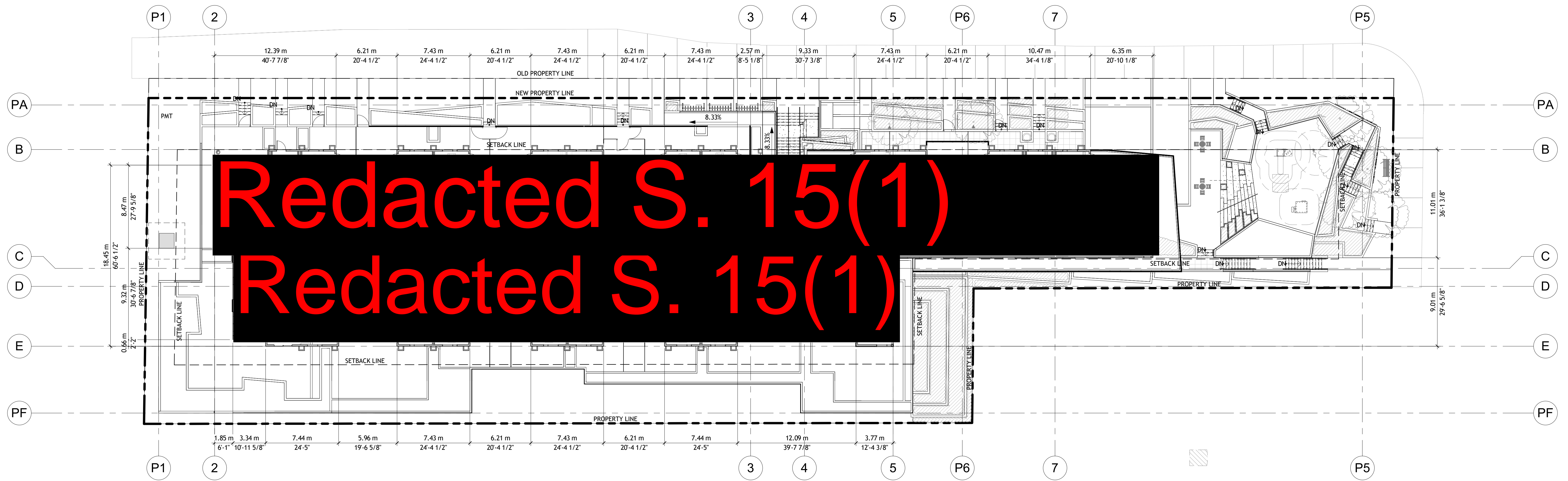


UNIT COUNT & MIX - P1
 1 BED - 1 UNITS
 2 BED - 1 UNITS
 TOTAL - 2 UNITS

TENANT PARKING PROVIDED - P1
 STANDARD - 13 STALLS
 PARALLEL - 3 STALLS
 ACCESSIBLE - 1 STALLS
 SMALL CAR - 11 STALLS
 TOTAL - 28 STALLS

VISITOR PARKING PROVIDED - P1
 STANDARD - 9 STALLS
 ACCESSIBLE - 0 STALLS
 SMALL CAR - 1 STALLS
 TOTAL - 10 STALLS

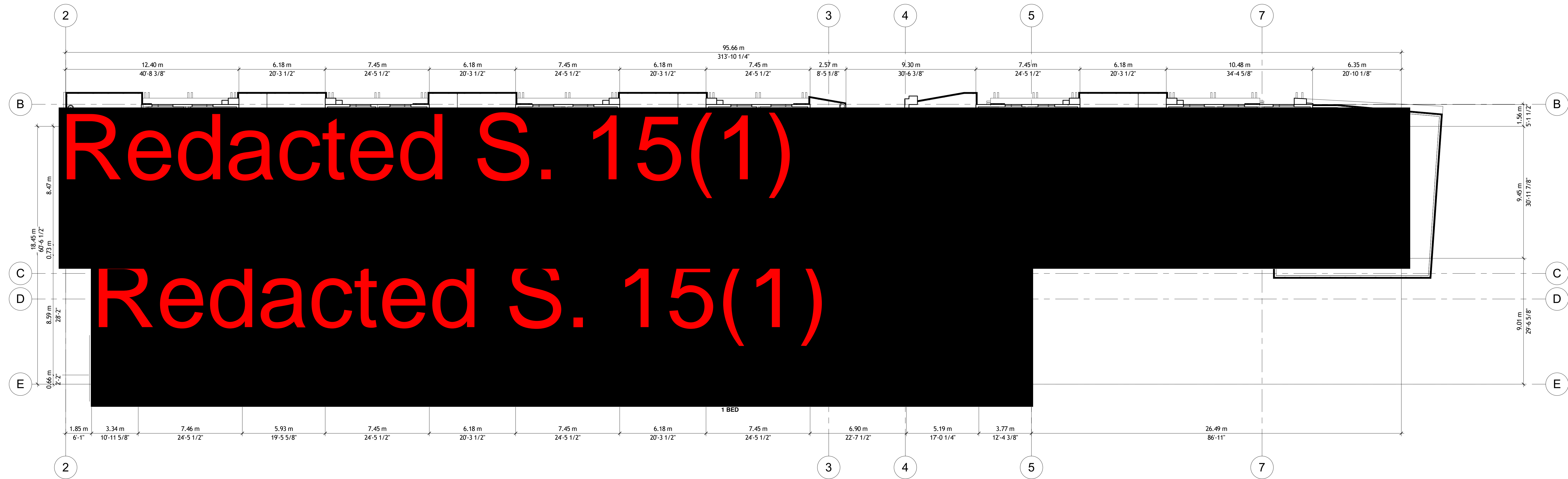




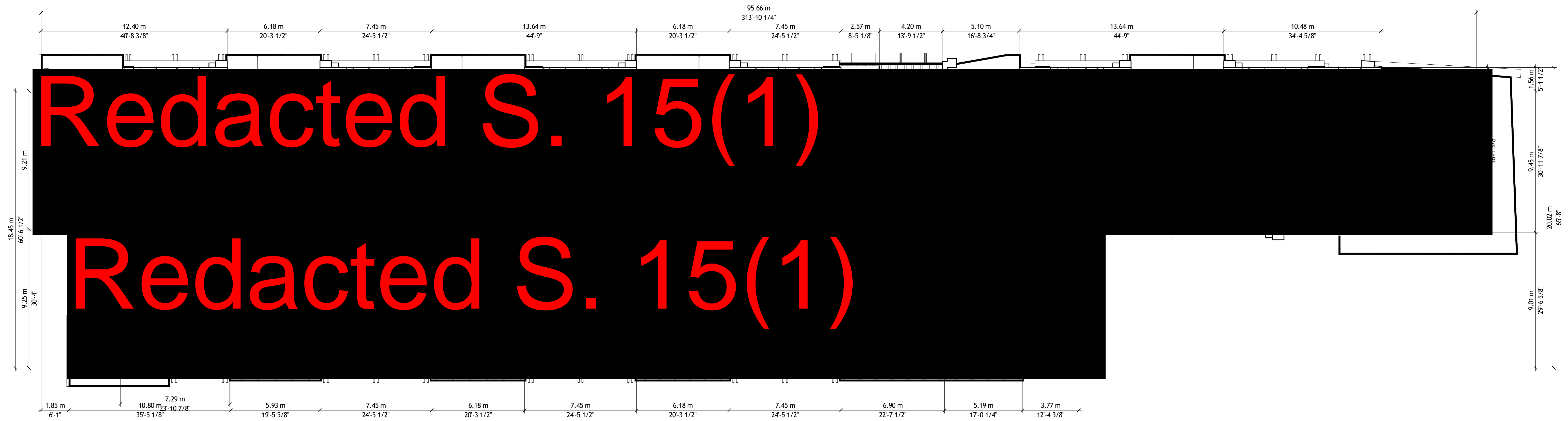
Redacted S. 15(1)
Redacted S. 15(1)

UNIT COUNT & MIX - L1
 STUDIO - 3 UNITS
 1 BED - 11 UNITS
 2 BED - 3 UNITS
 3 BED - 5 UNITS (3 ADAPTABLE)
 TOTAL - 22 UNITS



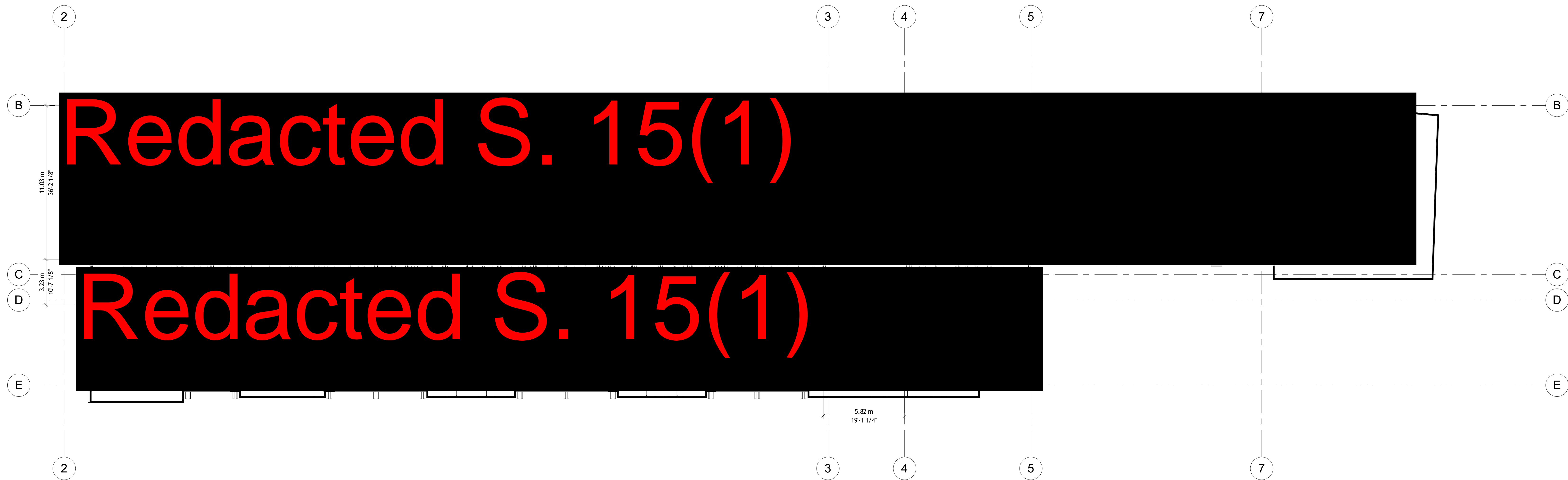


UNIT COUNT & MIX - L2
 STUDIO - 2 UNITS
 1 BED - 11 UNITS
 2 BED - 4 UNITS
 3 BED - 5 UNITS (3 ADAPTABLE)
 TOTAL - 22 UNITS

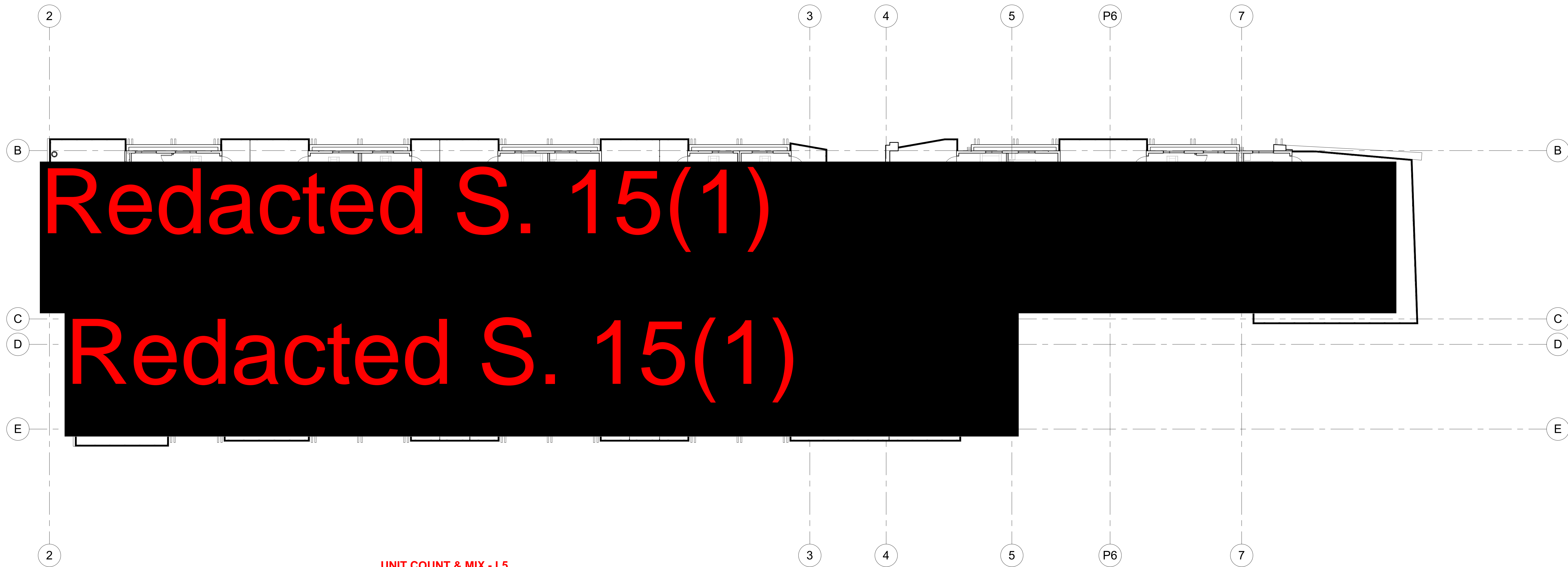


UNIT COUNT & MIX - L3
 STUDIO - 3 UNITS
 1 BED - 10 UNITS
 2 BED - 5 UNITS
 3 BED - 5 UNITS (3 ADAPTABLE)
 TOTAL - 23 UNITS

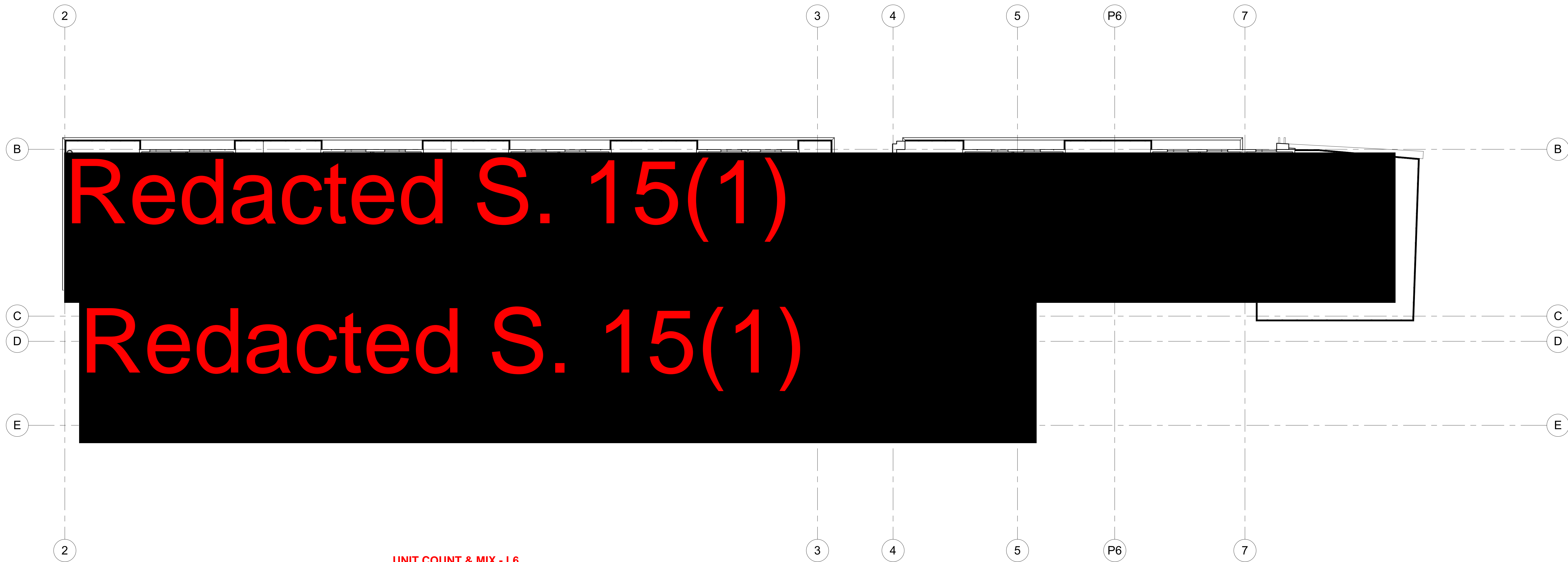




UNIT COUNT & MIX - L4
 STUDIO - 3 UNITS
 1 BED - 10 UNITS
 2 BED - 5 UNITS
 3 BED - 5 UNITS (3 ADAPTABLE)
 TOTAL - 23 UNITS



UNIT COUNT & MIX - L5
 STUDIO - 3 UNITS
 1 BED - 10 UNITS
 2 BED - 5 UNITS
 3 BED - 5 UNITS (3 ADAPTABLE)
 TOTAL - 23 UNITS



UNIT COUNT & MIX - L6
 STUDIO - 3 UNITS
 1 BED - 10 UNITS
 2 BED - 5 UNITS
 3 BED - 5 UNITS (3 ADAPTABLE)
 TOTAL - 23 UNITS





sheet schedule

SD0.01	COVER PAGE	SD1.04	DESIGN RATIONALE	SD1.39	NEIGHBOURHOOD AERIAL	SD3.08	5TH LEVEL PLAN
SD0.02	CONTEXT PLAN	SD1.05	STREETSCAPES	SD1.40	MATERIAL BOARD	SD3.09	6TH LEVEL PLAN
SD0.03	NEIGHBOURHOOD PLAN	SD1.20	SITE PLAN	SD3.01	P3 LEVEL PLAN	SD3.10	ROOF LEVEL PLAN
SD0.04	CONTEXT MASSING	SD1.21	SITE SECTIONS	SD3.02	P2 LEVEL PLAN	SD4.01	BUILDING ELEVATIONS
SD0.05	NEIGHBOURHOOD CONTEXT	SD1.30	SHADOW STUDY	SD3.03	P1 LEVEL PLAN	SD4.02	BUILDING ELEVATIONS
SD0.06	TRANSIT ROUTES	SD1.35	FRONT PERSPECTIVE	SD3.04	1ST LEVEL PLAN	SD4.03	PERSPECTIVE ELEVATIONS
SD0.07	PEDESTRIAN/CYCLE ROUTES	SD1.36	ENTRY PERSPECTIVE	SD3.05	2ND LEVEL PLAN	SD4.04	PERSPECTIVE ELEVATIONS
SD1.01	PROJECT DATA	SD1.37	STREETSCAPE PERSPECTIVE	SD3.06	3RD LEVEL PLAN	SD7.01	SITE CODE PLAN
SD1.03	PRECEDENT IMAGES	SD1.38	OUTDOOR AMENITY	SD3.07	4TH LEVEL PLAN	SD7.02	SITE LAYOUT PLAN

keystone architecture & planning ltd.

T 604.850.0577 | 300 - 33131 south fraser way
 F 1.855.398.4578 | abbotsford, bc v2s 2b1



VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

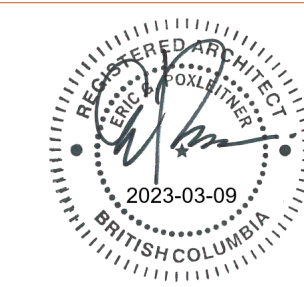
COVER PAGE

SCALE: N.T.S.

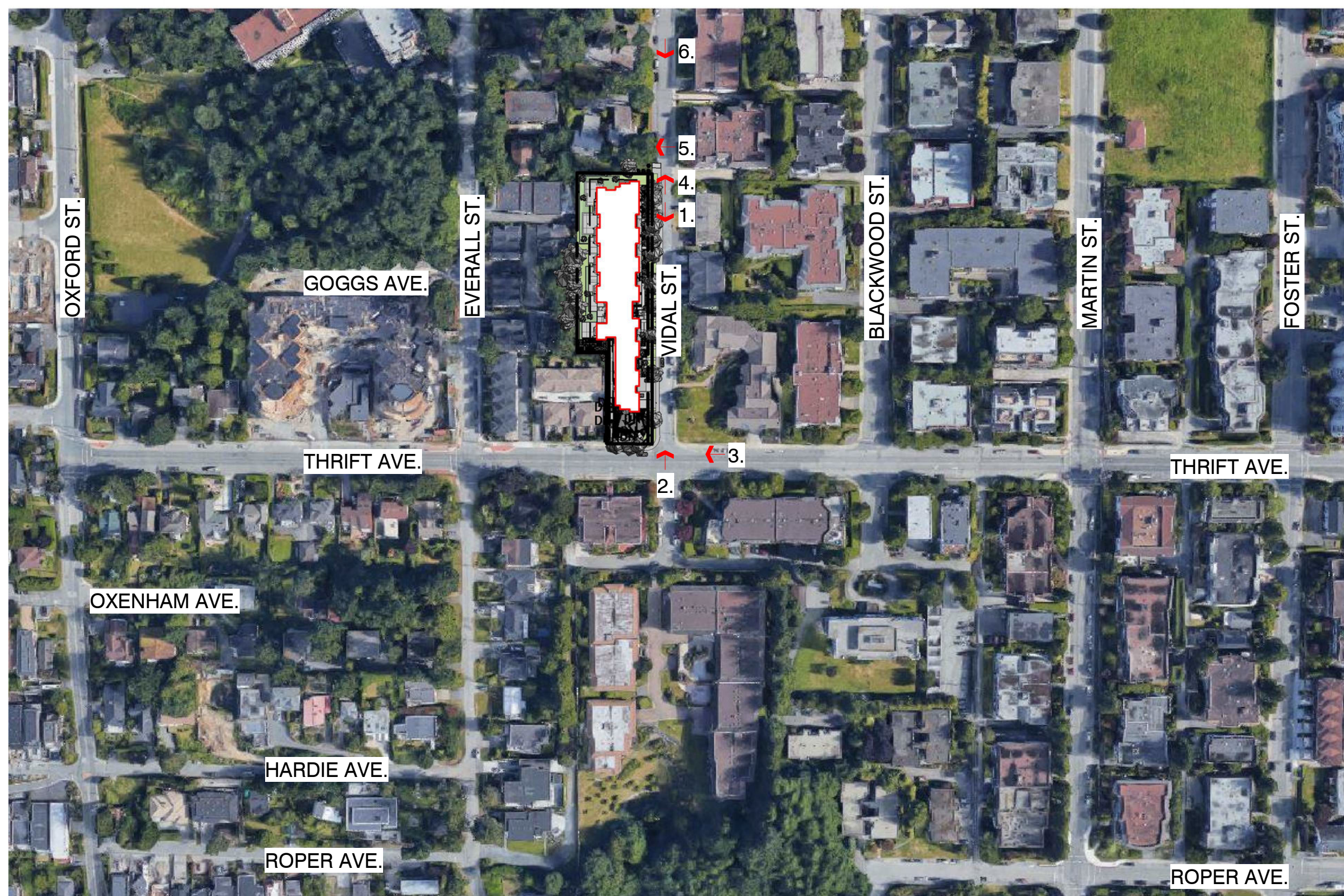
RE-ISSUED FOR DEVELOPMENT PERMIT

23-03-08 REVISION #:

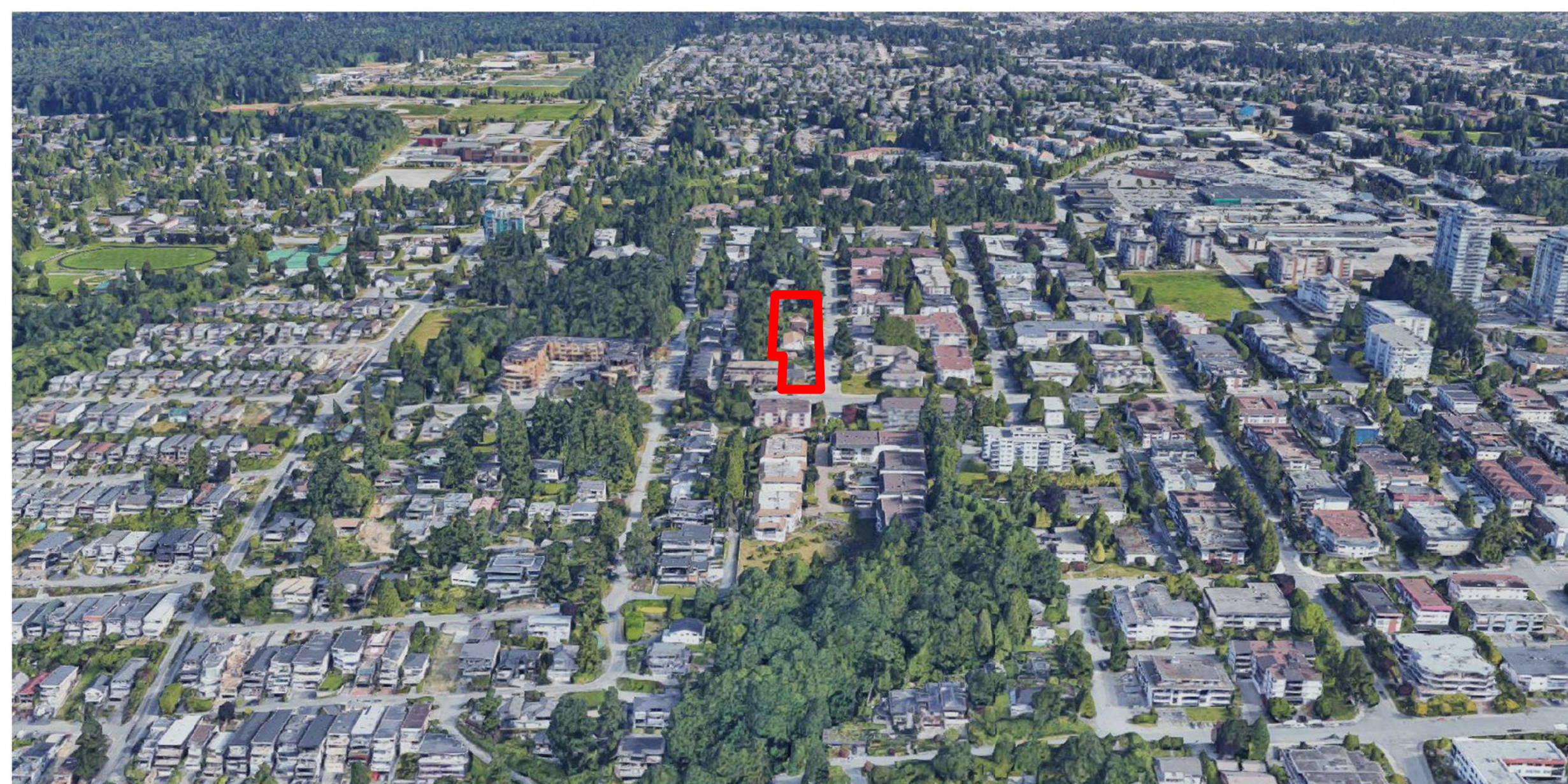
PROJECT NUMBER: 17-170



SD0.01



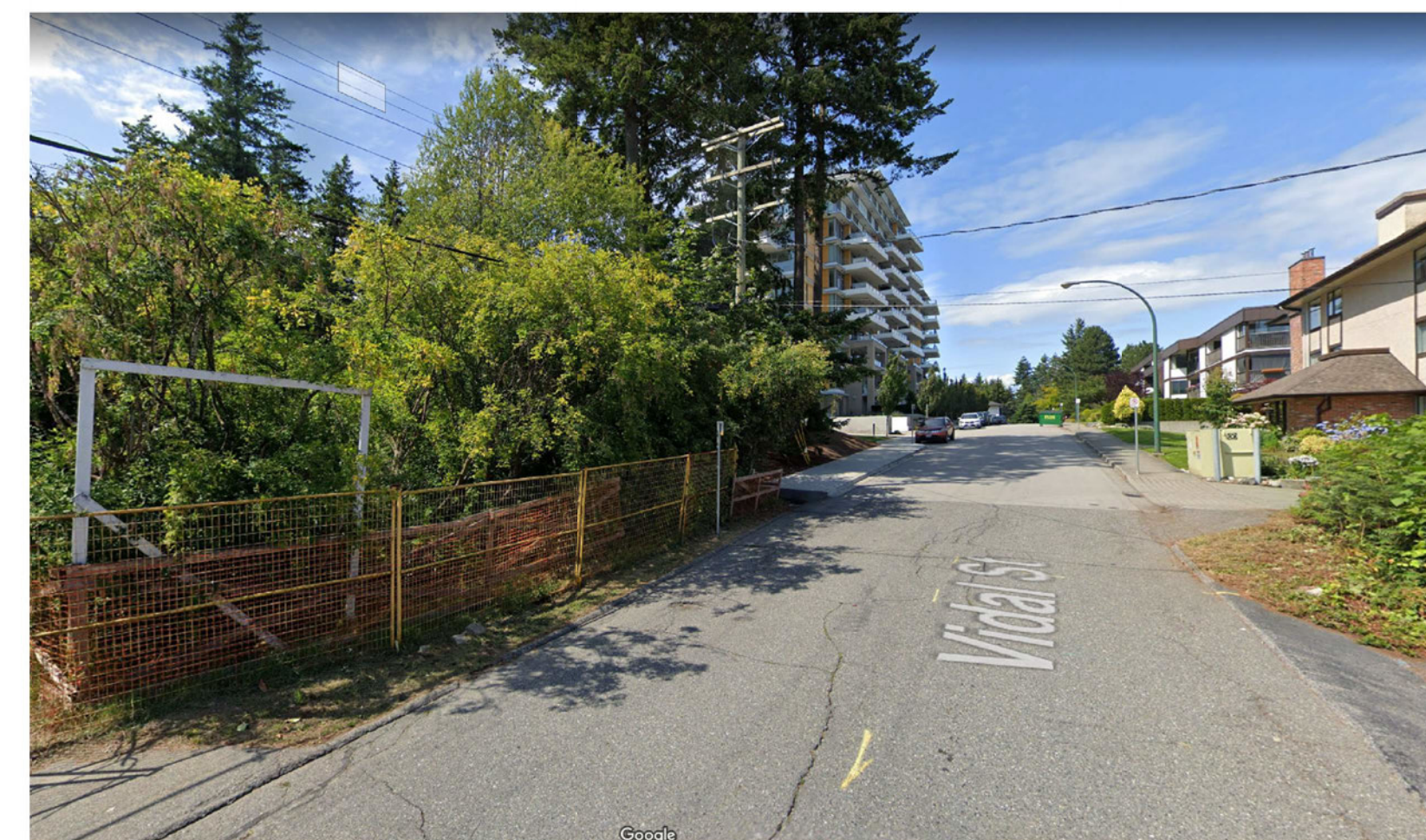
 **context plan**



aerial view looking north



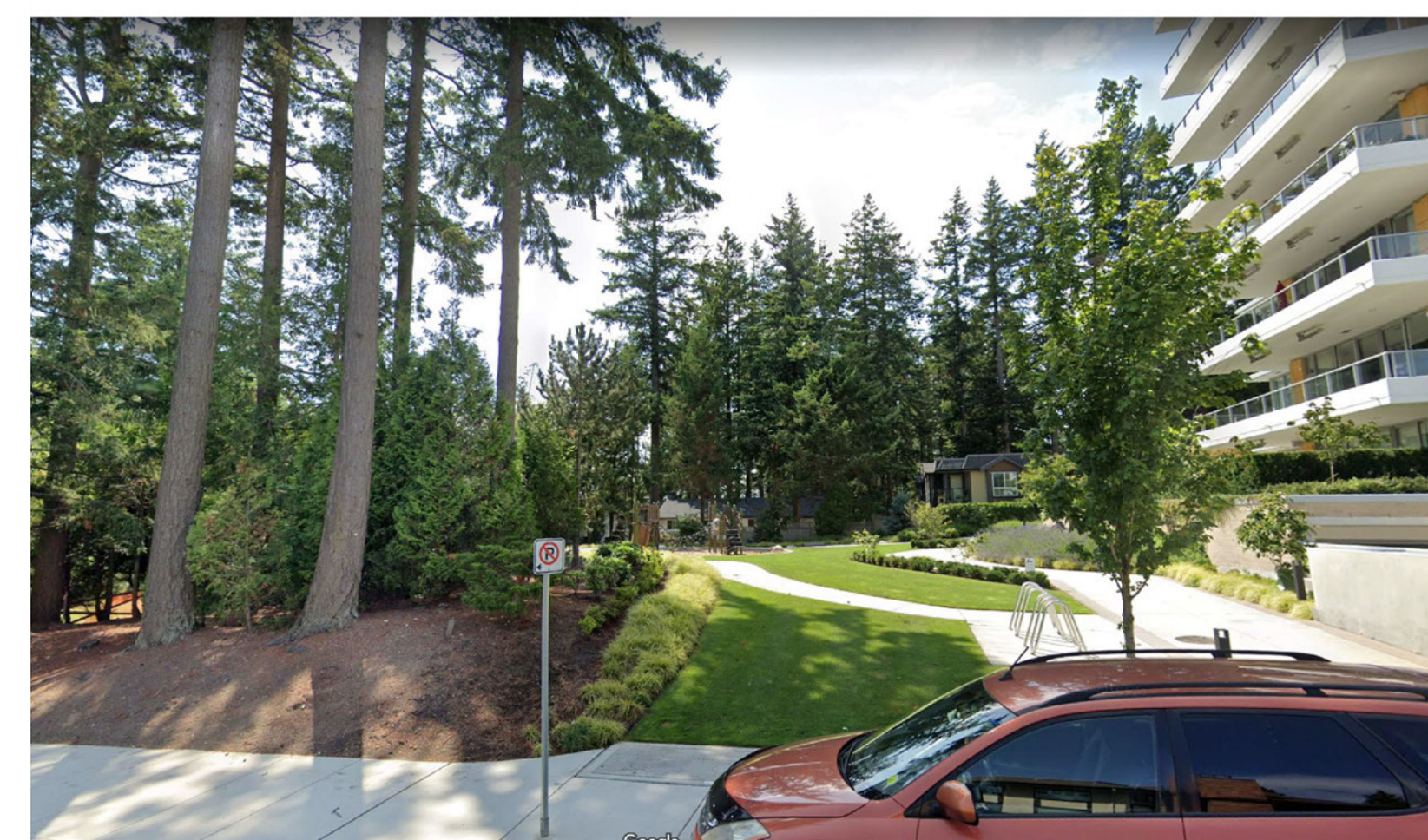
vidal st. - looking south 1.



vidal st. - looking north 4.



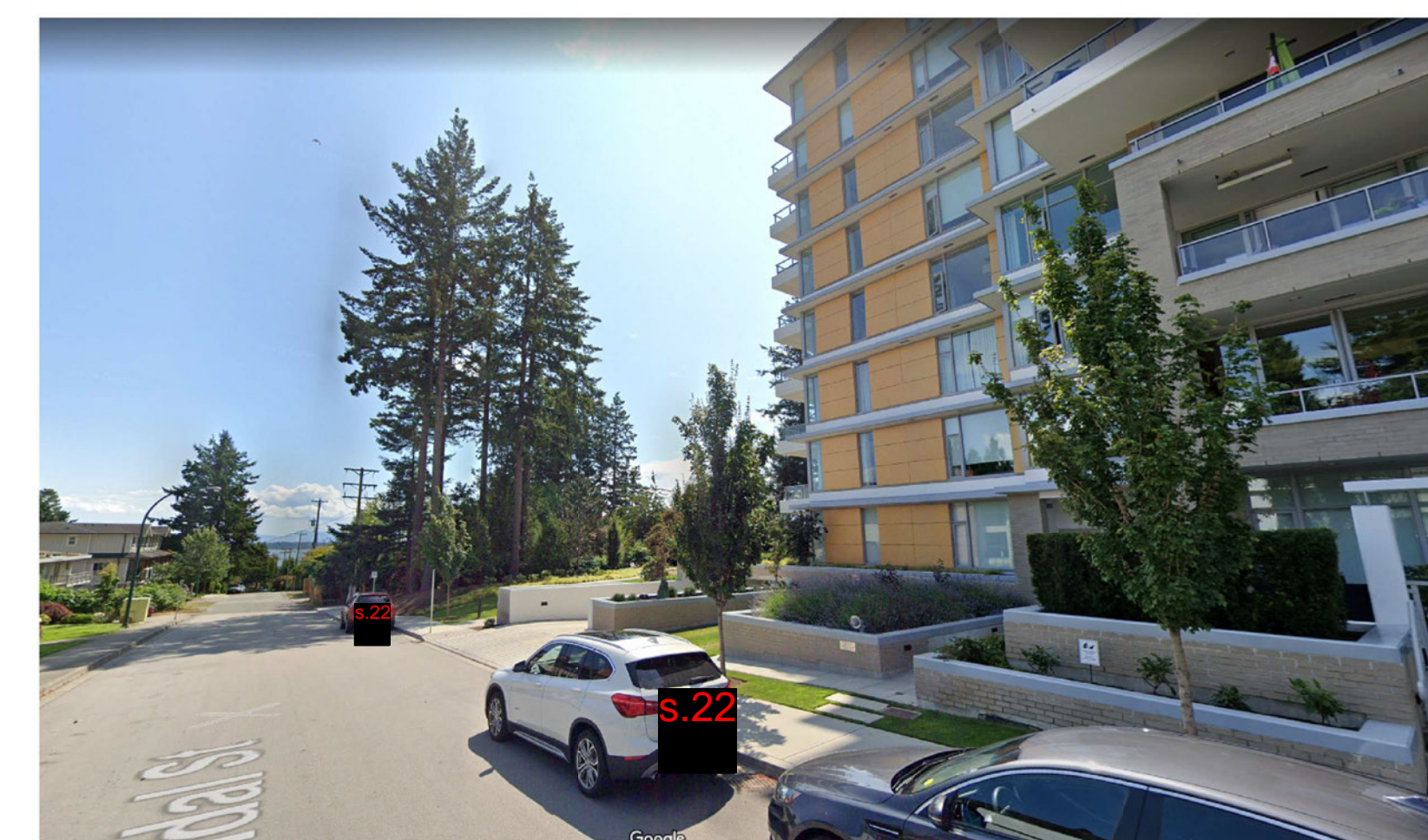
vidal st. - looking north west 2.



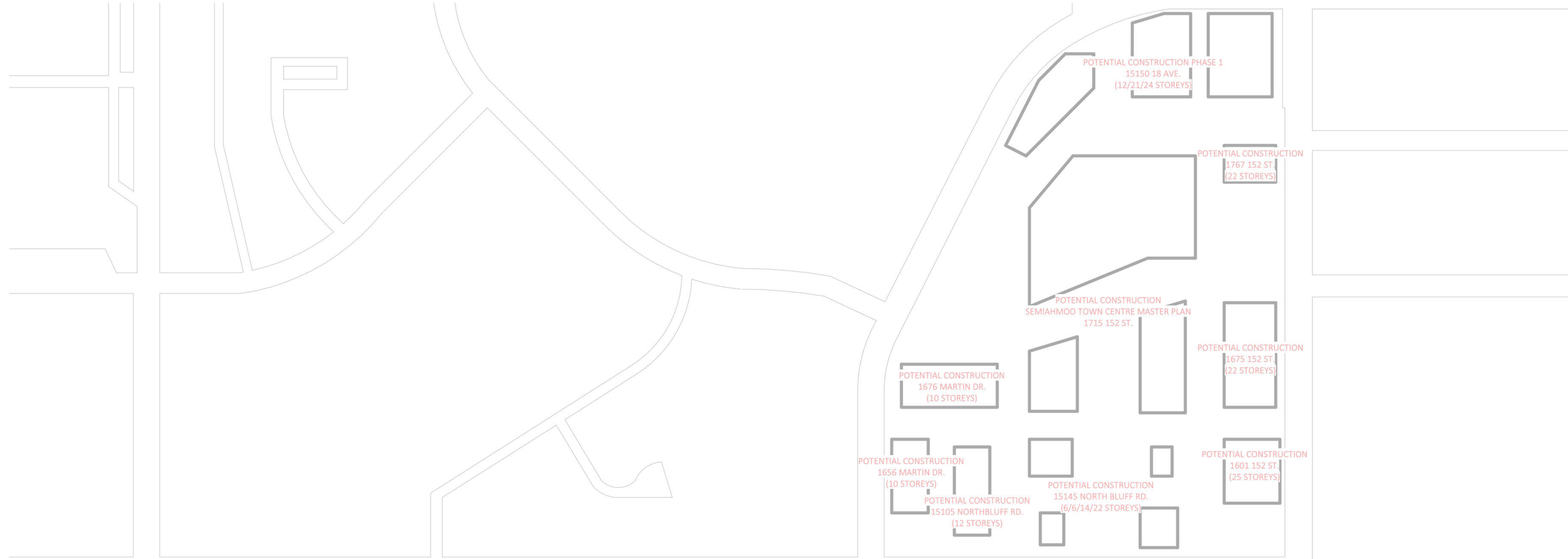
vidal st. - looking west (park) 5.



thrift ave. - looking west 3.



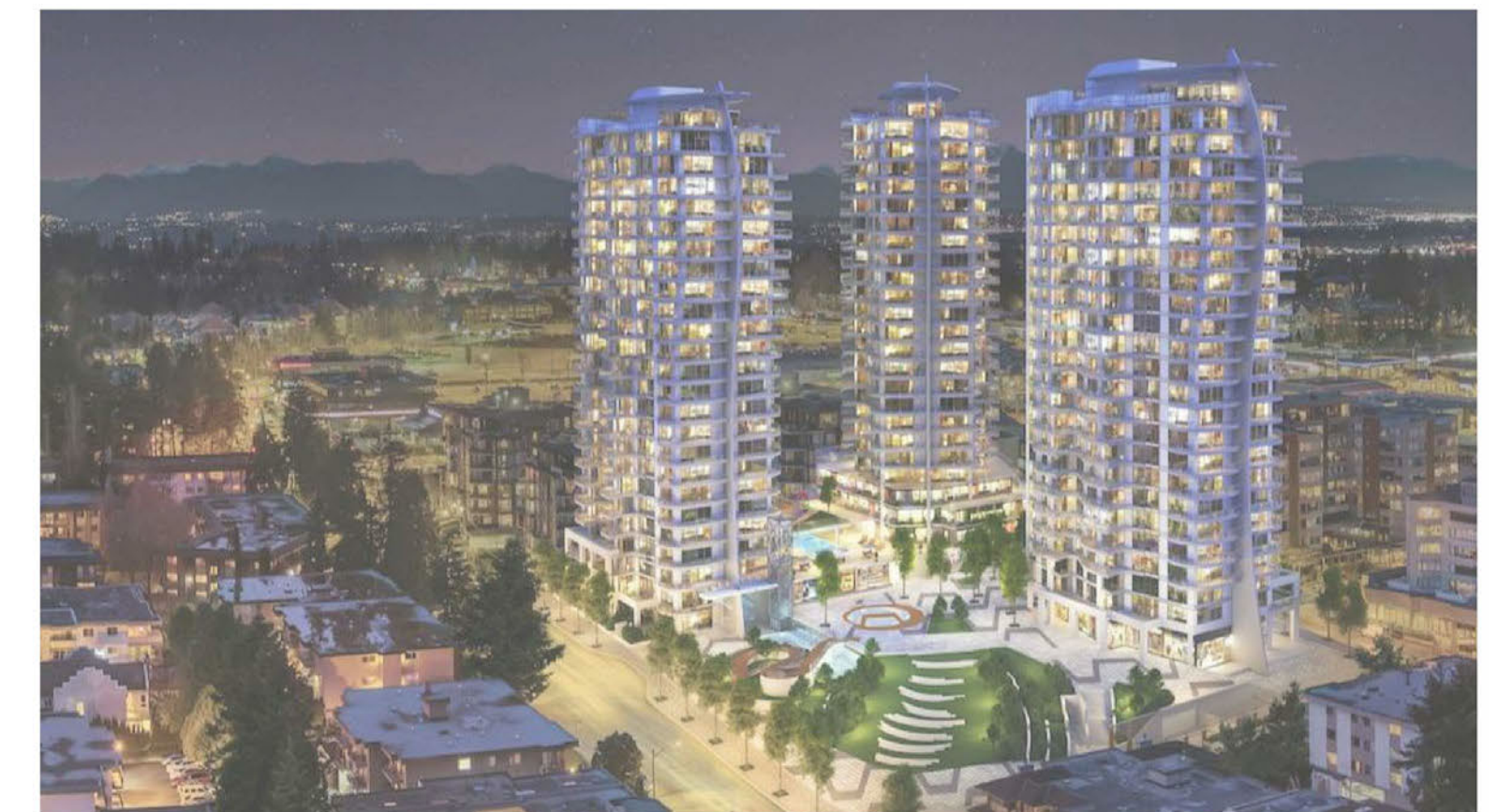
vidal st. - looking south (park) 6.



SEMAHMOO TOWN CENTRE MASTER PLAN (POTENTIAL CONSTRUCTION IN SURREY)



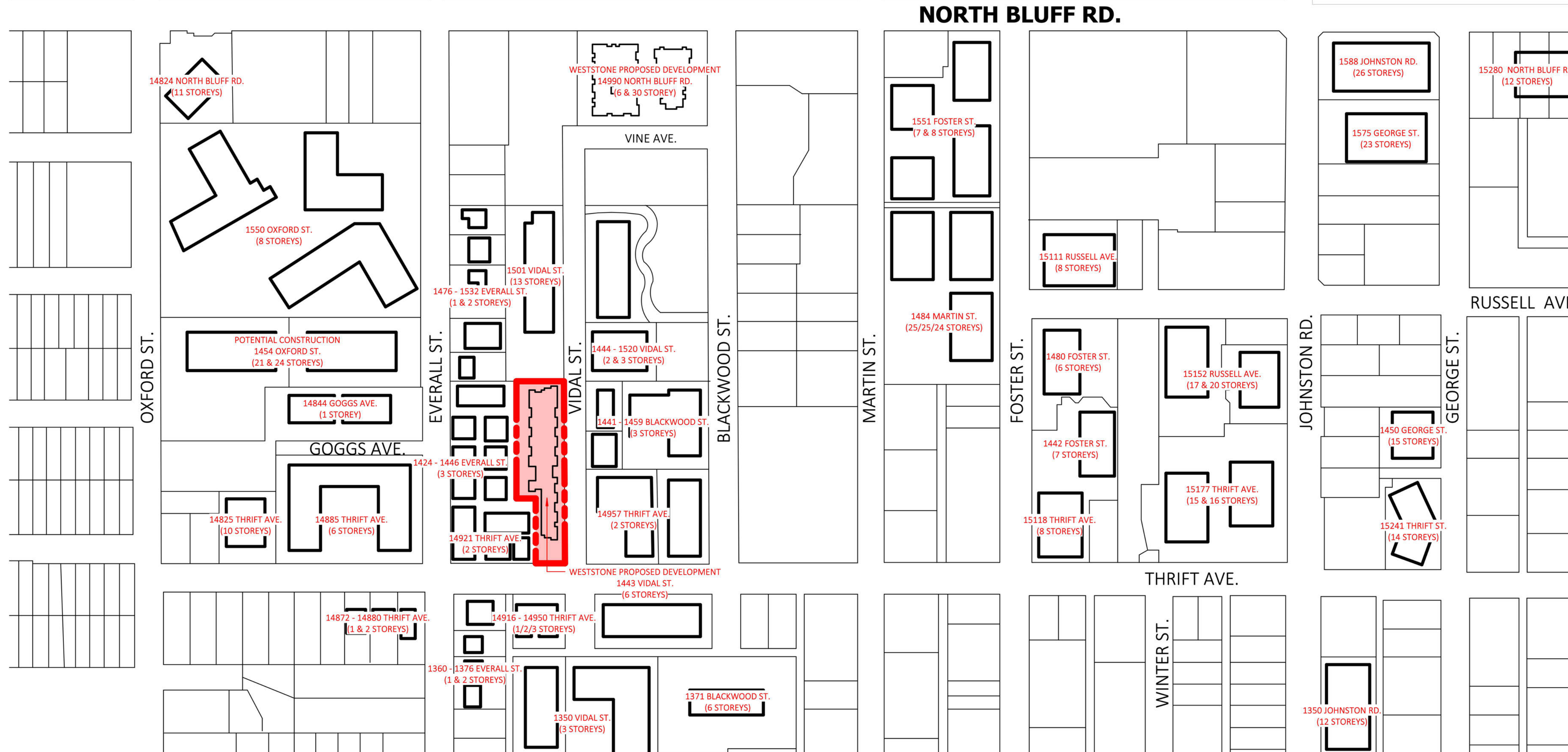
1454 OXFORD ST. (POTENTIAL CONSTRUCTION)



1484 MARTIN ST. (CONTINUING CONSTRUCTION)



1588 JOHNSTON ST. (CONTINUING CONSTRUCTION)



NORTH BLUFF RD.

RUSSELL AVE.

THRIFT AVE.

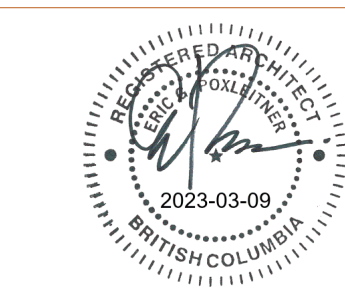


VIDAL STREET DEVELOPMENT
VIDAL STREET, WHITE ROCK, B.C.

NEIGHBOURHOOD PLAN
SCALE: N.T.S.



RE-ISSUED FOR DEVELOPMENT PERMIT
23-03-08 REVISION #:
PROJECT NUMBER: 17-110



SD0.03



WESTSTONE PROPOSED DEVELOPMENT
14990 NORTH BLUFF ROAD
(6 & 30 STOREYS)

WESTSTONE PROPOSED DEVELOPMENT
1443 VIDAL STREET
(6 STOREYS)



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VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

CONTEXT MASSING

SCALE: N.T.S.



RE-ISSUED FOR DEVELOPMENT PERMIT

23-03-08 REVISION #:

PROJECT NUMBER: 17-170



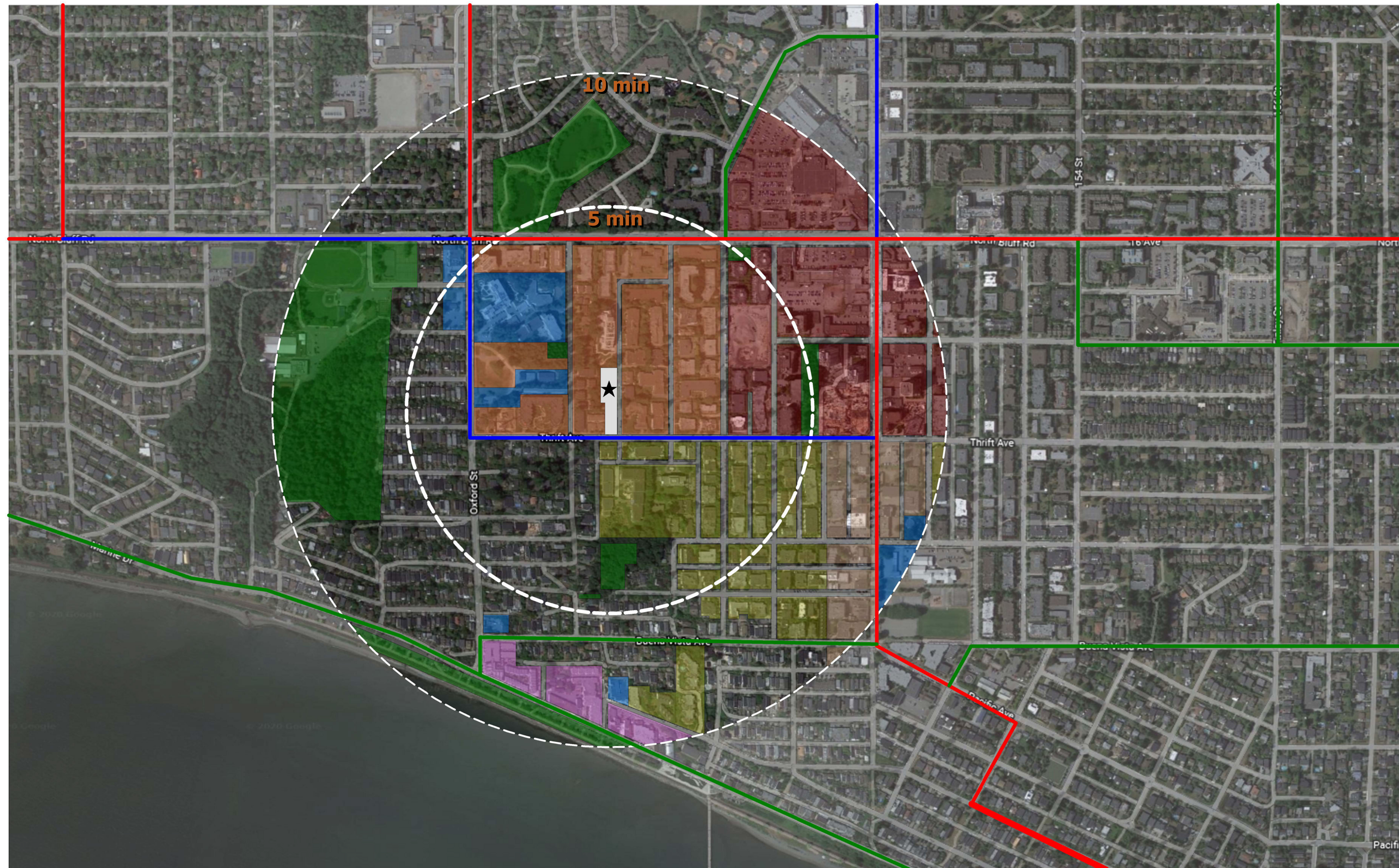
SD0.04



- ★ PROJECT SITE
- TOWN CENTRE
- TOWN CENTRE TRANSITION
- URBAN NEIGHBOURHOOD
- LOWER TOWN CENTRE
- WATERFRONT VILLAGE
- OPEN SPACE & RECREATION
- INSTITUTIONAL

- ① WHITE ROCK PROMENADE
- ② PARKS
 - a. RUTH JOHNSON PARK
 - b. SOUTHMERE VILLAGE PARK
 - c. BRYANT PARK
- ③ GROCERY STORE
 - a. SAVE-ON-FOODS
 - b. NATURE'S FARE MARKETS
- ④ WHITE ROCK COMMUNITY CENTRE
- ⑤ WHITE ROCK ELEMENTARY SCHOOL
- ⑥ CENTENNIAL PARK & ARENA
- ⑦ SEMIAHMOO SHOPPING CENTRE
- ⑧ WHITE ROCK PIER

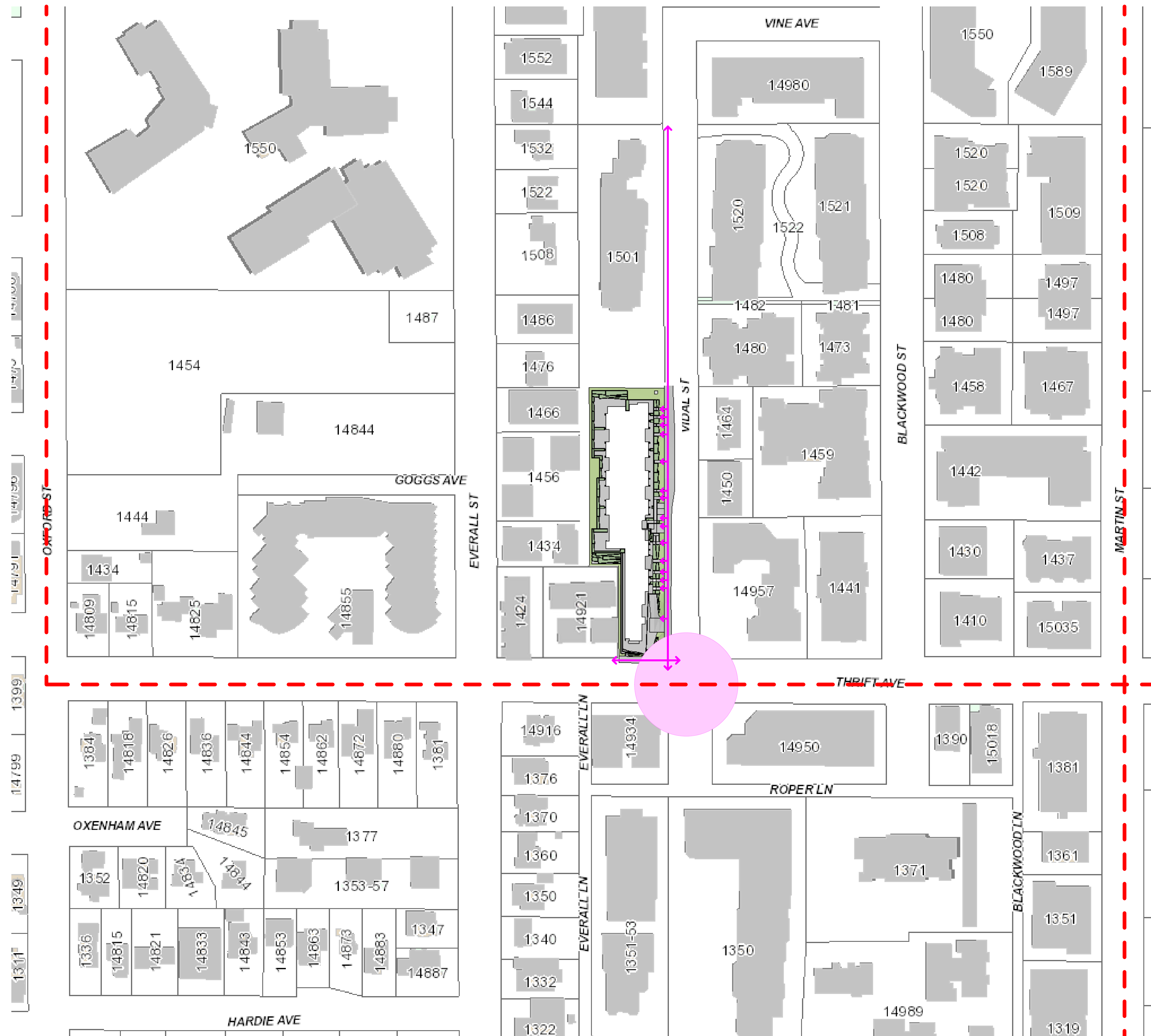
— — — MAJOR / ARTERIAL ROUTES - - - - - WHITE ROCK / SURREY BORDER



- ★ PROJECT SITE
- TOWN CENTRE
- TOWN CENTRE TRANSITION
- URBAN NEIGHBOURHOOD
- LOWER TOWN CENTRE
- WATERFRONT VILLAGE
- OPEN SPACE & RECREATION
- INSTITUTIONAL

BUS ROUTE FREQUENCY

- LESS THAN 15 MINUTES
- 15 MINUTES
- MORE THAN 30 MINUTES



Public sidewalks are proposed at street and lane frontages.

Ground-Oriented units fronting street, with associated planting, elevated patios, and base-of-building facade materials, provides for a pleasant pedestrian environmental.

- - - BICYCLE LANE
- SAFE PEDESTRIAN ROUTES
- CROSSING IMPROVEMENTS



0.1. project data

PROJECT:	VIDAL STREET (RESIDENTIAL APARTMENT BUILDING)
EXISTING ZONING:	RS-1, RT-1, CD
PROPOSED ZONING:	CD (COMPREHENSIVE DEVELOPMENT ZONE)
CIVIC ADDRESS:	VIDAL STREET, WHITE ROCK, B.C.
LEGAL DESCRIPTION :	LOT 1 PLAN EPP46879, LOT 8 PLAN 13684, AND STRATA PLAN NWS2236, ALL OF SEC 10 TP 1 NWD
VARIANCES APPLIED FOR:	PARKING REDUCTION OF 22.5% FROM 204 STALLS TO 158 STALLS (REFER TO TRAFFIC REPORT FROM BINNIE FOR PARKING REDUCTION RATIONALE)
BYLAW EXEMPTIONS:	
MAXIMUM BUILDING HEIGHT:	
MINIMUM BUILDING ELEVATION:	
SITE AREA:	41,714 S.F. (3,875.4 S.M.) (0.958 ACRES)
BUILDING AREA:	16,517 S.F.
FAR :	102,015 S.F. (GROSS FLOOR AREA) / 41,714 S.F. = 2.45
LOT COVERAGE:	16,517 S.F. / 41,714 S.F. = 39.6%
BUILDING HEIGHT:	123.08m - 96.66m = 26.42m (T.O. ROOF ELEV. - OVERALL AVERAGE NATURAL GRADE = BLDG. HEIGHT)
AVERAGE NATURAL GRADE:	NORTH: 100.25M, EAST: 97.14M, SOUTH: 92.25M, WEST: 96.99M OVERALL: 96.66M
EFFICIENCY:	85,327 S.F. / 102,015 S.F. = 83.6%
RESIDENTIAL FLOOR AREA:	85,327 S.F.
CIRCULATION AREA:	14,762 S.F.
NOTE:	1. NI = NOT INCLUDED IN TOTALS 2. INC = INCLUDING

NOTE: "GRADE, AVERAGE NATURAL" MEANS THE AVERAGE THAT IS DETERMINED BY MEASURING AT THE MIDPOINTS OF THE WALLS OF THE FOUR SIDES OF THE BUILDING OR STRUCTURE.

0.2. building floor area summary

LEVEL	AREA
P3 LEVEL	25864 SF
P2 LEVEL	28648 SF
P1 LEVEL	21572 SF
	76084 SF
GROSS FLOOR AREA	
P1 LEVEL	1474 SF
1st LEVEL	16426 SF
2nd LEVEL	16160 SF
3rd LEVEL	16405 SF
4th LEVEL	16405 SF
5th LEVEL	16405 SF
6th LEVEL	16405 SF
T/O ROOF	815 SF
	100498 SF
INDOOR AMENITY	
P1 LEVEL	1517 SF
	1517 SF
OUTDOOR AMENITY	
T/O ROOF	12672 SF
	12672 SF

NOTE: "GROSS FLOOR AREA" MEANS THE SUM TOTAL OF FLOOR AREAS OF EACH STOREY IN A BUILDING, INCLUSIVE OF EXTERIOR WALLS. GROSS FLOOR AREA SHALL EXCLUDE COMMUNITY AMENITY SPACE.

0.3. circulation area summary

UNIT	AREA	COUNT	LEVEL	TYPE	TOTAL AREA
COMMON AREA	288 SF	1	P1 LEVEL	CIRCULATION	288 SF
COMMON AREA	1186 SF	1	P1 LEVEL	CIRCULATION	1,186 SF
COMMON AREA	2632 SF	1	1st LEVEL	CIRCULATION	2,632 SF
COMMON AREA	2097 SF	1	2nd LEVEL	CIRCULATION	2,097 SF
COMMON AREA	1979 SF	1	3rd LEVEL	CIRCULATION	1,979 SF
COMMON AREA	1979 SF	1	4th LEVEL	CIRCULATION	1,979 SF
COMMON AREA	1979 SF	1	5th LEVEL	CIRCULATION	1,979 SF
COMMON AREA	1979 SF	1	6th LEVEL	CIRCULATION	1,979 SF
COMMON AREA	218 SF	2	T/O ROOF	CIRCULATION	436 SF
COMMON AREA	379 SF	1	T/O ROOF	CIRCULATION	379 SF
COMMON AREA: 11					14,934 SF

0.4. unit floor area summary

UNIT	UNIT AREA	COUNT	LEVEL	TYPE	TOTAL UNIT AREA
UNIT A	323 SF	2	1st LEVEL	STUDIO	645 SF
UNIT A	323 SF	2	2nd LEVEL	STUDIO	645 SF
UNIT A	323 SF	2	3rd LEVEL	STUDIO	646 SF
UNIT A	323 SF	2	4th LEVEL	STUDIO	646 SF
UNIT A	323 SF	2	5th LEVEL	STUDIO	646 SF
UNIT A	323 SF	2	6th LEVEL	STUDIO	646 SF
UNIT A: 12					3,874 SF
UNIT A2	377 SF	1	3rd LEVEL	STUDIO	377 SF
UNIT A2	377 SF	1	4th LEVEL	STUDIO	377 SF
UNIT A2	377 SF	1	5th LEVEL	STUDIO	377 SF
UNIT A2	377 SF	1	6th LEVEL	STUDIO	377 SF
UNIT A2: 4					1,507 SF
UNIT A3	404 SF	1	1st LEVEL	STUDIO	404 SF
UNIT A3: 1					404 SF
UNIT B	460 SF	4	1st LEVEL	1 BEDROOM	1,841 SF
UNIT B	460 SF	4	2nd LEVEL	1 BEDROOM	1,841 SF
UNIT B	460 SF	4	3rd LEVEL	1 BEDROOM	1,840 SF
UNIT B	460 SF	4	4th LEVEL	1 BEDROOM	1,840 SF
UNIT B	460 SF	4	5th LEVEL	1 BEDROOM	1,840 SF
UNIT B	460 SF	4	6th LEVEL	1 BEDROOM	1,840 SF
UNIT B: 24					11,044 SF
UNIT B1.1	453 SF	2	1st LEVEL	1 BEDROOM	906 SF
UNIT B1.1	453 SF	2	2nd LEVEL	1 BEDROOM	906 SF
UNIT B1.1	453 SF	3	3rd LEVEL	1 BEDROOM	1,359 SF
UNIT B1.1	453 SF	3	4th LEVEL	1 BEDROOM	1,359 SF
UNIT B1.1	453 SF	3	5th LEVEL	1 BEDROOM	1,359 SF
UNIT B1.1	453 SF	3	6th LEVEL	1 BEDROOM	1,359 SF
UNIT B1.1: 16					7,247 SF
UNIT B2	483 SF	2	1st LEVEL	1 BEDROOM	966 SF
UNIT B2	483 SF	1	2nd LEVEL	1 BEDROOM	483 SF
UNIT B2: 3					1,450 SF
UNIT B3	573 SF	1	2nd LEVEL	1 BEDROOM	573 SF
UNIT B3: 1					573 SF
UNIT B4	519 SF	1	1st LEVEL	1 BEDROOM	519 SF
UNIT B4	519 SF	1	2nd LEVEL	1 BEDROOM	519 SF
UNIT B4	519 SF	1	3rd LEVEL	1 BEDROOM	519 SF
UNIT B4	519 SF	1	4th LEVEL	1 BEDROOM	519 SF
UNIT B4	519 SF	1	5th LEVEL	1 BEDROOM	519 SF
UNIT B4	519 SF	1	6th LEVEL	1 BEDROOM	519 SF
UNIT B4: 6					3,116 SF
UNIT B4.1	486 SF	1	1st LEVEL	1 BEDROOM	486 SF
UNIT B4.1	486 SF	1	2nd LEVEL	1 BEDROOM	486 SF
UNIT B4.1	486 SF	1	3rd LEVEL	1 BEDROOM	486 SF
UNIT B4.1	486 SF	1	4th LEVEL	1 BEDROOM	486 SF
UNIT B4.1	486 SF	1	5th LEVEL	1 BEDROOM	486 SF
UNIT B4.1	486 SF	1	6th LEVEL	1 BEDROOM	486 SF
UNIT B4.1: 6					2,913 SF
UNIT B5	569 SF	1	1st LEVEL	1 BEDROOM	569 SF
UNIT B5	569 SF	1	2nd LEVEL	1 BEDROOM	569 SF
UNIT B5	569 SF	1	3rd LEVEL	1 BEDROOM	569 SF
UNIT B5	569 SF	1	4th LEVEL	1 BEDROOM	569 SF
UNIT B5	569 SF	1	5th LEVEL	1 BEDROOM	569 SF
UNIT B5	569 SF	1	6th LEVEL	1 BEDROOM	569 SF
UNIT B5: 6					3,414 SF
UNIT C	745 SF	1	1st LEVEL	2 BEDROOM	745 SF
UNIT C	745 SF	1	2nd LEVEL	2 BEDROOM	745 SF
UNIT C	745 SF	1	3rd LEVEL	2 BEDROOM	745 SF
UNIT C	745 SF	1	4th LEVEL	2 BEDROOM	745 SF
UNIT C	745 SF	1	5th LEVEL	2 BEDROOM	745 SF
UNIT C	745 SF	1	6th LEVEL	2 BEDROOM	745 SF
UNIT C: 6					4,467 SF

0.4. unit floor area summary

UNIT	UNIT AREA	COUNT	LEVEL	TYPE	TOTAL UNIT AREA
UNIT C2	783 SF	1	1st LEVEL	2 BEDROOM	783 SF
UNIT C2	783 SF	1	2nd LEVEL	2 BEDROOM	783 SF
UNIT C2	783 SF	1	3rd LEVEL	2 BEDROOM	783 SF
UNIT C2	783 SF	1	4th LEVEL	2 BEDROOM	783 SF
UNIT C2	783 SF	1	5th LEVEL	2 BEDROOM	783 SF
UNIT C2	783 SF	1	6th LEVEL	2 BEDROOM	783 SF
UNIT C2: 6					4,697 SF
UNIT C3	794 SF	1	1st LEVEL	2 BEDROOM	794 SF
UNIT C3	794 SF	1	2nd LEVEL	2 BEDROOM	794 SF
UNIT C3	794 SF	1	3rd LEVEL	2 BEDROOM	794 SF
UNIT C3	794 SF	1	4th LEVEL	2 BEDROOM	794 SF
UNIT C3	794 SF	1	5th LEVEL	2 BEDROOM	794 SF
UNIT C3	794 SF	1	6th LEVEL	2 BEDROOM	794 SF
UNIT C3: 6					4,765 SF
UNIT C4	584 SF	1	2nd LEVEL	2 BEDROOM	584 SF
UNIT C4	584 SF	1	3rd LEVEL	2 BEDROOM	584 SF
UNIT C4	592 SF	1	3rd LEVEL	2 BEDROOM	592 SF
UNIT C4	584 SF	1	4th LEVEL	2 BEDROOM	584 SF
UNIT C4	592 SF	1	4th LEVEL	2 BEDROOM	592 SF
UNIT C4	584 SF	1	5th LEVEL	2 BEDROOM	584 SF
UNIT C4	592 SF	1	5th LEVEL	2 BEDROOM	592 SF
UNIT C4	584 SF	1	6th LEVEL	2 BEDROOM	584 SF
UNIT C4	592 SF	1	6th LEVEL	2 BEDROOM	592 SF
UNIT C4: 9					5,291 SF
UNIT D	1046 SF	1	1st LEVEL	3 BEDROOM	1,046 SF
UNIT D	1051 SF	1	1st LEVEL	3 BEDROOM	1,051 SF
UNIT D	1046 SF	1	2nd LEVEL	3 BEDROOM	1,046 SF
UNIT D	1051 SF	1	2nd LEVEL	3 BEDROOM	1,051 SF
UNIT D	1046 SF	1	3rd LEVEL	3 BEDROOM	1,046 SF
UNIT D	1047 SF	1	3rd LEVEL	3 BEDROOM	1,047 SF
UNIT D	1046 SF	1	4th LEVEL	3 BEDROOM	1,046 SF
UNIT D	1047 SF	1	4th LEVEL	3 BEDROOM	1,047 SF
UNIT D	1046 SF	1	5th LEVEL	3 BEDROOM	1,046 SF
UNIT D	1047 SF	1	5th LEVEL	3 BEDROOM	1,047 SF
UNIT D	1046 SF	1	6th LEVEL	3 BEDROOM	1,046 SF
UNIT D	1047 SF	1	6th LEVEL	3 BEDROOM	1,047 SF
UNIT D: 12					12,569 SF
UNIT D2	978 SF	1	1st LEVEL	3 BEDROOM	978 SF
UNIT D2	978 SF	1	2nd LEVEL	3 BEDROOM	978 SF
UNIT D2	978 SF	1	3rd LEVEL	3 BEDROOM	978 SF
UNIT D2	978 SF	1	4th LEVEL	3 BEDROOM	978 SF
UNIT D2	978 SF	1	5th LEVEL	3 BEDROOM	978 SF
UNIT D2	978 SF	1	6th LEVEL	3 BEDROOM	978 SF
UNIT D2: 6					5,871 SF
UNIT D3	882 SF	1	1st LEVEL	3 BEDROOM	882 SF
UNIT D3	882 SF	1	2nd LEVEL	3 BEDROOM	882 SF
UNIT D3	882 SF	1	3rd LEVEL	3 BEDROOM	882 SF
UNIT D3	882 SF	1	4th LEVEL	3 BEDROOM	882 SF
UNIT D3	882 SF	1	5th LEVEL	3 BEDROOM	882 SF
UNIT D3	882 SF	1	6th LEVEL	3 BEDROOM	882 SF
UNIT D3: 6					5,295 SF
UNIT D4	1110 SF	1	1st LEVEL	3 BEDROOM	1,110 SF
UNIT D4	1110 SF	1	2nd LEVEL	3 BEDROOM	1,110 SF
UNIT D4	1110 SF	1	3rd LEVEL	3 BEDROOM	1,110 SF
UNIT D4	1110 SF	1	4th LEVEL	3 BEDROOM	1,110 SF
UNIT D4	1110 SF	1	5th LEVEL	3 BEDROOM	1,110 SF
UNIT D4	1110 SF	1	6th LEVEL	3 BEDROOM	1,110 SF
UNIT D4: 6					6,658 SF
UNIT TOTALS: 136					85,154 SF

0.5. parking

REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL	TOTALS
DWELLING UNIT	136	*1.2	163	
VISITOR	136	*0.3	41	
BARRIER FREE (DWELLING UNITS)	163 STALLS	2 VAN / 2 STANDARD		
BARRIER FREE (VISITOR)	41 STALLS	1 VAN-ACCESSIBLE		
TOTAL STALLS			204	204 REQUIRED
ELECTRIC STALLS	204 STALLS	*0.1	21	21 EV
TOTAL STALLS (AFTER PROPOSED REDUCTION)	204 STALLS	*0.770	157	157 PROPOSED
OFF STREET LOADING				1 REQUIRED
PROVIDED	SMALL CAR	BARRIER FREE	EV	TOTAL
TENANT (P1 FLOOR)	5	1 VAN-ACCESSIBLE	0	17
TENANT (P2 FLOOR)	17	1 VAN-ACCESSIBLE	17	39
TENANT (P3 FLOOR)	19	1 VAN/1 STANDARD	0	60
VISITOR (P1 FLOOR)	9	0	0	18
VISITOR (P2 FLOOR)	8	1 VAN-ACCESSIBLE	4	23 (INC. 2 CO-OP)
TOTAL STALLS	58	5	21	157 PROVIDED
OFF STREET LOADING				1 PROVIDED
BIKE PARKING REQUIRED (BYLAW REQUIREMENT)	UNITS	FACTOR	TOTAL	
BIKE STALLS CLASS I	136	*1	136	
BIKE STALLS CLASS II	136	*0.2	27	
TOTAL STALLS			163	163 REQUIRED
BIKE PARKING PROVIDED				
BIKE STALLS CLASS I	(12.5% ADDITIONAL STALLS)		153	
BIKE STALLS CLASS II	(11.1% ADDITIONAL STALLS)		30	
TOTAL STALLS	(12.2% ADDITIONAL STALLS)		183	183 PROVIDED
NOTE:	1. NI = NOT INCLUDED IN TOTALS			

0.6. unit count

	RESIDENTIAL	UNIT #	UNIT %
1 BED		62	46%
2 BED		27	20%
3 BED		12	9%
3 BED (ADAPTABLE)		18	13%
STUDIO		17	13%
UNIT TOTALS: 136			

NOTES:
 • NO CURRENT STEP CODE REQUIREMENTS FOR CITY OF WHITE ROCK
 • INTENT FOR PROPOSED CONSTRUCTION TO MEET STEP 2 EQUIVALENCY
 • WOOD FRAME THERMAL PERFORMANCE BETTER THAN STEEL OR CONCRETE
 • DEVELOPER IS AWARE OF THE IMPORTANCE OF ENERGY EFFICIENCY IN THE CURRENT MARKET

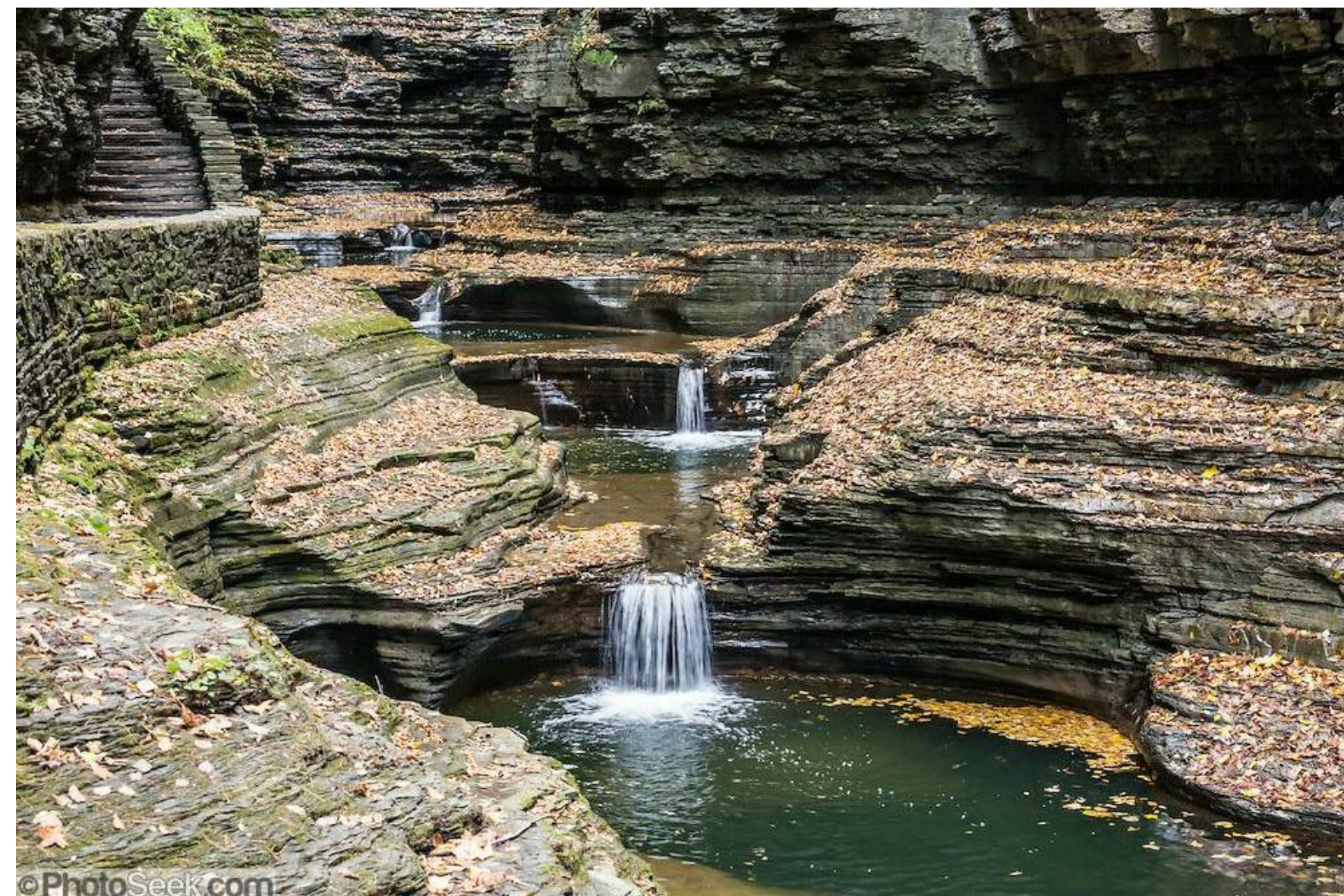


VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

PROJECT DATA

SCALE: N.T.S.



VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

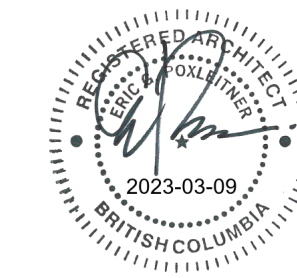
PRECEDENT IMAGES

SCALE: N.T.S.

RE-ISSUED FOR DEVELOPMENT PERMIT

23-03-08 REVISION #:

PROJECT NUMBER: 17-170



design rationale

This proposed development is an 136-unit multi-family residential six-storey wood frame development on 3 levels of concrete parkade on a sloping site toward the south along Vidal Street.

The *siting and massing* of the building is designed to allow natural daylight and visibility throughout the development with enhanced south-facing view opportunities towards the waterfront by means of exterior decks oriented and extended out from the façade for both individual residents as well as collective amenity spaces. The building is stepped up from the south and south-east corner toward the north with offset decks creating a sense of sedimentary-like stepped natural cliffs projecting out from a hillside with tiered planters of stone and concrete along the east façade at the ground-oriented suites leading toward the main entrance providing an intimate pedestrian experience along the sloping Vidal Street. Raised projections at the roof level accommodate balcony coverage but are minimized to maintain human scale experience along the street faces as well as to maintain views from the neighboring development toward the north.

The *exterior treatment* generally consists of traditionally natural materials combined with a modern contemporary reference of massing and finishes at entries and street fronts. This treatment is in keeping with the theme of other buildings located throughout the area and will enrich the neighborhood and set a new design standard for future development in the area.

Exterior materials include wood trim, columns and beams, flat panel siding with contrasting exposed aluminum reveal trims, natural stone veneer along the ground plane with wood features, metal panel projecting features and dark flat stone panels at entries and stepped up roof projections. The stepped exterior treatments give variation in colour, materials and tones, providing balance, interest, and a sense of human scale to the façade and at the street level.

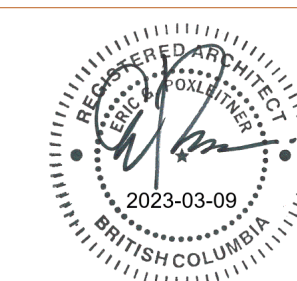
The colour palette expresses a “west coast modernist” design theme, using natural earth tones which will blend seamlessly into the neighborhood and will also enhance diversity between each building, thus encouraging identity throughout the development. The roof is typically flat with stepped up roof features at entries and raised feature corner elements.

Each ground floor unit facing Vidal Street has an individual sidewalk that connects to the municipal sidewalk, with stepped entries and planters that define each private entry point, giving a residential feel to the streetscape. Stairs and tiered planters are provided to differentiate between the semi-private and public spaces, and ample planting will limit the visibility of any exposed walls.

Other features of this development include high quality landscape elements such as large roof-top amenity spaces, electric vehicle charging stalls for both residents and visitors, on-site property management offices, ample storage lockers for residents and tiered planters and vegetated areas.

Environmental sustainability is addressed within the development by the provision of bike racks and bike storage, charging stations for electric vehicles, light pollution reduction by means of dark sky compliant exterior lighting systems, water efficient landscaping and plumbing systems, natural ventilation through operable windows and energy efficient HVAC systems, storage and collection of recyclables, renewable based wood building materials and heat island effect reduction by minimizing surface parking and maximizing density. Rainwater runoff will also be dealt with via a stormwater detention tank located on site.

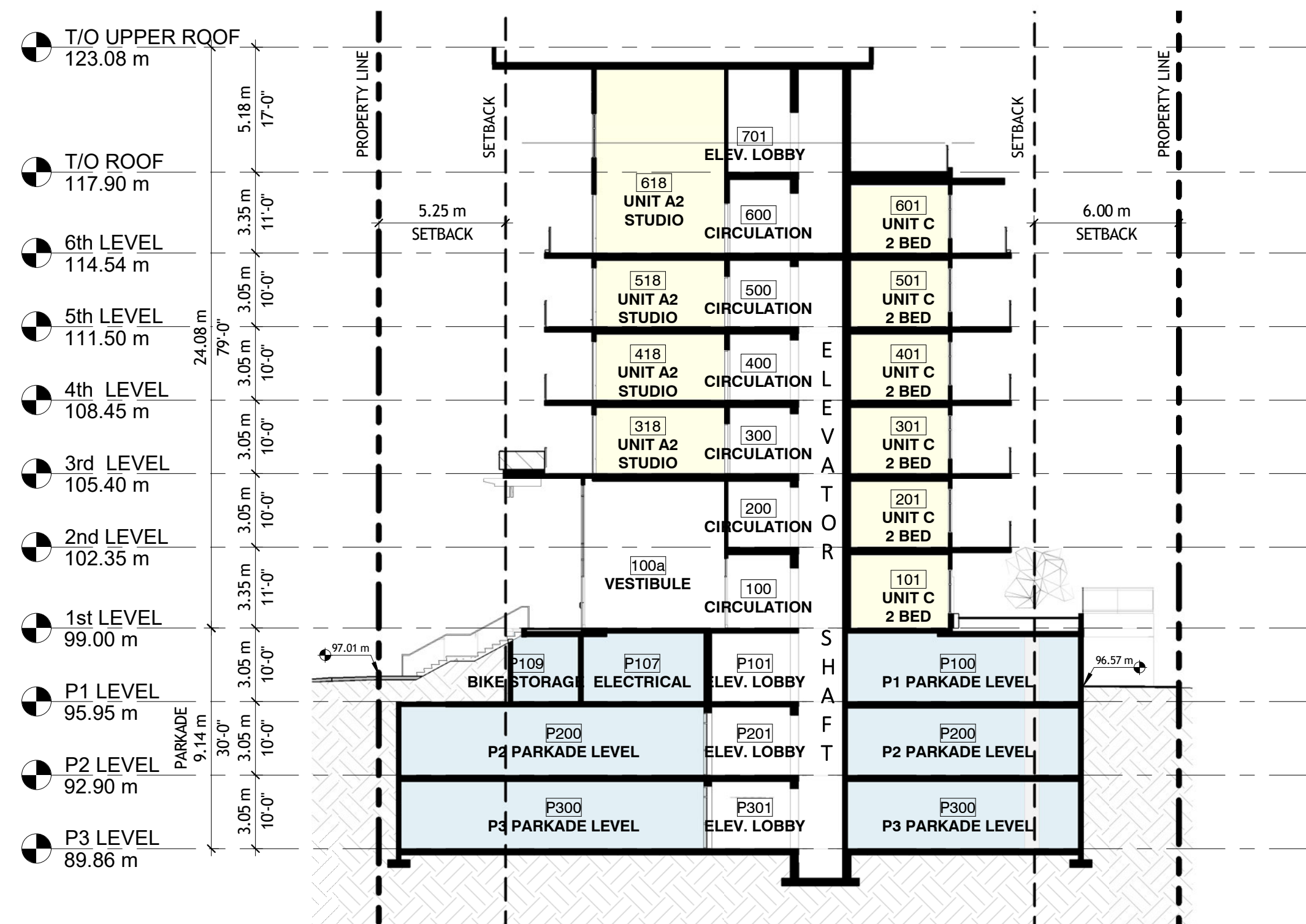
Crime prevention through Environmental Design Principles (CPTED) have been incorporated into the design by means of natural surveillance throughout the perimeter and parkade levels by means of clear viewing lines from the residential units and balconies, elimination of all potential dark areas and accesses/exits, clearly defined main entrances, security camera system plus key fobs at all secured access points, and secure and fully accessible parking.





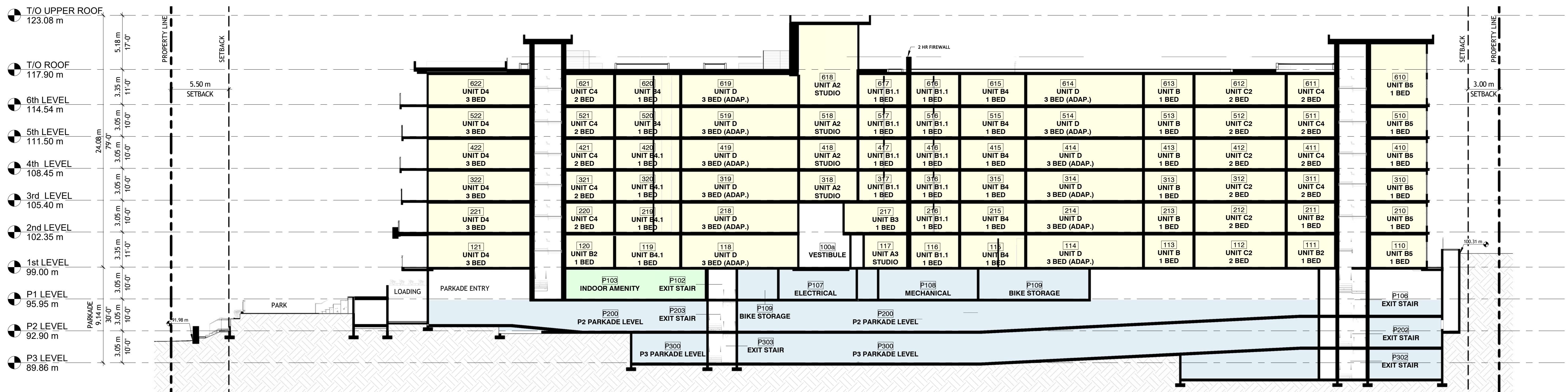


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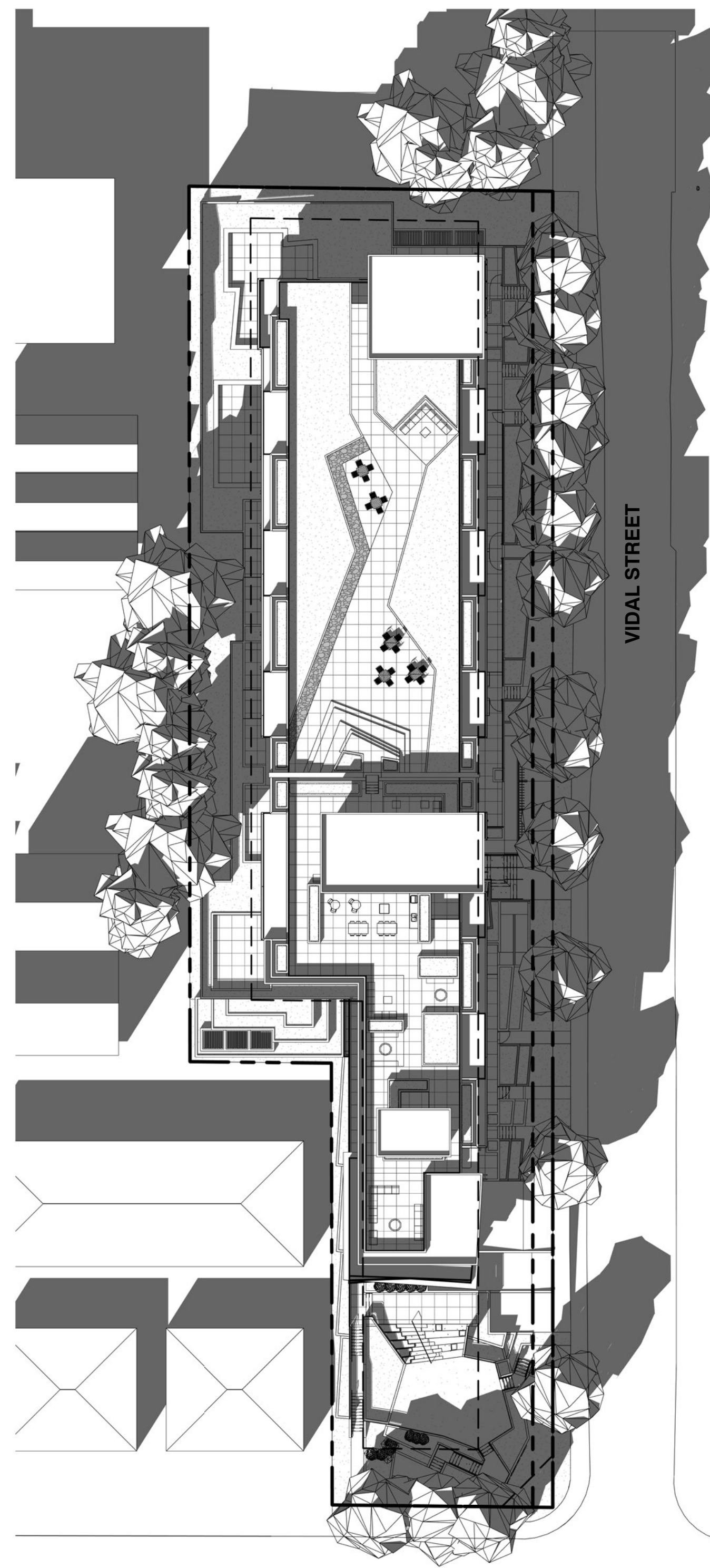
site section a

1/16" = 1'-0"

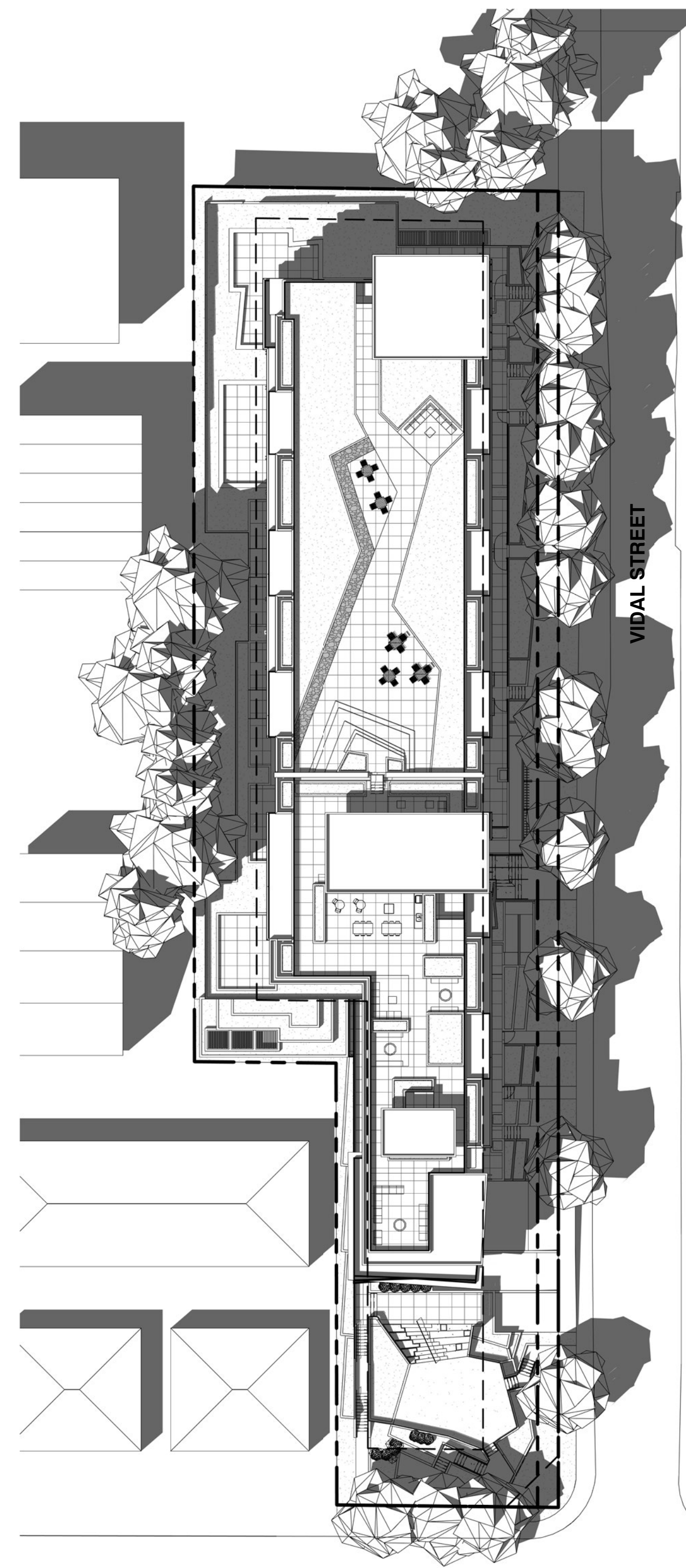


site section b

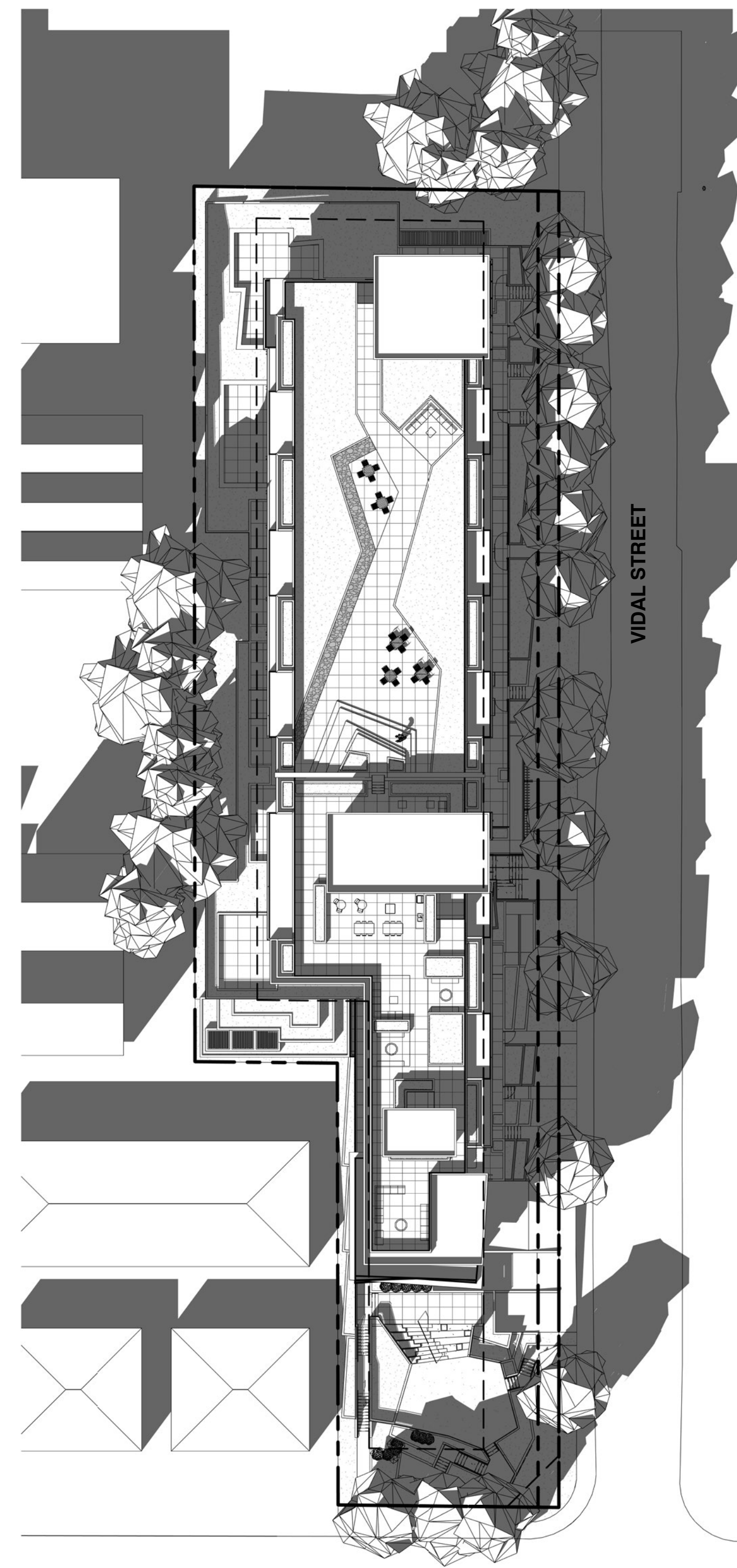
1/16" = 1'-0"



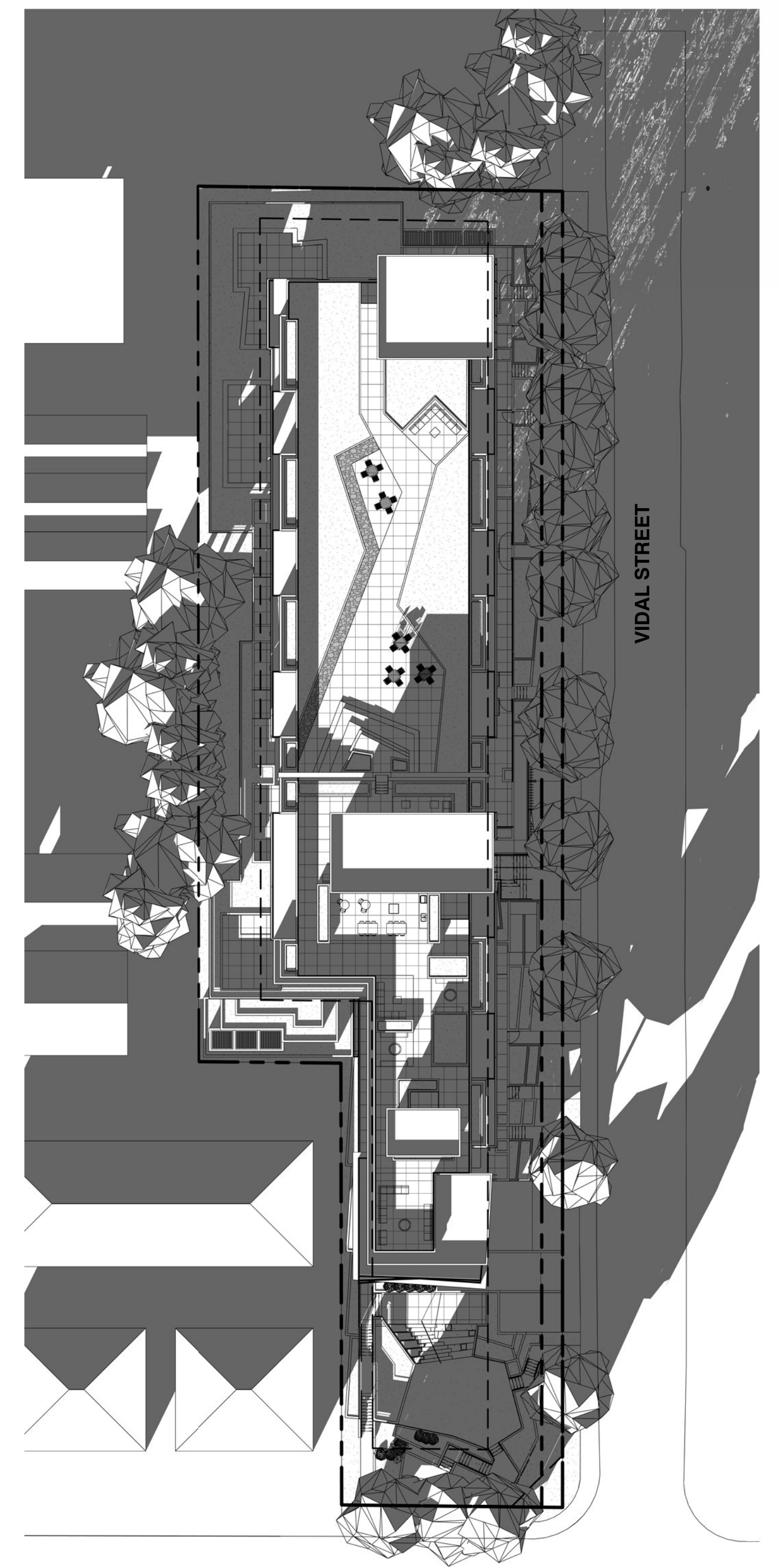
THRIFT AVENUE



THRIFT AVENUE



THRIFT AVENUE



THRIFT AVENUE

march 21 - 3pm

1/32" = 1'-0"

june 21 - 3pm

1/32" = 1'-0"

september 21 - 3pm

1/32" = 1'-0"

december 21 - 2pm

1/32" = 1'-0"



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VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

SHADOW STUDY

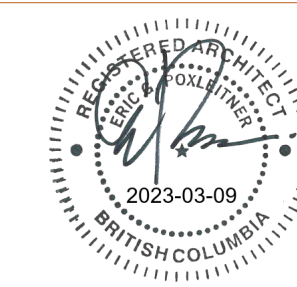
SCALE: 1/32" = 1'-0"



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PROJECT NUMBER: 17-170



SD1.30



VIDAL PROJECT NAME



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VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

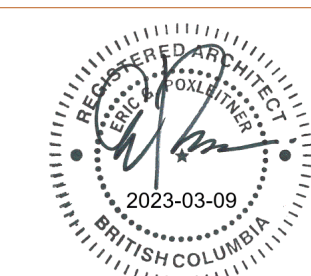
FRONT PERSPECTIVE

SCALE: N.T.S.

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SD1.35





VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

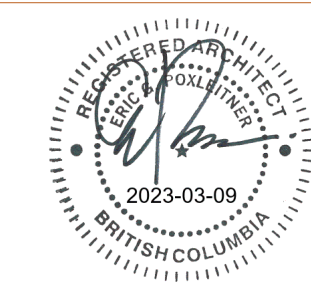
STREETScape PERSPECTIVE

SCALE: N.T.S.

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SD1.37



roof deck - plaza & elevator lobby



roof deck - trellis seating area & picnic area



roof deck - green roof & plaza



ground level greenspace - street view



ground level greenspace - aerial view



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VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

NEIGHBOURHOOD AERIAL

SCALE: N.T.S.

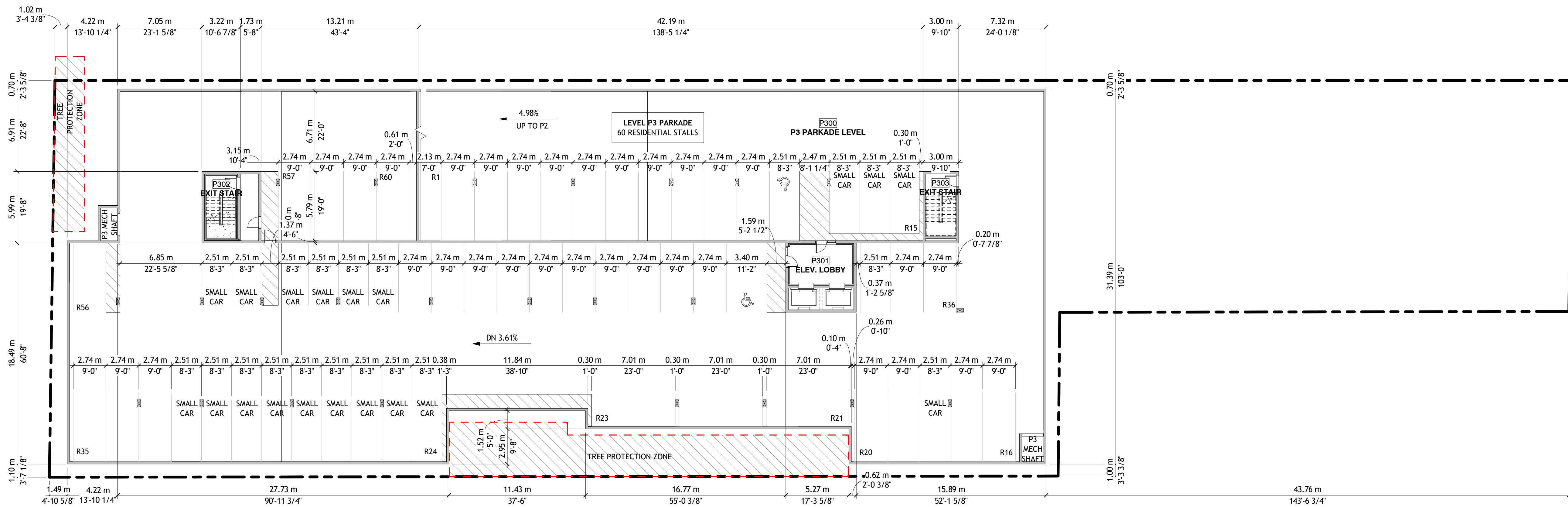
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PROJECT NUMBER: 17-170



SD1.39



VIDAL STREET DEVELOPMENT
 VIDAL STREET, WHITE ROCK, B.C.

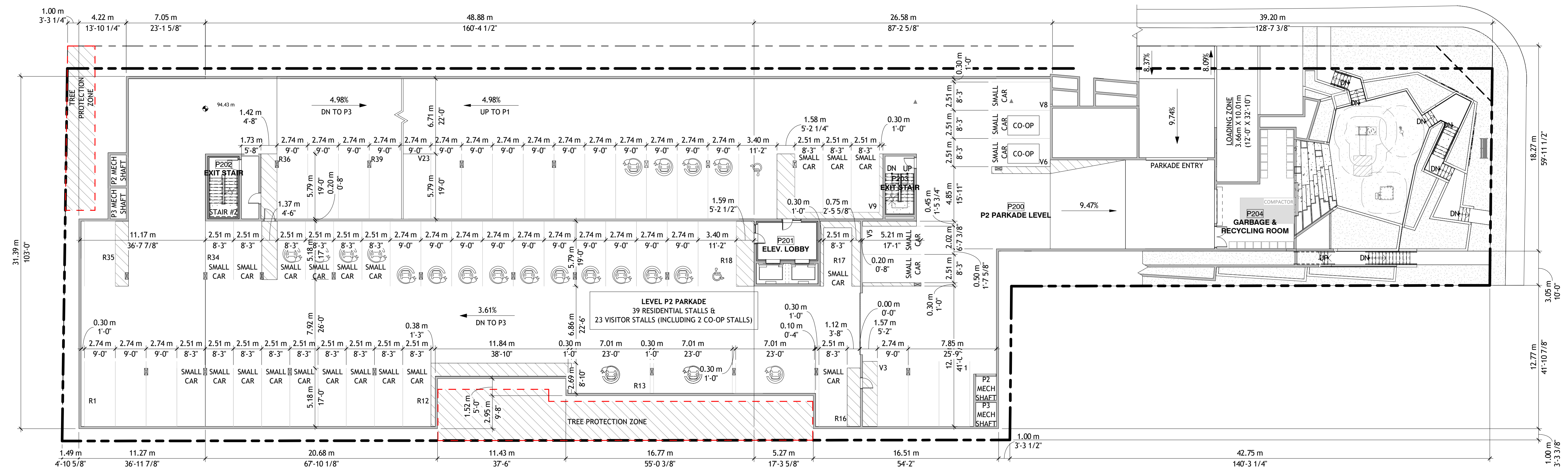
P3 LEVEL PLAN
 SCALE: 1/16" = 1'-0"

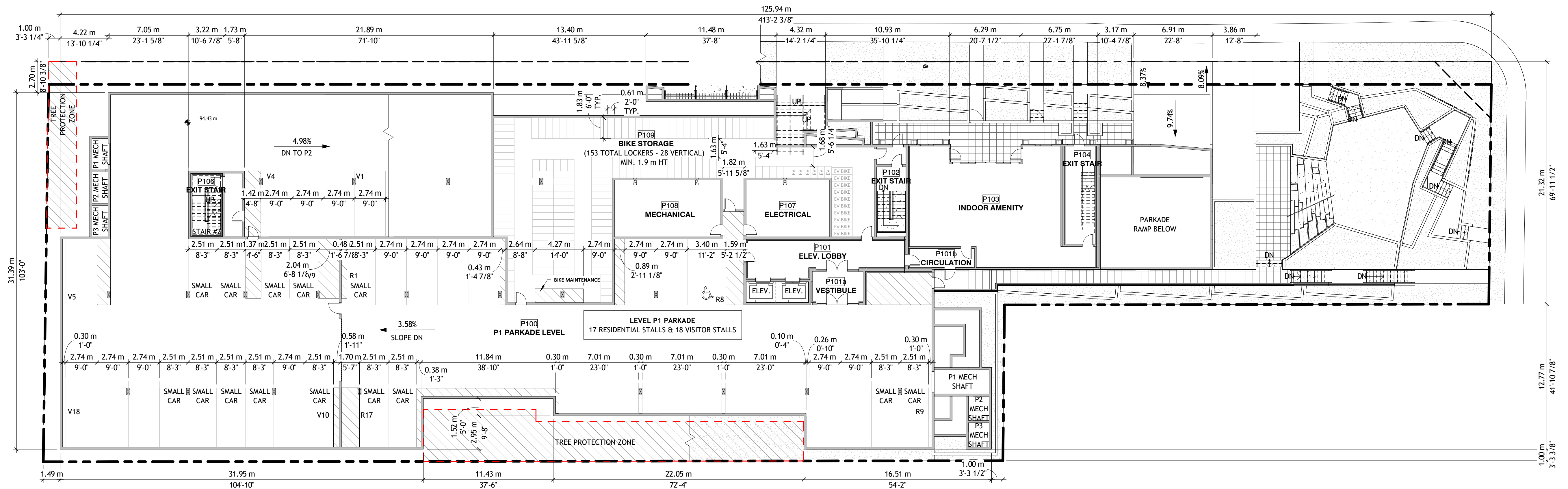


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SD3.01





VIDAL STREET DEVELOPMENT
 VIDAL STREET, WHITE ROCK, B.C.

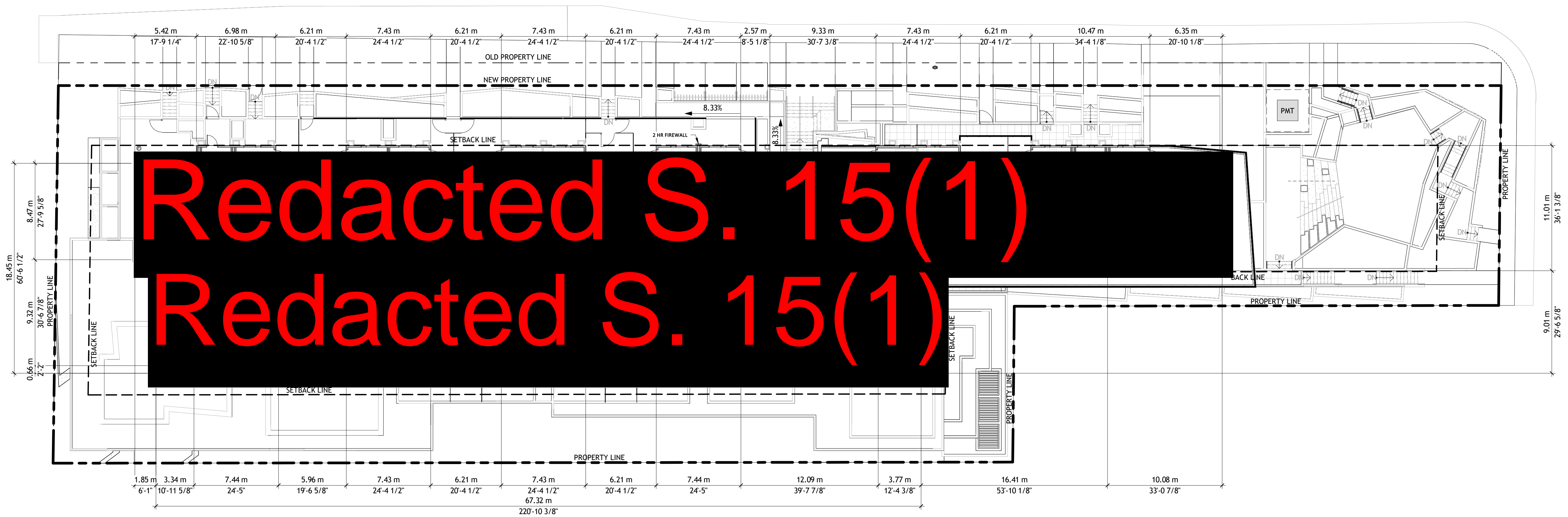
P1 LEVEL PLAN
 SCALE: 1/16" = 1'-0"



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SD3.03



VIDAL STREET DEVELOPMENT
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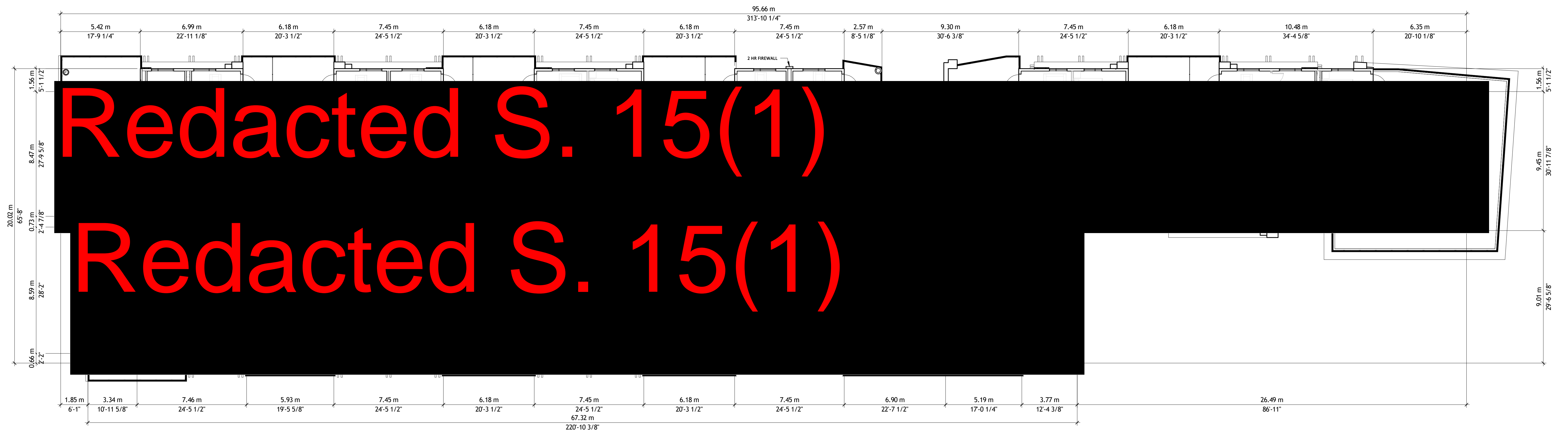
1ST LEVEL PLAN
SCALE: 1/16" = 1'-0"



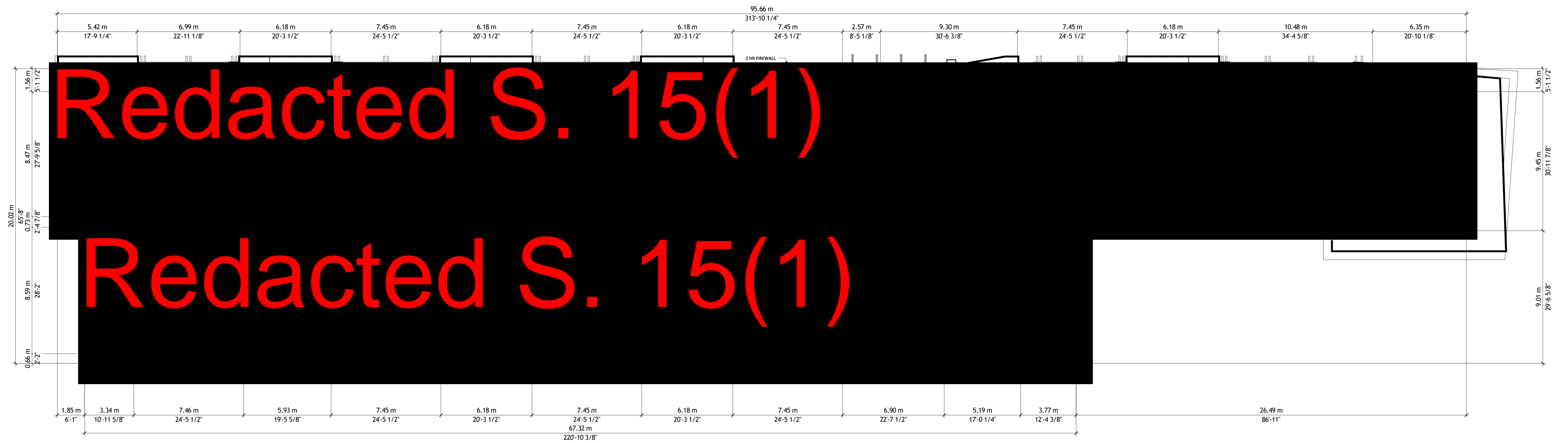
RE-ISSUED FOR DEVELOPMENT PERMIT
23-03-08 REVISION #:
PROJECT NUMBER: 17-170

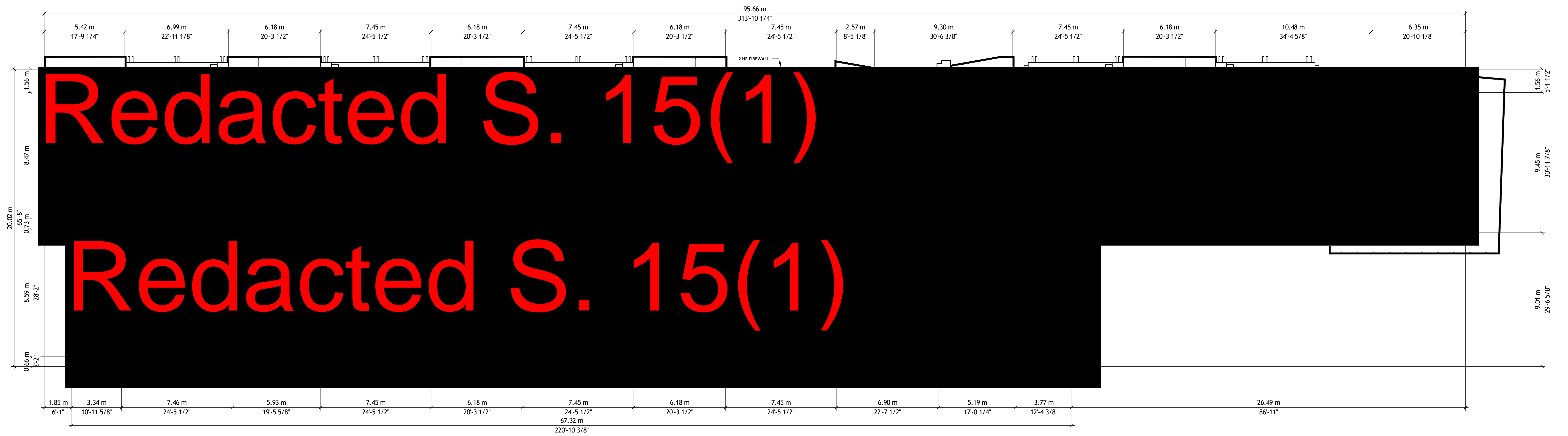


SD3.04



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VIDAL STREET DEVELOPMENT
VIDAL STREET, WHITE ROCK, B.C.

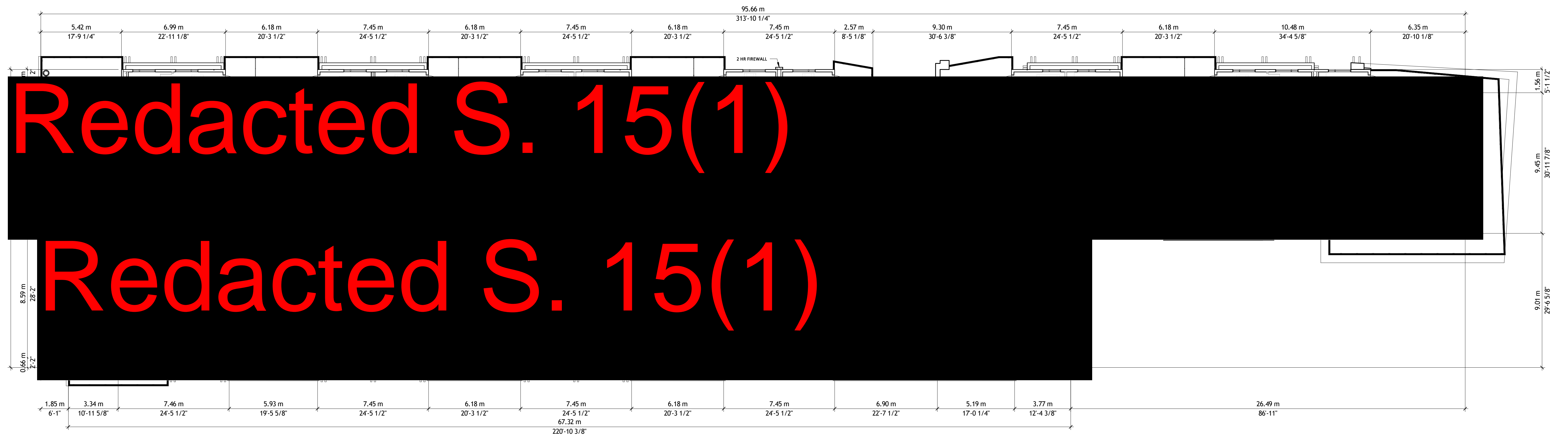
4TH LEVEL PLAN
SCALE: 3/32" = 1'-0"



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SD3.07



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VIDAL STREET DEVELOPMENT
VIDAL STREET, WHITE ROCK, B.C.

5TH LEVEL PLAN
SCALE: 3/32" = 1'-0"

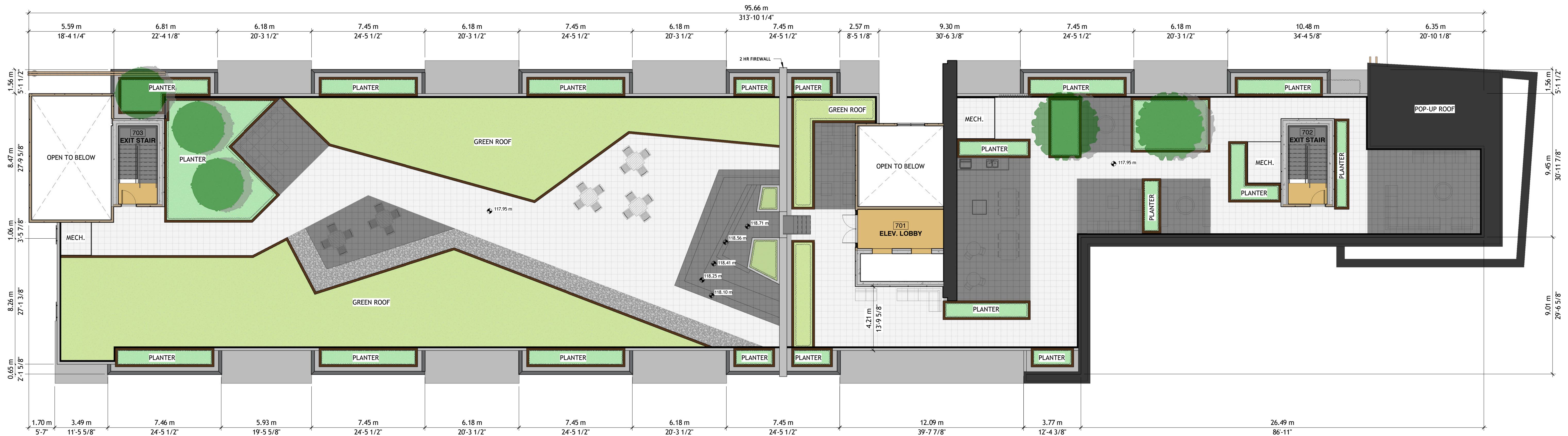


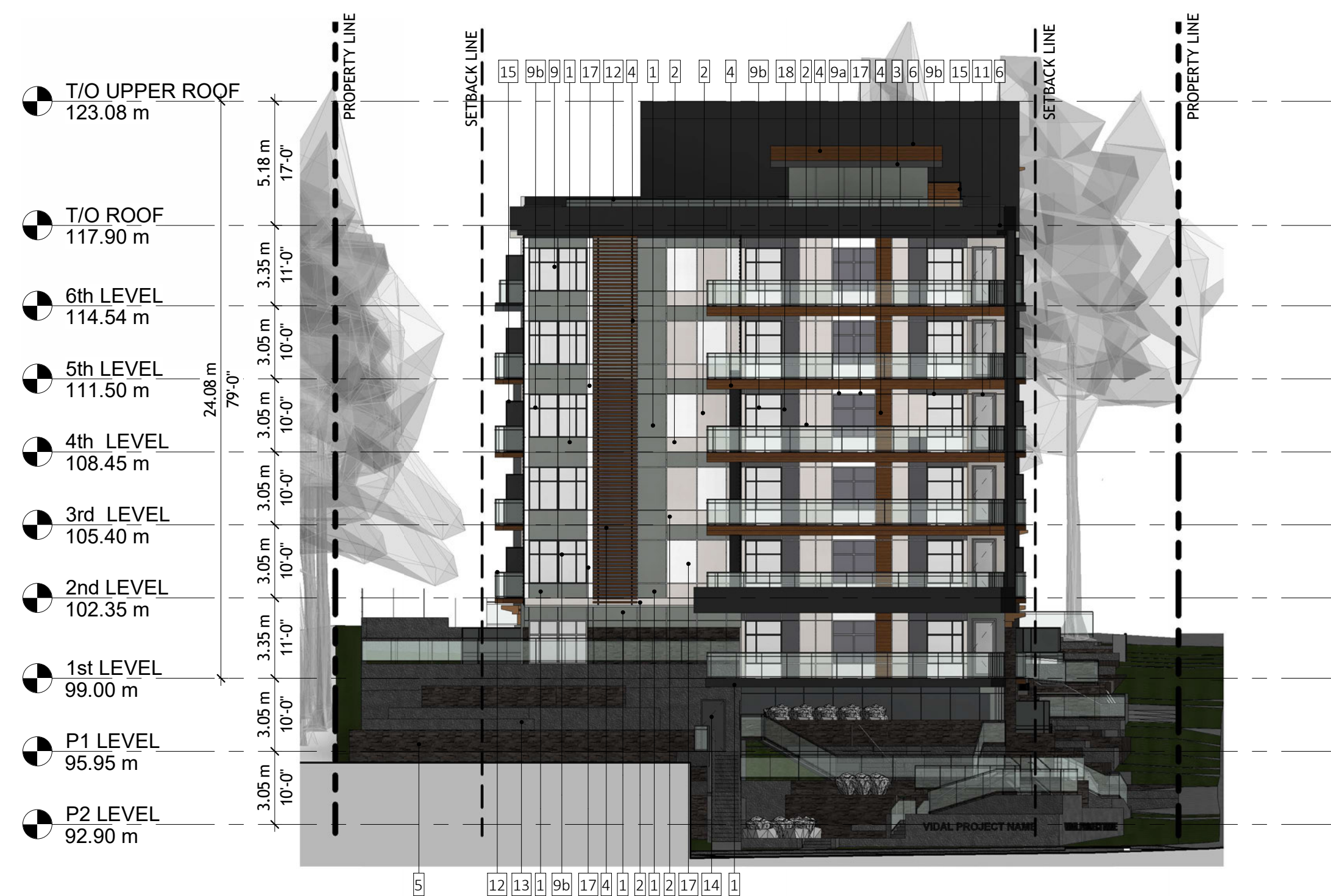
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23-03-08 REVISION #:
PROJECT NUMBER: 17-170



SD3.08







south elevation (facing Thrift Ave.)

1/16" = 1'-0"

MATERIAL LEGEND	
1	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE: COLOUR: NIGHT GRAY (REVEAL COLOUR: CHARCOAL)
2	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE: COLOUR: PEARL GRAY (REVEAL COLOUR: VSM BONE WHITE)
3	HARDIE TRIM/FASCIA BOARD (SMOOTH): - JAMES HARDIE: COLOUR: 'MIDNIGHT BLACK'
4	ALUMINUM SOFFIT/CLADDING (6" CHANNEL/WOODGRAIN) - 'LONGBOARD': COLOUR: DARK NATIONAL WALNUT
5	NATURAL STONE VENEER: - COLOUR: 'WESTCOAST LEDGESTONE'
6	ALUMINUM FACED COMPOSITE PANEL: - 'ARCHITECTURAL PANEL SYSTEM', COLOUR: 'CLASSIC BLACK'
7	ALUMINUM FACED COMPOSITE PANEL: - 'ARCHITECTURAL PANEL SYSTEM', COLOUR: 'CHARCOAL'
8	STAINED COMBED FACE LUMBER: - COLOUR: 'CEDAR'
9	WINDOW ALUMINUM: - COLOUR: (a) 'CLEAR ANNOIDIZED' (b) 'DARK GRAY'
10	SLIDING PATIO DOOR ALUMINUM: - COLOUR: 'CLEAR ANNOIDIZED'
11	SWING PATIO DOOR ALUMINUM: - COLOUR: 'CLEAR ANNOIDIZED'
12	ALUMINUM BALCONY RAILING: - COLOUR: 'BLACK'
13	CONCRETE WALL: - COLOUR: 'CLEAR SEALER'
14	EXTERIOR METAL DOOR: - 'BENJAMIN MOORE', COLOUR: 'GRAY'
15	PRIVACY SCREEN: - FRAME COLOUR: 'BLACK'
16	NATURAL STONE VENEER: - 'STONE PANEL', COLOUR: 'HEARTHSTONE - BLACK RUNDLE'
17	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE: COLOUR: ARCTIC WHITE (REVEAL COLOUR: VSM POLAR WHITE)
18	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - JAMES HARDIE: COLOUR: ANCHOR BLACK (REVEAL COLOUR: VSM BLACK)



east elevation (facing Vidal St.)

1/16" = 1'-0"



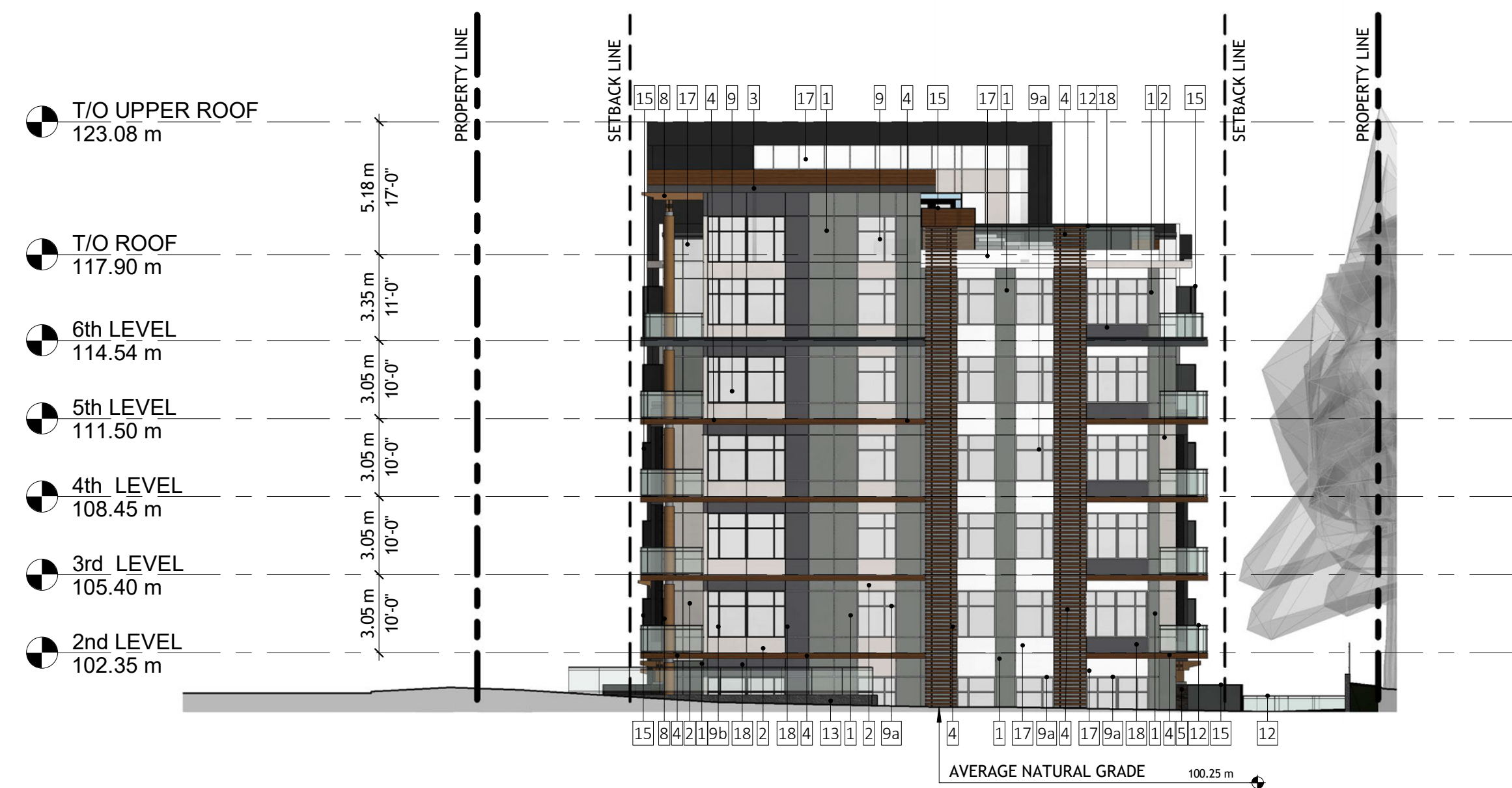
VIDAL STREET DEVELOPMENT
VIDAL STREET, WHITE ROCK, B.C.

BUILDING ELEVATIONS
SCALE: As indicated

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23-03-08 REVISION #:
PROJECT NUMBER: 17-170



SD4.01



north elevation (facing highrise)

1/16" = 1'-0"

MATERIAL LEGEND	
1	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - 'JAMES HARDIE' COLOUR: NIGHT GRAY (REVEAL COLOUR: CHARCOAL)
2	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - 'JAMES HARDIE' COLOUR: PEARL GRAY (REVEAL COLOUR: VSM BONE WHITE)
3	HARDIE TRIM/FASCIA BOARD (SMOOTH): - 'JAMES HARDIE' COLOUR: 'MIDNIGHT BLACK'
4	ALUMINUM SOFFIT/CLADDING (6" CHANNEL/WOODGRAIN) - 'LONGBOARD' COLOUR: DARK NATIONAL WALNUT
5	NATURAL STONE VENEER: - COLOUR: 'WESTCOAST LEDGESTONE'
6	ALUMINUM FACED COMPOSITE PANEL: - 'ARCHITECTURAL PANEL SYSTEM', COLOUR: 'CLASSIC BLACK'
7	ALUMINUM FACED COMPOSITE PANEL: - 'ARCHITECTURAL PANEL SYSTEM', COLOUR: 'CHARCOAL'
8	STAINED COMBED FACE LUMBER: - COLOUR: 'CEDAR'
9	WINDOW ALUMINUM: - COLOUR: (a) 'CLEAR ANNOXIDIZED' (b) 'DARK GRAY'
10	SLIDING PATIO DOOR ALUMINUM: - COLOUR: 'CLEAR ANNOXIDIZED'
11	SWING PATIO DOOR ALUMINUM: - COLOUR: 'CLEAR ANNOXIDIZED'
12	ALUMINUM BALCONY RAILING: - COLOUR: 'BLACK'
13	CONCRETE WALL: - COLOUR: 'CLEAR SEALER'
14	EXTERIOR METAL DOOR: - 'BENJAMIN MOORE', COLOUR: 'GRAY'
15	PRIVACY SCREEN: - FRAME COLOUR: 'BLACK'
16	NATURAL STONE VENEER: - 'STONE PANEL', COLOUR: 'HEARTHSTONE - BLACK RUNDLE'
17	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - 'JAMES HARDIE' COLOUR: ARCTIC WHITE (REVEAL COLOUR: VSM POLAR WHITE)
18	CEMENT BOARD SMOOTH PANEL SIDING (W/EASY TRIM ALUM. REVEALS): - 'JAMES HARDIE' COLOUR: ANCHOR BLACK (REVEAL COLOUR: VSM BLACK)



west elevation (facing townhouses)

1/16" = 1'-0"



VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

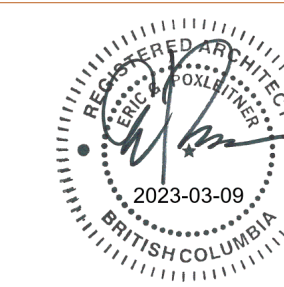
BUILDING ELEVATIONS

SCALE: As indicated

RE-ISSUED FOR DEVELOPMENT PERMIT

23-03-08 REVISION #:

PROJECT NUMBER: 17-120



SD4.02



east perspective elevation



west perspective elevation



VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

PERSPECTIVE ELEVATIONS

SCALE: N.T.S.

RE-ISSUED FOR DEVELOPMENT PERMIT

23-03-08 REVISION #:

PROJECT NUMBER: 17-170



SD4.03



south perspective elevation



north perspective elevation



keystonearch.ca

VIDAL STREET DEVELOPMENT

VIDAL STREET, WHITE ROCK, B.C.

PERSPECTIVE ELEVATIONS

SCALE: N.T.S.

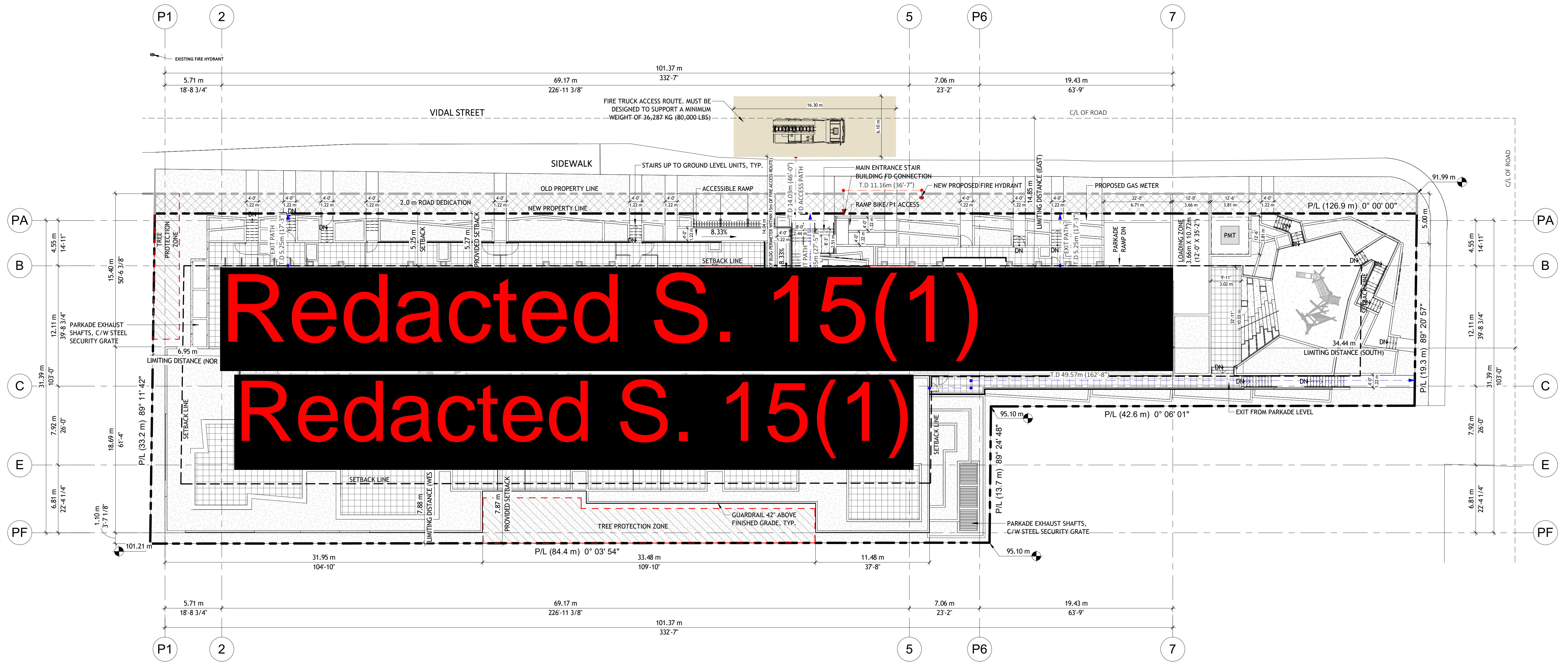
RE-ISSUED FOR DEVELOPMENT PERMIT

23-03-08 REVISION #:

PROJECT NUMBER: 17-170



SD4.04



Redacted S. 15(1)

Redacted S. 15(1)



VIDAL STREET DEVELOPMENT
VIDAL STREET, WHITE ROCK, B.C.

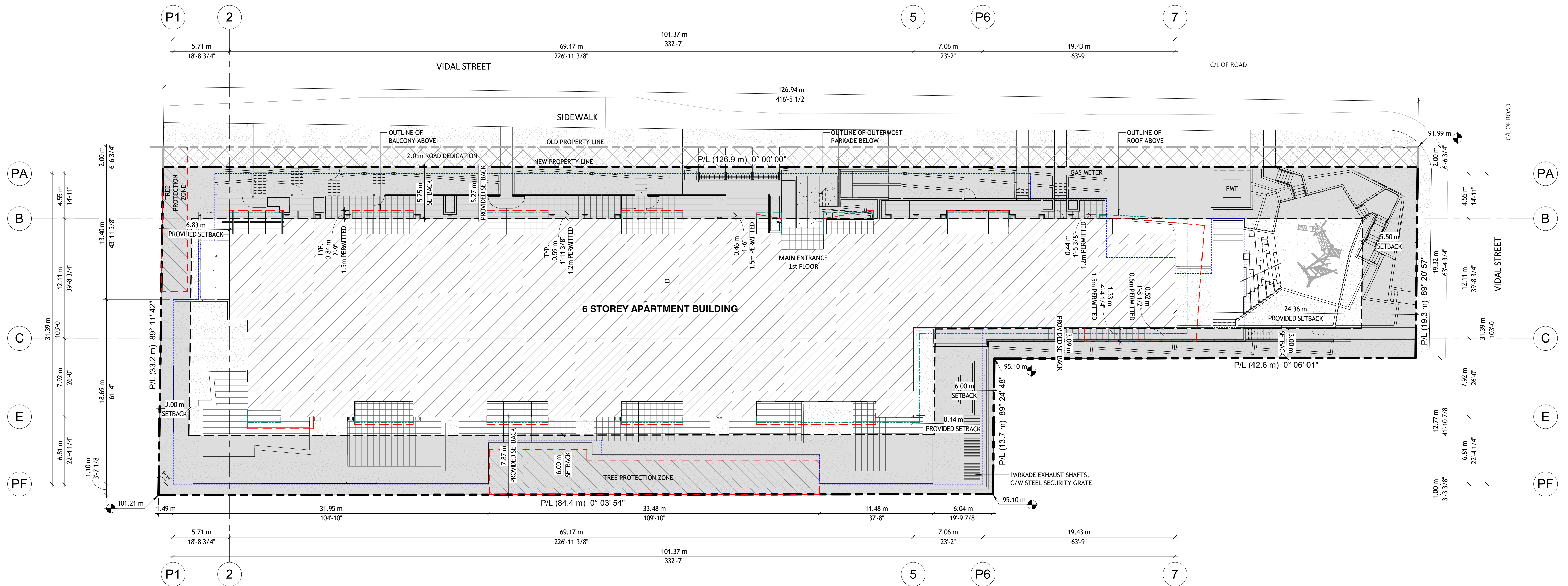
SITE CODE PLAN
SCALE: 1/115' = 1'-0"



RE-ISSUED FOR DEVELOPMENT PERMIT
23-03-08 REVISION #:
PROJECT NUMBER: 17-110



SD7.01



VIDAL STREET DEVELOPMENT
 VIDAL STREET, WHITE ROCK, B.C.

SITE LAYOUT PLAN
 SCALE: 1/115' = 1'-0"



RE-ISSUED FOR DEVELOPMENT PERMIT
 23-03-08 REVISION #:
 PROJECT NUMBER: 17-170



SD7.02



MEMORANDUM

Project Vidal St. Development, White Rock BC

Subject Code Concepts Memorandum From Bruce Campbell

File # 4V2003700 Direct 604-260-6800

Date February 21, 2023 E-mail bruce.campbell@jensenhughes.com

To	CC	Company	Attention	Via
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Keystone Architecture	Lukas Wykpis	Email
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Weststone Group	Krista Grewal	Email
<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>			
<input type="checkbox"/>	<input type="checkbox"/>			

Introduction

The project involves construction of a new 136-unit market residential building in White Rock BC. The complex consists of two wood-framed buildings separated by a firewall, overtop of a tiered parkade below grade.



Building Information & Construction Requirements

North Building

Building Height: 6 Storeys

Building Area: Approx. 900 m²

Major Occupancy: Group C

Construction Type: Combustible

O: +1 604-732-3751

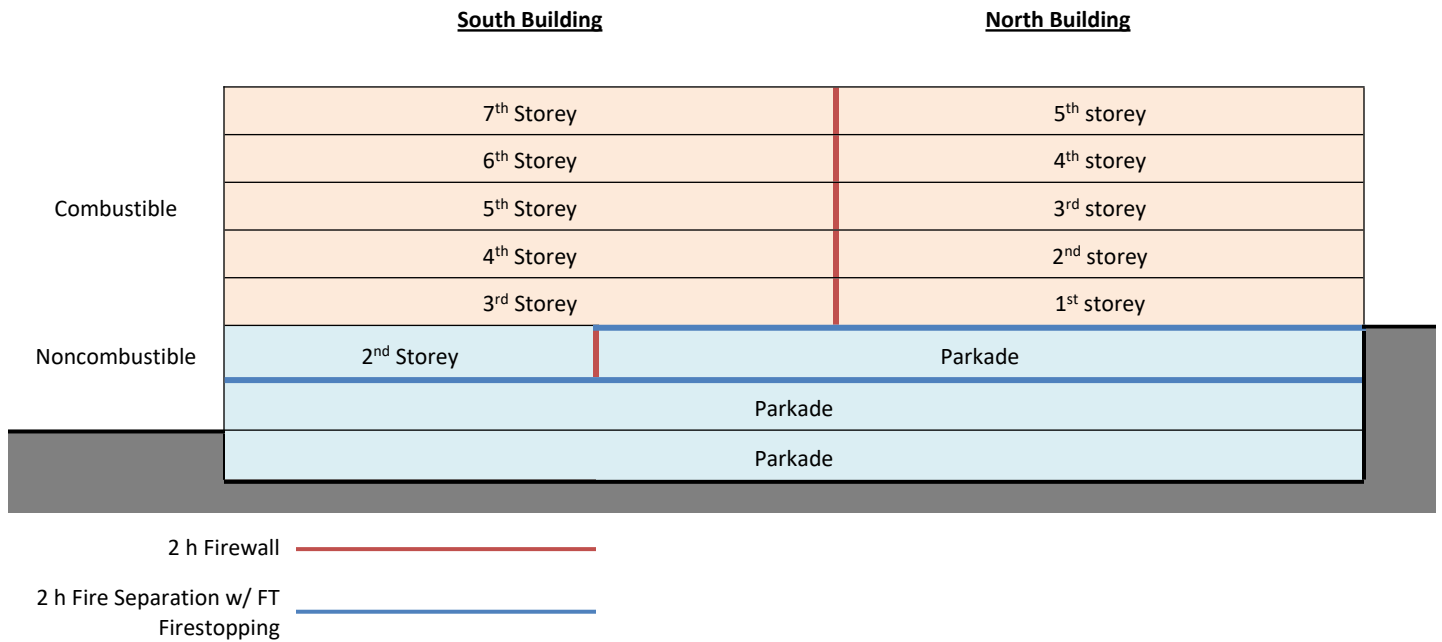
Jensen Hughes Consulting Canada Ltd.
 1195 West Broadway | Suite 228
 Vancouver, BC V6H 3X5 CANADA

South Building

Building Height: 7 Storeys (see notes below)
 Building Area: Approx. 700 m²
 Major Occupancy: Group C
 Construction Type: Combustible

Alternative Solution – Building Height due to sloping site

The building site is sloped such that it tiers down towards Thrift Street as follows:



east perspective elevation

A small portion of the middle parkade level protrudes above grade level facing Thrift Ave, and is deemed to be the first storey of the south building. As such the entire south building is technically considered “seven storeys in height”. The deck, elevator lobby, and stairwell enclosures at roof level are not considered storeys.

An Alternative Solution will be submitted with the Building Permit Application to address the use of combustible construction for the south building, based on the following concepts:

Proposed Mitigating Features

To mitigate the inclusion of combustible construction on the third to seventh storeys of the south building, the following features have been reviewed:

- Residential units to the south of the building step down in a “tiered” arrangement such that external fire department access via ladder of hose stream at the lowest end of the site does not exceed 6 storeys at any point. Furthermore, along the Vidal St Fire department response route, the building is fully 6 storeys in height at all possible response points.
- The building will be served by a single address and fire department response point at the first storey of the North Building along Vidal St, with the annunciator panel and fire department connection located here. On this basis, from the fire department response point, it will not be necessary for fire department personnel to travel up or down more than 5 storeys to reach the uppermost level.
- For the purposes of occupant evacuation, the building functions the same as a traditional six-storey building, in that occupants from the uppermost level need not travel down more than six storeys to reach ground level from any of the exit stairs.
- The first and second storeys of the south building will be of noncombustible construction, and the floor slab separating the second and third storeys will be constructed with a 2 h fire-resistance rating, with 2 h FT rated firestopping at all service penetrations through the slab. In this regard, the upper storeys will be separated from the lowest storey similar to a storage garage constructed as a separate building, which will prevent fire spread in an equivalent manner as a firewall

Discussion

1. Fire Department Response

For exterior response via fire truck or ladder, all units facing Vidal St will be located not greater than six storeys above adjacent grade, due to the tiered nature of the design. Accordingly, for primary fire department response operations, the building functions no differently than a traditional six-storey

Due to the sloping site, the lowest face of the building to the south, which is the designated first storey of the building, does not require direct ladder access. Notwithstanding this, access via Thrift Ave is provided to the second storey amenity deck and into the main building directly via an exterior stair.

The building will be provided with a single fire department response point via the main entry facing Vidal St, which is located at the effective third storey of the building. From this response point, first responders will distribute throughout the building and travel up or down to reach residential units, and it will not be necessary to travel up or down more than five storeys to reach the uppermost level of the building.

A secondary access to one of the exit stairs is located at the second storey of the building provides a supplemental means of accessing the residential levels of the building, and from this level is not necessary to travel up more than six storeys to reach the top level of residential units.

2. Fire Compartmentalization

Level 1 and 2 will be fully non-combustible and separated from the wood-frame structure above it by a 2 h rated cast-in-place concrete slab, with all service penetrations firestopped with not less than 2 h FT rated firestopping. Precedent in Article 3.2.1.2 permits a “horizontal firewall” to be utilized where a common parkade is located beneath multiple buildings of combustible construction. Although Level 1 and 2 is not fully basements, the function of a horizontal firewall is to contain a fire from spreading beyond the compartment of origin on the same basis as a vertical firewall, for the purposes of applying construction requirements. On that basis, a fire originating on the first and second storey are expected to be prevented from spreading into the combustible structure above on the same basis as a vertical firewall



3. Guidance in other Codes & Standards

Provisions for parkades protruding up to one storey above grade are referenced in other international codes and regulations. NFPA 101, often referenced as good practice, provides a similar allowance to BCBC Article 3.2.1.2 under Sentence 4.6.3.(5), specifically permitting a parking structure to extend a maximum of one storey above grade, without being considered a storey for the purposes of determining the building height. This is done with the consideration that the primary level of exit discharge typically occurs on the level above the parking structure and that the storage garage does not have a high occupant load relative to the primary floor.

This requirement is also mirrored in the International Building Code (IBC), under Articles 508.1 through 508.7, which generally permit the parking garage to be treated as a separate building to a maximum of one storey. Of particular note is Article 508.2, which closely resembles Article 3.2.1.2. of the BCBC. It permits an enclosed parking garage below residential occupancies to be, "a basement and/or first storey above the grade plane to be treated as a separate and distinct building." As with the BCBC, it also requires the storage garage to be of noncombustible construction, limits its use and construction, and requires the protection of openings.

In all cases, the assumed risks are based on the assumptions that

- The integrity of the construction of the basement must be of fire-resistive construction and prevent the spread of fire to adjacent structures,
- The use of the basement must be limited to relatively low occupant loads & low hazard uses, and
- The proposed egress and occupancy of the floors above must be considered so that occupants are not put at undue risk during emergency scenarios.

These risks have been reviewed on the subject building, as described previously.

4. Review of high building requirements

Due to the sloping site, the southernmost face of the first storey parking area at P2 level is located with average grade approximately 19 m below the floor of the top storey of the south building. This would cause the building to conform to the restrictive requirements for Subsection 3.2.6 for high buildings.

It is proposed to waive high building requirements for the site as part of the proposed alternative solution, due to the building design making high building requirements functionally redundant.

The issue of artificial grading around buildings has been addressed by the NBCC User's Guide (1995). The Guide notes that landscaping or grading around the building can be manipulated in order to diminish the building height, but cautions that care must be taken to ensure that the occupants are not exposed to an increased risk. "Therefore, reason and judgement must be exercised in establishing grade, taking into account exiting and firefighting."

The guide also notes, with regard to high buildings, that high building requirements are intended to address tenability of occupied floor areas in an emergency situation, based on the fact that occupants in upper storeys may be exposed to smoke from a fire in a storey much lower in the building, due to natural stack effect in shafts.

Accordingly, omitting high building requirements is deemed to be reasonable based on the following considerations:

- The building height measured from average finished grade is substantially less than 18 m on the east and west faces of the building. The lowered parkade entry facing Thrift Ave. represents less than 5% of the perimeter of the overall building.
- As each exit stair from the residential storeys terminates at the second storey at grade and does not continue to the parkade, the hazard of smoke movement via stack effect in exit stairs is not greater than would be expected for a building not exceeding 18 m in height. Similarly, the elevator is well below grade at Level 1, and the hazard of smoke infiltration via the elevator shaft is not more than would be expected for a typical six storey building with basement.



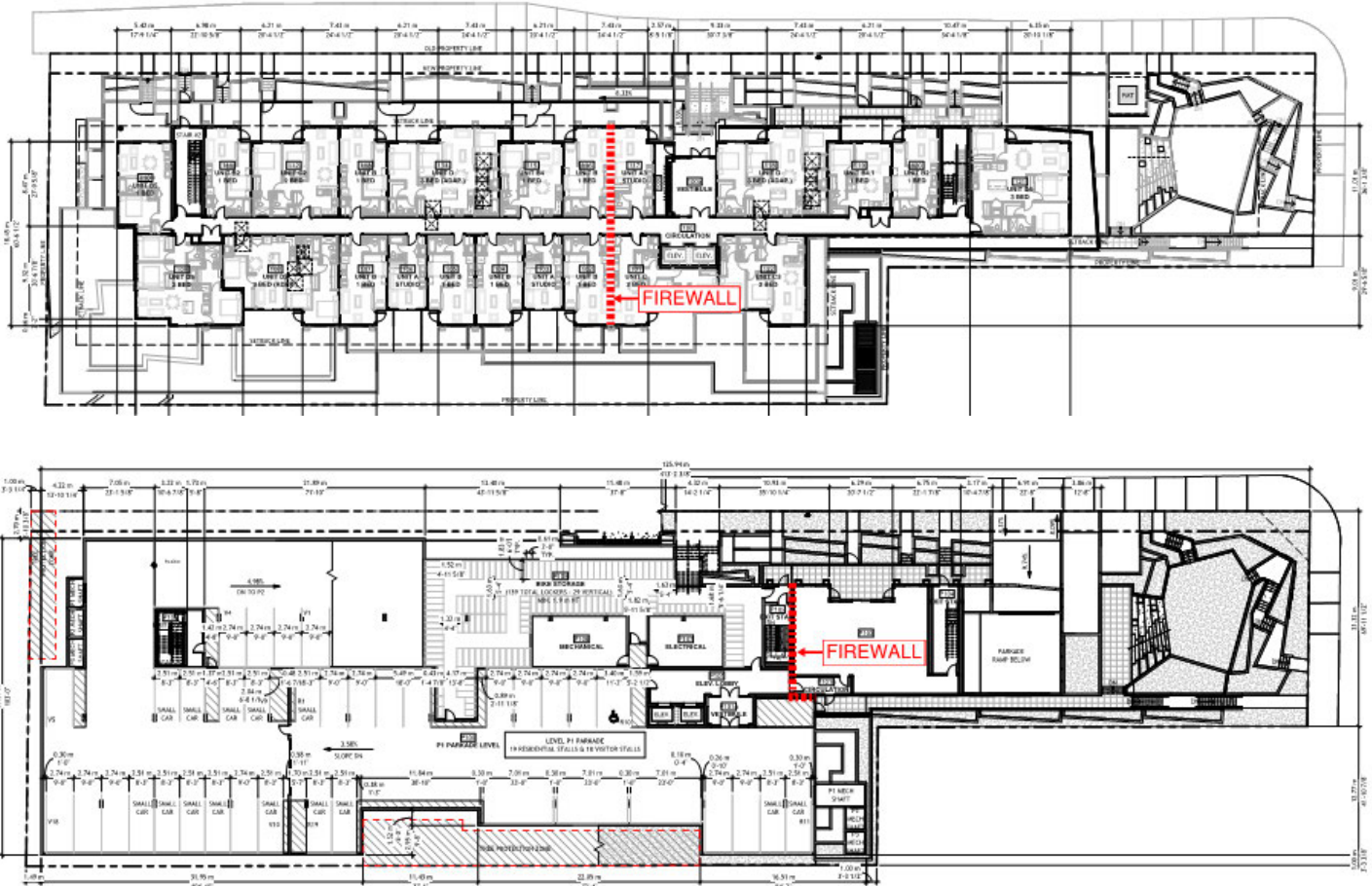
- The NBCC User’s Guide notes that the objective of maintaining tenable conditions in a fire emergency can be met when occupant evacuation to the outdoors does not exceed 7-10 minutes, as would be expected for a non-highrise building. As it is not necessary for occupants to travel downwards more than 6 storeys to reach grade level in the subject building, this condition is deemed to be met.
- It is not necessary for fire department personnel to travel up more than 6 storeys to reach the top storey from the fire department response point. As shown in the mitigating features for the alternative solution above, consideration has been given to fire department access on the West side of the building.

Alternative Solution – Offset Firewall

The firewall separating the combustible upper levels of the building is required to extend vertically through all storeys of the building. The lower storeys of this building consist of parkade recessed below grade, and as such, continuing the firewall down through the parking areas of the building is impractical given the limitation it would place on circulation.

Proposed Mitigating Features

Where the firewall terminates at the Level 2 concrete slab, it will jog horizontally to another firewall at the level below, before terminating above the common parkade as follows:



The horizontal portions of concrete slab joining each firewall will be designed substantially in conformance with the same requirements for vertical firewalls as follows:

- The horizontal portions of firewall will be constructed entirely of concrete or masonry construction,
- The horizontal portions of firewall will be constructed with not less than a 2 h fire-resistance rating



- All structural elements supporting the horizontal portions of firewall will be provided with not less than a 2 h fire resistance rating, such that they will not collapse prior to collapse of the floor assembly,
- Within the horizontal portions of the firewall, all service penetrations will be protected with firestop systems tested in accordance with CAN/ULC-S115, “Fire Tests of Firestop Systems”, for 2 h FT ratings.

Discussion

The intent of the requirement to have all firewalls extend vertically through all storeys of a building, as noted by the BCBC, is to limit the probability of a firewall not being continuous, which could lead to gaps or openings in the firewall during a fire. Therefore, the purpose of this alternative solution is to demonstrate that the non-vertical (horizontal) sections of firewall will not create gaps or openings which achieve a lower level of performance than the vertical sections of firewall.

The ground storey is constructed of noncombustible construction and the 2nd storey floor slab will be constructed as a structural concrete slab having a 2 h FRR, with service penetrations within the horizontal portion of a firewall protected with firestop systems having a 2 h FT rating when tested in conformance with ULC-S115, “Fire Tests of Firestop Systems”. The use of masonry or concrete construction is considered to be superior to that of other types of noncombustible construction. The concrete slab is more reliable because over time, the concrete slab is less prone to unauthorized alterations and requires a lesser degree of maintenance to remain intact. Likewise, the concrete slab provides less opportunity for craftsmanship mistakes during the construction stage because it does not involve installation of gypsum board systems, application of spray-applied insulation to individual structural members, protection of joints with firestop systems, etc. The FT rating requirement for service penetrations, equivalent to that required for vertical firewalls, will further reduce the probability of vertical fire spread across this horizontal fire separation.

This type of a floor assembly meets all the requirements of Article 3.2.1.2. permitting a basement used primarily as a storage garage to be considered as a separate building for the purposes of Subsection 3.2.2. The intent of this exemption, as noted by the BCBC, is to exempt certain firewalls from the requirement to be continuous if certain conditions are met that provide an equivalent level of protection. By virtue of the enhanced horizontal floor slab, the proposed ground floor commercial space will perform as a separate building that is capable of preventing an interior vertical flame spread in the upward direction. The risk of a fire propagation from the parking levels to the residential storeys above will be remote.



PART 2 – TERMS OF INSTRUMENT

HOUSING AGREEMENT AND COVENANT
(Section 483 *Local Government Act* and Section 219 *Land Title Act*)

THIS AGREEMENT made the _____ day of _____, 2023,

BETWEEN:

WS VIDAL PROPERTIES HOLDINGS LTD., INC. NO. BC1163846
308-10090 152 Street, Surrey, B.C. V3R 8X8

(the “Owner”)

OF THE FIRST PART

AND:

THE CORPORATION OF THE CITY OF WHITE ROCK,
a municipal corporation under the Community Charter of the
Province of British Columbia, and having its City Offices at
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

(the “City”)

OF THE SECOND PART

WHEREAS:

- A. Section 483 of the *Local Government Act* permits the City to enter into and note on title to lands, housing agreements which may include, without limitation, conditions in respect to the form of tenure of housing units, availability of housing units to classes of persons, administration of housing units, and rent that may be charged for housing units;
- B. Section 219 of the *Land Title Act* permits the registration of a covenant of a positive or a negative nature in favour of the City in respect of the use of land and construction on land;
- C. The Owner is the owner of the Lands (as hereinafter defined);
- D. The Owner made an application to rezone the Lands from RS-1 (One Unit Residential Zone), RT-1 (Two Unit (Duplex) Residential Zone), and CD-32 (Comprehensive Development Zone (1455-65 Vidal Street)) to CD-◆ Comprehensive Development Zone (◆) to permit the development of a six-storey rental apartment building with 136 rental units, including 14 rent controlled rental units; and
- E. The Owner and the City wish to enter into this Agreement (as hereinafter defined) to provide long-term rental housing on the terms and conditions set out in this Agreement.

In consideration of \$1.00 and other good and valuable consideration (the receipt and sufficiency of which is acknowledged by both parties), and in consideration of the promises exchanged

below, the Owner and the City covenant and agree pursuant to section 483 of the *Local Government Act* and section 219 of the *Land Title Act* as follows:

ARTICLE 1 DEFINITIONS AND INTERPRETATION

1.1 Definitions – In this Agreement, the following words have the following meanings:

- (a) “Age of Majority” means 19 years of age;
- (b) “Agreement” means this agreement together with all LTO forms, schedules, appendices, attachments and priority agreements attached hereto or incorporated by reference herein;
- (c) “Daily Amount” means \$100.00 per day as of January 1, 2023, adjusted annually thereafter by adding thereto an amount calculated by multiplying \$100.00 by the percentage change authorized for maximum rent increases under the Residential Tenancy Act (British Columbia) from January 1, 2023, to January 1 of the year that a written notice is delivered to the Owner by the City pursuant to section 5.2 of this Agreement. In the absence of obvious error or mistake, any calculation by the City of the Daily Amount in any particular year shall be final and conclusive;
- (d) “Dwelling Unit” means a residential dwelling unit or units located or to be located on the Lands, and includes, where the context permits, a Secured Rental Unit and a Rent Controlled Rental Unit, and in the event of uncertainty arising from interpretation of this definition, has the same meaning as in the City’s zoning bylaw as amended or replaced from time to time;
- (e) “Excess Charges” means any amount of rent charged in respect of a tenancy of a Rent Controlled Rental Unit that is in excess of Permitted Rent, plus any fees or charges of any nature whatsoever that are charged in respect of the tenancy of a Rent Controlled Rental Unit that are not Permitted Tenant Charges, and includes all such amounts charged in respect of any tenancy since the commencement date of the Tenancy Agreement in question, irrespective of when the City renders an invoice in respect of Excess Charges;
- (f) “Household” means, in respect of a Dwelling Unit, all individuals occupying, or intending to occupy, that Dwelling Unit for more than thirty (30) consecutive days or more than forty-five (45) days total in any calendar year;
- (g) “Income Tested Tenant” for Rent Controlled Rental Units means a tenant thereof whose income does not exceed the Income Threshold;
- (h) “Income Threshold” means a gross household income of 80 percent of the median household income in the City of White Rock Income as defined by and based on data published in the most recent Census of Canada, or if such data is not currently published, by the Province of British Columbia, or if such data is not currently published, by the CMHC, from time to time;
- (i) “*Interpretation Act*” means the *Interpretation Act*, R.S.B.C. 1996, Chapter 238;
- (j) “Lands” means the following lands and premises situate in the City of White Rock and any part, including a building or a portion of a building, into which said land is

Subdivided:

LOT 8 SECTION 10 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN
13684
PID: 007-208-677

THE COMMON PROPERTY OF STRATA PLAN NWS2236

STRATA LOT 1 OF SECTION 9 TOWNSHIP 1 NEW WESTMINSTER
DISTRICT STRATA PLAN NW2236
PID: 001-267-744

STRATA LOT 2 OF SECTION 9 TOWNSHIP 1 NEW WESTMINSTER
DISTRICT STRATA PLAN NW2236
PID: 001-267-761

LOT 1 SECTION 10 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN
EPP46879
PID: 029-484-413

LOT 41 SECTION 10 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN
35379
PID: 007-223-480

- (k) “*Land Title Act*” means the *Land Title Act*, R.S.B.C. 1996, Chapter 250;
- (l) “*Local Government Act*” means the *Local Government Act*, R.S.B.C. 2015, Chapter 1;
- (m) “LTO” means the New Westminister Land Title Office or its successor;
- (n) “Owner” means the party described on page 1 of this Agreement as the Owner and any subsequent permitted owner of the Lands or of any part into which the Lands are Subdivided, and includes any person who is a registered owner in fee simple of a Dwelling Unit from time to time;
- (o) “Permitted Rent” means the maximum rent set out in Schedule B of this Agreement in respect of the number of bedrooms of the Dwelling Unit in question and the type of dwelling unit (Secured Rental Unit or Rent Controlled Rental Unit), provided that the amounts set out in Schedule B of this Agreement may be increased once per year in accordance with any maximum positive change authorized under the Residential Tenancy Act (British Columbia) between January 1, 2023 and the month in which the rent is being increased, and may be further increased with the prior written consent of the City to cover unexpected increases in operating, maintenance and servicing costs.
- (p) “Permitted Tenant Charges” means resident parking, typical monthly insurance premiums for tenant's household contents and third party liability insurance plus an amount equal to the average monthly charge for electricity supplied to all Dwelling Units on the lands by the B.C. Hydro and Power Authority based on electricity

consumption over the previous twelve months only, and excludes without limitation any other amounts charged by the Owner from time to time in respect of any laundry, services or programs provided by or on behalf of the Owner and any other permitted charges as set out in section 3.1(c) whether or not such amounts are charged on a monthly or other basis to the Tenants;

- (q) “*Real Estate Development Marketing Act*” means the *Real Estate Development Marketing Act*, S.B.C. 2004, Chapter 41;
- (r) “Rental Unit” means a Rent Controlled Rental Unit or a Secured Rental Unit;
- (s) “Rent Controlled Rental Unit” means a Dwelling Unit designated as such in accordance with a building permit and/or development permit issued by the City and/or, if applicable, in accordance with any rezoning consideration applicable to the development on the Lands and includes, without limiting the generality of the foregoing, a Dwelling Unit charged by this Agreement;
- (t) “*Residential Tenancy Act*” means the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78;
- (u) “Secured Rental Unit” means a Dwelling Unit which is not occupied by the registered or beneficial owner of the same, but which is made available by such owner to the general public at arm’s length, for use as market rental accommodation in accordance with this Agreement, reasonably prudent landlord-tenant practices for rental residential accommodation and any and all laws applicable thereto;
- (v) “*Strata Property Act*” means the *Strata Property Act*, S.B.C. 1998, Chapter 43;
- (w) “Subdivide” means to divide, apportion, consolidate or subdivide the Lands or any building on the Lands, or the ownership or right to possession or occupation of the Lands or any building on the Lands, into two or more lots, strata lots, parcels, parts, portions or shares, whether by plan, descriptive words or otherwise, under the *Land Title Act*, the *Strata Property Act*, or otherwise, and includes the creation, conversion, organization or development of “cooperative interests” or a “shared interest in land” as defined in the *Real Estate Development Marketing Act*;
- (x) “Tenancy Agreement” means a tenancy agreement, lease, license or other agreement pursuant to the *Residential Tenancy Act* granting rights to occupy a Dwelling Unit; and
- (y) “Tenant” means an occupant of a Dwelling Unit by way of a Tenancy Agreement.

1.2 Interpretation – In this Agreement:

- (a) wherever the singular or masculine is used herein, the same shall be construed as meaning the plural, feminine or body corporate or politic, where the contents or parties so require;
- (b) article and section headings have been inserted for ease of reference only and are not to be used in interpreting this Agreement;
- (c) if a word or expression is defined in this Agreement, other parts of speech and grammatical forms of the same word or expression have corresponding meanings;