

March 13, 2019

FOI No: 2019-16

VIA E-MAIL – **Redacted**

Redacted

Dear **Redacted**

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has processed your request for access to the following records pursuant to the *Freedom of Information and Protection of Privacy Act (the Act)*:

- *Any building permits, electrical permits, changes to strata plan from LCP to inhabitable space, engineering reports pertaining to the construction of a 280 sq. ft. atrium on limited common property at 14899 Marine Drive Unit 202*

Access to these records is available. A copy of the City's permitting records related to the installation of a solarium at 202 – 14899 Marine Drive is attached. I have been unable to locate any other permitting relating to renovations specific to this unit or the adjacent common areas.

Please note that some of the information in the records is excepted from disclosure under the Act. I have severed the excepted information so that I could disclose the remaining information to you as attached.

The severed information is excepted from disclosure under section 22 of the Act. Severing was necessary to avoid disclosing any third-party personal information without permission.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

THE CITY OF WHITE ROCK PERMIT TO BUILD

Date: April 2 2004 Roll # 2277-02 Dev. Permit No. _____ Permit No. 041034

Owner **Redacted S. 22**
 Address

Architect Alone Macmillan
 Contractor WEST COAST CONSTRUCTION 531-2274
 Engineer of Record E. Macmillan 355-9154

Location 212-14999 Marine Dr
 Legal Lot 2 NW 2674
 Dev. Permit Area Yes Zone CR-4
 Occupancy Storage Apartment
 Description of Project 15' x 15' Storage Unit

Description of Construction Designated Access Alarms Lot Size _____ Size: _____ sq.m. Stories _____
 Setbacks: Front _____ Right Side _____ Left Side _____ Rear _____

- | | | |
|----------------------------|------------------------------|-----------------------------|
| Board of Variance approved | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Tree Bylaw | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Flood Plain | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Adjacent Water Course | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Form Survey Plan Received | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Truss Plan Received | Yes <input type="checkbox"/> | No <input type="checkbox"/> |

Occupancy Storage Apt
 Building Final _____

B.C.B..C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a **building permit** nor the approval of the relevant drawings and specifications nor inspections made by the **authority having jurisdiction** shall in any way relieve the **owner** of such **building** from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the **British Columbia Building Code**.

Redacted S. 22

Value	\$ <u>5000</u>
Permit Fee	\$ <u>75</u>
Microfiche Fee	\$
Utility Inspection Fee	\$
	\$
	\$
Total Fees	\$ <u>75</u>

Owner or Authorized Agent..... **Redacted S. 22** Building Inspector..... P. G. [Signature]

(OVER)

<u>TYPE OF INSPECTION</u>	<u>APPROVED</u>	<u>DATE</u>	<u>PARTIAL</u>	<u>DATE</u>	<u>FAILED</u>	<u>DATE</u>
Footing	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Foundation Wall	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Drainage	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Below Slab Plumbing	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Under Slab Ducting	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Slab	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Exterior Framing	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Plumbing DWV	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Plumbing Water Distribution	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Building Height	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Angle of Containment	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Framing	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Insulation	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Lath and Paper Stucco	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Stucco Scratch Coat	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Plumbing Final	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Occupancy Final	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____
Building Final	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____	<input type="checkbox"/>	_____

MAXIMUM HEIGHT ALLOWED _____ m

ACTUAL HEIGHT _____ m

Our File: 104-099
Client:

SCHEDULE C-B
Forming Part of Section 2.6 of the
British Columbia Building Code

04039
Building Permit No.*

**ASSURANCE OF PROFESSIONAL FIELD REVIEW
AND COMPLIANCE**

- Note:
1. This letter must be submitted after completion of the project but before the occupancy permit is issued, or a final inspection is made, by the *authority having jurisdiction*. A separate letter must be submitted by each *registered professional*.
 2. This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
 3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The Building Official

Date: APRIL 2 2004

CITY OF WHITE ROCK
Address (Print)
15322 BUENA VISTA AVENUE
WHITE ROCK, B.C. V4B 1Y6

Dear Sir:

Re: **STRUCTURAL ENGINEERING**

Area of responsibility (e.g. Architectural, etc.) (Print)

ALUMINUM SOLARUM

Name of Project (Print)

UNIT 203, 14899 MARINE DRIVE - WHITE ROCK, B.C.

Address of Project (Print)

STRATA PLAN NWD 2672, STRATA LOTS 2, 3 AND 4

Legal Description of Project (Print)

I hereby give assurance that

- (a) I have fulfilled my obligations for *field review* as outlined in Section 2.6 of the British Columbia Building Code and in the previously submitted Schedule B-1, "ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW," and Schedule B-2, "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS," and
- (b) those components of the project opposite my initials in Schedule B-2 substantially comply in all material respects with
 - (i) the applicable requirements of the B.C. Building Code and other applicable enactments respecting safety, not including construction safety aspects, and
 - (ii) the plans and supporting documents submitted in support of the application for the *building* permit,
- (c) I am a *registered professional* as defined in the British Columbia Building Code.

Our File: 104-099

Client:

Schedule C-B – Continued
(Each registered professional shall complete the following:)

Building Permit No.*

UNIT 202, 14899 MARINE DRIVE

Project Address

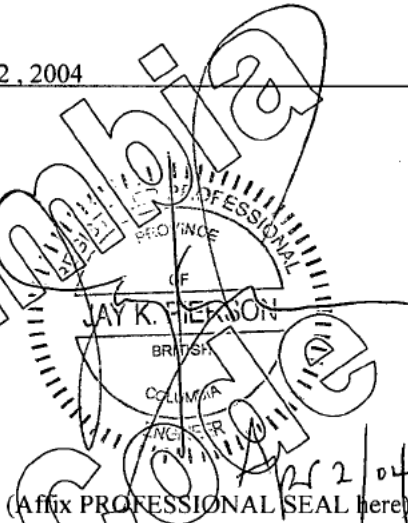
JAY K. PIERSON, P.ENG.
Name (Print)

Signed _____ Date: APRIL 2, 2004

#201 - 2B13 WEST RAILWAY STREET
Address (Print)
ABBOTSFORD, B.C.

V2S 2E3

604.853.8522
Phone



(Affix PROFESSIONAL SEAL here)

(If the registered professional is a member of a firm, complete the following:)

I am a member of the firm LANG STRUCTURAL ENGINEERING INC.
and I sign this letter on behalf of the firm. (Print name of firm)

NOTE: The above letter must be signed by a registered professional. The British Columbia Building Code defines a registered professional to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

c.c.: Coast Solarium & Patio Inc. – Kurtis Sheppard

SCHEDULE B-1
Forming Part of Section 2.6 of the
British Columbia Building Code

04039
Building Permit No.*

**ASSURANCE OF PROFESSIONAL DESIGN AND
COMMITMENT FOR FIELD REVIEW**

- Note:
1. This letter must be submitted along with Schedule B-2 before issuance of a *building* permit. A separate letter must be submitted by each *registered professional*.
 2. This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
 3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

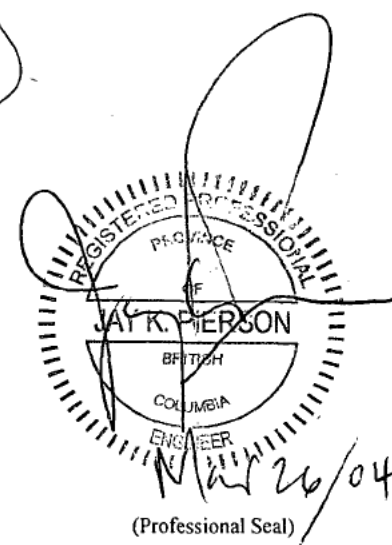
To: The Building Official
 CITY OF WHITE ROCK
 Address (Print)
 15322 BUENA VISTA AVENUE
 WHITE ROCK, B.C. V4B 1Y6

Date: MARCH 26, 2004

Dear Sir:
 Re: PROPOSED ALUMINUM SOLARIUM
 Name of Project (Print)
UNIT 202, 14899 MARINE DRIVE - WHITE ROCK, B.C.
 Address of Project (Print)
STRATA PLAN NWD 2672, STRATA LOTS 2, 3 AND 4
 Legal Description of Project (Print)

The undersigned hereby gives assurance that the design of the
(Initial those of the items listed below that apply to this *registered professional*.
All the disciplines will not necessarily be employed on every project.)

- ARCHITECTURAL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- FIRE SUPPRESSION SYSTEMS
- ELECTRICAL
- GEOTECHNICAL – temporary
- GEOTECHNICAL – permanent



components of the plans and supporting documents prepared by this *registered professional* in support of the application for the *building* permit as outlined on the attached Schedule B-2 substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction as indicated on the attached "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" (SCHEDULE B-2).

Our File: 104-099
Client:

Schedule B-1 – Continued

04039
Building Permit No.*
UNIT 202, 14899 MARINE DRIVE
Project Address
STRUCTURAL ENGINEERING
Discipline

The undersigned also undertakes to notify the *authority having jurisdiction* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during construction.

I certify that I am a *registered professional* as defined in the British Columbia Building Code.

JAY K. PIERSON, P.ENG.
Name (Print)

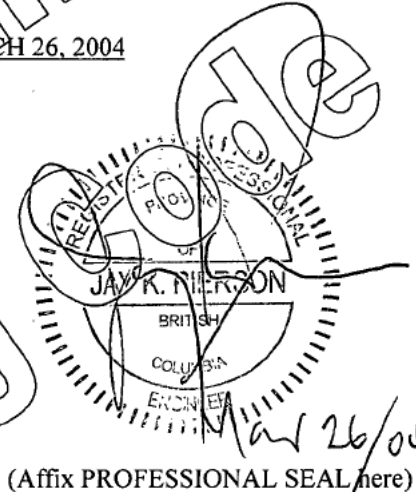
[Signature] Date: MARCH 26, 2004
Signed

#201 - 2B13 WEST RAILWAY STREET
Address (Print)

ABBOTSFORD, B.C.

V2S 2E3

(604) 851-8522
Phone



(If the *Registered Professional* is a member of a firm, complete the following.)

I am a member of the firm LANG STRUCTURAL ENGINEERING INC.
and I sign this letter on behalf of the firm.

NOTE: The above letter must be signed by a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

c.c.: Coast Solarium & Patio Inc. – Kurtis Sheppard

SCHEDULE B-2
Forming Part of Section 2.6 of the
British Columbia Building Code

04039

Building Permit No.*

**SUMMARY OF DESIGN AND FIELD REVIEW
REQUIREMENTS**

- Note:
1. This letter must be submitted with Schedule B-1 before issuance of a *building permit*
 2. This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
 3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

Date: MARCH 26, 2004 JAY K. PIERSON, P.ENG.
(Registered Professional)

Project: PROPOSED ALUMINUM SOLARIUM
(Name)
UNIT 202, 14899 MARINE DRIVE - WHITE ROCK, B.C.
(Address)

(Initial applicable discipline below and cross out and initial non-applicable items within the discipline.)

ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 *Fire separations* and their continuity
- 1.3 *Closures*, including tightness and operation
- 1.4 Egress systems, including *access to exit* within *suites* and *floor areas*
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for fire fighting access
- 1.10 *Access requirements for persons with disabilities*
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below grade
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Thermal insulation systems, including condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)

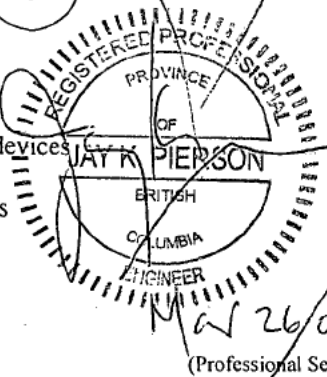
STRUCTURAL

- ~~2.1 Structural capacity of structural components of the *building* including anchorage and seismic restraint~~
- ~~2.2 Structural aspects of *deep foundations*~~
- ~~2.3 Review of all applicable shop drawings~~
- ~~2.4 Structural aspects of unbonded post-tensioned concrete design and construction~~

MECHANICAL

- 3.1 HVAC systems and devices, including high *building* requirements where applicable
- 3.2 *Fire dampers* at required *fire separations*
- 3.3 Continuity of *fire separations* at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings

aluminum canopy jkl



Schedule B-2 – *Continued*04039
Building Permit No.*Project: UNIT 202, 14899 MARINE DRIVE
(Address)Registered Professional: JAY K. PIERSON, P.ENG.**PLUMBING**

- 4.1 Roof *drainage systems*
- 4.2 Site and *foundation drainage systems*
- 4.3 *Plumbing systems* and devices
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems – confirm sprinklers and installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Functional testing of fire suppression systems and devices

ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings

GEOTECHNICAL - Temporary

- 7.1 *Excavation*
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

GEOTECHNICAL - Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep *foundations*
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning

Mar 26/04
(Professional Seal)

April 2003

To Whom it May Concern;

Re: Strata Lot #2 Sec 10 TPI NW PLAN 2672

Sun Building Strata NW2672

14899 Main St.

White Rock, B.C. V4B 1C2

does hereby have Strata Council approval to enclose
a 15' x 15' portion of their sundeck as discussed.

Chairperson/President

Redacted S. 22

Secretary

Redacted S. 22

(photo copy)
boxed
initials

Redacted S. 22

* MARCH 31/04 New Secretary 2004



APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING "

MAR 29 2004

Corporation of the City of White Rock, B.C.

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to Enclosed sundeck the building as follows:

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: CR-2 Development Permit #.....

Correct description of property

Street ~~XXXXXX~~ ~~XXXXXX~~ ~~XXXXXX~~ 14899 marine Dr Size of land Steve

Survey Plan required No Yes Unit 202 Strata Plan 2672 Is this ok with you?

Are there any buildings already occupying any portion of said land? yes

What are they, and what are they being used for? Commercial

How heated?

Entire value, when completed \$ 5,000

Name and mail address of owner **Redacted S. 22** Phone: **Redacted S. 22**

Name and mail address of builder West Coast Sokrivm Phone: 604 539 7794

Curtis Shepard 604 315 4354

Name and address of architect (if any)

Name and address of person or persons to whom permit is to be issued:

Name R Address

Do you require to use street for placing material?

How long? Days

And I agree to conform to all requirements of said By-Law.

Roll No. Signature of Applicant: **Redacted S. 22**

Building Permit Fee: \$75 X

Plan Checking Fee:

Permit No. 04039

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

MS ALDOPER
75.00
OK
R:33521 / R:2094033001 / I:6/85
Mar/2004 PAROL
75.00

GENERAL

Contractors are to ensure they are working from current "Issued for Construction" plans.

The contractor shall check and verify all dimensions and details on the structural drawings for compatibility with architectural and other consultants' drawings before commencing with the work.

The contractor shall inform the engineer in writing during the bidding period of any discrepancies or omissions noted on the drawings or in the specifications. Upon receipt of such information the engineer will provide additional instructions. Any such discrepancy, omission, or variation not reported shall be the responsibility of the contractor, and corrective work shall be performed as directed by the engineer.

The contractor is responsible for all costs associated with the correction of deficiencies, as determined by the engineer.

All dimensions to take precedence over scale shown on plans, sections, and details.

Engineering services presented on these drawings are for permanent structure only. The contractor is responsible for all temporary bracing required for structure stability and for construction loading until the project is completed.

Architectural Design, Electrical, Mechanical, Civil, and Geotechnical Engineering are the responsibility of others.

All formwork, shoring for the excavation and underpinning of adjacent structures, if required, is the responsibility of the contractor and shall be designed and inspected by others to current Worker's Compensation Board regulations.

The contractor is responsible for safety on the job site during construction and shall ensure compliance to current W.C.B. regulations.

In cases of discrepancies on structural drawings, the more stringent requirements shall govern.

Governing codes: B.C. Building Code, 1998 including all amendments and Municipal Bylaws.

This structure has been designed to Part 4 of B.C.B.C. 1998.

DESIGN LOADS

This structure has been designed for the following superimposed, service loads:

	Live Loads (psf)	Dead Loads (psf)
Roof	Snow Ss = 48.03 Sr = 4.18	3.0
Wind (q30)		11.70

Seismic (Za = Zv = 4; v = 0.2)

Special load considerations are: uplift loads and snow build-up.

ALUMINUM

Design in accordance with CAN3-S157-M83 "Strength Design of Aluminum".

Structural Aluminum Alloy and Temper to be 6061-T6 unless noted otherwise.

Structural Aluminum Alloy and Temper to be 5052-H34 for decking

Erection bracing during construction/assembly is the responsibility of the contractor.

No burning of holes or field cutting will be permitted in any structural element without the approval of the engineer.

Aluminum decking shall be connected using aluminum, stainless steel, zinc or cadmium plated, or galvanized steel fasteners.

CONTACT WITH DISSIMILAR MATERIALS

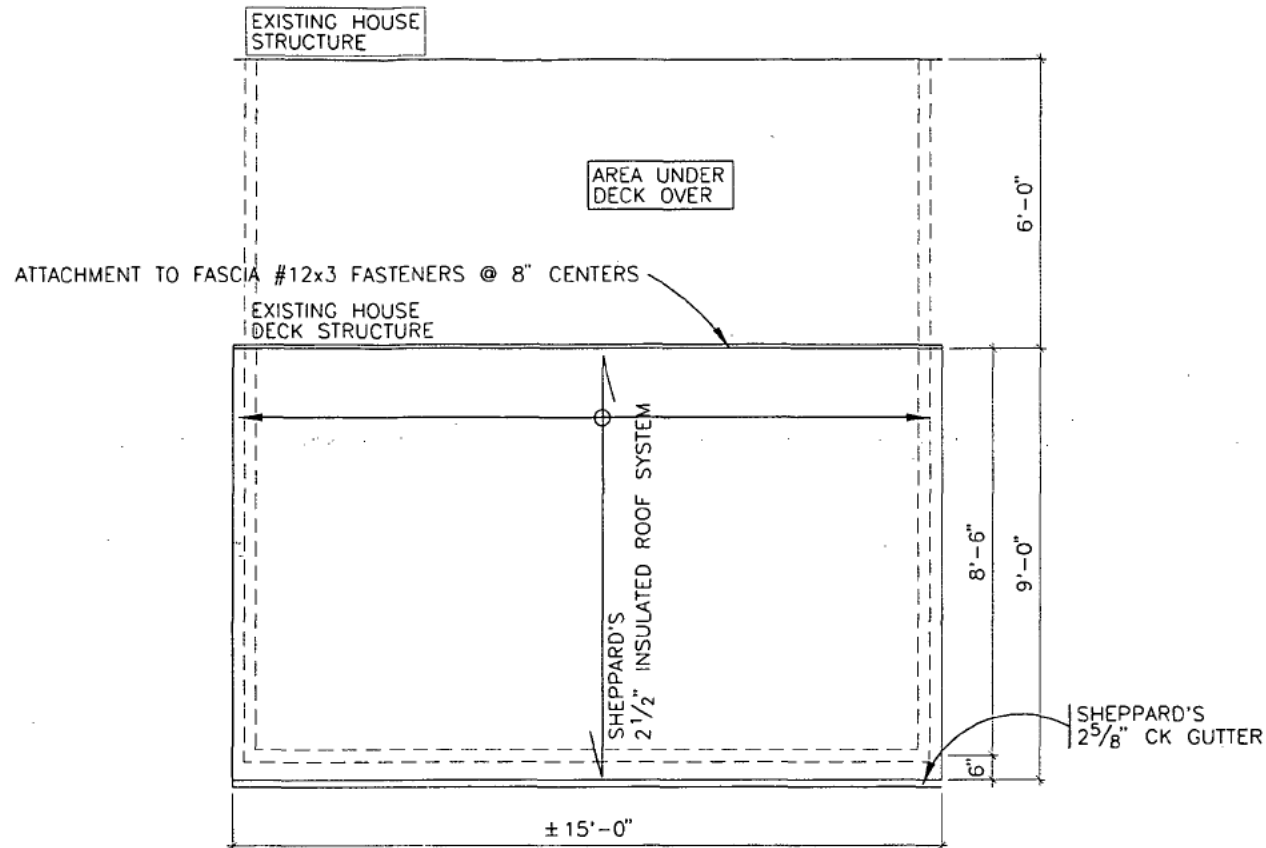
Aluminum surfaces to be placed against bare steel shall be given one coat of primer and a layer of a suitable nonhardening joint compound capable of excluding moisture from the joint during prolonged service. Bare steel surfaces to be placed in contact with aluminum shall be painted with good quality primer paint, such as zinc chromate primer, followed by one coat of paint containing 0.2 kg. of aluminum paste pigment per litre.

Aluminum surfaces shall be given a heavy coat of alkali resistant bituminous paint or other coating providing equivalent protection when in contact with concrete or masonry where moisture is present and corrodants can be entrapped between the surfaces.

LIMITATIONS OF LIABILITY

Engineering judgement has been applied in developing this design in an attempt to strike a reasonable balance between risk of failure and economic factors. Beyond a certain level of cost, increments of security are attained only by disproportionate increases in cost. A more conservative approach could be adopted in return for increased design and construction costs.

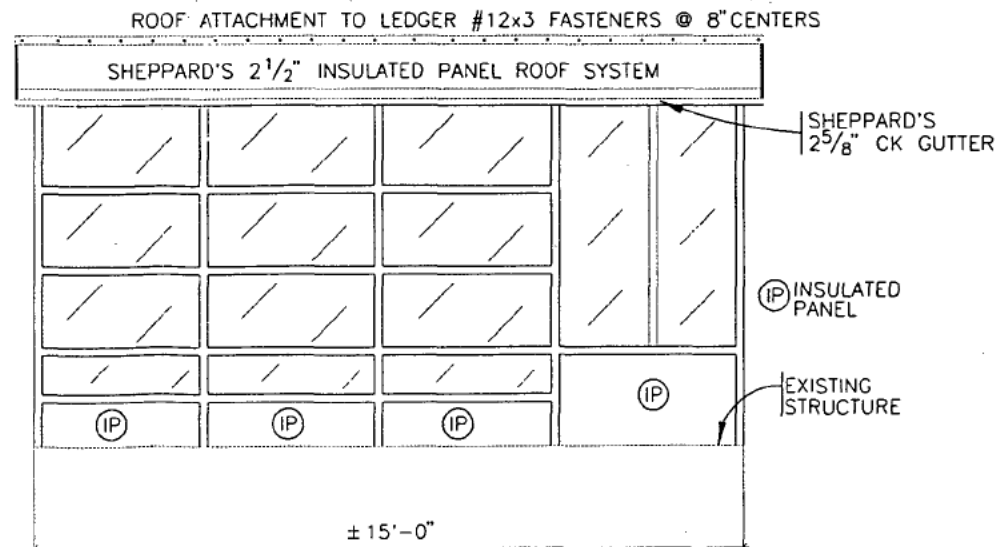
These designs have been prepared in accordance with generally accepted structural engineering practices and to the requirements of all applicable Codes. No other warranty is made, either expressed or implied.



ROOF PLAN VIEW

NOTES:

- SHEPPARDS THERMAL COMFORT 2001 SUNROOM
- 3" THERMALLY BROKEN WALL SYSTEM
- c/w 1-6068 PATIO DOOR AND 24" INSULATED KICK PANELS
- 2 1/2" INSULATED ROOF SYSTEM



FRONT VIEW

03/24/04	FOR PERMIT/CONST.
NO:	DATE REVISION
lang structural engineering inc.	
#201-2313 West Railway St. Abbotsford, B.C. V2S 2E3 Abbotsford (604) 853-8522 Toll Free (604) 857-1757 Fax (604) 853-0158 E-mail mail@langeng.com	
DATE	MARCH 2004
SCALE	NTS
JOB NO	104-099
DRAWN	JV
CHECKED	JKP
PROJECT: PROPOSED ALUMINUM CANOPY COAST SOLARIUM & PATIO INC. UNIT 202, 14899 MARINE DRIVE WHITEROCK, B.C.	
TITLE: ALUMINUM CANOPY	
STRUCTURAL NOTES, PLAN & ELEVATIONS	
SEAL 	
SHEET	SS1 OF SS2

03/24/04	FOR PERMIT/CONST.
NO:	REVISION



#201-2313 West Railway St.
Abbotsford, B.C.
V2S 2E3
Abbotsford (604) 853-8522
Toll Free (604) 857-1757
Fax (604) 853-0158
E-mail mail@langeng.com

DATE	MARCH 2004
SCALE	NTS
JOB NO	104-099
DRAWN	JV
CHECKED	JKP

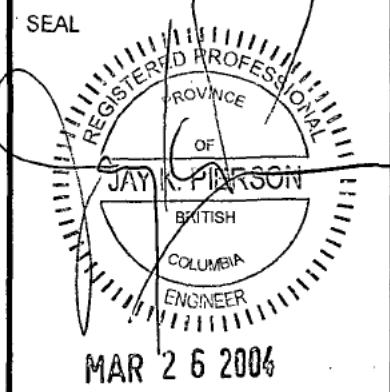
PROJECT:
PROPOSED
ALUMINUM CANOPY

COAST SOLARIUM
& PATIO INC.

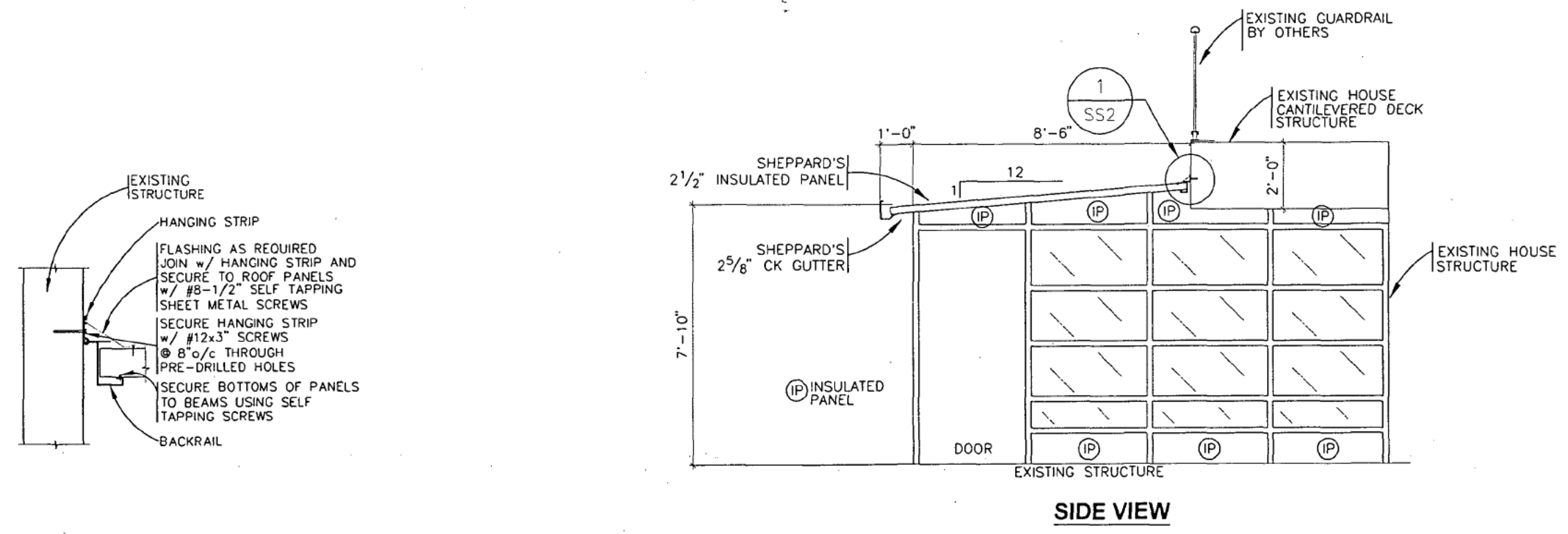
UNIT 202,
14899 MARINE DRIVE
WHITEROCK, B.C.

TITLE:
ALUMINUM CANOPY

ELEVATION AND
DETAILS



SHEET	SS2 OF SS2
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DETAIL 1
NTS
SS2

STRATA PLAN NW2672

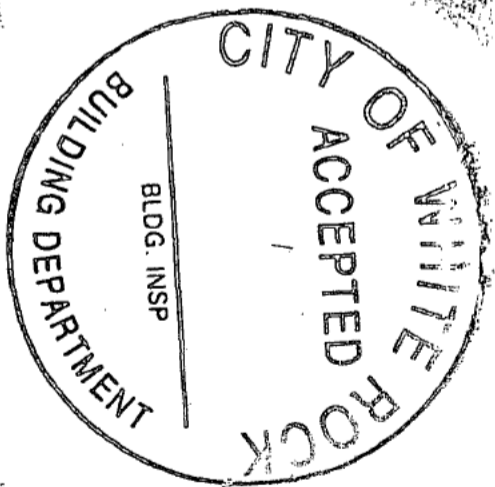
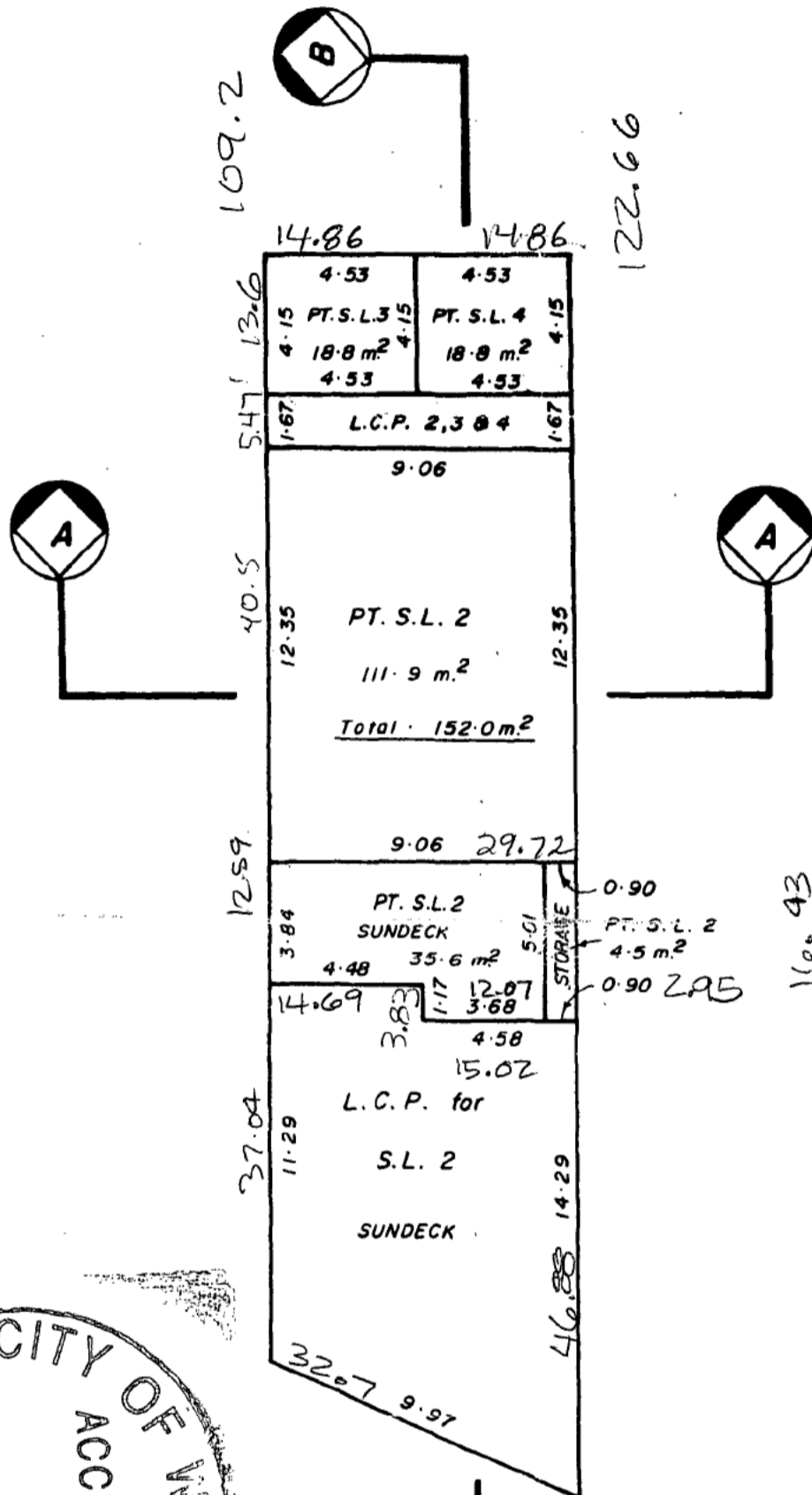
SECOND FLOOR STRATA LOTS 2, 3 AND 4

SCALE 1:200



ALL DISTANCES ARE IN METRES.

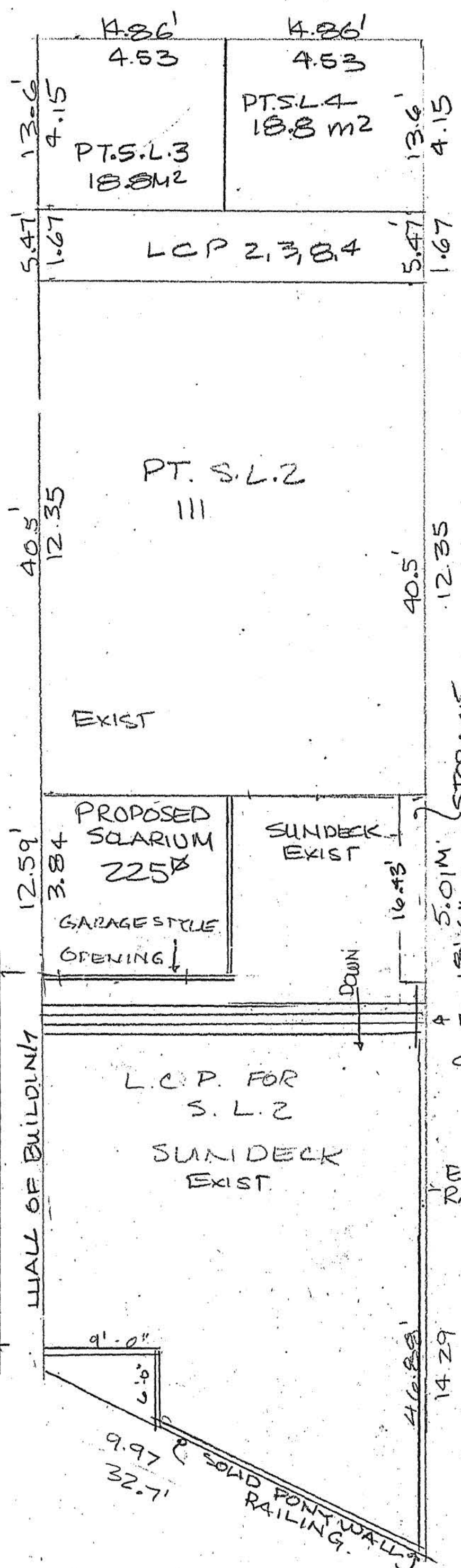
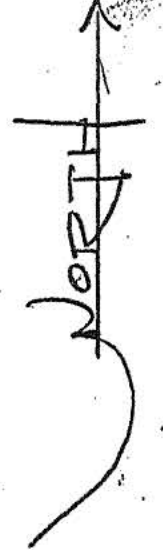
02



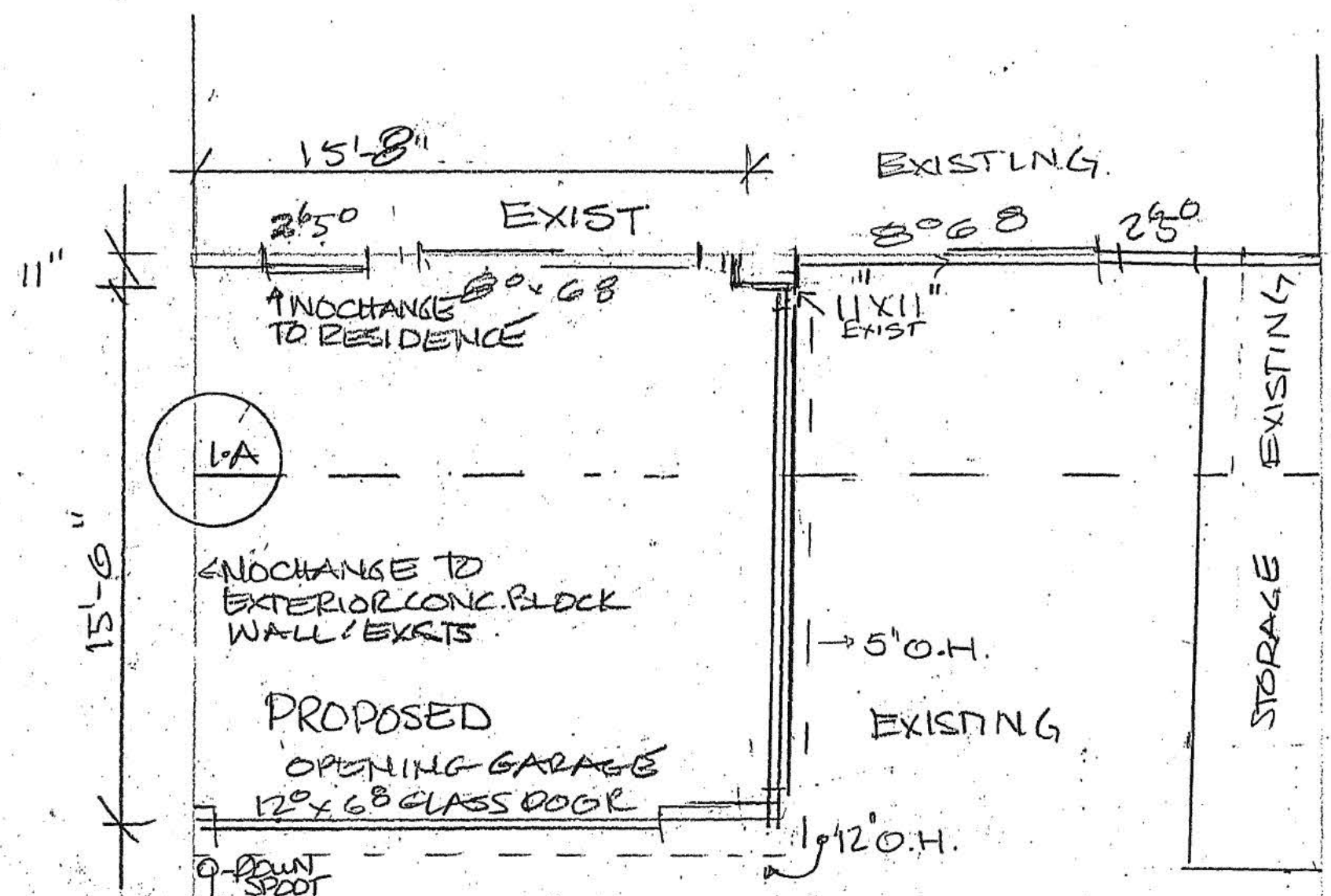
MARINE DRIVE

The review of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

9.S.B.
13/06/06



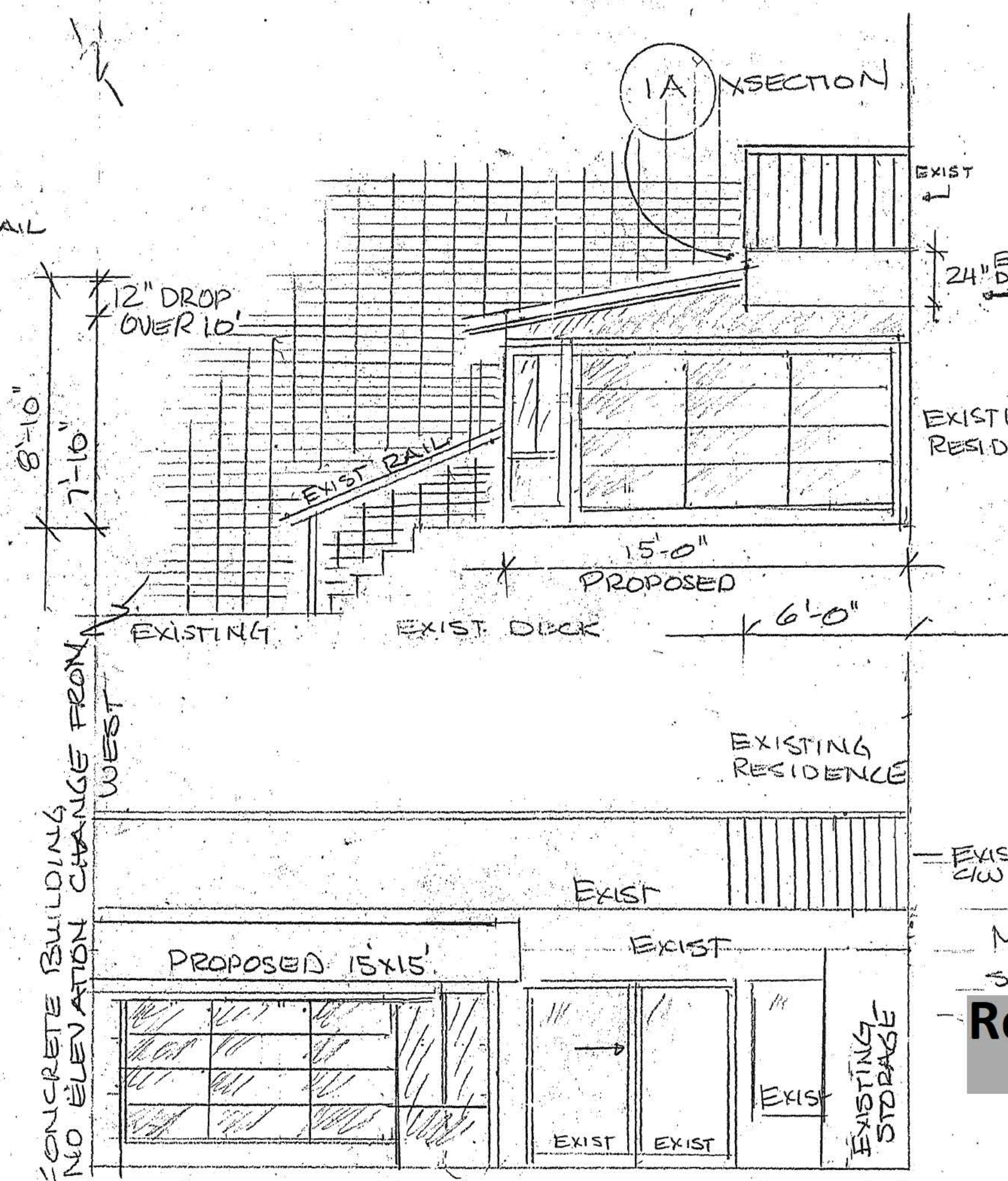
MARINE DRIVE
 UNIT 202
 14899 MARINE DRIVE
 WHITE ROCK BC.
 SITE PLAN 1/8" = 1'-0"



LINE OF OVER
 HANG
 CANT BALCONY
 EXISTING

STRATA PLAN NWD 2672
 SECOND FLOOR PLAN
 STRATA LOTS 2, 3 AND 4

SOLID INSUL PANELS ON
 ROOF PANELS - 7



CONCRETE BUILDING CHANGE FROM WEST

EXIST CANT DECK

EXISTING RESIDENCE

EXISTING RESIDENCE

EXIST DECK
 C/W RAILING.

#202-14899 MARINE DRIVE
 WHITE ROCK, B.C.
 MARCH, 09, 2004 10, 12, 13, 04
 SITE ELEVATIONS M. LITZACO
 604-538-6942
 SCALE 1/4" = 1'-0"

Redacted S. 22

FRONT ELEVATION FROM MARINE DR.