

**THE CORPORATION OF THE
CITY OF WHITE ROCK
BYLAW NO. 2000**



A Bylaw to regulate the development and use of land in the City of White Rock.

DISCLAIMER: THIS BYLAW IS CONSOLIDATED FOR CONVENIENCE ONLY. THE CITY DOES NOT WARRANT THAT THE INFORMATION CONTAINED IN THIS CONSOLIDATION IS CURRENT. IT IS THE RESPONSIBILITY OF THE PERSON USING THIS CONSOLIDATION TO ENSURE THAT IT ACCURATELY REFLECTS CURRENT BYLAW PROVISIONS.

Consolidated as of February 20, 2018.

SUMMARY TABLE OF AMENDMENTS TO ZONING BYLAW 2000

File No.	Bylaw No.	Date Adopted	Purpose of Amendment	Details
12-042	1997	2013-05-13	Rezone 14310 Marine Drive from RS-1 to CD-39	To allow a two lot subdivision.
12-045	2025	2013-07-15	Text Amendment No. 1	Includes a series of text amendments, including B & B's vs. vacation rentals plus CR-3 zone.
13-020	2030	2013-10-07	Rezone 13756 North Bluff Road from RS-1 to RS-4	To allow a two lot subdivision.
13-001	2015	2013-11-04	Rezone 1467 – 1519 Vidal Street to CD-41 after discharge of LUC 30	To allow a 109 unit, 12 storey residential complex at 1467 – 1519 Vidal Street.
13-027	2036	2013-11-04	Rezone 15031 Victoria Avenue from RT-1 to RS-3	To allow the construction of a single house with a suite.
13-033	2044	2014-01-13	Amend the P-1 zone for 1174 Fir Street	To allow commercial use for 1174 Fir Street and amend the related parking requirements.
13-030	2045	2014-02-24	Rezone 1550 Oxford Street from P-4 to CD-19 Comprehensive Development Zone	The building layout for the Evergreen Campus of Care Complex.

13-034	2042	2014-03-10	Text Amendment No. 2	Medical Marihuana and minor clarifications including retaining walls, structures, etc.
14-011	2053	2014-05-26	Rezone 1245 Kent Street from RS-1 to RS-4	To allow a two lot subdivision.
14-016	2062	2014-07-14	Rezone 15520 Russell Avenue from RT-1 to RI-1	To allow a two lot 'SoHL' subdivision.
14-017	2063	2014-07-28	Rezone 14139 Blackburn Avenue from RS-1 to RS-4	To allow a two lot subdivision.
14-021	2064	2014-10-20	Rezone 1230 Best Street from RS-1 to RT-1	To allow the construction of a duplex.
14-044	2076	2015-04-13	Rezone 1172 Parker Street from RT-1 to RS-4	To allow a two lot subdivision.
15-006	2079	2015-03-23	Amend the CD-41 zone	To clarify density restrictions.
14-038	2071	2015-07-13	Rezone 15611 Marine Drive from CR-4 to CD-48	To allow an increase in floor area for a small addition to the lounge (Ocean Promenade)
15-007	2082	2015-07-13	Text Amendment No. 3	Retaining walls
15-012	2094	2015-09-14	Rezone 15919 Russell and 15920 Vine from RS-1 to RS-4	To allow a four lot subdivision.
15-020	2108	2016-01-25	Rezone 15912 Russell from RS-1 to RS-4	To allow a two lot subdivision.
n/a	2136	2016-05-30	Text Amendment No. 4	Includes a series of text amendments, to clarify gross floor area and related terms
16-026	2189	2016-03-06	Rezone 1255 Kent Street from RS-1 to RS-4	To allow a two lot subdivision.
16-037	2187	2017-03-06	Rezone 1113 Dolphin Street from RS-1 to RS-4	To allow a two lot subdivision.
16-039	2188	2017-03-06	Rezone 15683 Thrift Avenue from RS-1 to RS-4	To allow a two lot subdivision.
16-004	2126	2017-04-10	Rezone 1590 Nichol Road (zoned CR-5) and 14022/34 North Bluff Road (zoned RS-1) to CD-56	To allow a 51 unit, 5 storey mixed-use residential and commercial development at 1590 Nichol Road, and 14022/34 North Bluff Road.
16-043	2181	2017-04-24	Amend the CD-16 zone	To clarify and correct text errors arising from the adoption of White Rock Zoning Bylaw, 2012, No. 2000.
n/a	2201	2017-04-24	Text Amendment No. 5	Includes a text amendment to permit siting exceptions for side mounted balcony guards.

16-036	2196	2017-07-24	Amend the CD-17 zone	To clarify the zoning regulation for the 36 unit, 5 storey mixed-use commercial and residential development located at 1400-20 Johnston Road, and to remove the property located at 15241 Thrift Avenue from the CD-17 zone
16-036	2197	2017-07-24	Rezone 15241 Thrift Avenue to CD-59	To allow for a 88 unit, 14 storey residential development located at 15241 Thrift Avenue
14-009	2056	2017-06-12	Rezone the western portion of 1454 Oxford Street from P-1 to CD-46	To allow for a 121 unit residential development, comprised of two towers sized at 21- and 24- storeys each, located at 1454 Oxford Street.
15-017	2131	2017-06-12	Rezone 14825 & 14835 Thrift Avenue from RS-1 to CD-51	To allow a 25 unit, 10 storey residential development at 14825 & 14835 Thrift Avenue.
15-030	2120	2017-06-12	Rezone 1293 Best Street from RS-1 to CD-54	To allow a 28 unit, 4 storey residential development at 1293 Best Street.
16-021	2151	2017-06-12	Rezone 15541 Oxenham Avenue from RS-1 to RT-1	To allow the construction of a duplex.
16-038	2200	2017-06-12	Amend the CD-19 zone	To allow for the addition of 3 complex care beds, and to clarify the minimum number of off-street parking spaces.
16-020	2157	2017-09-18	Rezone 1516/26/36/50/56 Finlay Street and 15601/21 Russell Avenue from RS-1 to CD-57	To allow a 126 unit, 13 storey mixed-use residential and commercial development at 1516/26/36/50/56 Finlay Street and 15601/21 Russell Avenue.
16-027	2211	2017-09-18	Rezone 1310 Johnston from CR-2 to CD-60	To allow a 30 unit, 12 storey mixed-use residential and commercial development at 1310 Johnston Road.
16-045	2214	2017-09-18	Rezone 14935 & 14945 Victoria Avenue from CR-3, and 14948 Beachview Avenue & 1156 Vidal Street from RT-1, to P-1	To allow the construction of a multi-level public parking garage.

16-011	2145	2017-10-23	Rezone 1350 Johnston Road from CR-2 to CD-58	To allow a 97 unit, 12 storey mixed-use residential and commercial development at 1350 Johnston Road.
16-022	2186	2017-10-23	Rezone 15920 Goggs Avenue from RS-1 to RS-4.	To allow a two lot subdivision.
n/a	2240	2018-1-29	Text Amendment No. 6	Addition of a new definition (cannabis dispensary), amendments to section 4.1.5
n/a	2237	2018-2-19	Text Amendment No. 7	Addition of a new definition (adult entertainment use), addition of section 2.3 (Severability), amendments to section 6.16.1.

CITY OF WHITE ROCK

Zoning Bylaw No. 2000

ADOPTED: April 15, 2013

**THE CORPORATION OF THE
CITY OF WHITE ROCK
BYLAW 2000**



A Bylaw to adopt the City of White Rock Zoning Bylaw 2012, No. 2000

WHEREAS pursuant to Part 26, Division 7 of the *Local Government Act* in relation to Zoning and other Development Regulations, the Council of the City of White Rock is empowered to make regulations thereto;

AND WHEREAS a public hearing was given notice and held in accordance with the requirements of the *Local Government Act*;

NOW THEREFORE the Council of the Corporation of the City of White Rock, in open meeting assembled, enacts as follows:

1. That this Bylaw may be cited for all purposes as “White Rock Zoning Bylaw, 2012, No. 2000”.
2. The Zoning Bylaw attached herein as Schedules “A”, “B” and “C” and incorporated as part of this bylaw is hereby adopted.
3. That White Rock Zoning Bylaw, 1999, No. 1591 and all subsequent amendments is hereby repealed.
4. That the Mayor and City Clerk are hereby empowered to do all things necessary to give effect to this Bylaw.

PUBLIC INFORMATION Meetings held on the	31 st day of	January, 2013 and
	6 th day of	February, 2013
RECEIVED FIRST READING on the	11 th day of	March, 2013
RECEIVED SECOND READING as AMENDED on the	11 th day of	March, 2013
PUBLIC HEARING held on the	25 th day of	March, 2013
RECEIVED THIRD READING as amended on the	15 th day of	April, 2013
RECONSIDERED AND FINALLY ADOPTED as amended on the	15 th day of	April, 2013

MAYOR

CITY CLERK

City of White Rock Zoning Bylaw No. 2000

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1.0 Introduction

1.1 Purpose

The purpose of this zoning bylaw is to establish land use regulations for the City of White Rock consistent with the existing official community plan policies and in accordance with Sections 903 to 906 of the *Local Government Act*.

2.0 General

2.1 Basic Provisions

2.1.1 Within the City of White Rock, no person shall:

- a) use any land, buildings or structures;
- b) commence any construction to erect, move, enlarge or structurally alter any building or structure; or
- c) create a lot by subdivision under the *Land Title Act* or *Strata Property Act*; except as permitted by:
 - i) the provisions and regulations of this Bylaw
 - ii) the provisions and regulations of this Bylaw as varied by order of the Board of Variance pursuant to Sections 901 or 902 of the *Local Government Act*
 - iii) the provisions and regulations of this Bylaw as varied by a Development Permit approved by Council pursuant to Section 920 of the *Local Government Act*
 - iv) the provisions and regulations of this Bylaw as varied by a Development Variance Permit approved by Council pursuant to Section 922 of the *Local Government Act*
 - v) a Temporary Use Permit approved by Council pursuant to Section 921 of the *Local Government Act*
 - vi) Section 911 [Non-conforming uses and siting] of the *Local Government Act*
 - vii) Respecting subdivision, Section 943 [Bylaws adopted after application for subdivision submitted] and Section 946 [Subdivision to provide residence for a relative] of the *Local Government Act*

2.1.2 No provision or regulation of this Bylaw shall be construed to replace or remove the requirement for approvals under any other act or regulation.

2.1.3 Properties with uses existing at the date of adoption of this bylaw have, in some instances, been zoned to recognize existing long-standing uses in transitional areas, or otherwise to recognize existing lot areas for older historical properties.

2.1.4 This bylaw uses comprehensive development zones (CD zones) as a means to accommodate site specific proposals, minimize the use of restrictive covenants, and to incorporate “form-based” zoning which has broad implications for community livability, and is intended to accommodate community input on the form, character and density for these projects.

2.1.5 Residential buildings in the RE, RI, RS and RT zones that were lawfully constructed but rendered non-conforming for residential gross floor area with the approval of this bylaw,

may be reconstructed to their original size if damaged or destroyed to the extent of 75% or more of their assessed value above the foundation by fire or other natural causes.

- 2.1.6 Metric units are used for all measurements in this Bylaw. The approximate equivalent in imperial units are included for convenience only and do not form part of this Bylaw.

2.2 Administration & Enforcement

- 2.2.1 A Building Official, Bylaw Enforcement Officer, Business License Inspector or other employee appointed by the City of White Rock to administer and enforce this Bylaw is hereby authorized pursuant to Section 16(6) of the *Community Charter* to enter, at all reasonable times, on any property including land and improvements, that is subject to this Bylaw, to inspect and determine whether the regulations and provisions of this Bylaw are being or have been complied with. The Building Official, Bylaw Enforcement Officer, Business License Inspector or other appointed employee shall undertake such entry and inspection in accordance with the procedures outlined in the relevant City Bylaws and in accordance with Section 16(6) of the *Community Charter*.
- 2.2.2 A Building Official for or on behalf of the City of White Rock, where applicable, shall not issue any permit except in accordance with the provisions and regulations of this Bylaw.
- 2.2.3 No person shall prevent or obstruct the entry of a Building Official, Bylaw Enforcement Officer, Business License Inspector or other appointed employee of the City of White Rock on property in the administration of this Bylaw.
- 2.2.4 Any owner or occupier of land, who causes, suffers, or permits any contravention of any provision of these regulations is guilty of an offence and is liable on conviction for the payment of penalties imposed under the Offence Act. Every day that an offence under this Bylaw is caused or allowed to continue, constitutes a separate offence and separate fines, each not exceeding the maximum for that offence, may be imposed for each day during which the offence continues.

2.3 Severability

- 2.3.1 Every provision of this Bylaw is independent of all other provisions and if any provisions of this Bylaw is declared invalid for any reason by a Court of competent jurisdiction, all other provisions of this Bylaw shall remain valid and enforceable.

3.0 Interpretation & Definitions

3.1 Zone Boundaries

- 3.1.1 The precise boundaries of each zone shall be interpreted as following the boundary of a lot, the centre line of a road allowance or stream, or as outlined in Schedule C: Zoning Map of the City of White Rock.

3.2 Rules of Interpretation

- 3.2.1 Words, phrases and terms used in this Bylaw that are neither defined in this Bylaw nor in the *Local Government Act* or the *Community Charter* or the *Interpretation Act* shall be given their usual and customary meaning.
- 3.2.2 Where the regulations set forth in this Bylaw conflict with the terms and conditions contained in an existing Land Use Contract, the terms and conditions contained in the Land Use Contract shall prevail.

3.3 Definitions

- 3.3.1 For the purposes of this Bylaw, the following defined words, phrases and terms shall have the meaning assigned to them below, unless the context otherwise requires:

“accessory bed & breakfast use” means a use that is accessory to a one-unit residential use that provides temporary accommodations for the travelling public.

“accessory boarding use” means a room or rooms, similar to sleeping units, in a dwelling unit and for the accommodation of roomers and boarders with either private or shared sanitary facilities, without separate kitchen or cooking facilities, and shall not include or be permitted in conjunction with a hotel, accessory bed and breakfast use, care facility, or any other similar commercial or institutional use.

“accessory child care centre” means a *child care centre* within the licensee’s personal residence where child care is provided for no more than eight (8) persons in care.

“accessory coach house” means a 2nd *dwelling unit* that is separate from and accessory to a *one-unit residential use* and is located above an *ancillary building* in the form of either a garage or carport at the rear of the *one-unit residential use*.

“accessory home occupation” means an occupation or profession carried on as a business by a person residing in the same dwelling unit in a manner ancillary to the residential use of the dwelling unit.

“accessory registered secondary suite” means an additional dwelling unit contained within the principal dwelling unit on the site, where the principal dwelling unit is the only other dwelling unit on the site and is a single real estate entity, and that is registered with the City of White Rock as a secondary suite.

“accessory use” means a use which is subordinate and customarily incidental to the principal use and located on the same lot as the principle use.

“adult entertainment use” means a use of an establishment, or part thereof that provides adult-oriented entertainment, not suitable for viewing by minors, including, but not limited to, exotic dancing whereby entertainers remove clothing during a performance and/or perform in a sexually suggestive manner, or entertainment involving full or partial nudity.

“agency store” means a liquor store operated by an agent appointed under section 18 (5) of the *Liquor Distribution Act*.

“ancillary building” means a building which is detached from, subordinate and customarily incidental to the principal building permitted on the same lot and, without limiting the generality of the foregoing, includes detached garages, detached carports, detached workshops and storage sheds.

“ancillary car wash” means a facility for the washing of motor vehicles with a rated gross vehicle weight of 5,000 kg or less on an automated, semi-automated or manual basis, and ancillary to a gas bar/convenience store.

“apartment” means a multi-unit residential building containing four (4) or more residential dwelling units.

“assembly use” means the use of a *building* or part thereof, by a gathering of persons for civic, political, travel, religious, social, educational, and recreational or like purposes.

“assisted living residence” means a premises or part of a premises, other than a community care facility, in which housing, hospitality services and at least one but not more than two prescribed services are provided by or through the operator to three or more adults who are not related by blood or marriage to the operator of the premises.

“average natural grade” see *grade, average natural*.

“balcony” means an unenclosed platform cantilevered off of a *building*.

“bay, bow and box windows” means a window space projecting out from the walls of a *building*.

“basement” means the area of a *building* where the floor area is located no less 0.6m (2.0ft) below *average natural grade*.

“building” means any *structure* wholly or partly enclosed by a roof or roofs, supported by walls, columns or posts and used or intended for the shelter or accommodation of persons, animals, chattels or things.

“Building Official” means a person employed by or contracted to the City to administer the Building Bylaw and the BC Building Code.

“Business License Inspector” means a person employed by or contracted to the City to administer the Business License Bylaw, and other bylaws of the City, including, but not limited to, the Zoning Bylaw, the Sign Bylaw and the Sidewalk Café/Business License Bylaw.

“Bylaw Enforcement Officer” means a person employed by or contracted to the City to administer all City bylaws.

“cannabis dispensary” means a use that involves the commercial processing, storage, distribution, barter or sale of cannabis, or any products containing or derived from cannabis.

“cantilever” means an overhang where all or part of the floor area extends beyond and over a foundation wall.

“care facility” means a building which contains sleeping units for persons receiving care or assistance where the building and/or operator are regulated or funded by provincial or federal agencies, including care and assisted living as defined and regulated under the Community Care and Assisted Living Act as amended.

“child care centre” means a facility for children which includes group child care, preschool, family child care, occasional child care and multi-age child care all as defined, licensed and regulated under the Community Care and Assisted Living Act as amended and the Child Care and Licensing Regulation as amended.

“church” means a building or structure or part thereof used for religious worship or organized religious services and associated accessory uses which may include a church hall or auditorium, nursery school, child care centre, parish hall, and an accessory dwelling unit.

“civic use” means a use providing for public functions and services including federal, provincial and municipal offices and yards, public schools and colleges, public hospitals, community centres, libraries, museums, parks, playgrounds, cemeteries, tourist information, waterways, and includes private and public utilities.

“commercial floor area” means the sum total of floor areas of each storey in a *building* used for commercial purposes, inclusive of exterior walls, areas occupied by internal walls and partitions, and excluding storage areas open to employees only, common stairwells, elevator shafts, common corridors, heating, maintenance and service areas, and enclosed parking facilities.

“community amenity space” means floor area used for community amenities that are provided by the constructor of a building as community amenities under a phased

development agreement or amenity rezoning bylaw in accordance with prevailing legal requirements of the City.

“community service” means a use by a non-profit society:

- a) providing information, referral, counseling, advocacy, or physical or mental health services on an out-patient basis;
- b) dispensing aid in the nature of food or clothing; or
- c) providing drop-in or activity space;

but does not include *churches, residential uses or care facilities*.

“deck/elevated patio” means an uncovered and unenclosed raised platform area constructed out of wood, metal, plastic or concrete greater than 0.6m above finished grade around the raised platform.

“density” means a measurement of development intensity on a lot which shall be in either floor area ratio or unit density.

“dwelling unit” means one or more *habitable rooms* used for the residential accommodation of one or more persons as an independent and separate residence containing cooking, living, sleeping and sanitary facilities, consisting of one stove and kitchen sink, and one or more sets of sanitary facilities for the exclusive use of such person or persons, but specifically excludes a recreational vehicle.

“exterior side yard” means a side yard that abuts a road on a corner lot.

“fence” means an unenclosed *structure* used as a barrier to enclose or partially enclose a parcel of land.

“first storey” means the story above the *basement*, but where no *basement* exists, the lowest storey in the *building*.

“food primary” means a restaurant that includes a dining establishment issued a food primary license pursuant to the *Liquor Control and Licensing Act*.

“front yard” means the area between the side lot lines extending from the front lot line to the nearest wall of the building.

“gas bar” or **“gas bar / convenience store”** means a business establishment for the retail sale of automotive fuels (including gasoline, diesel fuel, gasohol, propane and natural gas) and lubricating oils, including the sale of products ancillary to automotive fuel sales, and the minor servicing and repairing of automobiles excluding auto body repair. It also includes the retail sale of convenience items, including food, tobacco, pharmaceuticals, periodicals, snack foods or other similar household convenience items.

“grade, average natural” means the average that is determined by measuring at the midpoints of the walls of the four sides of the *building* or *structure* (see sub-section 4.8).

“grade, finished” means the actual finished grade of the land adjacent to the foundation of a *building* or *structure*.

“grade, natural” means the grade of the *lot*, as determined by a B.C. Land Surveyor, prior to any construction or alteration of the site.

“gross floor area” means the sum total of floor areas of each *storey* in a *building*, inclusive of exterior walls.

Gross floor area shall exclude *community amenity space*.

“habitable room” means a room used for cooking, eating, sleeping or living and includes a kitchen, dining room, bedroom, living room, family room and den, but excludes a recreation room, bathroom, utility room, workroom, furnace room and storage room.

“health service facility” means a facility providing room, board and surgical or other medical treatment for the sick, injured or infirm including outpatient services, including but not limited to private hospitals, nursing homes with health care for dependent residents, mental health facilities, detoxification centres and adult day care.

“height” means, with reference to a *fence*, the vertical distance between the highest point of the *fence* and the *natural grade* elevation at that point; and, with reference to a *building* or *structure*, the vertical distance between the highest point of the *building* or *structure* and the *average natural grade* except where indicated otherwise.

“hospitality service” means meal services, housekeeping services, laundry services, social and recreational opportunities and a 24 hour emergency response system.

“hotel” means a building or buildings containing sleeping units, where payment for occupancy is usually on a daily or weekly basis to the operator of the premises, and may include ancillary services such as restaurants, meeting or conference rooms, recreational facilities, and entertainment facilities issued a liquor primary license pursuant to the *Liquor Control and Licensing Act*.

“institutional floor area” means the sum total of floor areas of each *storey* in a *building* used for institutional purposes, inclusive of exterior walls, areas occupied by internal walls and partitions, and excluding storage areas open to employees only, common stairwells, elevator shafts, common corridors, heating, maintenance and service areas, and enclosed parking facilities.

“interior side yard” means a side yard abutting another lot.

“lane” means a dedicated road allowance less than 10.0m (32.8ft) in width intended to provide rear or side access to a lot and/or a private or common access to a building complex or bare land strata development.

“licensed establishment” means a business premise or establishment licensed under the *Liquor Control and Licensing Act*.

“licensed manufacturer” means a brewery, a distillery or a winery licensed to manufacture in accordance with the requirements of the *BC Liquor Control and Licensing Act and Regulations*.

“liquor primary” means a *licensed establishment* where the primary purpose is the sale of alcoholic beverages for consumption on-site.

“liquor store” means a government liquor store, government beer store or government wine store licensed under the *Liquor Distribution Act*.

“lot” means an area designated as a separate and distinct entity on a legally recorded subdivision plan or description filed under the *Land Title Act* or *Strata Property Act* in the Land title Office, or surveyed and registered under the *Land Act*. Distinction is provided for: a “fee-simple lot” which applies to lots created by subdivision under Part 7 of the *Land Title Act*; a “strata lot” which applies to lots created by subdivision under Part 14 of the *Strata Property Act*; and, a “lease lot” which applies to a parcel of land created by subdivision under Part 7 of the *Land Title Act* for the purpose of a lease of more than three (3) years.

“lot area” means the total horizontal area of land within the lot lines of a lot.

“lot coverage” means the area of a lot covered by any and all buildings measured to the outside of the outermost walls and expressed as a percentage of the lot, and includes any cantilevered floor area and chimneys as well as covered decks, covered porches, covered entranceways, carports, detached garages and ancillary buildings including detached garages and sheds.

“lot depth” means the least horizontal distance between the front and rear lot lines, but where the lot has irregular shape, the minimum lot depth may be the average of the lot line with the least lot depth and the lot line with the most lot depth.

“lot frontage” means the horizontal distance between the side lot lines, such distance being measured along a line parallel to the front lot line a distance from that line equal to the minimum required front-yard depth, except for “pan-handle lots” as further defined.

“lot line” means the legal boundary of a lot that divides one lot from another, or that divides a lot from a road allowance or park dedication area.

“lot line, exterior” means the *lot* line or lines, not being the *front* or *rear lot lines*, common to the *lot* and a *street*.

“lot line, front” means the *lot* line common to the *lot* and an abutting *street* or where there is more than one *lot* line common to abutting *streets*, the shortest of these lines shall be considered as the *front lot line*.

“lot line, rear” means the *lot* line opposite to and most distant from the *front lot line*, or, where the rear portion of the *lot* is bounded by intersecting side *lot* lines, shall be deemed to be the point of such intersection.

“lot line, side” means a lot line other than a front or rear lot line.

“lot width” means the horizontal distance of the *front lot line* between the *side lot lines*.

“medical or dental clinic” means a *building* or part thereof where members of the medical profession including, but not limited to, dentists, chiropractors, osteopaths, optometrists, physicians or occupational therapists provide diagnosis and treatment to the general public without overnight accommodation, and may include reception areas, offices for consultation, treatment rooms, including x-ray and minor operating rooms, a pharmaceutical dispensary, and a coffee shop. A medical or dental clinic may also include a facility for removal of tattoo’s/body art.

“mixed-use building” means a *building* containing a combination of *residential uses* and non-residential uses, and any *accessory* uses thereto.

“multi-unit residential use” means a building or part thereof which contains two (2) or more dwelling units, excluding secondary suites.

“neighborhood convenience store” means the retail sale of convenience items, including food, tobacco, pharmaceuticals, periodicals, snack foods or other similar household convenience items.

“off-street loading space” means an on-site parking space reserved for temporary parking for the purpose of loading or unloading of goods and materials.

“off-street parking space” means a space for the parking of a vehicle either inside or outside of a building or structure, but does not include maneuvering aisles and other areas providing access to the space.

“one-unit residential use” means a *residential use* limited to one *dwelling unit* on a *lot* exclusive of an *accessory registered secondary suite*.

“owner” means the person or persons listed as the titleholder on a property’s legal certificate of title registered in the BC Land Title Office.

“parking facilities” means an off-street area or structure for the temporary parking of vehicles, and may include at-grade, below-grade or above-grade facilities as a principal use.

“parks” and/or **“natural areas”** means an area of land designated and used by the public for active or passive recreation and/or an area of land in a natural or undeveloped condition where lands are restricted for future development by enactment, statute or covenant.

“principal building” means a *building* of which the floor space is used for a permitted principal use.

“principal use” means the primary use of land, buildings or structures.

“public utility use” means uses providing for the essential servicing of the City with water, sewer, electrical, telephone and similar services where such use is established by the Corporation, by another governmental body or by a company operating under the *Utilities Commission Act*, and includes broadcast transmission facilities, sewer, water-main, and power line easements, pump houses, sub-stations, telephone exchanges, traffic controls, and related *ancillary buildings* and *structures*.

“railway use” means a railway use and operation within the legislative authority of Parliament and includes (a) branches, extensions, sidings, railway bridges, tunnels, stations, depots, wharfs, rolling stock, equipment, stores, or other things connected with the railway, and (b) communications or signaling systems and related facilities and equipment used for railway purposes.

“rear yard” means the area between the side lot lines extending from the rear lot line to the nearest wall of a building.

“recreation facilities” means a curling rink, skating rink, swimming pool, playing field, public park, public playground.

“recycling use” means a use completely contained within a *building* for collection only for *recycling* goods which is limited to a material which is gathered for the main purpose of reprocessing a raw material for manufacturing purposes.

“residential floor area” means the sum total of floor areas of each storey in a building for *multi-unit residential use* which contains four (4) or more *dwelling units*, measured to the mid-point of the exterior walls, including areas occupied by internal walls and partitions, and excluding unenclosed balconies, common stairwells, elevator shafts, common corridors, enclosed parking facilities, and common recreation or amenity areas.

“residential gross floor area” means the sum total of floor areas of each storey in a *building* containing a *one-, two- or three-unit residential use*, excluding a *basement*, cellar, crawl spaces, carport, garage, bay window, bow window or box window, elevator shafts, and areas occupied by stairs on the second storey of a building.

“residential use” means a *building* consisting of a dwelling unit for residential occupancy as the *principal use* for long term accommodation for periods in excess of one (1) month.

“retail service group 1 use” means a use providing for the sale at retail or repair of household or personal goods or things, or for extending services to persons; is limited to: sale of automotive goods, health clubs, veterinary clinics, appliance repairs, appliance stores, art galleries, bakery shops, banks, barbers, billiard halls, book shops, bowling alleys, business offices, business schools, cafes, camera shops, clothing stores, coffee houses, dance studios, delicatessens, department stores, drug stores, dry cleaners, financial services offices excluding “money marts” or “pay-day cash services” (not permitted), fish markets, grocery stores, hairdressers, hardware, home furnishing stores, laundrettes, meat markets, medical or dental clinic, music studios, passenger depots, personal furnishing shops, printers, professional and semi-professional offices, *restaurants*, secondhand stores excluding “pawnshops” (not permitted), shoemakers, social clubs, stationery stores, super markets, tailors, tattoo/body art studio, theatres, toy stores, trade schools and variety stores; excludes a use providing for the sale at retail or servicing of non-household or non-personal goods or things, or for the sale at retail or servicing of any goods or things that necessitate access by motor vehicle or a use located other than in a permanent type *building*.

“retail service group 2 use” means a use providing for the sale at retail or servicing of non-household or non-personal goods or things, or for the sale at retail or servicing of any goods or things that necessitate access by motor vehicle; is limited to: building or home supply retail sales, business schools, car washes, curling rinks, drive-in facilities, drive-in *restaurants* and cafes, dry cleaners, gas bar, glass sales, health clubs, heating shops, light machinery sales, light marine sales, mortuaries, new automobile sales, nurseries, plumbing shops, recreation clubs, repair of automobiles, servicing of automobiles, sheet metal shops, skating rinks, social clubs, used automobile sales; excludes a use located other than in a permanent type *building*.

“retail store” means a *building* where goods, wares, merchandise, substances, articles, or things are stored, offered or kept for sale at retail and includes storage on or about the store premises of limited quantities of the goods, wares, merchandise, substances, articles, or things sufficient only to service the store.

“retaining wall” means a wall or similar works constructed to hold back, stabilize, support or retain soil, rock or a bank of earth.

“restaurant” means a business establishment where food and beverages are prepared, served and consumed on the premises, including dining establishments issued a *food primary license* pursuant to the *Liquor Control and Licensing Act*, and includes facilities for ordering and pick-up for consumption off-site.

“setback” means the distance between the lot line and the exterior of a building or structure measured from the lot line to the exterior face of the building or structure and

within which no part of any building or structure may be situated, except those matters and items specifically excluded from a setback or yard requirement permitted as exemptions elsewhere in this bylaw.

“shipping container” means an enclosed unit used or intended to be used for storing and transporting goods via ship, rail or truck, whether or not it is actually being used for such purpose.

“side yard” means the area between side lot lines and the nearest wall of a building extending from the front yard to the rear yard.

“sleeping unit” means a hotel or tourist accommodation room rented to the general public and used for temporary or overnight sleeping accommodations on a daily or weekly basis, and may include in room sanitary facilities, but excludes in-room kitchen or cooking facilities.

“storey” means that portion of a building which is situated between the surface of any floor and the surface of the floor next above it and, if there is no floor above it, that portion between the surface of such floor and the ceiling surface above it. A storey shall not include a *basement*, cellar, or crawl space, except for those portions of a *basement* which contain *residential floor area*, *institutional floor area* or *commercial floor area*.

“street” means a road allowance or road dedication area 10.0m (32.81ft) or more in width.

“structure” means any construction fixed to, supported by or sunk into land or water which is greater than 0.6m in height, excluding *buildings*, *retaining walls*, landscape trellises or arbors, in-ground swimming pools, and other similar works.

“three-unit residential use” means a multi-family residential building containing three (3) dwelling units attached as one building entity.

“townhouse” means a *multi-unit residential use* which is attached horizontally and which usually contains three or more *dwelling units*, and which has a principal entrance(s) which provides direct outdoor access at or from ground level, but does not include an *apartment* or a *hotel*.

“two-unit residential use” means a *residential use* where the *building* contains two *dwelling units* per fee-simple *lot*, either one above the other and separated by a ceiling and floor extending from exterior wall to exterior wall, or side by side and separated by a common wall extending from ground to roof, including detached dwelling units which are linked by a carport or garage that share a continuous permanent foundation and common roof area, but does not include a *one unit residential use* plus *accessory registered secondary suite*.

“u-brew” or **“u-vin”** means an establishment licensed under Section 12.1 of the *Liquor Control and Licensing Act* to operate a u-brew or u-vin.

"underground" means a portion of a *building* or *structure* located either entirely beneath a *building* or below the level of the ground, where the *building* or the *structure* is below the *finished grade* of the immediately adjacent land.

“vacation rental” means the rental of a residential *dwelling unit* to short-term paying guests for periods of less than one (1) month.

“yard” means an area created by setback.

4.0 General Provisions & Regulations

4.1 Uses Permitted/Not Permitted – General

- 4.1.1 No person shall use or occupy any building, structure or land, including land covered by water, except as expressly permitted by and in compliance with all provisions of this bylaw. Any use not expressly permitted is prohibited.
- 4.1.2 The following uses are permitted in all zones:
- a) uses, *buildings*, and *structures* in accordance with the regulations of this bylaw;
 - b) public parks and playgrounds; and
 - c) public *parking facilities*, a public utility, public utility buildings and structures (excluding a garage or storage yard under jurisdiction of the City of White Rock, the Province of British Columbia, or Crown Corporation) including utilities maintained and operated by the City of White Rock as well as those defined in the *Utilities Commission Act*.
- 4.1.3 A use authorized by a Temporary Commercial Use Permit issued under the provisions of the *Local Government Act* is permitted in any zone.
- 4.1.4 *Decks/elevated patios* must be attached to a *principal building* and are only permitted behind the front face of the *building*.
- 4.1.5 The commercial cultivation, growth, production, storage, barter or sale of cannabis, or any products containing or derived from cannabis, is not permitted in any zone. This includes licensed producers regulated under applicable provincial or federal legislation, and *cannabis dispensaries*.
- 4.1.6 The use of a modular *building* as a sales centre may be permitted in any RM, CR or CD zone permitting a multi-family residential, commercial or mixed commercial/residential project, but only when a building permit has been issued for the multi-family residential, commercial or mixed commercial/residential project, and must be removed prior to final approval of the building permit.
- 4.1.7 The use of a modular building as a construction site office may be permitted in any RM, CR or CD zone permitting a multi-family residential, commercial or mixed commercial/residential project, but only when a building permit has been issued for the multi-family residential, commercial or mixed commercial/residential project, and must be removed prior to final approval of the building permit.
- 4.1.8 *Shipping containers* are not permitted as permanent storage units or as *ancillary buildings or structures*, and may only be located in the City when used for storage purposes for tools and materials during construction when a building permit has been issued, and must be removed prior to final approval of the building permit. Notwithstanding, shipping containers may be used for storage purposes on P-1 zoned lands owned by the City of White Rock.
- 4.1.9 No person shall use any residential *dwelling unit* for purposes of a *vacation rental* as a principal use except as otherwise permitted in sub-section 5.8.
- 4.1.10 Accessory off-street parking shall not be used for the parking or storing:
- (a) of two or more commercial vehicles;
 - (b) of any commercial vehicle exceeding 7.7m (25.26ft) in length;
 - (c) of any contractors equipment or machinery; and/or

- (d) of house trailers or recreational vehicles, boats or boat trailers, any one of which exceeds 7.7m (25.26ft) in length unless fully concealed from view within an enclosed garage, tarped within an open carport, or tarped and screened from view from a public street by landscaping.

4.2 Comprehensive Zone Coverage

- 4.2.1 For the purposes of this Bylaw, all lands and properties within the boundaries of the City of White Rock shall be deemed to have a zone assigned to it.

4.3 Existing Lots of Record

- 4.3.1 In each zone, all lots that have a lesser lot area, frontage or depth than required herein, and that were registered on a plan in the Land Titles Office prior to the date of adoption of this Bylaw, are established as locations where the minimum lot area, frontage or depth requirements of the zone do not apply, but only to the extent necessary to permit the use of that lot for a use permitted in that zone, and only on the condition that all other requirements of this Bylaw applying in that zone must be observed.

4.4 Construction within an Identified Floodplain

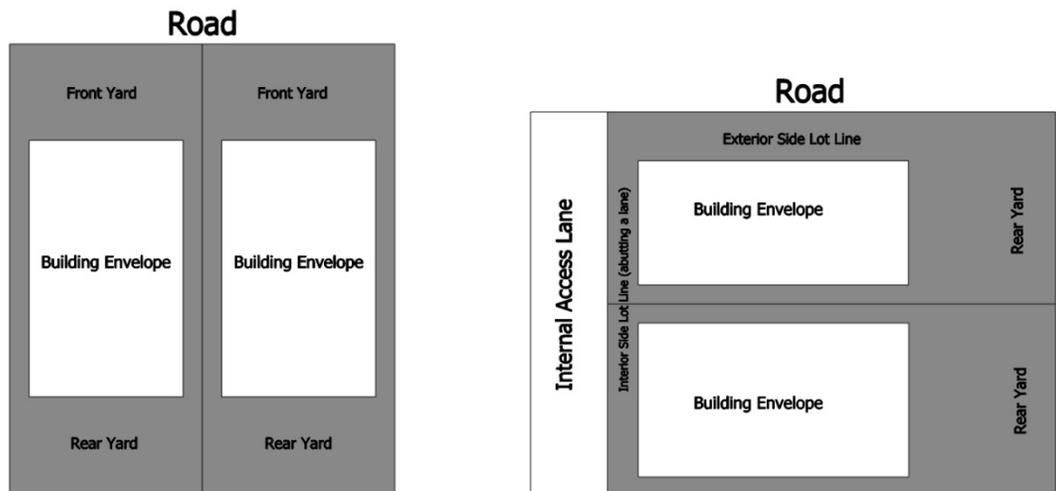
- 4.4.1 Development within the Campbell River Floodplain and Ocean Floodplain areas as identified in the Official Community Plan require approval for development permit as outlined in the applicable development permit guidelines.
- 4.4.2 Storage tanks shall be located above the identified flood elevation level, or otherwise:
 - a) be buried and have a water-tight cap; and/or
 - b) be sufficiently anchored to withstand flood waters
- 4.4.3 Where landfill is required to raise a minimum floor area elevation above the identified flood level for a residential use, the maximum building height permitted may be increased by the equivalent depth of the landfill or difference needed to raise the underside of the floor above the flood level. Where landfill is provided to raise the grades and elevations, the site shall be engineered so as not to adversely impact drainage patterns for adjacent properties.

4.5 Established Building Line

- 4.5.1 Where a one-unit, two-unit or multi-unit residential building is to be constructed or reconstructed on a lot within a residential zone and where there is an established line of buildings on the same side of the street, such permitted building may be constructed or reconstructed closer to the lot line adjoining the street than permitted by this bylaw such that the front yard or exterior side yard setback is equal to the average front yard or exterior side yard setback of buildings on the same side of the street, provided that such permitted building is not located closer to the lot line adjoining a street than the established building line existing on the date of adoption of this Bylaw.

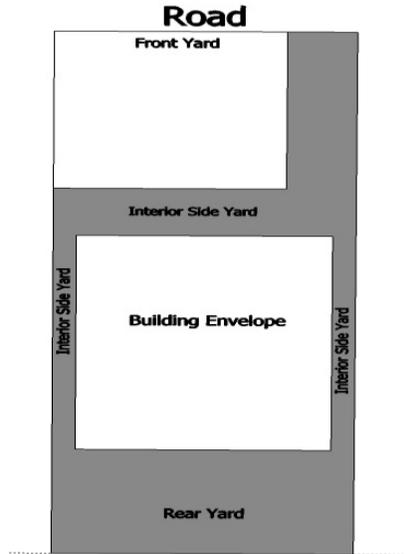
4.6 Lot Line Setbacks on Strata Lots

- 4.6.1 The interpretation of front, rear and side yard setbacks for strata lots is dependent on the requirements of the zone applicable to the subject lands, and adjacency to a public road.
- 4.6.2 Where a strata lot is adjacent to, and access is provided from, a public road, the front, rear and side yard setbacks are determined in the same manner as they are for a fee-simple lot.
- 4.6.3 Where a strata lot is provided access from a private or common access lane:
- a) no front yard setback is required from the strata lot adjacent to the common access lane, however, a minimum 6.0m setback is required between the internal access lane and the front face of the building and opening for a garage or carport;
 - b) the rear yard is interpreted as the part of the lot directly opposite from the strata lot line running parallel with the common access lane;
 - c) all other strata lot lines are interpreted as side lot lines.
- 4.6.4 In cases where lot widths and lot depths (exclusive of the access area) are equal, or where lot lines are so irregular that proper interpretation cannot be made, the City's Approving Officer may make interpretation regarding the location of front, rear and side yards for the purposes of locating buildings on each bare land strata lot.



4.7 Lot Line Setbacks on Pan-Handle (Fee Simple) Lots

- 4.7.1 The interpretation of front, rear and side yard setbacks for pan-handle (fee-simple) lots is dependent on the width and depth of the lot exclusive of the access area, where the narrow portion is interpreted as the width of the lot, and the wider portion is interpreted as the depth as shown in the illustration below. Front yard setbacks are only adjacent to a road, rear yard setbacks are interpreted to be behind the building envelope running parallel with the narrower lot lines, and all remaining lot lines are interpreted as side yards, as shown in the illustration below.

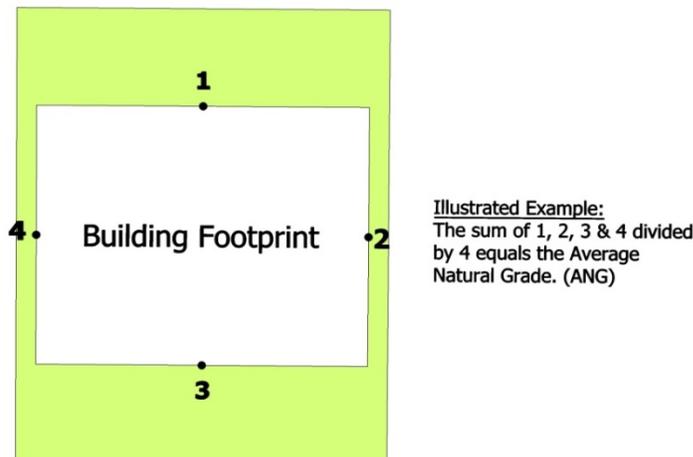


4.7.2 In cases where lot widths and lot depths (exclusive of the access area) are equal, or where lot lines are so irregular that proper interpretation cannot be made, the City’s Approving Officer may make interpretation regarding the location of front, rear and side yards for the purposes of siting buildings and structures.

4.8 Building Heights

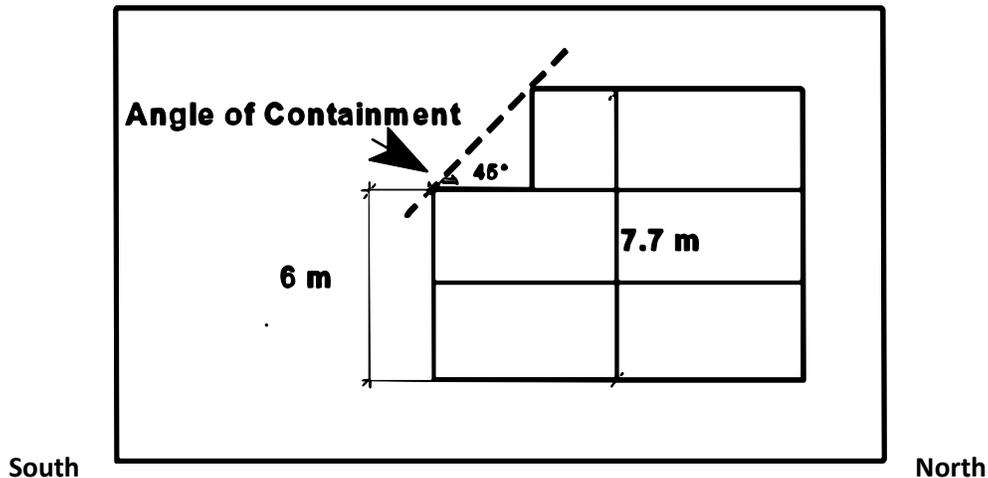
4.8.1 The height of buildings and structures shall be interpreted as the vertical distance between the highest point of the building or structure and average natural grade, except as indicated for *principal buildings* in the CR-3 zone.

4.8.2 For the purposes of this Bylaw, average natural grade shall be calculated as the average grade, as determined by measuring the natural grade at the midpoints of the walls on all sides of the building or structure, then divided by the number of all sides, as illustrated below using four sides as an example (the sum of 1, 2, 3 & 4, divided by 4 = ANG). Natural grade shall be determined by a registered BC Land Surveyor and shall be determined as the grades prior to any construction or alteration of the land.



4.9 Angle of Containment

Where angle of containment is required, the height of the southerly elevation of the building shall be determined by an angle of containment of 45 degrees to the vertical commencing 6.0m (19.69ft) above the *natural grade* at the mid-point of the base for the southerly wall as generally shown below. No part of a *building*, with the exception of open type balcony guards, shall be placed above the angle of containment.



4.10 Floor Area in One-, Two-, and Three-Unit Residential Zones

4.10.1 Floor area ratio calculations in all one, two and three-unit residential zones (RS, RE, RI, RT zones and CD zones for one-, two, and three-unit residential uses) shall include the sum total of floor areas of each storey in a *building* for *residential use*, excluding the following:

- a) *basements*
- b) cellars or crawl spaces
- c) carports or garages
- d) bay, bow or box windows
- e) elevator shafts
- f) areas on the second storey of a *building* occupied by stairs

4.11 Floor Area in Multi-Unit Residential, Commercial, Public and Mixed Use Zones

4.11.1 Floor area ratio calculations in all multi-unit residential zones (RM) shall be measured based on *residential floor area* as defined in Section 3.3, which includes the sum total of floor areas of each storey in a *building* for *multi-unit residential use*, measured to the midpoint of the exterior walls, including areas occupied by internal walls and partitions, and excluding the following:

- a) unenclosed balconies
- b) common stairwells
- c) elevator shafts
- d) common corridors

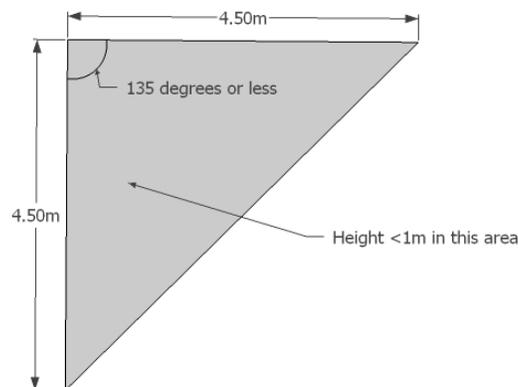
- e) enclosed parking facilities
- f) common recreation or amenity areas

4.11.2 Floor area ratio calculations in all commercial or mixed use zones (CR), and public use (P) zones shall be measured based on *gross floor area* as defined in Section 3.3, which is the sum total of floor areas of each *storey* in a *building*, inclusive of exterior walls.

4.11.3 Maximum floor areas in all Comprehensive Development (CD) zones for multi-unit residential, commercial or mixed uses may be based on *gross floor area*, *residential floor area*, *institutional floor area*, or *commercial floor area*, as defined in Section 3.3, or a combination of the above terms.

4.12 Screening & Fencing

4.12.1 A *fence*, wall or similar *structure* over 1.0m (3.28ft) in height shall not be permitted within 4.5m (14.76ft) of an exterior lot corner, as defined by the intersection of an exterior side lot line and a front lot line or a rear lot line, where such lines form an interior angle of 135° or less, as illustrated below.



4.12.2 Subject to the provisions of Paragraph 4.12.1 above, and except as otherwise provided for in this Bylaw, a fence:

- a) may be sited on any portion of a lot; and
- b) shall not exceed a height of 2.0m (6.56ft).

4.13 Siting Exceptions and Permitted Projections

4.13.1 Notwithstanding any setback requirements contained in this Bylaw, the following structures may project into the required setback area of all zones, in accordance with the following restrictions:

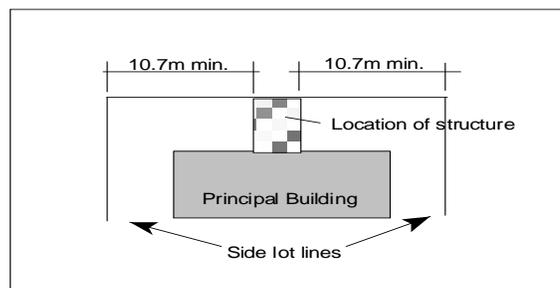
- a) exterior cladding or rain screen wall assembly may project a maximum of 0.115m (0.375ft) into any required setback area;
- b) exterior architectural design features and cornices may project a maximum of 0.3m (1ft) into any required setback area;
- c) *bay, bow and box windows* and *cantilevers* may project a maximum of 0.6m (2ft) into a front, rear or exterior side yard setback area (but not an interior side yard setback area) provided that such projection shall only apply to the projected feature, shall not

comprise more than 3.0m (9.54ft) of linear distance of any wall, and provided that the projected feature is located at least 2.44m (8.0ft) from the front, rear or exterior side lot line;

- d) freestanding light poles, warning devices, antennas, masts, utility poles, wires, flagpoles, signs and sign structures may be sited on any portion of a lot, except as otherwise limited or restricted by this or other bylaws;
- e) underground buildings such as an underground parking area may be sited on any portion of a lot, provided that such projections do not extend above grade and are not permitted within any RS, RE, RI or RT zone; and
- f) structures designed to provide weather protection over the main pedestrian entrance may project a maximum of 1.2m (4ft) into a required front or exterior side yard setback, provided that such structure must be at least 2.44m (8.0ft) from a front or exterior side lot line.
- g) side mounted balcony guards may project a maximum of 0.15m (0.5 ft) into any required setback area.

4.13.2 In addition to the exceptions noted in Paragraph 4.13.1, and notwithstanding any setback requirements contained in this Bylaw, the following structures may project into the required setback area of all RM zones, in accordance with the following restrictions:

- a) eaves and gutters may project a maximum of 1.2m (4ft) into any required setback;
- b) unenclosed balconies may project a maximum of 1.6m (5.25ft) into a required front, rear or exterior side yard setback
- c) an extension of the principal building or structure designed to provide weather protection over the primary pedestrian entrance, as a porte cochere, may be permitted within the required front or exterior side yard setback areas provided that:
 - i) the height of the extension shall not exceed 4.0 metres (13.12 feet) measured from finished grade;
 - ii) no more than one such extension shall be permitted for each principal building; and
 - iii) the extension shall not be located within a distance of 10.7 metres (35.10 feet) of a side lot line as illustrated below.



4.13.3 In addition to the exceptions noted in Paragraph 4.13.1, and notwithstanding any setback requirements contained in this Bylaw, the following structures may project into the required setback area of any RS, RE, RI or RT zone only, in accordance with the following restrictions:

- a) *balconies, decks/elevated patios*, or steps may project beyond the face of the *principal building* to a maximum of 1.5m into an *exterior side yard setback*, and/or 2.1m into a

front or rear yard setback, where the *setback* being encroached into is a minimum of 5.65m.

- b) eaves and gutters, cornices, sills and sun shades may project a maximum of 0.6m (2ft) into a required interior side yard setback, and 1.2m (4ft) into a required front, rear or exterior side yard setback, provided that where an exterior side yard setback required is less than 3.0m (9.84ft), the maximum projection permitted is 0.6m (2ft).
 - c) chimneys and fireplaces may project a maximum of 0.6m (2ft) into a required front, rear or exterior side yard setback.
- 4.13.4 The heights of buildings and structures permitted elsewhere in this Bylaw may be exceeded for: elevator shafts and stair towers that do not provide direct access to the roof; for antennas; for church spires, belfries and domes; for chimneys; for flag poles; and, for monuments; but no such structure shall cover more than 20 percent of the *lot* or, if located on a *building*, no more than 10 percent of the roof area of the *building*.
- 4.13.5 Notwithstanding Paragraph 4.13.4, the heights of buildings and structures in all RS, RE, RI and RT zones, inclusive of stair towers and elevator shafts that do provide direct access to the roof, shall not exceed the maximum height prescribed under the applicable zone.
- 4.13.6 In the RM-1, RM-2 and RM-3 zones only, where solar panels or other green energy technologies are installed on or within a roof, the maximum height of buildings and structures permitted elsewhere in this Bylaw may be exceeded for solar heating panels by not more than 2.2m (7.22ft).

4.14 Off-Street Parking Requirements

- 4.14.1 Unless otherwise indicated in this Bylaw, off-street parking spaces must be provided and maintained in accordance with the following standards:

Development Type or Use	Required Parking Spaces
RESIDENTIAL USES	
One-unit residential Two-unit residential Three-unit residential Townhouse	2 per dwelling unit, except 1 per dwelling unit for lots zoned RS-3 fronting onto Marine Drive
Accessory secondary suite Accessory coach house	1 per dwelling unit
Accessory bed & breakfast Accessory boarding use Accessory vacation rental	1 per sleeping unit
Apartment	1.2 per dwelling unit, plus 0.3 per dwelling unit for visitor parking, for a total of 1.5 spaces per dwelling unit
Community Care Facility	1 per 5 units plus 1 for every 2 employees
Child Day Care (≤ 8 children)	2 spaces for pick-up and drop-off plus 1 for every 2 employees

COMMERCIAL USES	
Commercial – retail	1 per every 37m ² of commercial (retail) floor area, except 1 per 74m ² of commercial (retail) floor area for lots fronting onto Marine Drive
Commercial – office	1 per every 37m ² of commercial (office) floor area, except 1 per 74m ² of commercial (office) floor area for lots fronting onto Marine Drive
Commercial – restaurant	1 per every 8 seats available for customer use, except 1 per every 16 seats for lots fronting onto Marine Drive
Hotel / Motel	1 per sleeping unit
INSTITUTIONAL & CULTURAL USES	
Civic use, Recreational use	1 per every 37m ² of institutional floor area used for a civic or recreational use. For 1174 Fir Street only (lot 1, Block 30, Plan 11883), 6 parking spaces total for professional and semi-professional office use.
Assembly use	1 per every 46m ² of institutional floor area used for an assembly use
Elementary school	1 per every 92m ² of institutional floor area
Hospital	1 per 5 patient beds
Child Day Care (> 8 children)	1 per every 3 employees, plus 2 spaces for pick-up and drop-off

- 4.14.2 Notwithstanding Paragraph 4.14.1 above, developments existing prior to the adoption of this Bylaw shall be considered acceptable provided that there are no changes in the use or increases in the floor area and/or density of the development. If there is a change of use or increase in floor area or density, an existing development will be required to comply with the parking requirements outlined in Paragraph 4.14.1.
- 4.14.3 The minimum on-site parking requirements outlined in Paragraph 4.14.1 above may be reduced by up to a maximum of 10% where:
- a) transportation demand management measures, including the use of car co-operatives, or car-share programs, are provided, and
 - b) the reduction in minimum on-site parking requirements is substantiated by a parking study that is prepared by a registered professional engineer and is subject to review and approval by the City; and
 - c) the proponents offer and enter into a covenant to require continuation of the transportation demand management measure.
- 4.14.4 Where a building or structure is used for more than one permitted use, the required number of parking spaces shall be interpreted as the sum of the requirements for each use.

- 4.14.5 Notwithstanding Paragraph 4.14.4 above, shared on-site parking areas for two (2) or more uses may be permitted where:
- the maximum demand for such parking areas by the individual uses occurs at different periods of the day;
 - the maximum demand of such parking areas is substantiated by a parking study that is prepared by a registered professional engineer and is subject to review and approval by the City; and
 - the proponents offer and enter into a covenant to restrict any change of use or occupancy that would adversely affect the continuation of the shared on-site parking arrangement.

4.14.6 The size of parking spaces for persons with disabilities shall be provided in accordance with the requirements of the BC Building Code. Further, as part of the overall required number of parking stalls, parking stalls for occupancies where more than 10 parking spaces are provided shall be provided as follows:

Total Required Spaces	Required Spaces for Handicapped
10 to 75	1
76 to 125	2
126 to 200	3
Over 200	4 plus 1 for every additional 100 or fraction thereof

4.14.7 In the calculation of required parking, where the calculation results in a fraction of a parking space, any fraction less than 0.5 shall be disregarded and any fraction of 0.5 or greater shall require one (1) full parking space.

4.14.8 The required off-street parking spaces for the permitted use or uses shall be provided on the same lot as the building or structure for which they are required, except that off-street parking spaces required for a retail service group use may be provided on a lot or portion of a lot located within 300m (984.25ft) of the building for which they are required by entering into an agreement and obtaining a permit from the City pursuant to the “White Rock Off-Street Parking Facilities Bylaw”, as amended.

4.14.9 Minimum parking space dimensions shall be as follows:

Angle	Width	Length	Depth to Curb	Aisle Width	Traffic Direction
30°	2.7m	5.2m	5.2m	3.5m	1-way
45°	2.7m	5.2m	6.0m	3.9m	1-way
60°	2.7m	5.2m	6.4m	5.0m	1-way
90°	2.7m	5.8m	5.8m	6.7m	1- or 2-way
Parallel Parking	2.5m	7.0m	2.5m	3.5m 6.0m	1-way 2-way

4.14.10 Small car spaces may be provided to a maximum portion of 40% of the total parking required, shall have a minimum width of 2.5m and minimum length of 5.2m, and shall be clearly marked for small car use only.

4.15 Off-Street Loading Requirements

4.15.1 Additional spaces must be provided for the temporary stopping, loading and unloading of vehicles for every commercial site, place of public assembly, hospital, institution, school, or club. The minimum number of loading spaces in addition to the parking space requirements of Paragraph 4.14.1 above, are as follows:

Commercial / Institutional Floor Area	Required Loading Spaces
< 500m ²	1 loading space
500-2000m ²	2 loading spaces
2001-3500m ²	3 loading spaces
>3500m ²	1 additional loading space for every additional 5000m ² of commercial / institutional floor area

4.15.2 Notwithstanding the above, a minimum of one (1) off-street loading space shall be provided for every apartment complex, assisted-living complex and *care facility* containing more than ten (10) *dwelling units* or *living units*. Where the apartment complex, assisted-living complex or *care facility* is provided in more than one *principal building* with separate elevators for each *building*, one (1) off-street loading space shall be provided for each *principal building* containing more than ten (10) *dwelling units* or *living units*.

4.15.3 Loading spaces shall have a minimum width of 3.0m, a minimum length of 9.0m and a minimum clearance height of 3.7m.

4.16 Bicycle Parking

4.16.1 On-site bicycle parking areas should be considered for all new commercial, institutional and multi-family developments and, when provided, should be designed as an integral part of the overall site plan addressing concerns of topography and ease of access.

4.16.2 On-site bicycle parking areas should be designed in accordance with the following:

- a) Class I – long-term secured bicycle parking provided in the form of waterproof bicycle lockers, secured bicycle rooms, or secured compounds within a building complete with bicycle racks. Class I bicycle parking areas should be located at grade, within sight of the building entry or security room, and have the following minimum dimensions:

Vertical Clearance	Width	Length (if placed horizontally)	Length (if placed vertically)
1.9m	0.6m	1.8m	1.0m

Where waterproof bicycle lockers are provided, the following minimum dimensions apply:

Length	Height	End width at door	End width opposite door
1.8m	1.2m	0.6m	0.22m

- b) Class II – short-term bicycle parking should be provided in the form of bicycle racks, made of sturdy, theft-resistant material and should be securely anchored to the floor or ground, designed to support the bicycle frame, not the wheels. Class II parking areas should be clearly visible from the principal building entry points or roads.

4.16.3 On-site bicycle parking areas should be provided as follows:

Use	Class I	Class II
Apartment, Townhouse	1 space per dwelling unit	0.2 spaces per dwelling unit
Commercial – retail	0.25 spaces per 200m ² gross floor area	0.75 spaces per 200m ² gross floor area
Commercial – office	0.75 spaces per 200m ² gross floor area	0.25 spaces per 200m ² gross floor area
Civic, assembly, recreation, education uses	0.25 spaces per 200m ² gross floor area	0.75 spaces per 200m ² gross floor area
Community Care Facility, Hospital	0.25 spaces per 200m ² gross floor area	0.75 spaces per 200m ² gross floor area

5.0 Specific Use Provisions & Regulations

5.1 Community Care Facilities

5.1.1 Child Care Centres:

- 1) An *accessory child care centre* shall be permitted as an accessory use to a one-unit residential use in all RS, RE and RI zones, provided that:
 - a) child care is provided for no more than eight (8) persons in care;
 - b) child care is provided within the licensee's personal residence;
 - c) the *accessory child care centre* has a valid license issued in accordance with the *Community Care and Assisted Living Act and Regulations as amended*.
 - d) the *child care centre* has a valid *business license*.
- 2) A *child care centre* providing care for more than eight (8) persons is permitted in all P zones provided that:
 - a) the *child care centre* has a valid license issued in accordance with the *Community Care and Assisted Living Act and Regulations as amended*; and
 - b) the *child care centre* has a valid *business license*.

5.1.2 Care Facilities:

- 1) A *care facility* used as a residence for no more than ten (10) persons, not more than six (6) of whom are persons in care, is permitted in all RS, RE and RI zones provided that:
 - a) the *care facility* has a valid license issued in accordance with the *Community Care and Assisted Living Act and Regulations as amended*;
 - b) the *care facility* has a valid *business license*; and
 - c) shall be located not closer than 300.0 metres (984.25 feet) from any other *care facility*.
- 2) A *care facility* used as a residence for more than six (6) persons in care is permitted in all P zones and in all CD zones specifically permitting a *care facility*, provided that:
 - a) the *care facility* received approval for development permit if developed, redeveloped or expanded after September 2008;
 - b) the *care facility* has a valid license issued in accordance with the *Community Care and Assisted Living Act and Regulations as amended*; and
 - c) the *care facility* has a valid *business license*.

5.2 Community Services

- 5.2.1 *Community services* may be permitted in any CR or CS zone, any P zone, and any CD zone that permits a commercial use.

5.3 Accessory Home Occupation Use

5.3.1 An *accessory home occupation use* is permitted in all zones permitting a residential use, but only in accordance with the following provisions:

- 1) it shall be completely enclosed within the *building* used for the *residential use* to which it is *accessory*, and shall not occupy more than 40% of the *residential gross floor area* of a *dwelling unit*;
- 2) the wholesale or retail sale of any goods or materials from the *dwelling unit* is not permitted;
- 3) within all RM (multiple-unit zones), mixed commercial/residential zones, or RS, RE or RI zones containing an accessory bed and breakfast use or an accessory vacation rental, no home occupation shall be permitted which involves clients directly accessing the *building*;
- 4) there shall be no exterior storage or display of goods or materials;
- 5) the *home occupation use* shall be clearly incidental to the *residential use* of the *building*;
- 6) there shall be no alteration to the exterior appearance of the property to indicate that a home occupation is being conducted except for one non-illuminated sign in accordance with the requirements of the City's Sign Bylaw;
- 7) the premises shall not be used for any assembly related uses or occupancies, or for any use that generates noise, vibration, dust, odours, vapours, heat, on-street parking or vehicular traffic other than that normally associated with a residential dwelling;
- 8) it shall be conducted only by the resident of the residential use to which it is accessory, and not more than one resident or non-resident employee;
- 9) all home occupation uses will be required to possess a valid *business license*;
- 10) no *business license* will be issued any applicant for home occupation use unless the City has been provided with written consent by the Owner or the Owner's Agent as authorized in writing by the Owner;
- 11) parking for the home occupation use shall be provided totally upon the site, in addition to that required for the principal residential use. No more than one additional off-street parking space for the home occupation will be permitted. Any additional spaces shall be provided totally enclosed within the structure.

5.4 Accessory Boarding Use

5.4.1 An *accessory boarding use* shall only be permitted in the RS, RE, RI and RT zones, and shall:

- a) be *accessory* to a *residential use*;
- b) be completely enclosed within the *principal dwelling*;
- c) be limited to a maximum of two *sleeping units* per *dwelling unit* and a maximum of four (4) boarding guests;
- d) not provide separate cooking facilities for the *accessory boarding use*;
- e) provide one additional on-site parking space per *sleeping unit*;
- f) shall only be permitted in an owner-occupied *dwelling unit*.

5.5 Accessory Registered Secondary Suite

- 5.5.1 An *accessory registered secondary suite* shall only be permitted in the RS, RE and RI zones, and shall:
- a) be accessory to a one-unit residential use only;
 - b) be limited to one accessory registered secondary suite per *lot*;
 - c) shall conform with the BC Building Code requirements and limited to a maximum of 90 square metres *residential gross floor area* and not more than two (2) bedrooms;
 - d) provide one additional on-site parking space for occupants of the *accessory registered secondary suite*; and
 - e) be inspected and registered through the City's Secondary Suite Registration process.

5.6 Accessory Coach House

- 5.6.1 An *accessory coach house* shall only be permitted in the zones where specifically permitted, and shall:
- a) be accessory to a one-unit residential use only, but not with an *accessory registered secondary suite*;
 - b) be allowed only where secondary access can be provided from a lane or common access lane in a bare land strata development;
 - c) be allowed over garages or carports where specified in the zone permitted;
 - d) be allowed a vestibule (entrance foyer and stairway) on the main (garage or carport) level;
 - e) be limited to a maximum of two (2) bedrooms and 90 square metres *residential gross floor area* exclusive of the vestibule;
 - f) be provided one additional on-site parking space for occupants of the *accessory coach house*; and
 - g) be inspected and registered through the City's Secondary Suite Registration process.

5.7 Accessory Bed & Breakfast Use

- 5.7.1 An *accessory bed & breakfast use* shall:
- a) be accessory to a one-unit residential use only;
 - b) be limited to one (1) accessory bed & breakfast use per *lot*;
 - c) be limited to a maximum of three (3) *sleeping units*;
 - d) be limited to providing accommodation for a maximum of six (6) patrons at any one given time;
 - e) be limited to providing accommodation for any patron for a maximum of thirty (30) days in a twelve (12) month period, consecutive or otherwise;
 - f) provide one (1) additional on-site parking space per sleeping unit used for *the accessory bed & breakfast use*, provided that all parking for patrons shall be provided on the same lot as the *accessory bed and breakfast use*;
 - g) not provide separate cooking facilities for the *accessory bed and breakfast use*;
 - h) install fire extinguishers, interconnected smoke and carbon monoxide alarms, and emergency lighting in hallways and egress points, to B.C. Building Code standards and requirements;

- i) comply with B.C. Building Code requirements regarding windows, stairs, handrails, guards, means of egress, and garage separation; and
- j) have a valid *business license*.

5.8 Accessory Vacation Rental

- 5.8.1 A residential *dwelling unit* subject to this section of the Bylaw shall only be rented out by an *owner* of the subject property as the owner/operator. A tenant may not sublet a *dwelling unit* under this section for use as a *vacation rental*.
- 5.8.2 Where a secondary suite is rented out as a vacation rental, it must first be confirmed as an *accessory registered secondary suite* and comply with BC Building Code requirements for secondary suites.
- 5.8.3 The *owner* shall have a valid and current *business license*.
- 5.8.4 If the subject property changes ownership, the use as a *vacation rental* shall not be continued by the new *owner* prior to application and approval for a new business license under the new *owner's* name.
- 5.8.5 No structural alteration or addition to a *dwelling unit* to facilitate a *vacation rental* shall be undertaken that alters the residential character and form of the *building*; however, the *dwelling unit* shall comply with B.C. Building Code requirements regarding windows, stairs, handrails, guards, means of egress, garage separation, and include fire extinguishers, interconnected smoke and carbon monoxide alarms, and emergency lighting in hallways and egress points.
- 5.8.6 No exterior signage advertising the *vacation rental* is permitted.
- 5.8.7 The owner shall provide adequate off-street parking as outlined in sub-section 4.14.1.
- 5.8.8 A property containing a *one-unit residential use* and an *accessory registered secondary suite* or *accessory coach house* may be used for the purpose of a *vacation rental* only where the registered *owner* is a full-time resident and occupant of the subject property.
- 5.8.9 The *owner* shall ensure that occupants of the *vacation rental* do not create any form or manner of nuisance for neighboring residents, including, but not limited to, noise, light, traffic or on-street parking that is disruptive to neighboring residents.
- 5.8.10 A maximum of one (1) *vacation rental* per *lot* and two (2) persons per *sleeping unit*, to a maximum of not more than six (6) persons per *dwelling unit*, are permitted for rental periods not to exceed thirty (30) days as defined.

6.0 General Zones – Uses Permitted & Zone Provisions

6.1 RS-1 One Unit Residential Zone

The intent of this zone is to accommodate *one-unit residential buildings* on *lots* of 464 square metres (4,995 square feet) or larger.

6.1.1 Permitted Uses:

- 1) a *one-unit residential use* in conjunction with not more than one (1) of the following accessory uses:
 - a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - d) an *accessory coach house* in accordance with the provisions of Section 5.6.
 - e) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
 - f) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3;
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding the above, on lots with less than the minimum required *lot area*, a one-unit residential use only is permitted.
- 5) notwithstanding 1) above, both an *accessory bed and breakfast use* and an *accessory vacation rental* may be permitted in combination and operated as a single business when limited to a maximum combination of four (4) *sleeping units* and eight (8) adult guests.

6.1.2 Lot Size:

- 1) The minimum *lot width*, *lot depth* and *lot area* in the RS-1 zone are as follows:

Lot width	15.0m (49.2ft)
Lot depth	27.4m (89.9ft)
Lot area	464.0m ² (4,994.6ft ²)

6.1.3 Lot Coverage:

- 1) The maximum *lot coverage* is as follows:
 - a) 45% for lots with less than or equal to 696 square metres *lot area*;
 - b) 40% for lots with greater than 696 square metres *lot area*.

6.1.4 Floor Area:

- 1) maximum *residential gross floor area* shall not exceed 0.5 times the *lot area*.
- 2) maximum permitted floor area of a 2nd storey for a *principal building* shall not exceed 80% of the footprint for the 1st storey including attached garage and that portion of any covered porch, deck or carport. Notwithstanding, existing *principal buildings* constructed or issued a building permit prior to adoption of this bylaw are

exempt from this requirement except for proposed major additions which increase the *residential gross floor area* by 50% or more.

- 3) notwithstanding any other provision in this bylaw, only one basement storey is permitted.

6.1.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- 2) *ancillary buildings* containing an *accessory coach house* shall not exceed a *height* of 7.0m for a *building* with a minimum roof slope of 6:12, and shall not exceed a *height* of 6.0m for a *building* with any lesser roof slope.
- 3) *ancillary buildings* and *structures* shall not exceed a *height* of 5.0m.

6.1.6 Minimum Setback Requirements:

- 1) *principal buildings* and *ancillary buildings and structures* in the RS-1 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	7.5m (24.61ft)	Not permitted
Rear lot line	7.5m (24.61ft)	1.5m (4.92ft)
Rear lot line on a lot with an exterior side yard requirement of 7.5m, where the rear lot line abuts the interior side lot line of an adjacent residential lot	3.8m (12.47ft)	1.5m (4.92ft)
Interior side lot line	1.5m (4.92ft)	1.5m (4.92ft)
Interior side lot line (abutting a lane)	2.4m (7.87ft)	2.4m (7.87ft)
Exterior side lot line (where the rear lot line abuts a lane, or where the rear lot line abuts the rear lot line of an adjacent residential lot or abutting an interior or rear lot line for a commercial use)	3.8m (12.47ft)	3.8m (12.47ft)
Exterior side lot line (where the rear lot line abuts the interior side lot line of an adjacent residential lot)	7.5m (24.61ft)	7.5m (24.61ft)

6.1.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.1.5 and 6.1.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per *lot*.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.
- 3) *Ancillary buildings and structures* shall not be sited less than 3.0m from a *principal building* on the same *lot*.

6.1.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.2 RS-2 One Unit (Small Lot) Residential Zone

The intent of this zone is to accommodate one unit residential *buildings* on *lots* of 362 square metres (3,896.53 square feet) or more.

6.2.1 Permitted Uses:

- 1) a *one-unit residential* use in conjunction with not more than one (1) of the following accessory uses:
 - a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - d) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
 - e) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3;
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding the above, on lots with less than the minimum required *lot area*, a one-unit residential use only is permitted.
- 5) notwithstanding 1) above, both an *accessory bed and breakfast use* and an *accessory vacation rental* may be permitted in combination and operated as a single business when limited to a maximum combination of four (4) *sleeping units* and eight (8) adult guests.

6.2.2 Lot Size:

- 1) The minimum *lot width*, *lot depth* and *lot area* in the RS-2 zone are as follows:

Lot width	10.0m (32.81ft)
Lot depth	27.4m (89.9ft)
Lot area	362.0m ² (3,896.53ft ²)

6.2.3 Lot Coverage:

- 1) The maximum *lot coverage* in the RS-2 zone is 50%.

6.2.4 Floor Area:

- 1) maximum *residential gross floor area* shall not exceed 0.6 times the *lot area*.

6.2.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m (25.26ft), and the height of the southerly elevation of the building shall be determined by an angle of containment of 45 degrees to the vertical commencing 6.0 metres (19.69 feet) above the natural grade at the base of the south wall as illustrated in sub-section 4.9.
- 2) *ancillary buildings* and structures shall not exceed a *height* of 4.0m (13.12ft).

6.2.6 Minimum Setback Requirements:

- 1) *principal buildings* and *ancillary buildings and structures* in the RS-2 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line i.e. see 2) below	3.0m (9.84ft)	Not permitted
Rear lot line i.e. see 2) below	3.0m (9.84ft)	1.5m (4.92ft)
Interior side lot line	1.2m (3.94ft)	1.2m (3.94ft)
Interior side lot line (abutting a lane)	2.4m (7.87ft)	2.4m (7.87ft)
Exterior side lot line (rear lot line abutting a lane or rear lot line of adjacent lot) i.e. for a distance of 7.5m as per 3) below	3.0m (9.84ft) & 1.5m (4.92ft)	3.0m (9.84ft) & 1.5m (4.92ft)

- 2) Notwithstanding the above, the *front* and *rear yard setbacks* shall in combination be not less than 12.0m (39.37ft).
- 3) Notwithstanding the above, the *exterior side yard setback* requirement for *principal buildings* and for *ancillary buildings and structures* shall be 3.0m (9.84ft) for a distance of 7.5m (24.61ft) from the *front lot line* and 1.5m (4.93ft) from that point to the *rear lot line* of the *lot*.

6.2.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.2.5 and 6.2.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per *lot*.
- 2) *ancillary buildings* shall not exceed a gross floor area of 11.15m² (120.0ft²).
- 3) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.

6.2.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.3 RS-3 One Unit (Small Lot, Hillside) Residential Zone

The intent of this zone is to accommodate one unit residential *buildings* on hillside *lots* of 278.7 square metres (2,992.37 square feet) or more.

6.3.1 Permitted Uses:

- 1) a *one-unit residential* use in conjunction with not more than one (1) of the following accessory uses:
 - a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - d) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
 - e) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3;
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding the above, on lots with less than the minimum required *lot area*, a one-unit residential use only is permitted.
- 5) notwithstanding 1) above, both an *accessory bed and breakfast use* and an *accessory vacation rental* may be permitted in combination and operated as a single business when limited to a maximum combination of four (4) *sleeping units* and eight (8) adult guests.

6.3.2 Lot Size:

- 1) The minimum *lot width*, *lot depth* and *lot area* in the RS-3 zone are as follows:

Lot width	9.0m (29.53ft)
Lot depth	27.4m (89.9ft)
Lot area	278.7m ² (2,992.37ft ²)

6.3.3 Lot Coverage:

- 1) The maximum *lot coverage* in the RS-3 zone is 50%.

6.3.4 Floor Area:

- 1) maximum *residential gross floor area* shall not exceed 0.7 times the *lot area*.

6.3.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m (25.26ft), and the height of the southerly elevation of the building shall be determined by an angle of containment of 45 degrees to the vertical commencing 6.0m (19.69ft) above the natural grade at the base of the wall as illustrated in sub-section 4.9.
- 2) *ancillary buildings* and structures shall not exceed a *height* of 4.0m (13.12ft).

6.3.6 Minimum Setback Requirements:

- 1) *principal buildings* and *ancillary buildings and structures* in the RS-3 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line i.e. see 2) below	3.0m (9.84ft)	Not permitted
Rear lot line i.e. see 2) below	3.0m (9.84ft)	1.5m (4.92ft)
Interior side lot line	1.2m (3.94ft)	1.2m (3.94ft)
Interior side lot line (abutting a lane)	2.4m (7.87ft)	2.4m (7.87ft)
Exterior side lot line (rear lot line abutting a lane or rear lot line of adjacent lot) i.e. for a distance of 7.5m as per 3) below	3.0m (9.84ft) & 1.5m (4.92ft)	3.0m (9.84ft) & 1.5m (4.92ft)

- 2) Notwithstanding the above, the *front* and *rear yard setbacks* shall in combination be not less than 9.0m (29.5ft), except for lots with lot depth of 25m (82.02ft) or less i.e. where the rear yard setback shall be no less than 1.8m (5.9ft) and the minimum front yard setback shall be no less than 3.0m (9.84ft).
- 3) Notwithstanding the above, the *exterior side yard setback* requirement for *principal buildings* and for *ancillary buildings and structures* shall be 3.0m (9.84ft) for a distance of 7.5m (24.61ft) from the *front lot line* and 1.5m (4.93ft) from that point to the *rear lot line* of the *lot*.
- 4) Notwithstanding 6.3.6(1) above, for those properties located at 14579, 14585, 14591 and 14597 Marine Drive the minimum *front yard setback* shall be 7.5m and the minimum *rear yard setback* shall be 4.5m.

6.3.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.3.5 and 6.3.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per *lot*.
- 2) *ancillary buildings* shall not exceed a gross floor area of 11.15m² (120.0ft²).
- 3) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.

6.3.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.4 RS-4 One Unit (12.1m Lot Width) Residential Zone

The intent of this zone is to accommodate *one-unit residential buildings* on *lots* with minimum 12.1m *lot width* and 410m² (4,413ft²) *lot area*.

6.4.1 Permitted Uses:

- 1) a *one-unit residential use* in conjunction with not more than one (1) of the following accessory uses:
 - a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - d) an *accessory coach house* in accordance with the provisions of Section 5.6.
 - e) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
 - f) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3;
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding the above, on lots with less than the minimum required *lot area*, a *one-unit residential use* only is permitted.
- 5) notwithstanding 1) above, both an *accessory bed and breakfast use* and an *accessory vacation rental* may be permitted in combination and operated as a single business when limited to a maximum combination of four (4) *sleeping units* and eight (8) adult guests.

6.4.2 Lot Size:

- 1) The minimum *lot width*, *lot depth* and *lot area* in the RS-4 zone are as follows:

Lot width	12.1m (39.7ft)
Lot depth	27.4m (89.9ft)
Lot area	410.0m ² (4,413.2ft ²)

6.4.3 Lot Coverage:

- 1) The maximum *lot coverage* in the RS-4 zone is 45%.

6.4.4 Floor Area:

- 1) maximum *residential gross floor area* shall not exceed 0.5 times the *lot area*.
- 2) maximum permitted floor area of a 2nd storey for a *principal building* shall not exceed 80% of the footprint for the 1st storey including attached garage and that portion of any covered porch, deck or carport. Notwithstanding, existing *principal buildings* constructed or issued a building permit prior to adoption of this bylaw are exempt from this requirement except for proposed major additions which increase the *residential gross floor area* by 50% or more.
- 3) notwithstanding any other provision in this bylaw, only one basement storey is permitted.

6.4.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- 2) *ancillary buildings* containing an *accessory coach house* shall not exceed a *height* of 7.0m for a *building* with a minimum roof slope of 6:12, and shall not exceed a *height* of 6.0m for a *building* with any lesser roof slope.
- 3) *ancillary buildings* and structures shall not exceed a *height* of 5.0m.

6.4.6 Minimum Setback Requirements:

- 1) *principal buildings* and *ancillary buildings and structures* in the RS-4 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	7.5m (24.61ft)	Not permitted
Rear lot line	7.5m (24.61ft)	1.5m (4.92ft)
Rear lot line on a lot with an exterior side yard requirement of 5.65m, where the rear lot line abuts the interior side lot line of an adjacent residential lot	3.8m (18.5ft)	1.5m (4.92ft)
Interior side lot line	1.35m (4.43ft)	1.35m (4.43ft)
Interior side lot line (abutting a lane)	2.4m (7.87ft)	2.4m (7.87ft)
Exterior side lot line (where the rear lot line abuts a lane, or where the rear lot line abuts the rear lot line of an adjacent residential lot or abutting an interior or rear lot line for a commercial use)	3.8m (12.47ft)	3.8m (12.47ft)
Exterior side lot line (where the rear lot line abuts the interior side lot line of an adjacent residential lot)	5.65m (18.5ft)	5.65m (18.5ft)

6.4.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.4.5 and 6.4.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per *lot*.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.
- 3) *ancillary buildings and structures* shall not be sited less than 3.0m from a *principal building* on the same *lot*.

6.4.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.5 RE-1 Estate Residential 1 Zone

The intent of this zone is to accommodate *one-unit residential buildings* on estate residential *lots* of 0.5 hectares (1.235 acres) or larger.

6.5.1 Permitted Uses:

- 1) a *one-unit residential use* in conjunction with not more than one (1) of the following accessory uses:
 - a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - d) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
 - e) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3;
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding 1) above, both an *accessory bed and breakfast use* and an *accessory vacation rental* may be permitted in combination and operated as a single business when limited to a maximum combination of four (4) *sleeping units* and eight (8) adult guests.

6.5.2 Lot Size:

- 1) The minimum *lot width*, *lot depth* and *lot area* in the RE-1 zone are as follows:

Lot width	30.0m (98.4ft)
Lot depth	100.0m (328.08ft)
Lot area	0.5ha (1.235ac)

6.5.3 Lot Coverage:

- 1) maximum *lot coverage* is 20%.

6.5.4 Floor Area:

- 1) maximum *residential gross floor area* shall not exceed 0.3 times the *lot area*.

6.5.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- 2) *ancillary buildings* and structures shall not exceed a *height* of 5.0m.

6.5.6 Minimum Setback Requirements:

- 1) *principal buildings* and *ancillary buildings and structures* in the RE-1 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	7.5m (24.61ft)	Not permitted
Rear lot line	7.5m (24.61ft)	1.5m (4.92ft)
Interior side lot line	1.5m (4.92ft)	1.5m (4.92ft)
Exterior side lot line (abutting a lane, or where the rear lot line abuts the rear lot line of an adjacent residential lot, or abutting an interior or rear lot line for a commercial use)	3.8m (12.47ft)	3.8m (12.47ft)
Exterior side lot line (where the rear lot line abuts the interior side lot line of an adjacent residential lot)	7.5m (24.61ft)	7.5m (24.61ft)

6.5.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.5.5 and 6.5.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per lot.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.

6.5.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.6 RE-2 Estate Residential 2 Zone

The intent of this zone is to accommodate *one-unit residential buildings* on estate residential *lots* of 2,000m² (21,527.9ft²) or larger.

6.6.1 Permitted Uses:

- 1) a *one-unit residential use* in conjunction with not more than one (1) of the following accessory uses:
 - a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - d) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
 - e) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3.
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding 1) above, both an *accessory bed and breakfast use* and an *accessory vacation rental* may be permitted in combination and operated as a single business when limited to a maximum combination of four (4) *sleeping units* and eight (8) adult guests.

6.6.2 Lot Size:

- 1) The minimum *lot width*, *lot depth* and *lot area* in the RE-2 zone are as follows:

Lot width	23.0m (75.46ft)
Lot depth	60.0m (196.8ft)
Lot area	2,000m ² (21,527.9ft ²)

6.6.3 Lot Coverage:

- 1) maximum *lot coverage* is 25%.

6.6.4 Floor Area:

- 1) maximum *residential gross floor area* shall not exceed 0.35 times the *lot area*.

6.6.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- 2) *ancillary buildings* and *structures* shall not exceed a *height* of 5.0m.

6.6.6 Minimum Setback Requirements:

- 1) *principal buildings* and *ancillary buildings and structures* in the RE-2 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	7.5m (24.61ft)	Not permitted
Rear lot line	7.5m (24.61ft)	1.5m (4.92ft)
Interior side lot line	1.5m (4.92ft)	1.5m (4.92ft)
Exterior side lot line (abutting a lane, or where the rear lot line abuts the rear lot line of an adjacent residential lot, or abutting an interior or rear lot line for a commercial use)	3.8m (12.47ft)	3.8m (12.47ft)
Exterior side lot line (where the rear lot line abuts the interior side lot line of an adjacent residential lot)	7.5m (24.61ft)	7.5m (24.61ft)

6.6.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.6.5 and 6.6.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per lot.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.

6.6.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.7 RE-3 Estate Residential 3 Zone

The intent of this zone is to accommodate *one-unit residential buildings* on estate residential *lots* of 1,200m² (12,916.7ft²) or larger.

6.7.1 Permitted Uses:

- 1) a *one-unit residential use* in conjunction with not more than one (1) of the following accessory uses:
 - a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - d) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
 - e) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3.
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding 1) above, both an *accessory bed and breakfast use* and an *accessory vacation rental* may be permitted in combination and operated as a single business when limited to a maximum combination of four (4) *sleeping units* and eight (8) adult guests.

6.7.2 Lot Size:

- 1) The minimum *lot width*, *lot depth* and *lot area* in the RE-3 zone are as follows:

Lot width	20.0m (65.6ft)
Lot depth	40.0m (131.2ft)
Lot area	1,200 m ² (12,916.7ft ²)

6.7.3 Lot Coverage:

- 1) maximum *lot coverage* is 35%.

6.7.4 Floor Area:

- 1) maximum *residential gross floor area* shall not exceed 0.4 times the *lot area*.

6.7.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- 2) *ancillary buildings and structures* shall not exceed a *height* of 5.0m.

6.7.6 Minimum Setback Requirements:

- 1) *principal buildings and ancillary buildings and structures* in the RE-3 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	7.5m (24.61ft)	Not permitted
Rear lot line	7.5m (24.61ft)	1.5m (4.92ft)
Interior side lot line	1.5m (4.92ft)	1.5m (4.92ft)
Exterior side lot line (abutting a lane, or where the rear lot line abuts the rear lot line of an adjacent residential lot, or abutting an interior or rear lot line for a commercial use)	3.8m (12.47ft)	3.8m (12.47ft)
Exterior side lot line (where the rear lot line abuts the interior side lot line of an adjacent residential lot)	7.5m (24.61ft)	7.5m (24.61ft)

6.7.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.7.5 and 6.7.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per lot.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.

6.7.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.8 RI-1 One Unit (Infill 1) Residential Zone

The intent of this zone is to accommodate infill redevelopment for one unit residential *buildings* in the south of hospital lands area on *lots* of 333.0m² (3,584.38ft²) or more.

6.8.1 Permitted Uses:

- 1) a *one-unit residential* use in conjunction with not more than one (1) of the following accessory uses:
 - a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - d) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
 - e) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in accordance with the provisions of Section 5.3.
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding 1) above, both an *accessory bed and breakfast use* and an *accessory vacation rental* may be permitted in combination and operated as a single business when limited to a maximum combination of four (4) *sleeping units* and eight (8) adult guests.

6.8.2 Lot Size:

- 1) The minimum *lot width*, *lot depth* and *lot area* for fee simple and bare land strata lots in the RI-1 zone are as follows:

Lot width	9.1m (29.86ft)
Lot depth	35.0m (114.83ft)
Lot area	333.0m ² (3,584.38ft ²)

6.8.3 Lot Coverage:

- 1) The maximum *lot coverage* in the RI-1 zone is 50%.

6.8.4 Floor Area:

- 1) maximum *residential gross floor area* shall not exceed 250m² (2,690.98ft²), inclusive of *basement* and/or *garage*, for a *lot* with *lot area* less than or equal to 450m² (4,843.76ft²). Notwithstanding, for properties with *lot area* greater than 450m² (4,843.76ft²), *residential gross floor area* shall not exceed 307m² (3,304.52ft²) inclusive of *basement* and/or *garage*.
- 2) maximum *gross floor area* for *ancillary buildings* shall not exceed 6.0m² (64.58ft²).

6.8.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 8.5m (27.88ft) for a *building* with a roof slope of 1:1, and shall not exceed a *height* of 7.7m (25.25ft) for a *building* with any lesser roof slope.
- 2) *ancillary buildings and structures* shall not exceed a *height* of 3.0m (9.84ft).
- 3) dormers and any part of the *building* that projects out of either roof angle shall be limited to 0.4 times the length of the base wall of the same face of the building facing

the same lot line, provided that the roof for any such projection has a minimum slope of 4:12.

6.8.6 Minimum Setback Requirements:

- 1) *principal buildings and ancillary buildings and structures* in the RS-3 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line i.e. see 2) below	7.5m (24.61ft)	Not permitted
Rear lot line i.e. see 2) below	7.5m (9.84ft)	1.5m (4.92ft)
Interior side lot line	1.2m (3.94ft)	1.5m (4.92ft)
Interior side or rear lot line (abutting a lane)	2.4m (7.87ft)	2.4m (12.47ft)
Exterior side lot line (rear lot line abutting a lane or rear lot line of adjacent lot) i.e. for a distance of 7.5m as per 3) below	3.0m (9.84m) & 1.5m (4.92ft)	3.0m (9.84m) & 1.5m (4.92ft)

- 2) balconies or decks located on the rear elevation of a *principal building* are not permitted above the first *story*.
- 3) Notwithstanding the above, the *exterior side yard setback* requirement for *principal buildings* and for *ancillary buildings and structures* shall be 3.0m (9.84ft) for a distance of 7.5m (24.61ft) from the *front lot line* and 1.5m (4.93ft) from that point to the *rear lot line* of the *lot*.
- 4) subject to the provision of sub-section 4.13.1, bay, bow or box window projections shall be permitted along the front face of the *principal building*, and are not included in the calculation of *residential gross floor area*.
- 5) subject to the provision of sub-section 4.13.1, an extension of the *principal building* designed to provide weather projection over the primary pedestrian entrance shall be permitted to project within the required *front yard* setback area provided that:
 - i) the number of projections are limited to not more than one (1);
 - ii) the height of the projection shall not exceed the lesser of 3.0m (9.84ft) or the height of the first story as measured from the finished grade;
 - iii) the length of the projection shall be limited to a maximum projection of 2.0m (6.56ft) into the front yard setback with a width of not more than 3.0m (9.84ft); and
 - iv) the projection shall be open and not enclosed.

6.8.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-sections 6.8.5 and 6.8.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per *lot*.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.
- 3) *ancillary buildings and structures* shall be located not less than 1.5m (4.92) from a *principal building*.

- 6.8.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.
- 6.8.9 Notwithstanding the provisions of Section 4.14, driveways shall not exceed a width of 4.0m (13.12ft). Further, the width of an opening to a garage for vehicular access and contained within the *principal building* shall not exceed 3.5m (11.48ft).

6.9 RI-2 One Unit (Infill 2) Residential Zone

The intent of this zone is to accommodate infill redevelopment for one unit residential *buildings* in the East Side Large Lot Infill Redevelopment Area.

6.9.1 Permitted Uses:

- 1) a *one-unit residential use* in conjunction with not more than one (1) of the following accessory uses:
 - a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - d) an *accessory coach house* in accordance with the provisions of Section 5.6.
 - e) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
 - f) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3.
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding 1) above, both an *accessory bed and breakfast use* and an *accessory vacation rental* may be permitted in combination and operated as a single business when limited to a maximum combination of four (4) *sleeping units* and eight (8) adult guests.

6.9.2 Lot Size:

- 1) The minimum *lot width*, *lot depth*, and *lot area* for fee-simple and bare land strata lots in the RI-2 zone are as follows:

Dimension Type	Narrow Lot Housing With Rear Lane Access	Narrow Lot Housing with Shared Access
Lot width for interior lots	9.15m (30.0ft)	10.0m (32.8ft)
Lot width for corner lots	10.0m (32.8ft)	10.0m (32.8ft)
Lot depth	27.4m (90.0ft)	33.5m (110.0ft)
Lot area	265.0m ² (2,852.5ft ²)	335.0m ² (3,606.0ft ²)

6.9.3 Lot Coverage:

- 1) maximum *lot coverage* in the RI-2 zone is 50%.

6.9.4 Floor Area:

- 1) maximum *residential gross floor area* for all *buildings* shall not exceed 0.65.
- 2) maximum *residential gross floor area* for an *accessory coach house* is outlined in Section 5.6.
- 3) *basement* floor area shall be included in the calculation of maximum permitted *residential gross floor area*.

6.9.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m.
- 2) *ancillary buildings* containing an *accessory coach house* shall not exceed a *height* of 7.0m for a *building* with a minimum roof slope of 6:12, and shall not exceed a *height* of 6.0m for a *building* with any lesser roof slope.
- 3) *ancillary buildings* not containing a *coach house* shall not exceed a height of 3.0m (9.84ft).

6.9.6 Minimum Setback Requirements:

- 1) *principal buildings* and *ancillary buildings and structures* in the RI-2 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	3.0m (9.8ft)	Not permitted
Rear lot line with shared access driveway	6.0m (19.7ft)	1.2m (3.94ft)
Rear lot line abutting a lane	6.0m (19.7ft)	3.0m (9.8ft)
Interior side lot line with rear yard access from a lane	1.2m (3.94ft)	0.0m (0.0ft) on one side; 3.0m (9.8ft) on the other when needed to accommodate the 3 rd parking space, or 1.2m (3.94ft) to accommodate a 2 nd level coach house over a carport.
Interior side lot line with shared access driveway	2.07m (6.8ft) on the driveway access side; 1.2m (3.94ft) on the other side	0.0m (0.0ft) on one side; 3.0m (9.8ft) on the other when needed to accommodate the 3 rd parking space, or 1.2m (3.94ft) to accommodate a 2 nd level coach house over a carport
Exterior side lot line	2.07m (6.8ft)	2.07m (6.8ft)

6.9.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.9.5 and 6.9.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per *lot*.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.
- 3) *ancillary buildings and structures* shall be located not less than 3.0m (9.84ft) from a *principal building*.

6.9.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.10 RT-1 Two Unit (Duplex) Residential Zone

The intent of this zone is to accommodate a two unit residential (duplex) use on *fee-simple lots* with 742.0m² (7,986.82ft²) or greater *lot area*.

6.10.1 Permitted Uses:

- 1) a *one-unit residential* use; or
- 2) a *two-unit residential* use;
in conjunction with not more than one (1) of the following accessory uses per *dwelling unit*:
 - a) an *accessory home occupation* in accordance with the provisions of Section 5.3.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
- 3) a *care facility* in accordance with the provisions of Section 5.1.
- 4) notwithstanding the above, on *lots* with less than the minimum required *lot area* or *lot width*, a *one-unit residential* use only is permitted in accordance with the provisions of Section 6.1.
- 5) notwithstanding the above, *accessory registered secondary suites* are not permitted within a *two-unit residential* use that has been subdivided in accordance with the Strata Property Act.

6.10.2 Lot Size:

- 1) Minimum *lot width*, *lot depth* and *lot area* in the RT-1 zone are as follows:

Lot width	18.0m (59.04ft)
Lot depth	30.5m (100.4ft)
Lot area	742.0m ² (7,986.82ft ²)

6.10.3 Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 45%.

6.10.4 Floor Area:

- 1) Maximum *residential gross floor area* shall not exceed 0.5 times the *lot area*.

6.10.5 Building Heights:

- 1) *Principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- 2) *Ancillary buildings* and *structures* shall not exceed a *height* of 5.0m.

6.10.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary buildings* and *structures* in the RT-1 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	7.5m (24.61ft)	Not permitted
Rear lot line	7.5m (24.61ft)	1.5m (4.92ft)
Rear lot line abutting a lane	7.5m (24.61ft)	3.8m (12.47ft)
Interior side lot line	1.5m (4.92ft)	1.5m (4.92ft)
Interior side lot line (abutting a lane)	2.4m (7.87ft)	2.4m (12.47ft)
Exterior side lot line	3.8m (12.47ft)	3.8m (12.47ft)

6.10.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.10.5 and 6.10.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building per fee-simple lot*.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard or exterior side yard* area.
- 3) *ancillary buildings and structures* shall not be located closer than 3.0m (9.85ft) to a *principal building*.

6.10.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.11 RT-2 Three Unit (Triplex) Residential Zone

The intent of this zone is to accommodate a two- or three-unit residential (duplex or triplex) use on *fee-simple lots* with 742.0m² (7,986.82ft²) or greater *lot area*.

6.11.1 Permitted Uses:

- 1) a *two-unit residential* use; or
- 2) a *three-unit residential* use;
in conjunction with not more than one (1) of the following accessory uses, per *dwelling unit*:
 - a) an *accessory home occupation* in accordance with the provisions of Section 5.3.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
- 3) notwithstanding the above, on lots with less than the minimum required lot area or lot width, a one-unit residential use only is permitted in accordance with the provisions of sub-sections 6.1.3 to 6.1.8.

6.11.2 Lot Size:

- 1) Minimum *lot width*, *lot depth* and *lot area* in the RT-2 zone are as follows:

Lot width	18.0m (59.04ft)
Lot depth	30.5m (100.4ft)
Lot area	742.0m ² (7,986.82ft ²)

6.11.3 Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 45%.

6.11.4 Floor Area:

- 1) Maximum *residential gross floor area* shall not exceed:
 - a) 0.5 times the *lot area* for a *two-unit residential* use; or
 - b) 0.6 times the *lot area* for a *three-unit residential* use.

6.11.5 Building Heights:

- 1) *Principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- 2) *Ancillary buildings* and *structures* shall not exceed a *height* of 5.0m.

6.11.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary buildings and structures* in the RT-2 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	7.5m (24.61ft)	Not permitted
Rear lot line	7.5m (24.61ft)	1.5m (4.92ft)
Rear lot line abutting a lane	7.5m (24.61ft)	3.8m (12.47ft)
Interior side lot line	1.5m (4.92ft)	1.5m (4.92ft)
Interior side lot line abutting a lane	2.4m (7.87ft)	2.4m (12.47ft)
Exterior side lot line	3.8m (12.47ft)	3.8m (12.47ft)

- 2) Notwithstanding the above, where the rear lot line of a lot abuts the interior side lot line of an adjacent lot that is zoned for commercial use, the minimum required exterior side yard setback may be reduced to 3.8m (12.47ft).

6.11.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.11.5 and 6.11.6 above, the following also applies:

- 1) There shall be not more than one *ancillary building* per *fee-simple lot*.
- 2) *Ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.
- 3) *Ancillary buildings and structures* shall not be located closer than 3.0m (9.85ft) to a *principal building*.

6.11.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.12 RM-1 Low Density Multi-Unit Residential Zone

The intent of this zone is to accommodate multi-unit residential uses in the form of townhouse or apartment complexes at low densities not exceeding 24 units per 0.4 hectare (1.0 acre).

6.12.1 Permitted Uses:

- 1) a *multi-unit residential* use in conjunction with not more than one (1) of the following accessory uses, per *dwelling unit*:
 - a) an *accessory home occupation* in accordance with the provisions of Section 5.3.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
- 2) a *multi-unit residential use* is permitted in one (1) or more *principal buildings*.

6.12.2 Lot Size:

- 1) Minimum *lot width*, *lot depth* and *lot area* in the RM-1 zone are as follows:

Lot width	18.0m (59.04ft)
Lot depth	30.5m (100.4ft)
Lot area	742.0m ² (7,986.82ft ²)

6.12.3 Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 45%.

6.12.4 Density:

- 1) Maximum number of *dwelling units* permitted shall be based on a *lot area* of not less than 167 m² (1,797.57 ft²) per *dwelling unit* for a maximum density of 24 units per 0.4 ha (1.0 acres).

6.12.5 Building Heights:

- 1) *Principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- 2) *Ancillary buildings and structures* shall not exceed a *height* of 4.0m (13.12ft).

6.12.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary buildings and structures* in the RM-1 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	7.5m (24.61ft)	Not permitted
Rear lot line	7.5m (24.61ft)	1.5m (4.92ft)
Rear lot line (abutting a lane)	7.5m (24.61ft)	2.4m (7.87ft)
Interior side lot line	2.4m (7.87ft)	2.4m (7.87ft)
Interior side lot line (abutting a lane)	2.4m (7.87ft)	2.4m (12.47ft)
Exterior side lot line (rear lot line abutting a lane or rear lot line of adjacent lot)	3.8m (12.47ft)	3.8m (12.47ft)
Exterior side lot line (rear lot line abutting interior side lot line of adjacent lot)	7.5m (24.61ft)	7.5m (24.61ft)

- 2) Notwithstanding the above, where the rear lot line of a lot abuts the interior side lot line of an adjacent lot that is zoned for commercial use, the minimum required exterior side yard setback may be reduced to 3.8m (12.47ft).

6.12.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-sections 6.12.5 and 6.12.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per *fee-simple lot*.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.
- 3) *ancillary buildings and structures* shall not be located closer than 3.0m (9.85ft) to a *principal building*.

6.12.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.12.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

6.13 RM-2 Medium Density Multi-Unit Residential Zone

The intent of this zone is to accommodate multi-unit residential uses in the form of townhouse or apartment complexes at medium densities not exceeding 50 units per 0.4 hectare (1.0 acre).

6.13.1 Permitted Uses:

- 1) a *multi-unit residential* use in conjunction with not more than one (1) of the following accessory uses, per *dwelling unit*:
 - a) an *accessory home occupation* in accordance with the provisions of Section 5.3.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
- 2) a *multi-unit residential use* is permitted in one (1) or more *principal buildings*.

6.13.2 Lot Size:

- 1) Minimum *lot width*, *lot depth* and *lot area* in the RM-2 zone are as follows:

Lot width	18.0m (59.04ft)
Lot depth	30.5m (100.4ft)
Lot area	742.0m ² (7,986.82ft ²)

6.13.3 Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 45%.

6.13.4 Density:

- 1) Maximum number of *dwelling units* permitted shall be based on a *lot area* of not less than 80.0m² (861.14 ft²) per *dwelling unit* for a maximum density of 50 units per 0.4ha (1.0ac), and a maximum *residential floor area* of 1.1 times the *lot area*.
- 2) *Maximum residential floor area* may be increased:
 - i) by not more than 37.0m² (398.26ft²) total where common recreation facilities are provided within a *principal building* for the exclusive use of the occupants;
 - ii) by not more than 5.6m² (60.28ft²) per *dwelling unit* where storage and laundry facilities are provided within the individual *dwelling units*.

6.13.5 Building Heights:

- 1) *Principal buildings* shall not exceed a *height* of 10.7m (35.1ft).
- 2) *Ancillary buildings and structures* shall not exceed a *height* of 4.0m (13.12ft).

6.13.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary buildings and structures* in the RM-2 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	6.0m (19.68ft)	Not permitted
Rear lot line (not abutting a lane)	6.0m (19.68ft)	1.5m (4.92ft)
Rear lot line (abutting a lane)	6.0m (19.68ft)	2.4m (7.87ft)
Interior side lot line (not abutting a lane)	see 3) and 4) below	1.5m (4.92ft)
Interior side lot line (abutting a lane)	see 3) and 4)	2.4m (12.47ft)

	below	
Exterior side lot line (rear lot line abutting a lane or rear lot line of adjacent lot)	3.8m (12.47ft)	3.8m (12.47ft)
Exterior side lot line (rear lot line abutting interior side lot line of adjacent lot)	6.0m (19.68ft)	6.0m (19.68ft)

- 2) Notwithstanding the above, where the rear lot line of a lot abuts the interior side lot line of an adjacent lot that is zoned for commercial use, the minimum required *exterior side yard* setback may be reduced to 3.8m (12.47ft).
- 3) The *minimum interior side lot line* shall be 3.0m (9.84ft) where the wall or walls of the *principal building* facing that *interior side lot line* either has no windows, or windows to non-*habitable rooms* only.
- 4) The *minimum interior side lot line* shall be 5.0m (16.4ft) where the wall or walls of the *principal building* facing that *interior side lot line* has a window or windows to a *habitable room*, or to a balcony, provided that no part of any balcony shall be sited less than 3.0m (9.84ft) from an interior side lot line.

6.13.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-sections 6.13.5 and 6.13.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building per fee-simple lot*.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.
- 3) *ancillary buildings and structures* shall not be located closer than 3.0m (9.85ft) to a *principal building*.

6.13.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.13.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

6.14 RM-3 High Density Multi-Unit Residential Zone

The intent of this zone is to accommodate multi-unit residential uses in the form of apartment complexes at high densities not exceeding 90 units per 0.4 hectare (1.0 acre).

6.14.1 Permitted Uses:

- 1) a *multi-unit residential* use in conjunction with not more than one (1) of the following accessory uses, per *dwelling unit*:
 - a) an *accessory home occupation* in accordance with the provisions of Section 5.3.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
- 2) a *multi-unit residential use* is permitted in one (1) or more *principal buildings*.

6.14.2 Lot Size:

- 1) Minimum *lot width*, *lot depth* and *lot area* in the RM-3 zone are as follows:

Lot width	18.0m (59.04ft)
Lot depth	30.5m (100.4ft)
Lot area	742.0m ² (7,986.82ft ²)

6.14.3 Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 45%.

6.14.4 Density:

- 1) Maximum number of *dwelling units* permitted shall be based on a *lot area* of not less than 44.4m² (478.4ft²) per *dwelling unit* for a maximum density of 90 units per 0.4ha (1.0ac), and a *maximum residential floor area* of 2.0 times the *lot area*.
- 2) *Maximum residential floor area* may be increased:
 - i) by not more than 37.0m² (398.26ft²) total where common recreation facilities are provided within a *principal building* for the exclusive use of the occupants;
 - ii) by not more than 5.6m² (60.28ft²) per *dwelling unit* where storage and laundry facilities are provided within the individual *dwelling units*.

6.14.5 Building Heights:

- 1) *Principal buildings* shall not exceed a *height* of 23.0m (75.46ft).
- 2) *Ancillary buildings* and *structures* shall not exceed a *height* of 4.0m (13.12ft).

6.14.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary buildings and structures* in the RM-3 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	6.0m (19.68ft)	Not permitted
Rear lot line (not abutting a lane)	6.0m (19.68ft)	1.5m (4.92ft)
Rear lot line (abutting a lane)	6.0m (19.68ft)	2.4m (7.87ft)
Interior side lot line (not abutting a lane)	6.0m (19.68ft)	1.5m (4.92ft)
Interior side lot line (abutting a lane)	6.0m (19.68ft)	2.4m (12.47ft)
Exterior side lot line	6.0m (19.68ft)	6.0m (19.68ft)

- 2) Notwithstanding the above, where the *interior lot line* abuts another *lot* zoned RM-3 the *principal building* shall be located no closer than 12.2m (40.0ft) from the *interior lot line* to ensure a minimum separation distance of 24.4m (80.0ft) between *principal buildings* for *principal buildings* that exceed 10.7m (35.1ft) in *building height*.

6.14.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-sections 6.14.5 and 6.14.6 above, the following also applies:

- 1) there shall be not more than one *ancillary building* per *fee-simple lot*.
- 2) *ancillary buildings and structures* shall not be located in any required *front yard* or *exterior side yard* area.
- 3) *ancillary buildings and structures* shall not be located closer than 3.0m (9.85ft) to a *principal building*.

6.14.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.14.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-section 4.15.2.

6.15 RM-4 Marine Drive Medium Density Multi-Unit Residential Zone

The intent of this zone is to accommodate multi-unit residential uses in the form of apartment complexes at medium densities not exceeding 50 units per 0.4 hectare (1.0 acre) along limited areas of Marine Drive.

6.15.1 Permitted Uses:

- 1) a *multi-unit residential use* in conjunction with not more than one (1) of the following accessory uses, per *dwelling unit*:
 - a) an *accessory home occupation* in accordance with the provisions of Section 5.3.
 - b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
- 2) a *multi-unit residential use* is permitted in one (1) or more *principal buildings*.

6.15.2 Lot Size:

- 1) Minimum *lot width*, *lot depth* and *lot area* in the RM-4 zone are as follows:

Lot width	13.1m (43.0ft)
Lot depth	18.79m (61.6ft)
Lot area	295.0m ² (3,175.35ft ²)

6.15.3 Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 60%.

6.15.4 Density:

- 1) Maximum number of *dwelling units* permitted shall be based on a *lot area* of not less than 80 m² (861.14 ft²) per *dwelling unit* for a maximum density of 50 units per 0.4 ha (1.0 acres), and a maximum *residential floor area* of 1.1 times the *lot area*.
- 2) *Maximum residential floor area* may be increased:
 - i) by not more than 37.0m² (398.26ft²) total where common recreation facilities are provided within a *principal building* for the exclusive use of the occupants;
 - ii) by not more than 5.6m² (60.28ft²) per *dwelling unit* where storage and laundry facilities are provided within the individual *dwelling units*.

6.15.5 Building Heights:

- 1) *Principal buildings* shall not exceed a *height* of 7.7m (25.26ft) and the height of the southerly elevation of the building shall be determined by an angle of containment as illustrated in sub-section 4.9.
- 2) *Structures* shall not exceed a *height* of 4.0m.

6.15.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *structures* in the RM-4 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Structures
Front lot line	3.0m (9.84ft)	Not permitted
Rear lot line (not abutting a lane)	3.0m (9.84ft)	1.5m (4.92ft)
Rear lot line (abutting a lane)	1.8m (5.91ft)	2.4m (7.87ft)
Interior side lot line	1.2m (3.94ft)	1.5m (4.92ft)
Exterior side lot line ... see 2) below	3.0m (9.84ft)	3.0m (9.84ft)

- 2) The setback requirement shall be 3.0m (9.84ft) from an *exterior side lot line* for a distance of 7.5m (24.61ft) from the *front lot line* and 1.5m (4.92ft) from that point to the *rear lot line*.

6.15.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-section 6.15.6 above, the following also applies:

- 1) *ancillary buildings* shall not be permitted.
- 2) *structures* shall not be located in any required *front yard* or *exterior side yard* area.
- 3) *structures* shall not be sited less than 3.0m from a *principal building* on the same *lot*.

6.15.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.15.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-section 4.15.2.

6.16 CR-1 Town Centre Area Commercial / Residential Zone

The intent of this zone is to accommodate commercial and multi-unit residential uses, and to facilitate redevelopment in accordance with the direction provided in the 2011 Town Centre Urban Design Plan.

6.16.1 Permitted Uses:

The following uses are permitted in one (1) or more principal buildings:

- 1) *retail service group 1 uses*;
- 2) *licensed establishments*, including *liquor primary, food primary, liquor store, agent store, u-brew, u-vin*, and *licensed manufacturer*;
- 3) *hotel*;
- 4) *civic use*;
- 5) *medical or dental clinic*;
- 6) *multi-unit residential use* in conjunction with not more than one of the following *accessory uses per dwelling unit*:
 - a) *accessory home occupation* in accordance with the provisions of Section 5.3.;
 - b) *accessory boarding use* in accordance with the provisions of Section 5.4.
- 7) a *one-unit residential use*, a *two-unit residential use* or a *three-unit residential use* accessory to a *retail service group 1 use*, and limited to the storey or storeys above the portion of a building used for *retail service group 1 uses*.
- 8) *adult entertainment use* in accordance with the following provisions:
 - a) the *adult entertainment use* has a valid business license;
 - b) the *adult entertainment use* shall not operate in conjunction with a liquor licence in the same establishment;
 - c) the *adult entertainment use* shall not be located within 500 metres of a school;
 - d) notwithstanding Section 6.16.2 Lot Size, the minimum lot width of a lot with an *adult entertainment use* shall not be less than 45 metres;
 - e) any lot accommodating an *adult entertainment use* must have a *lot line* common with North Bluff Road;
 - f) any establishment accommodating an *adult entertainment use* must be setback a minimum of 50 metres from Johnston Road, and 30 metres from any other public road; and
 - g) notwithstanding Section 4.14.1 Off-Street Parking Requirements, parking for *adult entertainment use* shall be provided 1 parking space per every 18.6 m² (200 ft²) of commercial floor area.

6.16.2 Lot Size:

- 1) Minimum *lot width, lot depth* and *lot area* in the CR-1 zone are as follows:

Lot width	18.0m (59.0ft)
Lot depth	30.48m (100.0ft)
Lot area	548.64m ² (5,905.5ft ²)

6.16.3 Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 65%.

6.16.4 Density:

Maximum *gross floor area* (GFA) of all uses shall be 1.75 times the *lot area*.

Notwithstanding, maximum *gross floor area* (GFA) for all uses may be increased to a maximum of 5.4 times the *lot area* where the proponents enter into amenity agreement with the City. Terms of the agreement shall be in accordance with the City of White Rock Community Amenity Contribution Policy for redevelopment, as follows:

- i) redevelopment shall be consistent with the design principles, land use and key ideas in the City of White Rock August 2011 Town Centre Urban Design Plan;
- ii) maximum density and location of building mass for each site shall be consistent with the recommendations of the City of White Rock August 2011 Town Centre Urban Design Plan; and
- iii) site specifics and design details will be confirmed through the development permit approval process.

6.16.5 Building Heights:

Principal buildings shall not exceed a *height* of 10.7m (35.1ft). Notwithstanding, maximum *heights* may be increased to a maximum of 80.7m (265.0ft) where the proponents enter into amenity agreement with the City. Terms of the agreement shall be in accordance with the City of White Rock Community Amenity Contribution Policy for redevelopment as follows:

- i) redevelopment shall be generally as outlined in the City of White Rock August 2011 Town Centre Urban Design Plan;
- ii) maximum building *height* and location of building mass for each site shall generally conform to the recommendations of the City of White Rock August 2011 Town Centre Urban Design Plan; and
- iii) site specifics and design details will be confirmed through the development permit approval process.

6.16.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *structures* in the CR-1 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Structures
Front lot line	1.5m (4.92ft)	Not permitted *
Exterior side lot line	3.0m (9.84ft)	3.0m (9.84ft)

- 2) Where the *lot line* abuts *another lot* zoned CR-1 or CD and permitting a *principal building* that exceeds a height of 10.7m (35.1ft), the portion of the *principal building* above 10.7m (35.1ft) shall be located a minimum of 12.2m (40.0ft) from the *lot line* to ensure a minimum separation distance of 24.4m (80.0ft) between buildings above 10.7m (35.1ft) height.

6.16.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsection 6.16.6 above, the following also applies:

- 1) *ancillary buildings* shall not be permitted.
- 2) *structures* shall not be sited less than 3.0m from a *principal building* on the same *lot*.

- 3) * notwithstanding sub-sections 6.16.6 and 6.16.7 (2), patios and awnings are permitted in the front and exterior side yard areas in accordance with White Rock License Agreement (Sidewalk Café / Business License) Bylaw requirements.
- 6.16.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.
- 6.16.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

6.17 CR-2 Lower Town Centre Area Commercial / Residential Zone

The intent of this zone is to accommodate commercial and multi-unit residential uses in the Lower Town Centre area as identified in Schedule D – Development Permit Areas of the Official Community Plan.

6.17.1 Permitted Uses:

The following uses are permitted in one (1) or more principal buildings:

- 1) *retail service group 1 uses;*
- 2) *retail service group 2 uses;*
- 3) *licensed establishments, including liquor primary, food primary, agent store, u-brew and u-vin;*
- 4) *civic use;*
- 5) *medical or dental clinic;*
- 6) *multi-unit residential use* in conjunction with not more than one of the following *accessory uses per dwelling unit:*
 - g) *accessory home occupation* in accordance with the provisions of Section 5.3.;
 - h) *accessory boarding use* in accordance with the provisions of Section 5.4.
- 7) *a one-unit residential use, a two-unit residential use, or a three-unit residential use* accessory to a *retail service group 1 use* or a *retail service group 2 use*, and limited to the storey or storeys above the portion of a building used for *retail service group 1* or *retail service group 2 uses*.

6.17.2 Lot Size:

- 1) Minimum *lot width, lot depth* and *lot area* in the CR-2 zone are as follows:

Lot width	15.24m (50.0ft)
Lot depth	35.0m (115.0ft)
Lot area	534.2m ² (5,750.5ft ²)

6.17.3 Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 65%.

6.17.4 Density:

- 1) Maximum *gross floor area* (GFA) of all uses shall be 1.75 times the *lot area*.

6.17.5 Building Heights:

- 1) *Principal buildings* shall not exceed a *height* of 10.7m (35.1ft).
- 2) *Structures* shall not exceed a *height* of 4.0m.

6.17.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *structures* in the CR-2 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Structures
Front lot line	1.5m (4.92ft)	Not permitted *
Exterior side lot line	1.5m (4.92ft)	3.0m (9.84ft)

Interior side lot line or rear lot line adjacent to a lot zoned only for residential use	1.5m (4.92ft)	3.0m (9.84ft)
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6.17.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-sections 6.17.5 and 6.17.6 above, the following also applies:

- 1) *ancillary buildings* shall not be permitted.
- 2) *structures* shall not be sited less than 3.0m from a *principal building* on the same *lot*.
- 3) * notwithstanding sub-sections 6.17.6 and 6.17.7 (2), patios and awnings are permitted in the front and exterior side yard areas in accordance with White Rock License Agreement (Sidewalk Café/Business License) Bylaw requirements.

6.17.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.17.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-section 4.15.2 and 4.15.3.

6.18 CR-3 West Beach Business Area Commercial / Residential Zone

The intent of this zone is to accommodate commercial and multi-unit residential uses in the West Beach Business area as identified in Schedule D – Development Permit Areas of the Official Community Plan.

6.18.1 Permitted Uses:

The following uses are permitted in one (1) or more principal buildings:

- 1) *retail service group 1 uses*;
- 2) *licensed establishments*, including *liquor primary, food primary, agent store, u-brew and u-vin*;
- 3) *hotel*;
- 4) *medical or dental clinic*;
- 5) *multi-unit residential use* in conjunction with not more than one of the following *accessory uses per dwelling unit*:
 - a) *accessory home occupation* in accordance with the provisions of Section 5.3.;
 - b) *accessory boarding use* in accordance with the provisions of Section 5.4.
- 6) a *one-unit residential use*, a *two-unit residential use*, or a *three-unit residential use* accessory to a *retail service group 1 use*, and limited to the story or stories above the portion of a building used for *retail service group 1 uses*.

6.18.2 Lot Size:

- 1) Minimum *lot width, lot depth* and *lot area* in the CR-3 zone are as follows:

Lot width	15.24m (50.0ft)
Lot depth	35.0m (115.0ft)
Lot area	534.2m ² (5,750.5ft ²)

6.18.3 Lot Coverage:

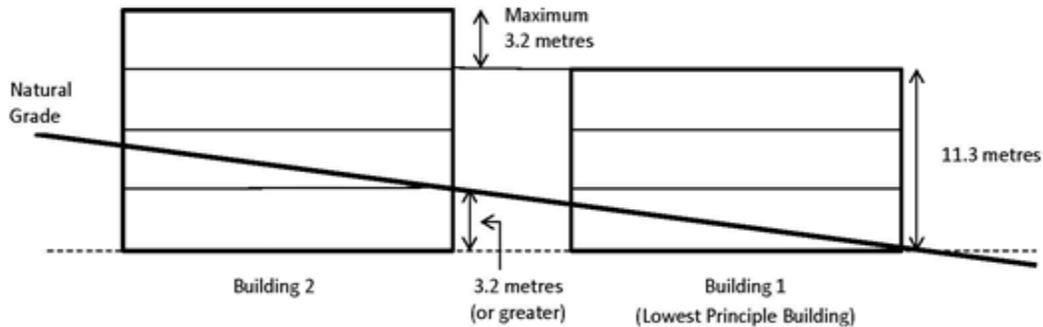
- 1) Maximum *lot coverage* per fee-simple lot is 75%.

6.18.4 Density:

- 1) Maximum *gross floor area (GFA)* of all uses shall be 1.75 times the *lot area*.

6.18.5 Building Heights:

- 1) *Principal buildings* shall not exceed a *height* of 11.3 metres (37.1 feet) measured as the vertical distance from the roof peak to the lesser of either the *natural grade* adjacent to the mid-point of the building on the lowest side of the property or not more than 0.5m (1.64ft) above the average height at the top of curb for the lowest street frontage adjacent to the property. Notwithstanding, where more than one *principal building* is proposed and where the *natural grade* for those other *principal buildings* is greater than 3.2 metres (10.5 feet) higher than the 1st or lowest *principal building*, the maximum *height* of the other *principal buildings* shall be no more than 3.2 metres (10.5 feet) greater in geodetic elevation than the maximum *height* of the 1st or lowest *principal building*, as shown in the illustration below.



2) Structures shall not exceed a height of 4.0m.

6.18.6 Minimum Setback Requirements:

1) *Principal buildings* and *structures* in the CR-3 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Structures
Front lot line	1.5m (4.92ft)	Not permitted *
Exterior side lot line	1.5m (4.92ft)	3.0m (9.84ft)
Interior side lot line or rear lot line adjacent to a lot zoned only for residential use	1.5m (4.92ft)	3.0m (9.84ft)

2) Notwithstanding sub-section 1) above, *principal buildings* shall be set back no more than 2.5m (8.2ft) from Marine Drive, where applicable.

6.18.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-section 6.18.5 and 6.18.6 above, the following also applies:

- 1) *ancillary buildings* shall not be permitted.
- 2) *structures* shall not be sited less than 3.0m from a *principal building* on the same lot.
- 3) * notwithstanding sub-sections 6.18.6 and 6.18.7 (2), patios and awnings are permitted in the front and exterior side yard areas in accordance with White Rock License Agreement (Sidewalk Café / Business License) Bylaw requirements.

6.18.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.18.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

6.19 CR-4 East Beach Business Area Commercial / Residential Zone

The intent of this zone is to accommodate commercial and multi-unit residential uses in the West Beach Business area as identified in Schedule D – Development Permit Areas of the Official Community Plan.

6.19.1 Permitted Uses:

The following uses are permitted in one (1) or more principal buildings:

- 1) *retail service group 1 uses*;
- 2) *licensed establishments*, including *liquor primary, food primary, agent store, u-brew* and *u-vin*;
- 3) *hotel*;
- 4) *medical or dental clinic*;
- 5) a *three-unit residential use* or a *multi-unit residential use* in conjunction with not more than one of the following *accessory uses per dwelling unit*:
 - a) *accessory home occupation* in accordance with the provisions of Section 5.3;
 - b) *accessory boarding use* in accordance with the provisions of Section 5.4.
- 6) a *one-unit residential use* or a *two-unit residential use* accessory to a *retail service group 1 use*, and limited to the story or stories above the portion of a building used for *retail service group 1 uses*.

6.19.2 Lot Size:

- 1) Minimum *lot width, lot depth* and *lot area* in the CR-4 zone are as follows:

Lot width	9.1m (30.0ft)
Lot depth	18.2m (60.0ft)
Lot area	167.2m ² (1,800.0ft ²)

6.19.3 Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 85%.

6.19.4 Density:

- 1) Maximum *gross floor area (GFA)* of all uses shall be 1.75 times the *lot area*.

6.19.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 9.2m (30.18ft) measured as the vertical distance between the highest point of the *structure* and the *average natural grade*, however, in no case shall the *building* be higher than 3.1 metres (10.17 feet) above the *average natural grade* of the *rear lot line* of the site. The front wall of a *building* shall not be higher than 4.6 metres (15.09 feet) above the average elevation of the *front lot line* of the site. The height of the southerly elevation of the building shall be determined by an angle of containment of 45 degrees to the vertical commencing 4.6 metres (15.09 feet) above the natural grade at the base of the wall as illustrated in sub-section 4.9.
- 2) *structures* shall not exceed a *height* of 4.0m.

6.19.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *structures* in the CR-4 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Structures
Front lot line	1.5m (4.92ft)	Not permitted *
Exterior side lot line	1.5m (4.92ft)	1.5m (4.92ft)
Rear lot line	1.83m (6.0ft)	1.83m (6.0ft)

6.19.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-sections 6.19.5 and 6.19.6 above, the following also applies:

- 1) *ancillary buildings* shall not be permitted.
- 2) *structures* shall not be sited less than 3.0m from a *principal building* on the same *lot*.
- 3) * notwithstanding sub-sections 6.19.6 and 6.19.7 (2), patios and awnings are permitted in the front and exterior side yard areas in accordance with White Rock License Agreement (Sidewalk Café / Business License) Bylaw requirements.

6.19.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.19.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

6.20 CR-5 Neighborhood Commercial Zone

The intent of this zone is to accommodate neighborhood oriented convenience and limited commercial service type uses.

6.20.1 Permitted Uses:

The following uses are permitted in **not** more than one (1) *principal building*:

- 1) a retail service use limited to art gallery, artisan shop, bakery shop, barber, book shop, business school, café or coffee house, dance studio, delicatessen, drug store, dry cleaner, grocery store, hairdresser, health club, launderette, *medical or dental clinic*, *neighborhood convenience store*, professional and semi-professional office, stationary store, tailor;
- 2) a *one-unit residential use* or a *two-unit residential use* accessory to a *retail service use*, and limited to the story or stories above the portion of a building used for *retail service use*.

6.20.2 Lot Size:

- 1) Minimum and maximum *lot width*, *lot depth* and *lot area* in the CR-5 zone are as follows:

	Minimum	Maximum
Lot width	15.0m (49.21ft)	n/a
Lot depth	30.5m (100.07ft)	n/a
Lot area	464.0m ² (4,994.45ft ²)	1,120.0m ² (12,055.58ft ²)

6.20.3 Lot Coverage:

- 1) maximum *lot coverage* per fee-simple lot is 45%.

6.20.4 Density:

- 1) maximum *gross floor area* of all uses shall be 0.75 times the *lot area*.
- 2) maximum *gross floor area* for *accessory buildings* shall not exceed 6.0m² (64.58ft²)

6.20.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- 2) *ancillary buildings* and *structures* shall not exceed a *height* of 4.0m² (13.12ft²).

6.20.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary buildings* and *structures* in the CR-5 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	7.5m (24.61ft)	Not permitted
Rear lot line	7.5m (24.61ft)	1.5m (4.92ft)
Interior side lot line	1.5m (4.92ft)	1.5m (4.92ft)
Exterior side lot line	3.8m (12.47ft)	7.5m (24.61ft)

6.20.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-sections 6.20.4, 6.20.5 and 6.20.6 above, the following also applies:

- 1) *ancillary buildings* and *structures* shall not be sited less than 3.0m from a *principal building* on the same *lot*.

6.20.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.20.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

6.21 CR-6 Gas Bar/Convenience Commercial 1 Zone

The intent of this zone is to accommodate automobile fuel sales, a neighborhood oriented convenience store and ancillary car wash.

6.21.1 Permitted Uses:

The following uses are permitted in more than one (1) *principal building*:

- 1) a *gas bar / convenience store* and *accessory car wash*.

6.21.2 Lot Size:

- 1) Minimum and maximum *lot width*, *lot depth* and *lot area* in the CR-6 zone are as follows:

Lot width	15.0m (49.21ft)
Lot depth	30.5m (100.07ft)
Lot area	1,114.0m ² (11,990.0ft ²)

6.21.3 Lot Coverage:

- 1) maximum *lot coverage* per fee-simple lot is 45%.

6.21.4 Density:

- 1) maximum *gross floor area* of all uses shall be 0.45 times the *lot area*.

6.21.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m.
- 2) *ancillary buildings* and *structures* shall not exceed a *height* of 4.0m (13.12ft).
- 3) the canopy over a gas bar pump island and a separate *building* containing an *accessory car wash* are deemed to be *principal buildings* for the purpose of determining *height*.

6.21.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary buildings* and *structures* in the CR-6 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Buildings	Ancillary Buildings and Structures
Front lot line	6.1m (20.0ft)	6.1m (20.0ft)
Rear lot line	6.1m (20.0ft)	6.1m (20.0ft)
Interior side lot line	3.0m (9.84ft)	3.0m (9.84ft)
Exterior side lot line	6.1m (20.0ft)	6.1m (20.0ft)

- 2) Notwithstanding the above, the canopy over a gas bar pump island may be located not less than 4.5m (14.76ft) from any lot line.

6.21.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.21.5 and 6.21.6 above, the following also applies:

- 1) *ancillary buildings* and *structures* shall be located a minimum of 3.0m (9.85ft) from a *principal building*.

6.21.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.21.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

6.22 P-1 Civic / Institutional Use Zone

The intent of this zone is to accommodate public uses and the railway.

6.22.1 Permitted Uses:

The following uses are permitted in more than one (1) *principal building*:

- 1) *civic uses*;
- 2) *public utility uses*;
- 3) *child care centre*;
- 4) *community service use*;
- 5) *parks and natural areas*;
- 6) *railway use*;
- 7) *parking facilities*;
- 8) *Notwithstanding 1) to 7) above, professional and semi-professional offices are permitted on property located at 1174 Fir Street (Lot 1, Block 30, Plan 11883).*

6.22.2 Lot Size:

- 1) Minimum and maximum *lot width*, *lot depth* and *lot area* in the P-1 zone are as follows:

Lot width	18.0m (59.06ft)
Lot depth	30.5m (100.07ft)
Lot area	742.0m ² (7,986.82ft ²)

6.22.3 Lot Coverage:

- 1) maximum *lot coverage* per fee-simple lot is 50%.

6.22.4 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 10.7m.
- 2) *ancillary buildings* and *structures* shall not exceed a *height* of 6.0m (19.69ft).

6.22.5 Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary buildings* and *structures* in the P-1 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Buildings	Ancillary Buildings and Structures
Front lot line	6.0m (19.69ft)	6.0m (19.69ft)
Rear lot line	6.0m (19.69ft)	6.0m (19.69ft)
Interior side lot line	6.0m (19.69ft)	6.0m (19.69ft)
Exterior side lot line	6.0m (19.69ft)	6.0m (19.69ft)

6.22.6 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.22.4 and 6.22.5 above, the following also applies:

- 1) *ancillary buildings* and *structures* shall be located a minimum of 3.0m (9.85ft) from a *principal building*.

6.22.7 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.22.8 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

6.23 P-2 Church / Assembly Use Zone

The intent of this zone is to accommodate the use of land for religious assembly and place of worship, and for community service.

6.23.1 Permitted Uses:

The following uses are permitted in more than one (1) *principal building*:

- 1) *assembly* use;
- 2) *community service* use;
- 3) a *one-unit residential* use accessory to an *assembly* or *community service* use.

6.23.2 Lot Size:

- 1) Minimum and maximum *lot width*, *lot depth* and *lot area* in the P-2 zone are as follows:

Lot width	18.0m (59.06ft)
Lot depth	30.5m (100.07ft)
Lot area	742.0m ² (7,986.82ft ²)

6.23.3 Lot Coverage:

- 1) maximum *lot coverage* per fee-simple lot is 45%.

6.23.4 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 10.7m.
- 2) *ancillary buildings* and *structures* shall not exceed a *height* of 4.0m (13.12ft).

6.23.5 Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary buildings* and *structures* in the P-2 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Buildings	Ancillary Buildings and Structures
Front lot line	6.0m (19.69ft)	6.0m (19.69ft)
Rear lot line	6.0m (19.69ft)	6.0m (19.69ft)
Interior side lot line	6.0m (19.69ft)	6.0m (19.69ft)
Exterior side lot line	6.0m (19.69ft)	6.0m (19.69ft)

6.23.6 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-sections 6.23.4 and 6.23.5 above, the following also applies:

- 1) *ancillary buildings* and *structures* shall be located a minimum of 3.0m (9.85ft) from a *principal building*.

6.23.7 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.23.8 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-section 4.15.2 and 4.15.3.

6.24 P-3 Community Care Facility (Low Density) Zone

The intent of this zone is to accommodate the use of land for licensed care facilities, including assisted living residences, hospitality services, community living and long-term care equivalent to low density multi-unit residential.

6.24.1 Permitted Uses:

The following uses are permitted in more than one (1) *principal building*:

- 1) *assisted living residence*;
- 2) *care facility*;
- 3) *community service use*;
- 4) *health service facility*;
- 5) *hospitality services*.

6.24.2 Lot Size:

- 1) Minimum and maximum *lot width*, *lot depth* and *lot area* in the P-3 zone are as follows:

Lot width	18.0m (59.06ft)
Lot depth	30.5m (100.07ft)
Lot area	742.0m ² (7,986.82ft ²)

6.24.3 Lot Coverage:

- 1) maximum *lot coverage* per fee-simple lot is 45%.

6.24.4 Density:

- 1) maximum *gross floor area* of all uses shall be 0.6 times the *lot area*, except that the *gross floor area* of all uses may be increased to 0.8 times the *lot area* where a housing agreement for affordable and/or special needs housing has been entered into and registered on title pursuant to Section 905 of the *Local Government Act*.

6.24.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7m.
- 2) *structures* shall not exceed a *height* of 4.0m.

6.24.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *structures* in the P-3 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Buildings	Structures
Front lot line	6.0m (19.69ft)	6.0m (19.69ft)
Rear lot line	6.0m (19.69ft)	6.0m (19.69ft)
Interior side lot line	6.0m (19.69ft)	6.0m (19.69ft)
Exterior side lot line	6.0m (19.69ft)	6.0m (19.69ft)

6.24.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-sections 6.24.5 and 6.24.6 above, the following also applies:

- 1) *ancillary buildings* shall not be permitted;
- 2) *structures* shall not be sited less than 3.0m from a *principal building* on the same *lot*.

6.24.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.24.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

6.25 P-4 Community Care Facility (Medium Density) Zone

The intent of this zone is to accommodate the use of land for licensed care facilities, including assisted living residences, hospitality services, community living and long-term care equivalent to medium density multi-unit residential.

6.25.1 Permitted Uses:

The following uses are permitted in more than one (1) *principal building*:

- 1) *assisted living residence*;
- 2) *care facility*;
- 3) *community service use*;
- 4) *health service facility*;
- 5) *hospitality services*.

6.25.2 Lot Size:

- 1) Minimum and maximum *lot width*, *lot depth* and *lot area* in the P-4 zone are as follows:

Lot width	18.0m (59.06ft)
Lot depth	30.5m (100.07ft)
Lot area	742.0m ² (7,986.82ft ²)

6.25.3 Lot Coverage:

- 1) maximum *lot coverage* per fee-simple lot is 45%.

6.25.4 Density:

- 1) maximum *gross floor area* of all uses shall be 1.1 times the *lot area*.

6.25.5 Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 10.7m.
- 2) *structures* shall not exceed a *height* of 4.0m.

6.25.6 Minimum Setback Requirements:

- 1) *Principal buildings* and *structures* in the P-4 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Buildings	Structures
Front lot line	6.0m (19.69ft)	6.0m (19.69ft)
Rear lot line	6.0m (19.69ft)	6.0m (19.69ft)
Interior side lot line	6.0m (19.69ft)	6.0m (19.69ft)
Exterior side lot line	6.0m (19.69ft)	6.0m (19.69ft)

6.25.7 Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 6.25.5 and 6.25.6 above, the following also applies:

- 1) *ancillary buildings* shall not be permitted.
- 2) *structures* shall not be sited less than 3.0m from a *principal building* on the same *lot*.

6.25.8 Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

6.25.9 Accessory off-street loading spaces shall be provided in accordance with the provisions of sub-sections 4.15.2 and 4.15.3.

City of White Rock Zoning Bylaw No. 2000

Schedule “B” (Comprehensive Development Zones)

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7.1 CD-1 COMPREHENSIVE DEVELOPMENT ZONE (Peace Arch Hospital)

INTENT

1. Permitted Uses

The following uses and no others shall be permitted in the CD-1 comprehensive development zone (Peace Arch District Hospital):

- (a) a hospital and related facilities provided or funded by a federal, provincial, regional, local government, or a non-profit society or organization;
- (b) a health care facility provided by a not-for-profit society or organization;
- (c) an *accessory off-street parking* use;
- (d) an *accessory off-street loading* use;
- (e) public and private open space and recreation areas.

2. The uses which are permitted, and no others, by parcel are:

Parcel A: Hospital facilities open space and parking *structures*;

Parcel B: Hospital facilities;

Parcel C: Hospital facilities, parking *structures*, loading and service facilities;

Parcel D: Parking *structure*;

Parcel E: Extended care hospital facilities;

Parcel F: Extended care hospital facilities;

Parcel G: Open space;

Parcels H,J,L: Parking and access roads;

Parcel K: Parking, open space, and hospital facilities;

These uses shown upon diagram 1 and form part of this Bylaw.

Temporary surface parking may be used upon any portion of the site until its ultimate use is realized through an approved development and *building* permit. This temporary parking *lot* will be drained and dust free.

3. The time of the application for the first development permit application upon the site this will also be considered to be an application to construct improvements to the emergency access point to the hospital and associated parking as shown upon diagrams 4 and 6. Detailed plans for these improvements to Parcels A and B will only be required for the parking and emergency access and will form part of the first development permit issued.

The remainder of Parcels A and B will be approved by a separate development permit when an application is submitted.

The uses shown on diagrams 4 and 6 form part of this Bylaw.

4. DESIGN AND HEIGHT CONTROL

The *height*, setback and angles of containment of *structures* shall be in conformity with Diagrams 2, 5, 7 and 8. These *heights* are considered to be maximum, and may be reduced at the time of a development permit application without having the comprehensive development zone amended. The maximum frontage of any one *structure* upon any parcel fronting unto Russell Avenue shall not exceed 50% at the setback line.

5. HANDICAP ACCESS

Each and every parcel of land upon the site shall be totally handicapped accessible internal to the *building* and *structures*, access to the *buildings* and *structures*, and, for all external and outdoor open spaces in conformity with the regulations of the British Columbia Building Code.

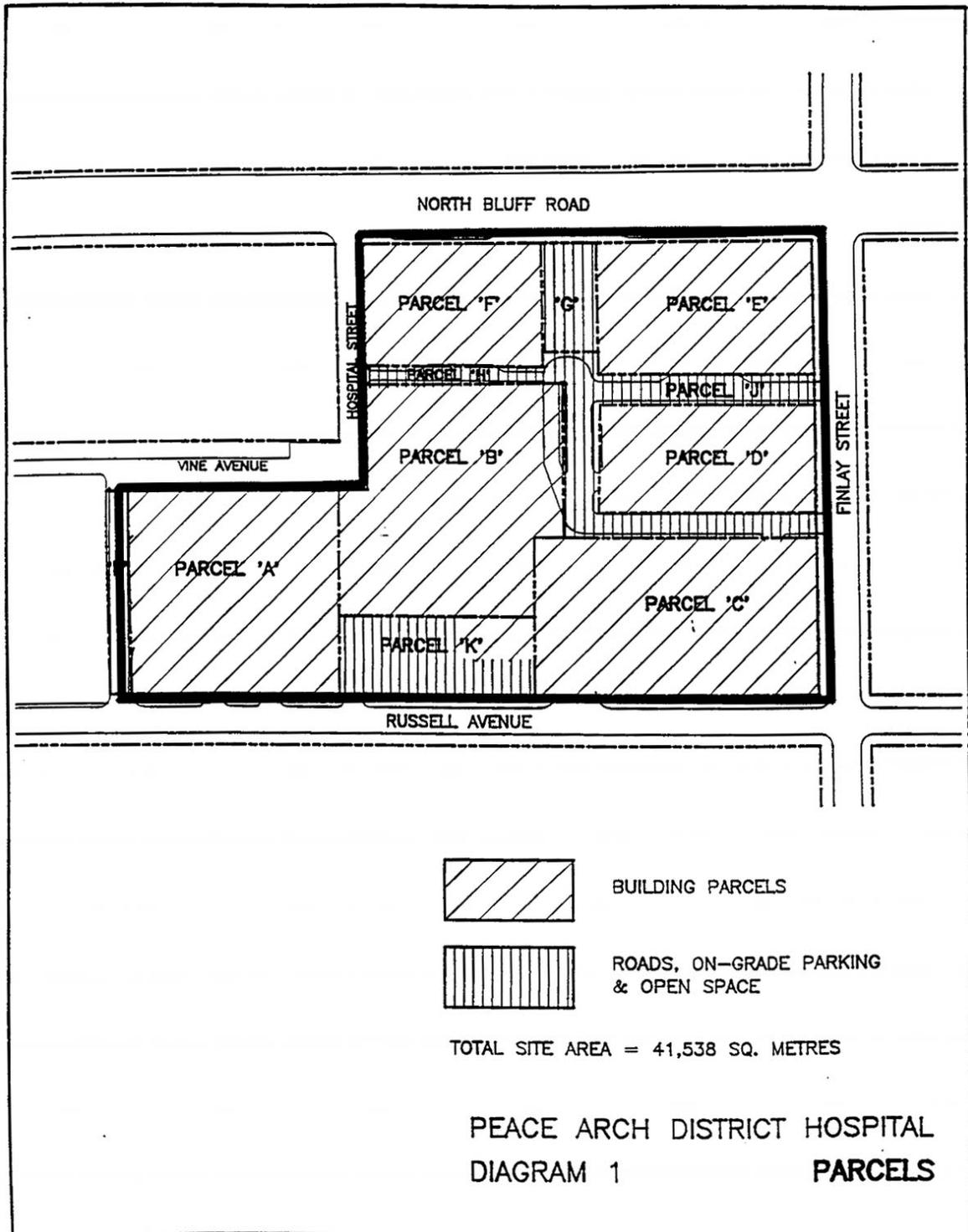
6. OPEN SPACES

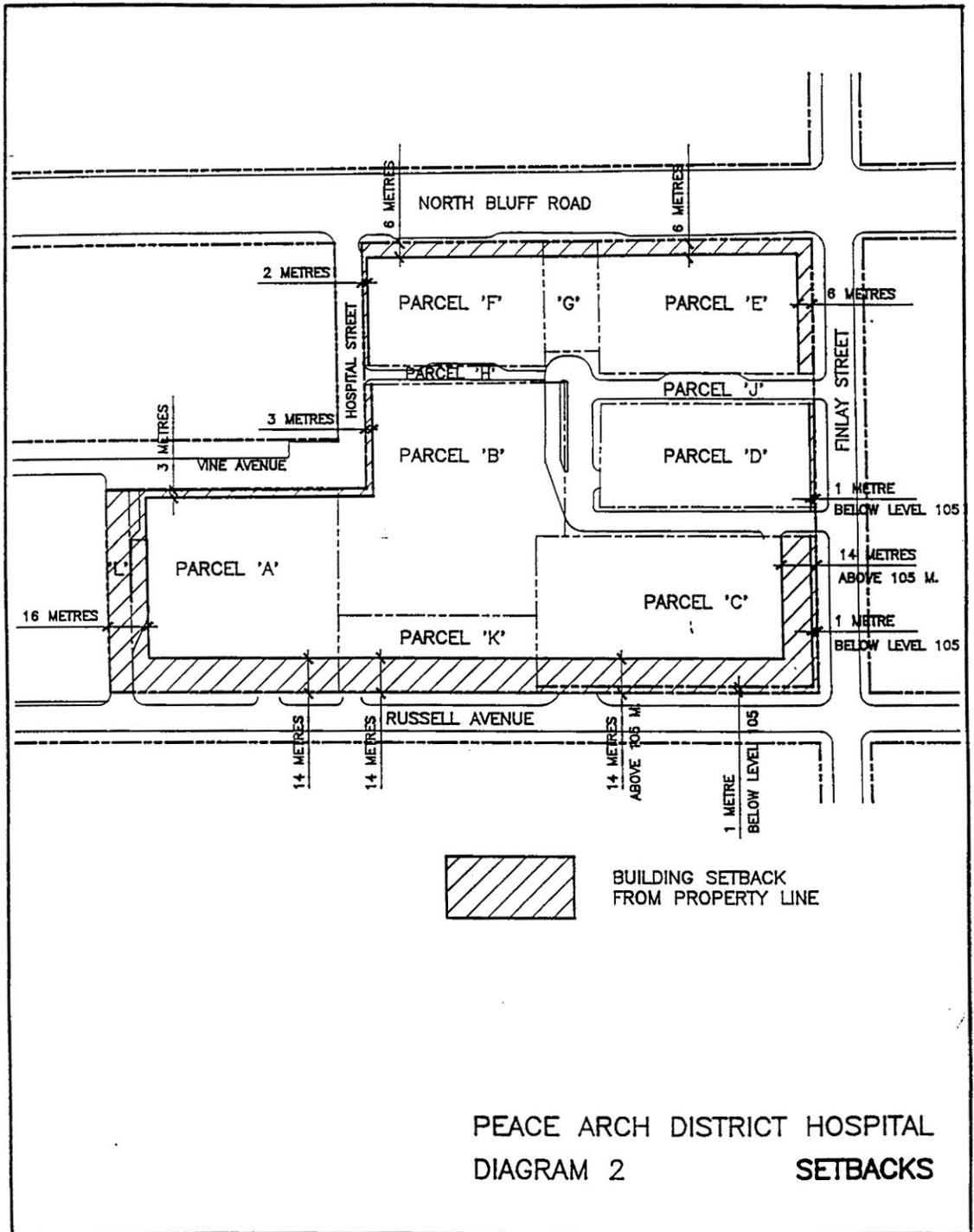
Open spaces shall be provided in conformity with diagrams 3 and 4, and form part of this Bylaw. The development of these designated open spaces will occur concurrently with the development of the sites which they are a part. Parcel G, open space, will occur concurrently with the development of Parcel E. At the time of a development permit application being received, financial assurance for completion will be provided by the applicant.

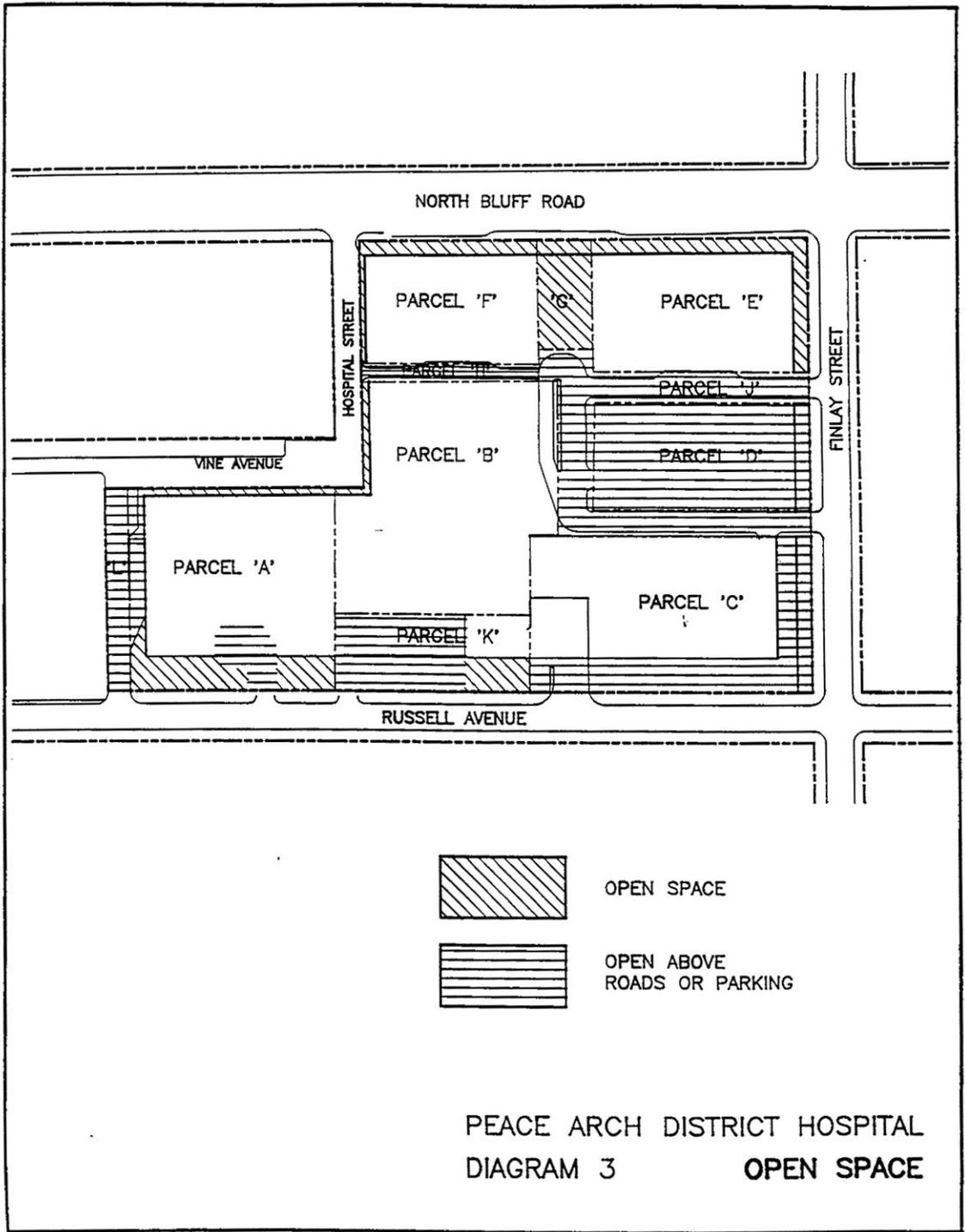
7. PARKING AND TRAFFIC

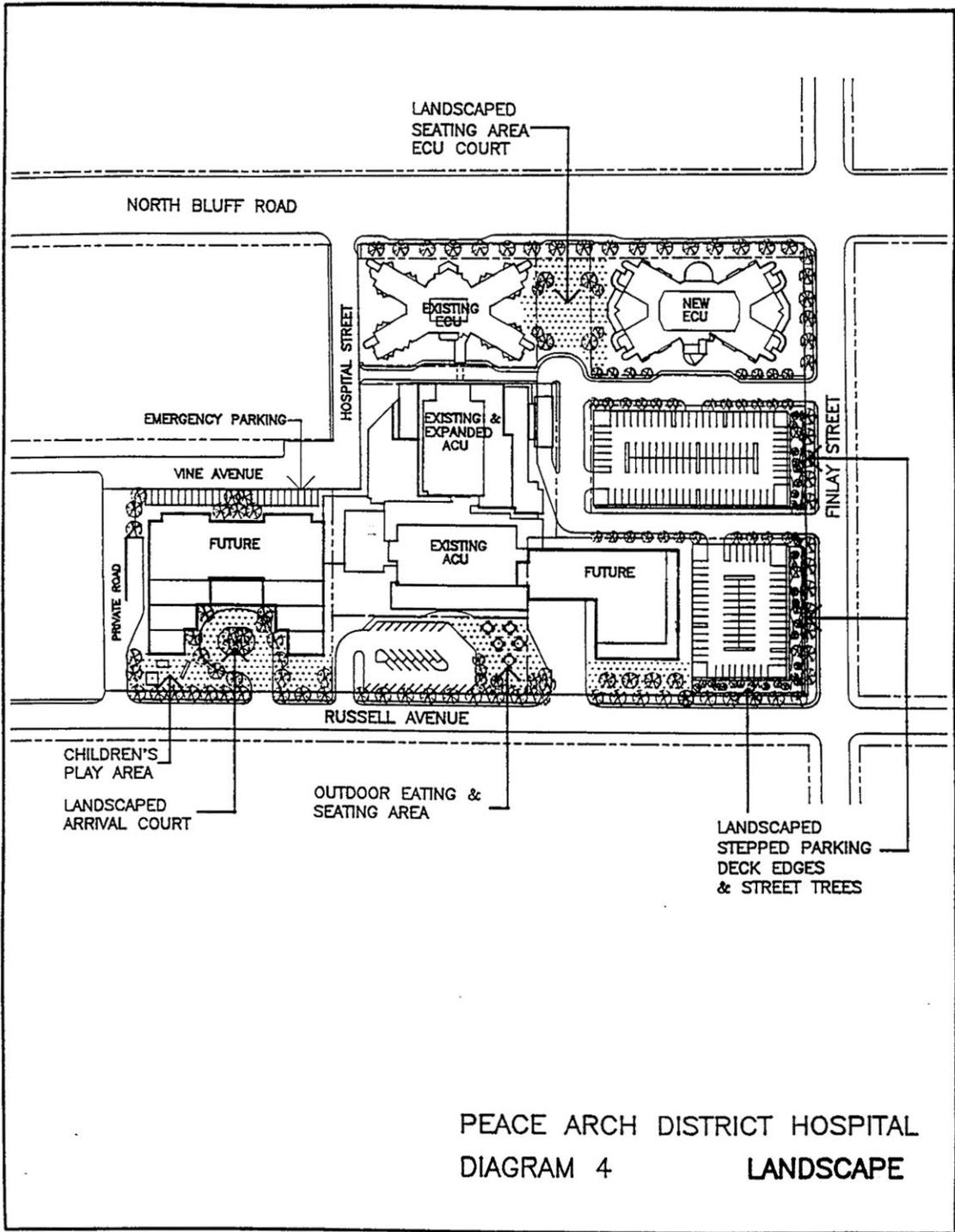
Parking access and internal circulation shall be provided as shown upon diagrams 6 and 7. All parking *structures* shall be lit and finished with a light reflective surface for security purposes. At each application for a development permit it will be verified that turning movements are adequate to the standard of the City of White Rock Fire Department.

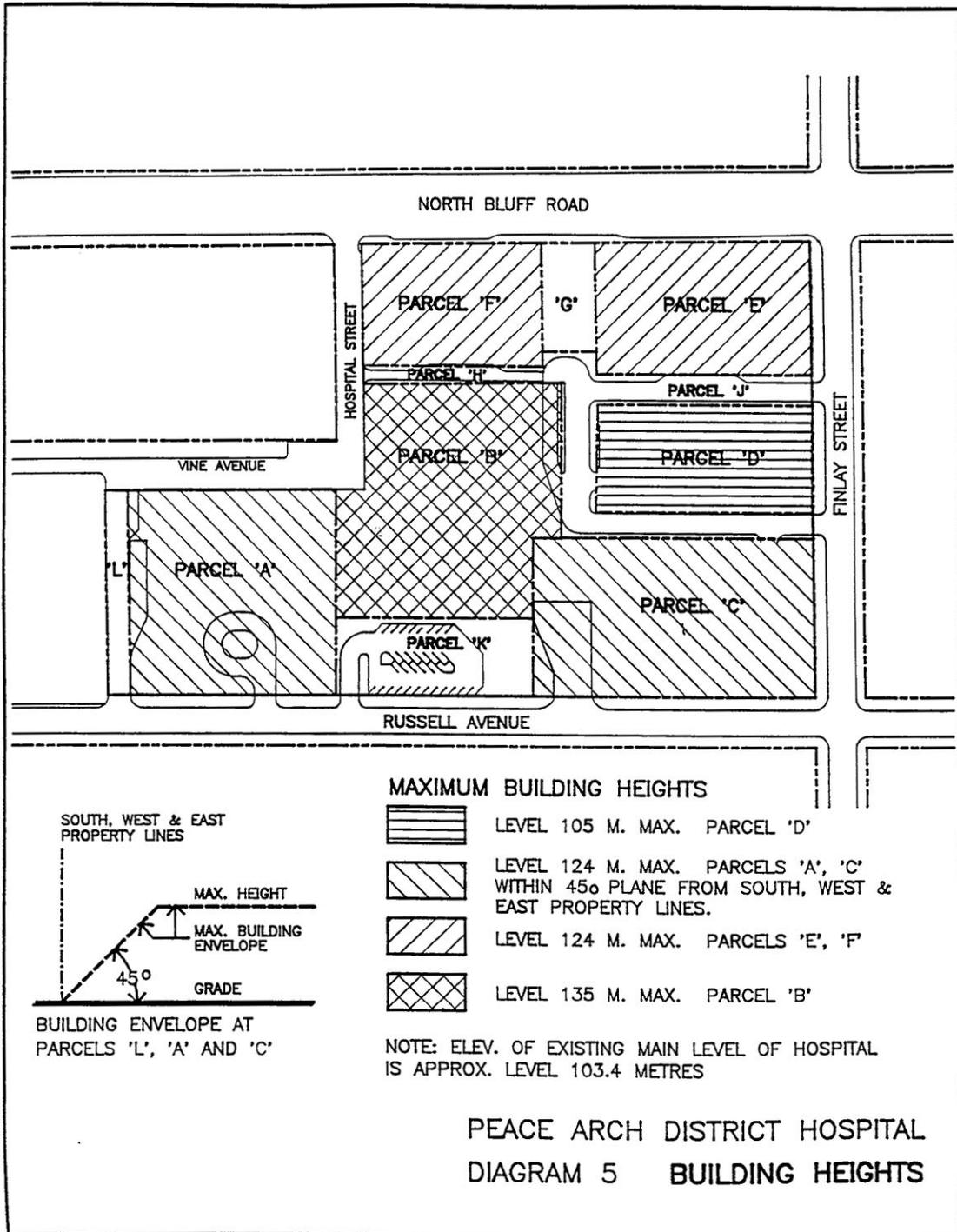
The Plans

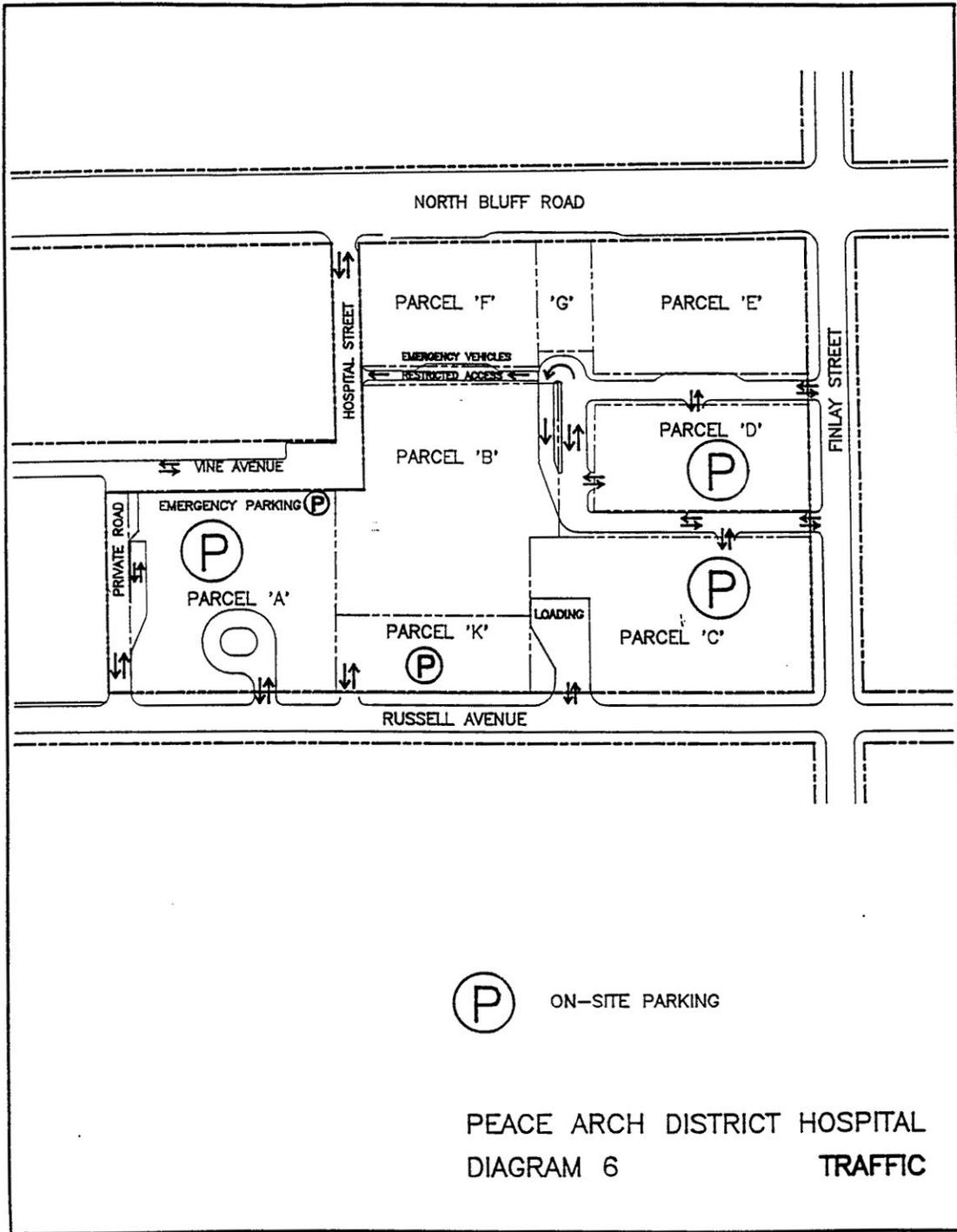


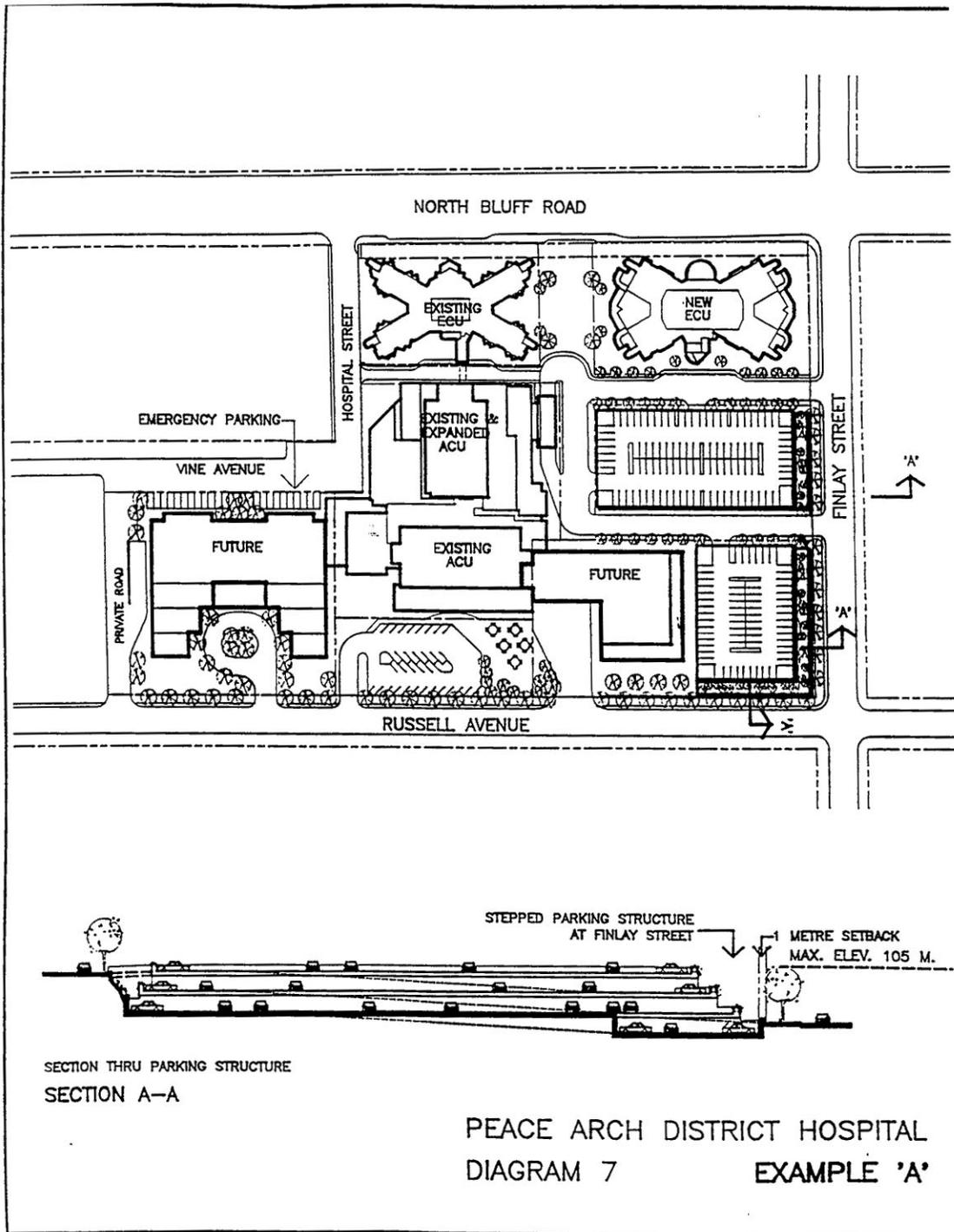


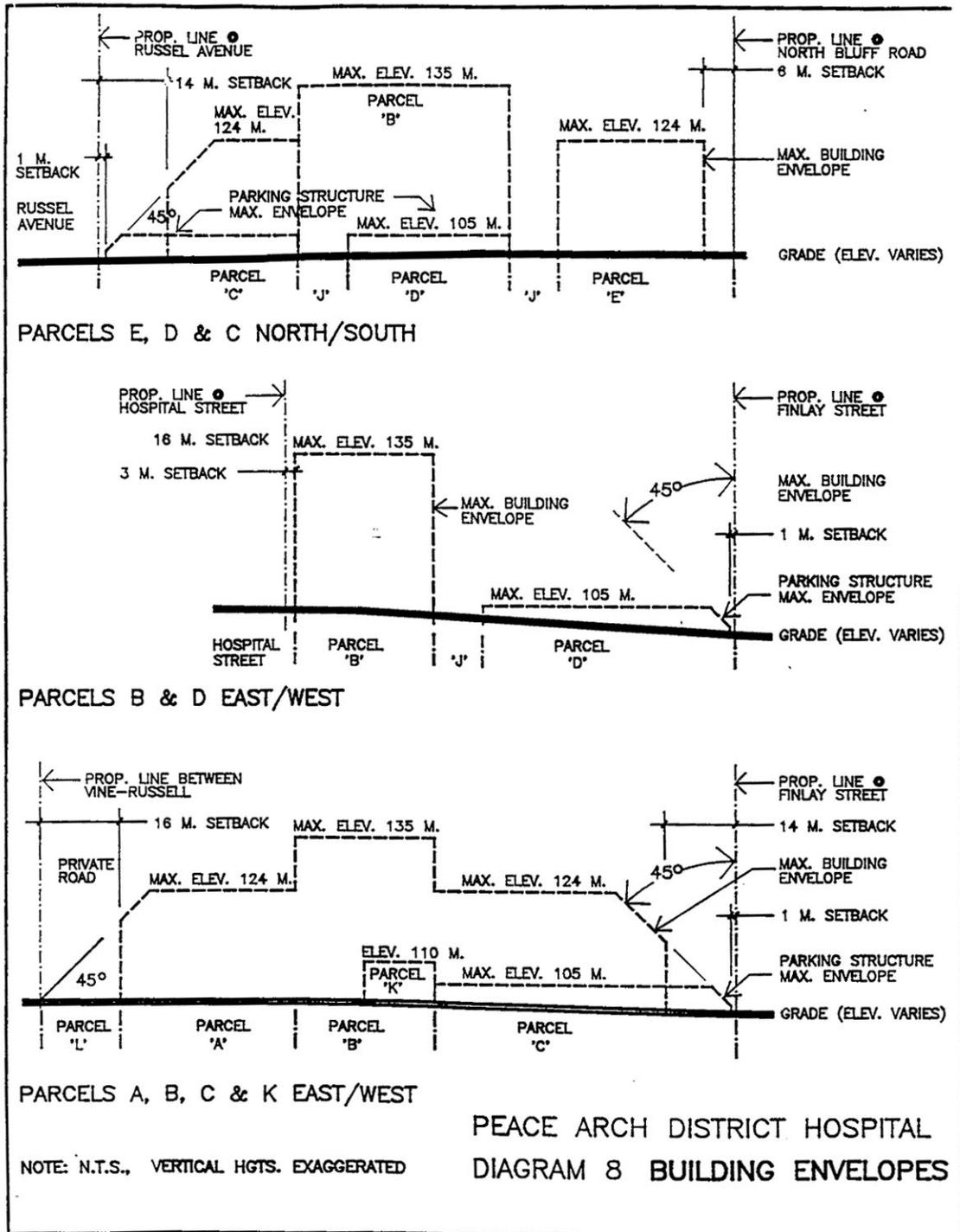












7.2 CD-2 COMPREHENSIVE DEVELOPMENT ZONE (Vidal & Beachview)

INTENT

The intent of this zone is to accommodate the development of a multiple-family housing complex on a site of approximately 3200 square metres (34,445 square feet).

1. Permitted Uses
The following uses and no others shall be permitted in the CD-2 comprehensive development zone.
 - (a) a *two-unit residential use*
 - (b) a *medium density apartment use*
 - (c) an *accessory off-street parking use*
 - (d) an *off-street parking use*
2. Location of Permitted Uses
The locations of permitted uses are shown upon:
 - (a) Drawings A-2 and A-3 dated February 17, 1995 as prepared by H. R. Hatch Architect Ltd., Suite 601, 1587 West 8th Avenue, Vancouver, B. C., on file with the City of White Rock.
3. Site Development, Architecture and Design Criteria
Architect and design requirements are shown upon drawings A-1, A-2, A-3, A-6, A-7, A-8, A-10, A-11, A-13 and A-14 dated February 17, 1995 prepared by H. R. Hatch Architect Ltd., Suite 601, 1587 West 8th Avenue, Vancouver, B. C., and on file with the City of White Rock.
4. Landscaping
Landscaping requirements are shown upon drawings L-1 and L-2 dated November 21, 1994 as prepared by H. R. Hatch Architect Ltd., Suite 601, 1587 West 8th Avenue, Vancouver, B. C., on file with the City of White Rock.
5. Heights
 - (a) the *townhouse structures* shall not exceed a *height* of 30' from *average natural grade* or 51.0' at datum.
 - (b) the *apartment building* located at the southern portion of the site shall not exceed a *height* of 35' from *average natural grade* or 51.25' at datum.
6. Amendments
Minor amendments requiring changes to the exterior or interior of the proposed *structures* as shown on plans attached to and forming part of this Bylaw must be approved by the City, such approval to be authorization in writing by the City Administrator, the City Planner or the Director of Permits & Licenses.

7.3 CD-3 COMPREHENSIVE DEVELOPMENT ZONE (EPCOR – Oxford & Buena Vista)

INTENT

The intent of this zone is to accommodate the development of a water works utility on a site of approximately 2010 square metres (21,636 square feet).

1. Permitted Uses

The following uses and no others shall be permitted in the CD-3 comprehensive development zone (White Rock Utilities).

- (a) a water utility
- (b) an *accessory off-street parking use*
- (c) an *accessory off-street loading use*
- (d) an accessory storage use

2. Design and Height Control

The *height*, setback and landscape shall be in conformity with Diagrams A.1, A.3, A.4, L.1 and S. 1 all on file with the City of White Rock. These *heights* are considered to be maximum, and may be reduced at the time of a development permit application without having the comprehensive development zone amended.

The exterior finishing of the *building* will reflect the patterns and tone as set out in Diagrams A.3 and A.4. This will include siding, stucco, or similar materials. Colours shall be limited to pastels and light tones. No "new used bricks" or monochromatic paints will be accepted except for access points and directional signs.

3. Parking and Traffic

Parking access and internal circulation shall be provided as shown upon Diagram L.1.

7.4 CD-4 COMPREHENSIVE DEVELOPMENT ZONE (15154 – 58 Roper Avenue)

INTENT

The intent of this zone is to accommodate the development of a multiple-family housing complex including two live/work units on a site of approximately 807 square metres (8,685 square feet).

1. Permitted Uses

The following uses and no others shall be permitted in the CD-4 Comprehensive Development zone:

- (a) an *apartment use*
- (b) a *retail service group 1 use*, provided that such use is contained within a single strata unit which includes a *residential use*
- (c) an *accessory off-street parking use*

2. Location of Permitted Uses

The locations of permitted uses are shown upon Drawings A-01, A-02, A-03, A-04 as prepared by Linda Baker Architect, dated stamped received November 17, 1997 and on file with the City of White Rock.

3. Site Development, Architecture and Design Criteria

Architectural and design requirements are shown upon drawings A-01, A-02, A-03, A-04, A-05, A-06, A-07, A-08, A-09, A-10, date stamped received November 17, 1997 and on file with the City of White Rock.

4. Landscaping

Landscaping requirements are shown upon drawing L1 prepared by Wendy Grandin Ltd. Landscape Architects, date stamped received November 17, 1997 and on file with the City of White Rock.

5. Height Limit

No building or structure shall exceed a *height* of 10.7 metres (35.1 feet).

6. Amendments

Minor amendments requiring changes to the exterior of the proposed structures and landscaping as shown on drawings A-01, A-02, A-03, A-04, A-05, A-06, A-07, A-08, A-09, A-10 and L-1, all date stamped received November 17, 1997, must be approved by the City, such approval to be authorized in writing by the City Planner or the Director of Permits and Licenses.

7.5 CD-5 COMPREHENSIVE DEVELOPMENT ZONE (15161 Prospect Avenue)

INTENT

The intent of this zone is to accommodate the development of a multiple-family housing complex comprising six live/work units on a site of approximately 808 square metres (8,706 square feet).

1. Permitted Uses

The following uses and no others shall be permitted in the CD-5 Comprehensive Development zone:

- (a) an *apartment use*
- (b) a *retail service group 1 use*, provided that such use is contained within a single strata unit which includes a *residential use*
- (c) an *accessory off-street parking use*

2. Location of Permitted Uses

The locations of permitted uses are shown upon Drawing A-01, date stamped received March 20, 1998, and drawings A-02, A-03, A-04, date stamped received February 4, 1998 as prepared by Linda Baker Architect, and on file with the City of White Rock.

3. Site Development, Architecture and Design Criteria

Architectural and design requirements are shown upon drawings A-01, A-05, A-06, date stamped received March 20, 1998 and drawings A-02, A-03, A-04, and A-07, date stamped received February 4, 1998, as prepared by Linda Baker Architect, and on file with the City of White Rock.

4. Landscaping

Landscaping requirements are shown upon drawing L1 prepared by Wendy Grandin Ltd. Landscape Architects, date stamped received March 20, 1998 and on file with the City of White Rock.

5. Height Limit

No building or structure shall exceed a *height* of 10.7 metres (35.1 feet).

6. Amendments

Minor amendments requiring changes to the exterior of the proposed structures and landscaping as shown on drawings A-01, A-05, A-06, and L-1, date stamped received March 20, 1998, and drawings A-02, A-03, A-04, A-07, date stamped received February 4, 1998 must be approved by the City, such approval to be authorized in writing by the City Planner or the Director of Permits and Licenses.

7.6 CD-6 COMPREHENSIVE DEVELOPMENT ZONE (15111 – 25 Russell Avenue)

INTENT

The intent of this zone is to accommodate site specific mixed commercial / residential uses for an existing development within the Town Centre Area.

1. Permitted Uses:

The following uses are permitted in one (1) or more principal buildings:

- 1) *retail service group 1 uses*;
- 2) *hotel*;
- 3) *multi-unit residential use* in conjunction with not more than one of the following *accessory uses per dwelling unit*:
 - a) *accessory home occupation* in accordance with the provisions of Section 5.3.;
 - b) *accessory boarding use* in accordance with the provisions of Section 5.4.

Notwithstanding the above, a *retail service group 1 use* is limited to the 1st and 2nd stories of a building, a *hotel use* is limited exclusively to the story or stories above a *retail service group 1 use* and shall be the only use in a story so used, and, *multi-unit residential uses* are limited exclusively to the story or stories above a *retail service group 1 use* and a *hotel use* except in those portions of the complex where there are no *retail service group 1* or *hotel uses*.

2. Lot Size:

- 1) Minimum *lot width, lot depth* and *lot area* in the CD-6 zone are as follows:

Lot width	45.0m (147.6.0ft)
Lot depth	62.0m (203.4ft)
Lot area	2,917.0m ² (21,710.0ft ²)

3. Lot Coverage:

- 1) Maximum *lot coverage* per fee-simple lot is 90%.
- 2) Notwithstanding 1) above, *lot coverage* above the 1st story shall not exceed 45%.

4. Density:

Maximum *gross floor area* (GFA) of all uses shall be 3.36 times the *lot area*.

5. Building Heights:

- 1) *Principal buildings* shall not exceed a *height* of 26.0m (85.3ft).
- 2) *Accessory structures* shall not exceed a *height* of 4.0m (13.12ft).

6. Minimum Setback Requirements:

- 1) *Principal buildings* and *ancillary structures* in the CD-6 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Structures
Front lot line	4.0m (13.12ft)	Not permitted *
Rear lot line	4.0m (13.12ft)	4.0m (13.12ft)
Interior or exterior side lot line	4.0m (13.12ft)	4.0m (13.12ft)

7. Ancillary Buildings and Structures:

Except as otherwise provided in Section 4.13 and in addition to the provisions of sub-section 6.15.6 above, the following also applies:

- 1) *ancillary buildings* shall not be permitted.
 - 2) *ancillary structures* shall not be located closer than 3.0m (9.85ft) to a *principal building*.
8. *Accessory off-street parking spaces* shall be provided in accordance with the provisions of Section 4.14.
 9. *Accessory off-street loading spaces* shall be provided in accordance with the provisions of sub-section 4.15.2.

7.1 CD-7 COMPREHENSIVE DEVELOPMENT ZONE (14971 Prospect Avenue)

INTENT

The intent of this zone is to accommodate two one unit residential uses and a garden pavilion and related buildings and structures on the same lot.

1. Permitted Uses

The following and no others shall be permitted in the CD-7 Zone:

- (a) No more than two (2) *one unit residential uses* to RS-1 standards
- (b) *An accessory home occupation use*
- (c) *An accessory boarding use*
- (d) A garden pavilion and related *buildings and structures*

2. Regulations for Permitted Uses of Land, *Buildings* and *Structures*

- (a) A *one-unit residential use* shall not be permitted on a *lot* of less than 464.0m² (4995ft²) except where such *lot* was existing at the effective date of this Bylaw.
- (b) *An accessory home occupation use* shall comply with the provisions of Section 5.3.
- (c) *An accessory boarding use* shall comply with the provisions of Section 5.4.

3. Regulations for the Size, Shape and Siting of *Buildings* and *Structures*

- (a) *Principal buildings* for a *one unit residential use* shall comply with the provisions of Section 6.1.
- (b) A garden pavilion and related *buildings and structures*, shall conform to the drawings L-1.1, L-2.1, L-2.2, L-2.3, L-3.1, L-3.2, L-3.3, L-4.1, L-4.2, L-4.3, L-4.4, L-4.5, L-4.6, L-4.7, L-4.8, date stamped received September 27, 1999, as prepared by Hollingsworth Corporation, and on file with the City of White Rock.

7.8 CD-8 COMPREHENSIVE DEVELOPMENT ZONE (15451 Russell Avenue)

INTENT

The intent of this zone is to accommodate the development of an office building containing medical offices, on a site of approximately 1,533 square metres (16,500 square feet).

1. Permitted Uses
The following uses and no others shall be permitted in the CD-8 Comprehensive Development zone:
 - 1) a professional office use.

2. Regulations for Permitted Uses of Land, *Buildings* and *Structures*
 - 1) Off street parking and loading shall be provided in accordance with the *retail service group 1 use* requirements contained in Sections 4.14 and 4.15.

3. Regulations for the Size, Shape and Siting of *Buildings* and *Structures*
Subject to the provisions of Section 403, *principal buildings*:
 - (a) Shall not exceed a *height* of 7.7m (25.26ft).
 - (b) Together with any *accessory building* shall not exceed a *lot coverage* of 40%.
 - (c) The maximum *gross floor area* shall not exceed 0.7 times the *lot area*.
 - (d) Shall be sited not less than:
 - (i) 3.0m (9.84ft) from the *front lot line*, provided that a minimum setback from the front lot line of 6.7m (22ft) is provided for a minimum distance of 14.6 m (48ft) of the frontage of the *principal building*.
 - (ii) 1.2 m (3.93ft) from the easterly *interior lot line*.
 - (iii) 7.0m (23ft) from the westerly *interior lot line*.
 - (iv) 14.0m (46ft) from the *rear lot line*.
 - (e) Notwithstanding Section 4.14, the maximum permitted projection for eaves is 1.2m (3.94ft) into any side yard setback area required in paragraph (d) (ii) and (d) (iii) above.
 - (f) Subject to the provisions of Section 403, *accessory structures*:
 - (i) Shall not exceed a *height* of 4.0m (13.12ft).
 - (ii) No *accessory buildings* shall be permitted.

7.9 CD-9 COMPREHENSIVE DEVELOPMENT ZONE (15383 – 99 Russell Avenue)

INTENT

The intent of this zone is to accommodate the development of five one-unit residential units to a density of approximately 15 units per acre.

1. Permitted Uses
The following uses and no others shall be permitted in the CD-9 Comprehensive Development zone:
 - 1) A *one-unit residential use*
 - 2) An *accessory home occupation use*
2. Regulations for Permitted Uses of Land, *Buildings* and *Structures*
 - 1) A *one unit residential use* shall not be permitted on a *lot* of less than 260m² (2,800ft²).
 - 2) An *accessory home occupation use* shall comply with the provisions of Section 5.3.
3. Regulations for the Size, Shape, and Siting of *Buildings* and *Structures*
 - 1) *Principal buildings* for a *one-unit residential use*:
 - (i) together with an *accessory building* shall not exceed a *lot coverage* of 50%;
 - (ii) shall not exceed a *height* of 10.05m (33ft)
 - (iii) shall not exceed a maximum *residential gross floor area* of 0.9 times the *lot area*;
 - (iv) shall be sited not less than:
 - a. 3.0m (10ft) from the *front lot line*
 - b. 1.2m (4ft) from an *interior lot line*
 - c. 2.4m (7.8ft) from an *exterior lot line*
 - 2) *Accessory buildings and structures*:
 - (i) shall not exceed a *height* of 4 m (13.12ft).
 - (ii) shall be sited to the rear of the rear face of the *principal building* on the *lot*;
 - (iii) shall be sited not less than:
 - a. 3.0m (9.8ft) from an *exterior side lot line*;
 - b. 0.0m (0.0ft) from an *interior side lot line*;
 - c. 0.5m (1.64ft) from a *rear lot line*;
 - d. 0.0 metres (0 feet) from a *principal building* on the lot.
4. Site Development, Architecture & Design Criteria:
Architectural and design requirements are shown on drawing A-1 date stamped received September 5, 2001 and on file with the City of White Rock.
5. Amendments:
Minor amendments requiring changes to the exterior of the proposed structures on plan A-1 date stamped received September 5, 2001 must be approved by the City, such approval to be authorized in writing by the City Planner or the Director of Permits and Licenses.

7.10 CD-10 COMPREHENSIVE DEVELOPMENT ZONE (987 – 91 Keil Street)

INTENT

The intent of this zone is to accommodate one unit residential *structures* on *lots* of 362 square metres (3897.7 square feet) or more, and a frontage of 9.6 metres (31.5 feet).

1. Permitted uses

The following uses and no others shall be permitted in the CD-10 Zone:

- (a) A *one unit residential use*
- (b) An *accessory home occupation use*
- (c) An *accessory boarding use*
- (d) A *nursery school use*
- (e) A *home day care use*

2. Regulations for Permitted Uses of Land, *Buildings* and *Structures*

- (a) A *one unit residential use* shall not be permitted on a *lot* of less than 362 square metres (3896.7 square feet) except where such *lot* was existing at the effective date of this Bylaw.
- (b) An *accessory home occupation use* shall comply with the provisions of Section 5.3.
- (c) An *accessory boarding use* shall comply with the provisions of Section 5.4.
- (d) A *child care centre* shall comply with Section 5.1 of this By-law.
- (e) *Accessory off-street parking* shall be provided in conformity with the provisions of Section 4.14.

3. Regulations for the Size, Shape and Siting of *Buildings* and *Structures*

- (a) *Principal buildings* for a *one unit residential use*:
 - (i) together with an *accessory building* shall not exceed a *lot coverage* of 50 percent;
 - (ii) shall not exceed a *height* of 7.7 metres (25.26 feet), and the *height* of the southerly elevation of the *building* shall be determined by an angle of containment of 45 degrees to the vertical commencing 6 metres (19.69 feet) above the *natural grade* at the base of the wall. No part of a *building*, with the exception of open type balcony guards, shall be placed above the angle of containment;
 - (iii) shall not exceed a maximum *residential gross floor area* of 0.6 times the *lot area*;
 - (iv) shall be sited on the *lot* not less than:
 - a. 3 metres (9.84 feet) from front and *rear lot lines*, however, the front and rear yard setbacks shall in combination be not less than 12 metres (39.37 feet);
 - b. 1.2 metres (3.94 feet) from an *interior side lot line*;
 - c. 3 metres (9.84 feet) from an *exterior side lot line* for a distance of 7.5 metres (24.61 feet) from the *front lot line* and 1.5 metres (4.93 feet) from that point to the *rear lot line* of the *lot*.
- (b) *Accessory buildings* and *structures*:
 - (i) shall not exceed a *height* of 3 metres (9.84 feet);
 - (ii) shall not exceed a *gross floor area* of 6 square metres (64 square feet);

-
- (iii) shall be sited to the rear of the rear face of the *principle building* on the *lot*,
and
 - (iv) shall be sited not less than:
 - a. 3 metres (9.84 feet) from an *exterior side lot line* for a distance of 7.5 metres (24.61 feet) from the *front lot line*, and 1.5 metres (4.92 feet) from that point to the *rear lot line* of the *lot*;
 - b. 1.2 metres (3.94 feet) from an *interior side lot line*;
 - c. 2.4 metres (7.87 feet) from a *rear lot line* abutting a *lane*;
 - d. 1.5 metres (4.92 feet) from a rear lot line not abutting a *lane*;
 - e. 1.5 metres (4.92 feet) from a *principal building* on the *lot*.

7.11 CD-11 COMPREHENSIVE DEVELOPMENT ZONE (15441 – 57 Buena Vista Ave)

INTENT

The intent of this zone is to accommodate the development of a bare land strata subdivision containing five detached one-unit residential buildings on a site of approximately 2,023m² (0.5 acre).

1. Permitted Uses

The following uses and no others shall be permitted:

- a) A *one unit residential use*
- b) an *accessory home occupation use*

2. Regulations for Permitted Uses of Land, Buildings and Structures

- (a) A *one unit residential use* shall not be permitted on a *lot* of less than 275m² (2,960ft²).
- (b) An *accessory home occupation use* shall comply with the provisions of Section 5.3.

3. Regulations for the Size, Shape and Siting of Buildings and Structures

a) *Principal buildings for a one unit residential use:*

- i) Together with an *accessory building* shall not exceed a lot coverage of 50% as measured on each strata *lot*;
- ii) shall not exceed a *height* of 7.7m (25.26ft);
- iii) shall not exceed a *residential floor area* of 0.7 times the area of the strata *lot*;
- iv) shall be sited not less than:
 - a. for the strata lots fronting onto Buena Vista Avenue, 7.0m from the *front lot line*, and for the strata *lots* not fronting onto Buena Vista Avenue, 5.48m from the *front lot line*, for each of the strata *lots*;
 - b. for the strata *lots* fronting onto Buena Vista Avenue, 5.48m from the *rear lot line*, and for the strata *lots* not fronting onto Buena Vista Avenue, 7.5m from the *rear lot line*, for each of the strata *lots*;
 - c. for all strata *lots*, 1.2m from an *interior side lot line*.

b) *Accessory buildings and structures:*

- i) Shall not exceed a *height* of 3.0m (9.84ft);
- ii) Shall not exceed a *gross floor area* of 6.0 m² (64ft²);
- iii) Shall be sited to the rear of the *principal building* on the *lot*;
- iv) Shall be sited not less than:
 - a. 1.2m from an *interior side lot line*;
 - b. 1.5 m from a *rear lot line*;
 - c. 1.5 m from a *principal building* on the *lot*.

4. Architectural and Design Criteria

Architectural and design requirements are shown on drawings G.0 101, G.0 103, and Elevations, date stamped received October 7, 2002, as prepared by Grafic Square Designers, and on file with the City of White Rock. Landscape development shall be in accordance with the design concept shown on Plan G.0 101, date stamped received October 7, 2002, as prepared by Grafic Square Designers, and on file with the City of White Rock.

5. Amendments

Minor amendments requiring changes to the exterior of the proposed structures and landscaping as shown on drawings G.0 101, G.0 103, and Elevations, date stamped October 7, 2002, must be approved by the City, such approval to be authorized in writing by the City Planner.

7.13 CD-13 COMPREHENSIVE DEVELOPMENT ZONE (15164 Prospect Avenue)

INTENT

The intent of this zone is to accommodate the development of a multi-unit residential building on a site of approximately 1590 m².

1. Permitted Uses

The following uses and no others shall be permitted in the CD-13 zone:

- (a) *An apartment use*
- (b) *An accessory home occupation use.*

2. Location of Permitted Uses

The locations of permitted uses are shown upon drawing A1.0 as prepared by Rositch Hemphill Architects, date stamped received February 20, 2003 and on file with the City of White Rock.

3. Regulations for Size, Shape and Siting of *Buildings* and *Structures*

Principal buildings:

- (a) Shall not exceed a height of 11.93m (39.14 feet).
- (b) Shall not exceed a maximum *residential floor area* of 2,703.5m² (29,101 square feet);
- (c) Shall be sited in accordance with the setbacks indicated on drawing A1.0 prepared by Rositch Hemphill Architects, received February 20, 2003 and on file with the City of White Rock.

4. Architectural and Design Criteria

Architectural and Design Requirements are shown upon drawings A1.0, A3.0, A3.1, A3.2 and L1 date stamped received February 20, 2003 and on file with the City of White Rock.

5. Amendments

Minor amendments requiring changes to the exterior of the proposed building as shown on drawings A1.0, A3.0, A3.1, and A3.2, all date stamped received February 20, 2003, must be approved by the City, such approval to be authorized in writing by the City Planner.

7.14 CD-14 COMPREHENSIVE DEVELOPMENT ZONE (Martin, Foster, & North Bluff)

INTENT :

The intent of this zone is to accommodate the development of a phased residential/commercial development in the Town Centre area on a site of approximately 1 ha (2.4 acres).

1. Permitted uses
The following uses and no others shall be permitted in the CD-14 Zone:
 - (a) an *apartment* use
 - (b) a *retail service group 1 use*
 - (c) an accessory off-street parking use
 - (d) a *civic use*.

2. Location of Permitted Uses
The locations of permitted uses are shown upon Plan A attached to and forming part of this Bylaw. A *retail service group 1 use* shall be limited to the first and second *story*.

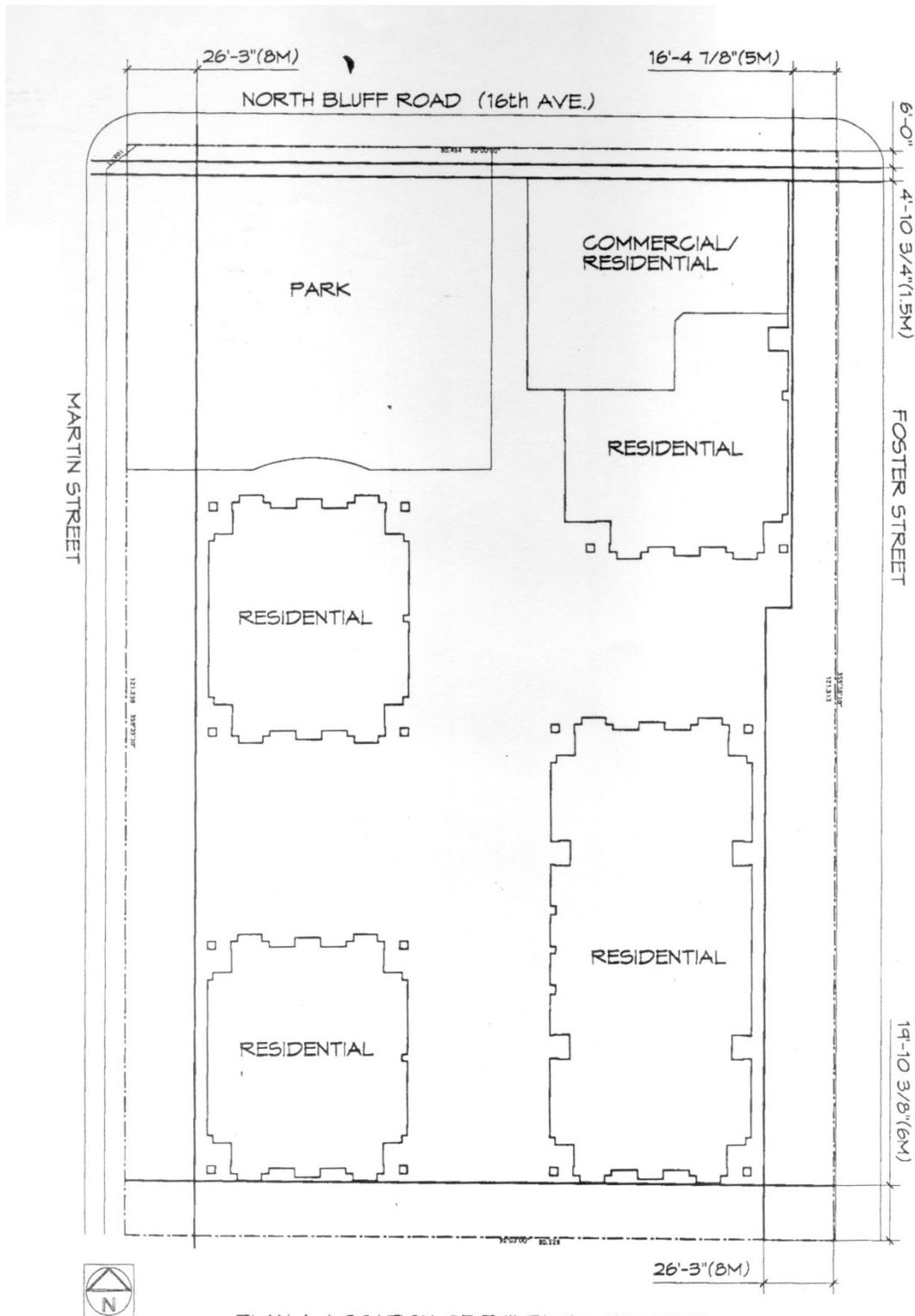
3. Regulations for Size, Shape and Siting of *Buildings and Structures*
 - (a) *Principal buildings*:
 - i) shall not exceed a height of 27.4m for Buildings 1 and 4, and a height of 26.0m for Buildings 2 and 3, as identified on Plan A;
 - ii) shall be sited in accordance with the setbacks indicated on Plan A;
 - iii) shall be sited in accordance with the angle of containment indicated on Plan B;

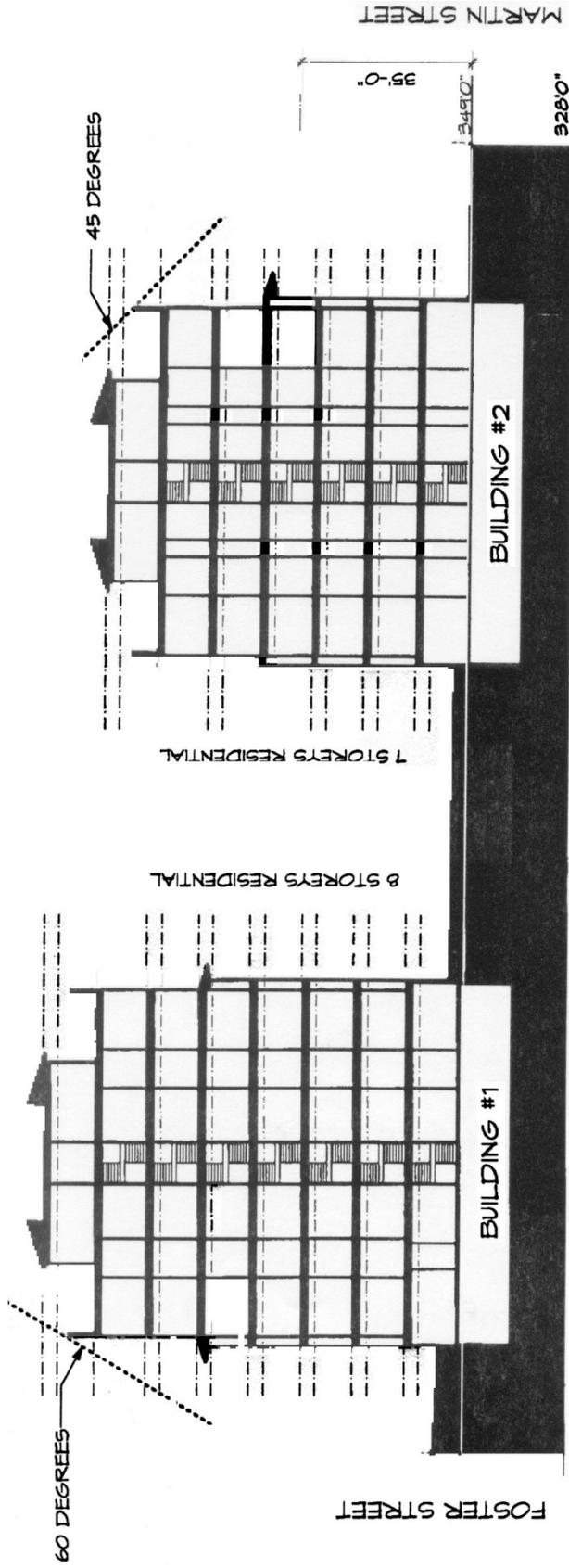
 - (b) subject to the provisions of Section 403, *accessory buildings and structures*:
 - i) shall not exceed a height of 7.5m;
 - ii) shall be sited in accordance with the setbacks indicated on Plan A.

4. Architectural and Design Criteria
Architectural and design requirements are shown on drawings ADP 12, ADP 13, Perspective A and Perspective B, date stamped received October 7, 2002, as prepared by Robert Ciccozzi Architecture Inc., and on file with the City of White Rock. Landscape development shall be in accordance with the design concept shown on Plan L-1, date stamped received October 7, 2002, as prepared by Eckford and Associates Landscape Architects, and on file with the City of White Rock.

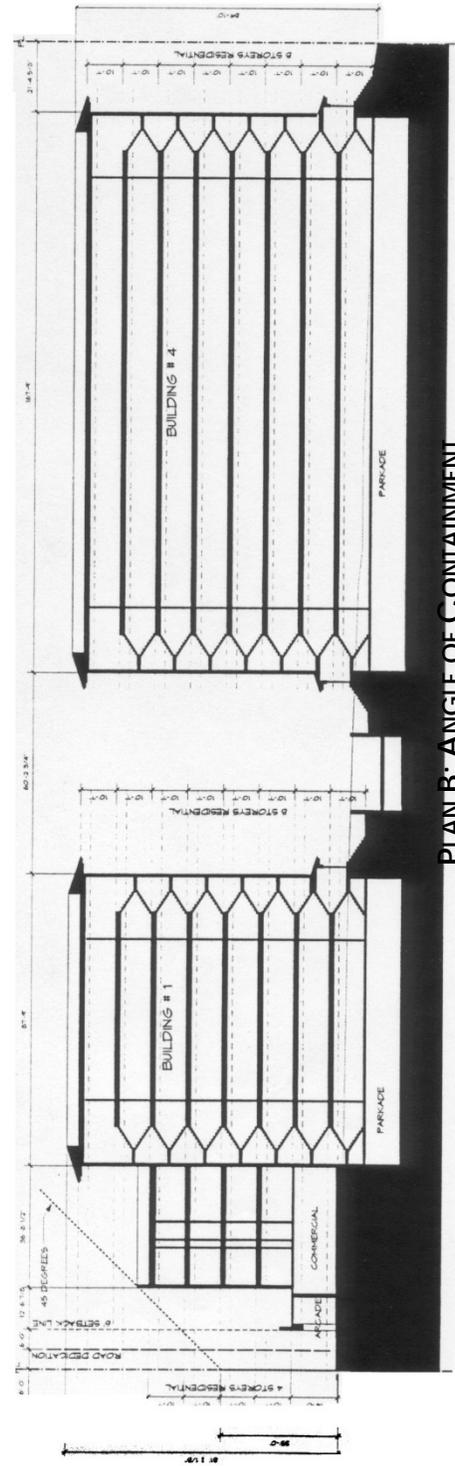
5. Amendments
Minor amendments requiring changes to the exterior of the proposed structures and landscaping as shown on drawings ACP 12, ADP 13, Perspective A, Perspective B, and L-1, date stamped October 7, 2002, must be approved by the City, such approval to be authorized in writing by the City Planner.

The Plans





EAST/WEST SECTION THRU SITE



7.15 CD-15 COMPREHENSIVE DEVELOPMENT ZONE (1347 Best Street)

INTENT

The intent of this zone is to allow medium density *apartments to a maximum residential gross floor area* of 1.1 times the area of the *lot*.

1. Permitted Uses

The following uses and no others shall be permitted in the CD-15 Zone:

- (a) An *apartment* use
- (b) An *accessory home occupation* use

2. Regulations for Permitted Uses of Land, Buildings and Structures

An *apartment use* is permitted in not more than one *principal building* on the *lot*.

- (a) An *accessory home occupation use* shall comply with the provisions of Section 404.
- (b) *Off street parking and loading* shall be provided in accordance with the provisions of Section 402.

3. Regulations for the Size, Shape and Siting of *Buildings* and *Structures*

(a) *Principal buildings* for an *apartment use*:

- (i) together with *accessory buildings* shall not exceed a *lot coverage* of 45%;
- (ii) shall not exceed a *height* of 10.7 metres (35.1 feet);
- (iii) shall not exceed a *residential floor area* of 1.1 times the *lot* area, provided that:
 - a. where common recreational facilities are provided within a *principal building*, for the exclusive use of the tenants, the permitted *residential floor area* may be increased by 1.0 times the area of such recreational facility, not to exceed 37 square metres (400 square feet);
 - b. where storage or laundry facilities or both are provided within the individual *dwelling unit*, the permitted *residential floor area* may be increased by 1.0 times the area of such facilities but not to exceed 5.6 square metres (60.28 square feet) each per *dwelling unit*;
- (iv) shall be sited in accordance with the provisions of a Development Permit.
- (v) shall have a minimum *dwelling unit* size as set out in Section 403 6.

(b) *Accessory structures*:

- (i) shall not exceed a *height* of 4.0m (13.12ft).
- (ii) shall be sited in accordance with the provisions of a Development Permit.
- (iii) no *accessory buildings* shall be permitted with the exception of gazebos.

7.16 CD-16 COMPREHENSIVE DEVELOPMENT ZONE (Johnston, Thrift & Russell)

INTENT

The intent of this zone is to accommodate the development of a phased commercial / residential development including civic uses in the Town Centre area on a site of approximately 1.45ha (3.57ac).

1. Permitted Uses

In the CD-16 Zone the following uses are permitted and all other uses are prohibited:

- (a) an *apartment* use
- (b) a *townhouse* use
- (c) a *retail service group 1*
- (d) a *licensed establishment*, including *liquor primary*, *food primary*, *agency store*, *liquor store*, *u-brew* or *u-vin*
- (e) a *civic* use
- (f) an *accessory home occupation* use subject to the provisions of Section 5.3.

2. Location of Permitted Uses

- (a) The location of each permitted use shall be in accordance with the Plans and as follows:
 - (i) A *retail service group 1* use must only be located in the first or second story of a *building*;
 - (ii) A *townhouse* use shall be located as generally shown and labelled as CH (“City Homes”) on the Plans attached herein and forming part of this bylaw. Notwithstanding, the areas shown for *townhouse* use may be considered for ground level retail or live/work, and upper level office use; and
 - (iii) A *civic* use may be located on the 1st or 2nd floor.

3. Density:

- (a) **BASE DENSITY:** The maximum number of *dwelling units*, *gross floor areas* and *lot coverage of buildings* and *structures* shall be in accordance with the following:

Phase Area ⁽¹⁾	Maximum number of <i>Dwelling Units</i>	Maximum <i>gross floor area</i> ⁽²⁾ for a <i>residential use</i> (includes <i>apartments</i> , <i>townhouses</i> ⁽⁴⁾ , and amenity areas ⁽³⁾)	Maximum <i>gross floor area</i> for a <i>Retail Service Group 1 Use</i> ⁽⁴⁾ and <i>Civic Uses</i>	Maximum <i>gross floor area</i> for commercial and residential uses	Maximum <i>Lot Coverage</i>
1	129	13,846 m ²	1,162 m ²	15,008 m ²	33%
2	96	10,553 m ²	2,438 m ²	12,991 m ²	64%
3	202	24,106 m ²	4,662 m ²	28,768 m ²	53.4%
Total for all Phases	427	48,505 m ²	8,262 m ²	56,767 m ²	52%

1. As indicated on the Plans

2. Excludes unenclosed balconies, stairwells, elevator shafts, common corridors, and enclosed parking areas

3. Means common storage and recreational amenity areas provided for the exclusive use of the residential tenants

4. Townhouse floor area may be considered for *retail service group 1* use as outlined in Section 7.1.6.2 (ii).

(b) **ADDITIONAL (BONUS) DENSITY:** If, prior to applying for a Building permit for construction of a Building on the subject lands, the Owner of parcels to which this zone applies provides the City with cash in lieu of community amenities, having a minimum value of \$436,471, to assist with the provision of the amenities in the following table, the maximum number of *dwelling units* in Phase 3 shall be:

(i) 248 *apartment dwelling units*, and

(ii) 10 *townhouse dwelling units* labelled as CH (“City Homes”) on the Plans and described as a *townhouse* use as outlined in Section 7.1.6.2(ii).

#	Amenity
1	Sanitary sewer system improvements

The amenity must be provided in accordance with an amenity agreement and section 219 covenant delivered by the owner of the subject real property, to secure the amenity.

4. Regulations for Size, Shape, and Siting of Buildings and Structures

Reference to a numbered Building refers to the building labelled that specific number on the Plans.

(a) As indicated on the Plans, *principal buildings*:

(a) shall not exceed a height of:

1. 178.2m geodetic for Building 1;
2. 167.5m geodetic for Building 2;
3. 158.2m geodetic for Building 3;
4. 161.7m geodetic for Building 4;

(b) shall be sited in accordance with the setbacks from a property line, as shown on the Plans;

(b) *Accessory buildings and structures*:

(i) shall not exceed a height of 7.5 m;

(ii) shall be sited in accordance with the setbacks from a property line, as shown on the Plans;

5. Parking and Loading

Parking and Loading shall be provided as follows:

- (i) Residential uses, including *apartments* and *townhouses*, at 1.8 spaces per *dwelling unit*, inclusive of 0.2 parking spaces to be designated for visitors parking;
- (ii) *Retail service group 1* uses and *civic* uses at 1.0 parking spaces for every 37 m² of gross floor area;
- (iii) Parking spaces for persons with disabilities shall be provided at a ratio of 3 spaces for 1st 200 parking spaces, and one space for each additional 100 spaces.

All other provisions of Sections 4.14 and 4.15 apply.

6. General

Drawings attached hereto prepared by NSDA Architects:

- A-001 July 30, 2010
- L-1.0 July 30, 2010
- A-601 July 30, 2010

on file with the City of White Rock; and for the purposes of this zone are referred to as “the Plans”.

Development in this zone shall conform substantially to the Plans.

White Rock Town Centre Development

Bosa Properties Inc.

15150 Russell Avenue, White Rock, B.C.



Drawing List

ARCHITECTURAL
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development

LANDSCAPE ARCHITECT
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
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ENGINEERING
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development
 2014-2015 Residential Development

Current submission July 30, 2010

Floor Area Calculations

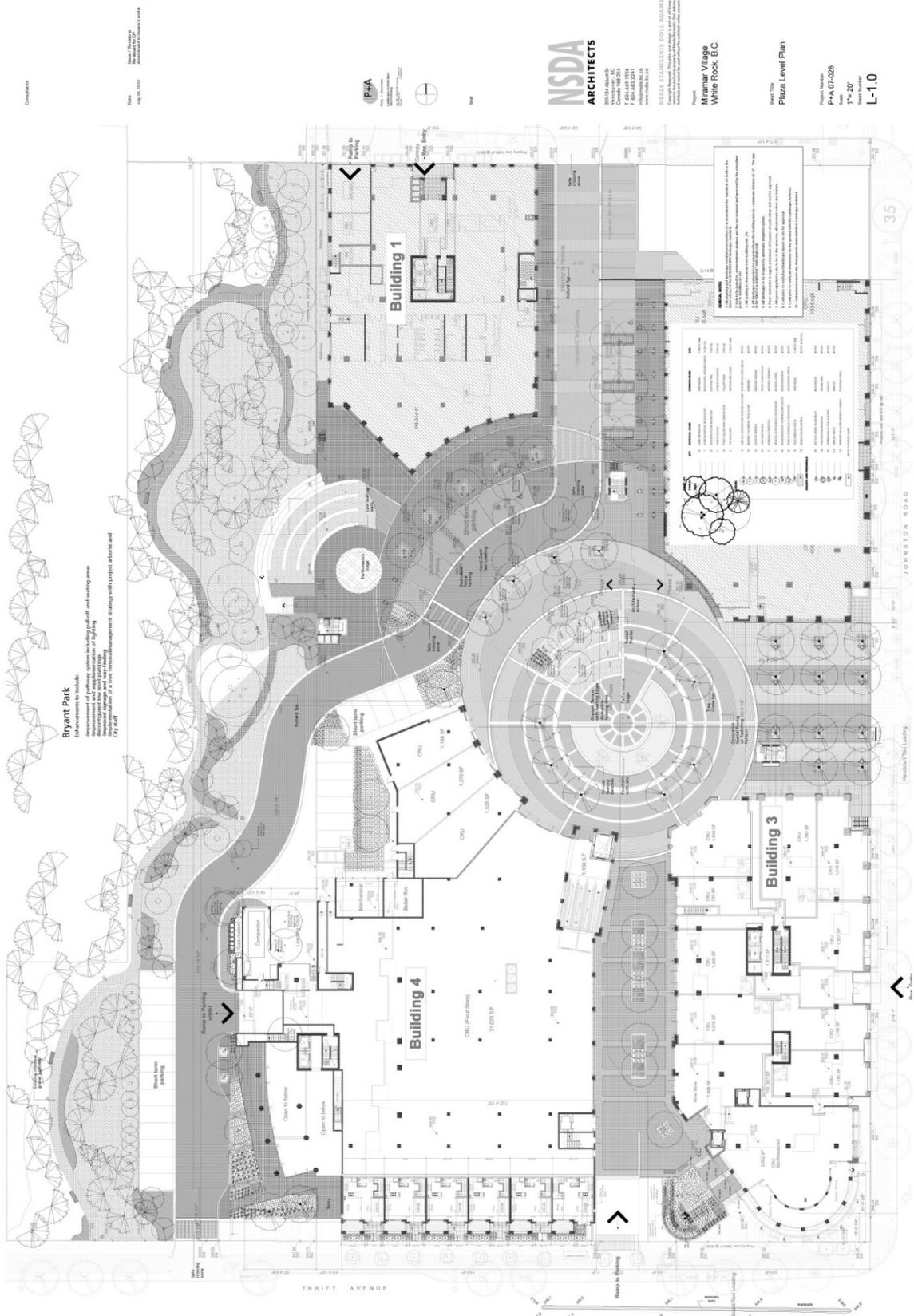
Floor Level	Residential	Amenity/Community Centre	Stage 1	Stage 2	Stage 3	Stage 4	Total
Mezzanine Level	1,027.54						
Level 1	7,486.33	12,008.82	1,761.97	1,727.00	1,679.00	1,679.00	20,281.00
Level 2	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 3	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 4	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 5	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 6	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 7	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 8	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 9	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 10	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 11	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 12	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 13	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 14	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 15	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 16	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 17	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 18	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 19	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
Level 20	7,486.33		1,761.97	1,727.00	1,679.00	1,679.00	15,983.00
TOTAL	148,474.28	12,008.82	112,262.47	112,262.47	112,262.47	112,262.47	449,352.68

Parking Requirements

Requirement	Quantity	Notes
Residential	1,027.54	
Amenity/Community Centre	12,008.82	
Stage 1	1,761.97	
Stage 2	1,727.00	
Stage 3	1,679.00	
Stage 4	1,679.00	
TOTAL	29,092.33	

Site Statistics

Stat	Value
Site Area	125,664.4 Square Feet
Lot Coverage	10.8%
Site Coverage	10.8%
Net Residential	10,200.00
Net Commercial	10,000.00
Net Industrial	10,000.00
Net Office	10,000.00
Net Other	10,000.00
TOTAL	40,200.00



White Rock Town Centre Development

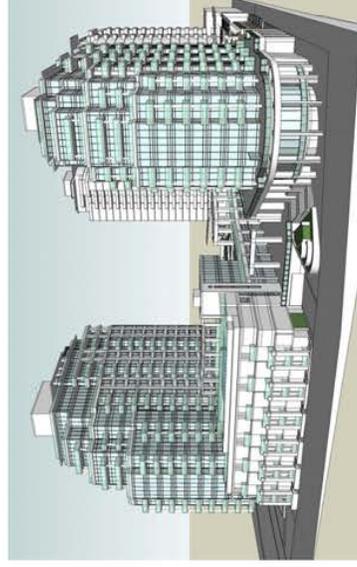
15150 Russell Avenue, White Rock, BC

Consultant:

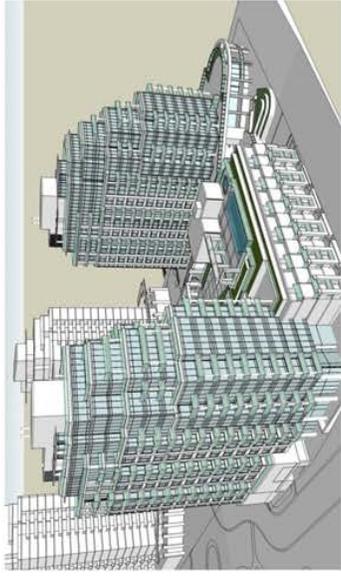
NSDA
 200-104 Avenue B
 Suite 100
 White Rock, BC
 V4B 1A1
 Phone: 250-335-1234
 Fax: 250-335-1235
 Email: info@nsda.ca
 Website: www.nsda.ca



Bird's Eye View



View at Thrift and Johnston



View at Thrift and Winton



View From Johnston and Thrift

Site

NSDA
ARCHITECTS

200-104 Avenue B
 Suite 100
 White Rock, BC
 V4B 1A1
 Phone: 250-335-1234
 Fax: 250-335-1235
 Email: info@nsda.ca
 Website: www.nsda.ca

PROJECT: WHITE ROCK TOWN CENTRE DEVELOPMENT

ARCHITECT: NSDA ARCHITECTS

Sheet Title:
 Massing Studies

Project Number:
 10018

Sheet Number:
 A-601

7.17 CD-17 COMPREHENSIVE DEVELOPMENT ZONE (1400/20 Johnston Rd)

INTENT

The intent of this zone is to accommodate a mixed-use (residential/commercial) development on a site of approximately 2,250 square metres in area.

1. Permitted Uses:

- (a) *multi-unit residential use*
- (b) *retail service group 1 use*
- (c) *licensed establishments, including liquor primary, food primary, agency store, liquor store, u-brew, u-vin, and licensed manufacturer*
- (d) *accessory home occupation use in accordance with the provisions of section 5.3 and that does not involve clients directly accessing the principal building*

2. Density:

- (a) maximum *gross floor area* shall not exceed 4,660 square metres
- (b) the maximum number of *dwelling units* must not exceed 36

3. Building Height:

- (a) The *principal building* shall not exceed a height of 124.14 metres geodetic

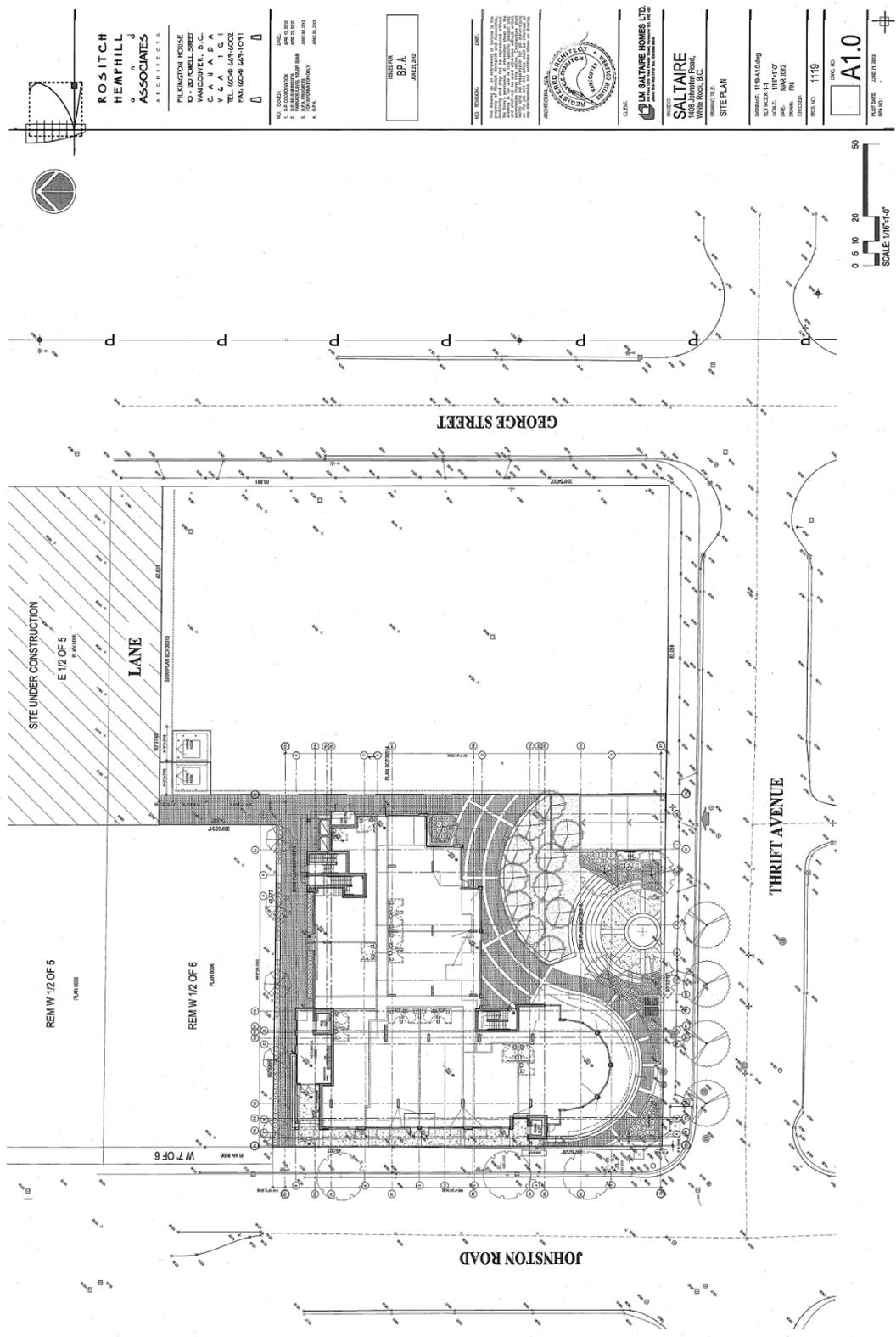
4. Parking:

Parking shall be provided in accordance with Section 4.14, with the minimum number of spaces required as follows:

- (a) A minimum of 43 spaces shall be provided for the residential *dwelling units*
- (b) A minimum of 10 spaces shall be provided for visitors and marked as 'visitor'
- (c) A minimum of 42 spaces shall be provided for the *retail service group 1 uses* and *licensed establishment uses*

5. General:

- (a) Development in this zone shall substantially conform to the Plans prepared by Rositch Hemphill and Associates Architects dated June 25, 2012 that are attached hereto and on file at the City of White Rock



ROITCH
HEMPHILL
ASSOCIATES
 ARCHITECTS

PLYMOUTH HOUSE
 VANCOUVER, B.C.
 C.A.N.A.D.A.
 TEL: 604.681.4411
 FAX: 604.681.1011

NO. 0000
 1. PRELIMINARY
 2. PRELIMINARY
 3. PRELIMINARY
 4. P.A.

DESIGNER
B.P.A.
 ARCHITECT

ALL DIMENSIONS
 IN METERS
 UNLESS OTHERWISE SPECIFIED

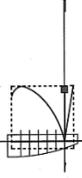


L.M. SALTARE HOMES LTD.
 1119 11th Street
 White Rock B.C.

SALTARE
 HOMES LTD.
 1119 11th Street
 White Rock B.C.

PROJECT NO. 1119
 SHEET NO. A1.0

DRAWN BY: JAMES L. BARR
 CHECKED BY: JAMES L. BARR



**ROSITCH
HEWHILL
ASSOCIATES**
ARCHITECTS

FLANCON ROSE
D. DOUGLASS
VANCOUVER, B.C.
V 6 A 1 G 1
TEL: (604) 681-4002
FAX: (604) 681-1011

DATE: JAN 27 2012
BY: J. DOUGLASS
PROJECT: 1000 JOHNSTON ROAD
DRAWING: WEST ELEVATION
SCALE: 1/8" = 1'-0"

ISSUED
JAN 27 2012
PROJECT: 1000 JOHNSTON ROAD
DRAWING: WEST ELEVATION

DESIGNED BY: BFA
DRAWN BY: BFA

PROFESSIONAL SEAL
M. SALTARE
REGISTERED ARCHITECT
BRITISH COLUMBIA
NO. 1119



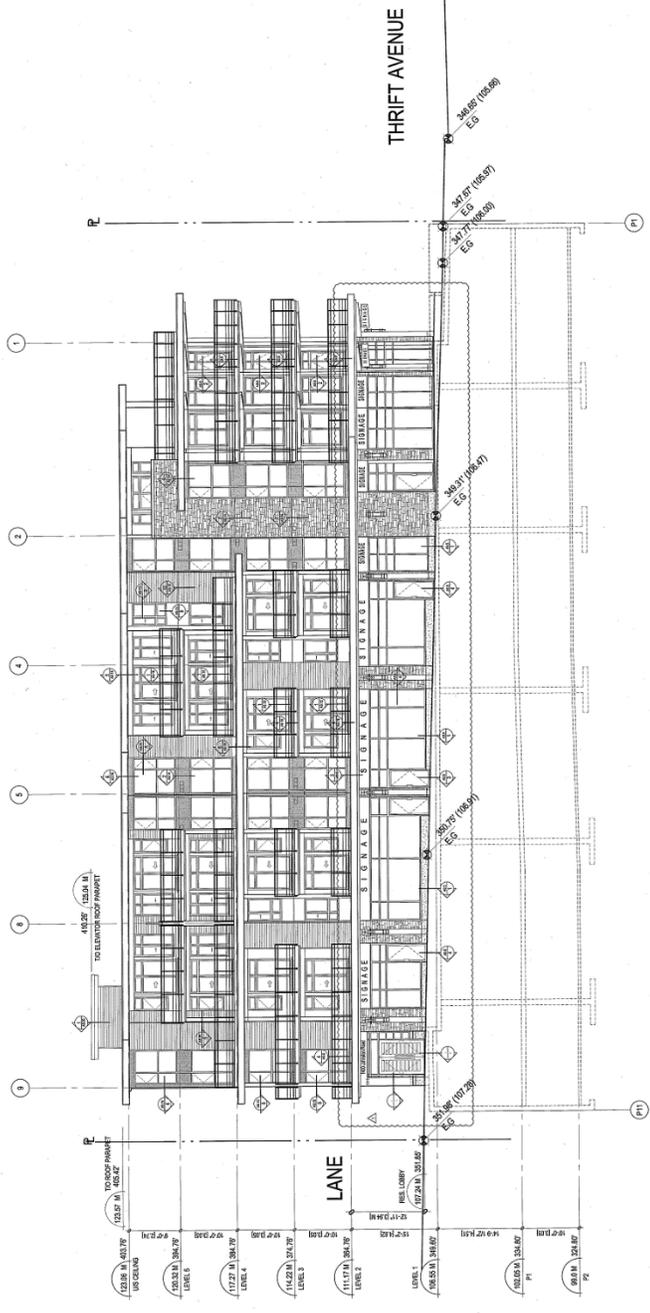
M. SALTARE HOMES LTD.
1000 JOHNSTON ROAD
VANCOUVER, B.C.

SALTAIRE
1000 JOHNSTON ROAD
VANCOUVER, B.C.

PROJECT: WEST ELEVATION
(JOHNSTON ROAD)

DATE: JAN 27 2012
SCALE: 1/8" = 1'-0"
PROJECT: WEST ELEVATION
DRAWING: WEST ELEVATION
SCALE: 1/8" = 1'-0"

A4.1



1. WEST ELEVATION (JOHNSTON ROAD)
SCALE: 1/8" = 1'-0"



**ROSITCH
HEAPHILL
ASSOCIATES**
ARCHITECTS

1400 WILSON AVENUE
VANCOUVER, B.C.
V6A 1K1
TEL: 604-671-4202
FAX: 604-671-1011

ISSUED
JUL 27 2012
PROJECT: HEAPHILL
ARCHITECTS

DESIGNER:
DATE: JUL 27 2012
DRAWN BY:
CHECKED BY:
SCALE: AS SHOWN

ISSUED FOR:
DATE: JUL 27 2012
BY: J.A.

PROFESSIONAL SEAL
REGISTERED ARCHITECT
BRITISH COLUMBIA
J. A. HEAPHILL
11111 111st Street, Suite 100
Vancouver, BC V6A 1K1
Tel: 604-671-4202
Fax: 604-671-1011



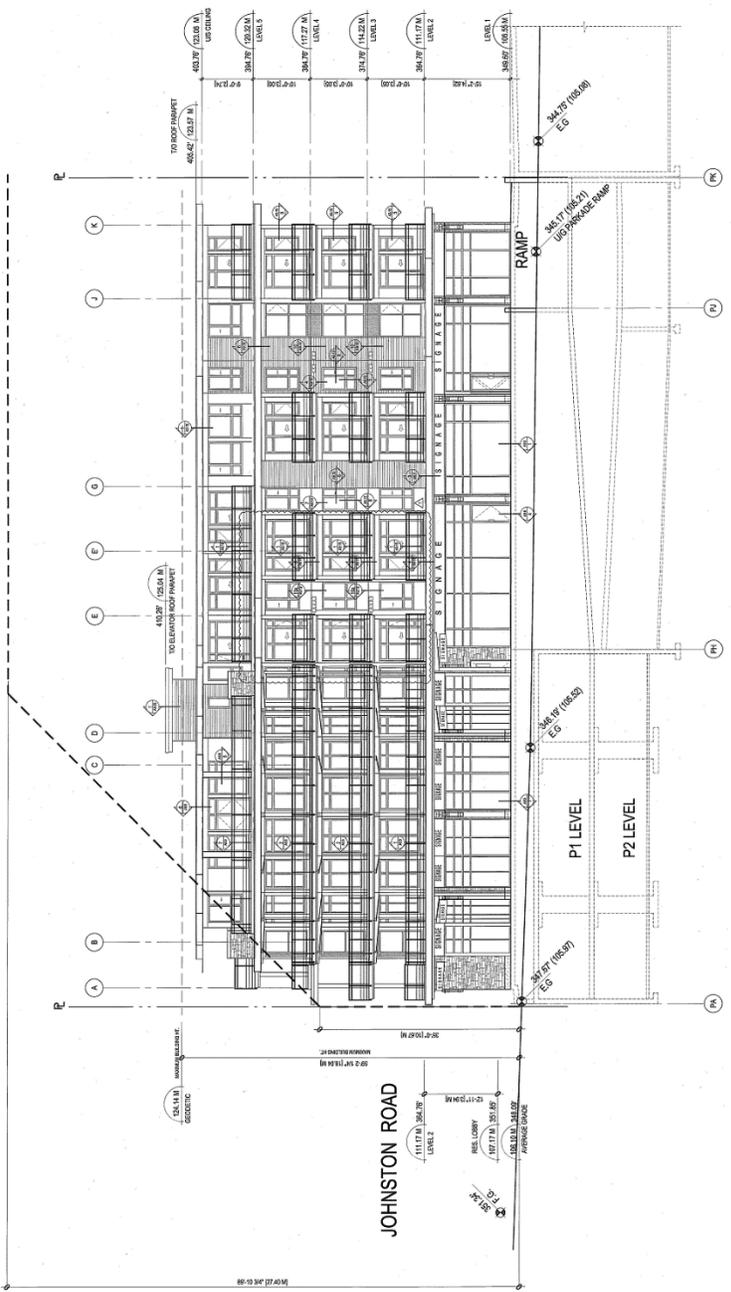
SALT AIRE HOMES LTD.
1400 WILSON AVENUE
VANCOUVER, B.C.

SALT AIRE
1400 WILSON AVENUE
VANCOUVER, B.C.

PROJECT: HEAPHILL
DATE: MAY 2012
SCALE: AS SHOWN

PROJECT NO. 1119

SCALE: AS SHOWN
A4.2



1 SOUTH ELEVATION (THRIFT AVENUE)
SCALE: 1/8" = 1'-0"
A4.2



ROSITCH HEAPHILL ASSOCIATES ARCHITECTS
 PLEASANTON HOUSE
 10-10 PINEHILL STREET
 VANCOUVER, B.C.
 CANADA
 TEL: 604-674-6002
 FAX: 604-674-1091

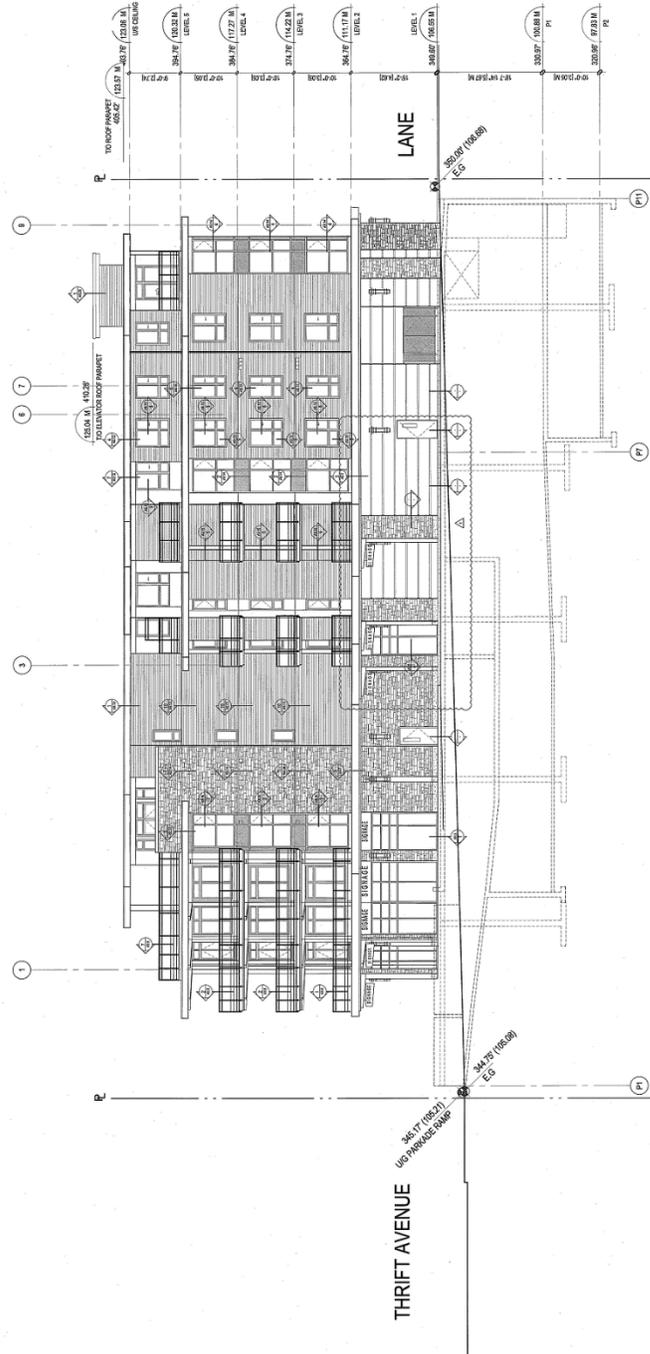
ISSUED
 JUL 27 2012
 ROSITCH HEAPHILL ARCHITECTS
 ARCHITECT
 R.P.A.
 JAMES RICE

PROJECT INFORMATION
 1. PROJECT NAME: 1435 JARVIS ROAD
 2. CLIENT: SALTARE HOMES LTD.
 3. DRAWING TITLE: EAST ELEVATION
 4. DATE: JULY 27, 2012
 5. DRAWN BY: JARVIS

REGISTERED ARCHITECT
 BRITISH COLUMBIA
 REG. NO. 1119

SALTARE HOMES LTD.
 1435 JARVIS ROAD
 WHITE ROCK, B.C.
 DRIVING TEL: (250) 887-1119
 PROJECT: 11394/AL/03
 ARCHITECT: R.P.A.
 DATE: MAY 2012
 CHECKED: JARVIS
 DRAWN BY: JARVIS

DATE PLOTTED: JUL 28 2012
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
 A4.3 SCALE 1/8" = 1'-0"

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ROSITCH HEARHILL ASSOCIATES
 ARCHITECTS
 FLEMINGTON HOUSE
 10 - BEDFORD STREET
 WASHINGTON, D.C.
 V & A I G I
 TEL: 800-667-6002
 FAX: 800-667-1071

ISSUED
 JUL 27 2008
 ROSITCH HEARHILL ARCHITECTS
 PROJECT NO. 03-10
 BY: B.P.A.
 CHECKED:

NO. 10000
 DATE: APR 11, 2002
 BY: B.P.A.
 CHECKED: J.P.A.
 PROJECT NO. 03-10
 DATE: APR 11, 2002

U.S. ARCHITECTURAL BOARD
 REGISTERED ARCHITECTS
 STATE OF VIRGINIA
 NO. 0000000000

REGISTERED ARCHITECT
 STATE OF VIRGINIA
 NO. 0000000000

U.S. ARCHITECTURAL BOARD
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 STATE OF VIRGINIA
 NO. 0000000000

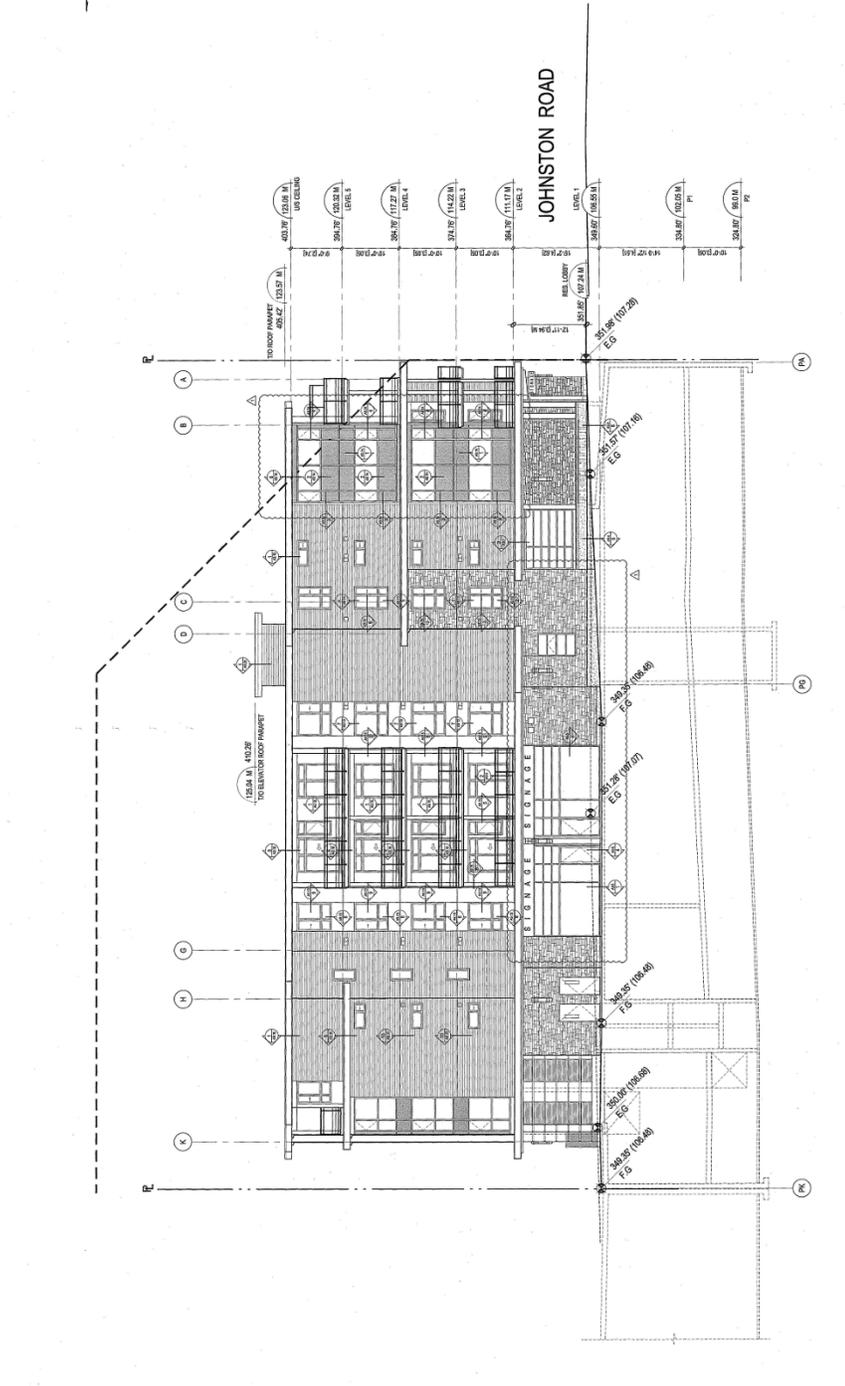
U.S. ARCHITECTURAL BOARD
 REGISTERED ARCHITECTS
 STATE OF VIRGINIA
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 STATE OF VIRGINIA
 NO. 0000000000

U.S. ARCHITECTURAL BOARD
 REGISTERED ARCHITECTS
 STATE OF VIRGINIA
 NO. 0000000000



1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

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7.18 CD-18 COMPREHENSIVE DEVELOPMENT ZONE (1115 Stayte Road)

INTENT

The intent of this zone is to allow business and professional office uses and a one-unit residential use

1. Definitions

For the purposes of this zone the following definition applies:

- (a) a *business and professional office use* means the use of a building, or portion of a building, for administrative, clerical and professional work. Business and professional offices include financial, real estate, insurance, medical, dental, legal, design, accounting, advertising, consulting, telecommunications, high technology, and similar types of businesses engaged in person to person, person to business, and business to business transactions

2. Permitted Uses

In the CD-18 Zone the following uses are permitted and all other uses are prohibited:

- (a) a *business and professional office use*
- (b) a *one-unit residential use*

3. Regulations for Permitted Uses of Land, Buildings and Structures

- (a) A *business and professional office use* shall be contained within one sales floor area having one business license and being on the ground floor only and not exceeding 0.15 times the area of the lot;
- (b) *Off street parking and loading* shall be provided in accordance with the provisions of Sections 4.14 and 4.15, and additionally, as follows:
 - (i) parking for a *business and professional office use* shall be provided at 1 space for each 37.0m² of gross floor area for a *business and professional office use*.
- (c) A *one-unit residential use*:
 - (i) shall not be permitted on a lot of less than 464.0m² (4,994.62ft²);
 - (ii) shall be limited exclusively to the *story* or stories above the *first story* of a *building*;
- (d) The maximum allowable size of a *lot* shall be 1,120m² (12,056ft²) in area.

1. Regulations for the Size, Shape and Siting of *Buildings* and *Structures*

- (a) *Principal buildings*:
 - (i) shall not exceed a *lot coverage* of 45%;
 - (ii) shall not exceed a *height* of 7.7m (25.26ft);
 - (iii) shall be sited not less than:
 - a. 7.5m (24.61ft) from *front and rear lot lines*;
 - b. 1.5m (4.92ft) from an *interior side lot line*;
 - c. 7.5m (24.61ft) from an *exterior side lot line* where the *rear lot line* abuts or faces the *interior side lot line* of the adjacent *lot*.

- (b) *Accessory building and structures:*
 - (i) *accessory structures* shall not exceed a *height* of 4 metres (13.12 feet);
 - (ii) *accessory structures* shall be sited not less than:
 - a. 1.5m (4.92ft) from a *rear lot line*;
 - b. 1.5m (4.92ft) from an *interior side lot line*;
 - c. 7.5m (24.61ft) from an *exterior side lot line*;
 - d. 2.4m (7.87ft) from a *rear lot line* abutting a *lane*;
 - (iii) *accessory buildings* shall not exceed a maximum area of 6.0m² (64.56ft²);
 - (iii) *accessory buildings* shall not exceed a *height* of 4.0m (13.12ft);

7.19 CD-19 COMPREHENSIVE DEVELOPMENT ZONE (1550 Oxford)

INTENT

The intent of this zone is to accommodate a complex care facility on a site of approximately 2.46 hectares (6.1 acres) in area.

2. Permitted Uses:

- (a) *care facility*
- (b) independent living use
- (c) *assisted living residence*
- (d) *assembly use*
- (e) *hospitality service use*

2. Lot Coverage:

- (a) *lot coverage* shall not exceed 29.4%

3. Units/Beds:

- (a) maximum number of independent living units = 110
- (b) maximum number of assisted living units = 84
- (c) maximum number of complex care bed units = 252
- (d) maximum number of visitor accommodation units = 2

4. Building Height:

- (a) maximum height of *principal buildings* as identified on the attached Plans:
 - (i) Building 'A' = 122.8 m geodetic
 - (ii) Building 'B' = 114.35 m geodetic
 - (iii) Building 'C' = 127.08 m geodetic
 - (iv) Building 'D' = 108.69 m geodetic
- (b) permitted projections beyond the maximum heights outlined above are as outlined in Section 4.13.4

5. Siting Requirements:

- (a) minimum *setbacks* are as follows:
 - (i) from front (west) lot line = 12.4 m (40.7 ft)
 - (ii) from rear (east) lot line = 7.32 m (24.0 ft)
 - (iii) from interior (north) lot line = 6.69 m (21.9 ft)
 - (iv) from interior (south) lot line = 6.43 m (21.1 ft)
- (b) siting exceptions are as outlined in Section 4.13.1

6. Parking:

- (a) parking shall be provided in accordance with Section 4.14, with a minimum of 173 parking spaces

7. Loading:
 - (a) loading shall be provided in accordance with Section 4.15, with a minimum of two (2) loading spaces
8. General:
 - (b) Development in this zone shall substantially conform to the Plans prepared by Ankenman Associates Architects Inc. dated September 28, 2016, that are attached hereto and on file at the City of White Rock



Ankenman Associates Architects Inc.

12251 - Beecher St.
 Concord, British Columbia
 Canada, V4V 3A7
 Tel (604) 536-1600
 Fax (604) 536-5774

**EVERGREEN BAPTIST
 COMPLEX CARE FACILITY**
 1550 OXFORD STREET
 WHITE ROCK BC

title PHASE 3 NEW BLDG WITH FINAL SITE
scale 1"=30'
date 31 JUL 2014
drawn MC **checked** ML
job no. 1210
sheet no. A1.01
consultant

EVERGREEN BAPTIST COMPLEX CARE FACILITY
 PHASE 3 NEW BLDG WITH FINAL SITE
 1550 OXFORD STREET
 WHITE ROCK BC
 1:1 SCALE
 31 JUL 2014
 MC
 ML
 1210
 A1.01
 EVERGREEN BAPTIST COMPLEX CARE FACILITY

SITE SYNOPSIS (OVERALL):

ZONING:

CLIENT: EVERGREEN BAPTIST
CLIENT ADDRESS: 1550 OXFORD STREET
 WHITE ROCK, BRITISH COLUMBIA
LEGAL DESCRIPTION: HWY 1550 NORTH DISTRICT PLAN RST 15502
 264.153 B1 (24.5400m²) = 2.454 H+ (6.054 ACRES)

BUILDING AREA (COVERAGE):

EXISTING BUILDINGS:
 CHURCH 13,850 SQ FT 135.00m²
 HIGH RISE 12,465 SQ FT 1158.00m²
 UTILITY BUILDING 3,451 SQ FT 321.87m²
SUB-TOTAL 29,766 SQ FT 2768.87m²

NEW PROPOSED BUILDINGS:
 PROPOSED CHURCH ADDITION 21,457 SQ FT 1995.42m²
 PROPOSED CHURCH ADDITION 2,378 SQ FT 220.87m²
 NEW BUILDING TO CHURCH 2,500 SQ FT 232.26m²
 PROPOSED CHURCH ADDITION 1,300 SQ FT 120.77m²
 PROPOSED CHURCH ADDITION 1,300 SQ FT 120.77m²
SUB-TOTAL: 27,935 SQ FT 2592.09m²

TOTAL: 57,701 SQ FT 5360.96m²

SITE COVERAGE:

PROPOSED: 7883.2m² / 78.8400m² = 0.201 (2.0%)

GROSS FLOOR AREA:

EXISTING BUILDINGS:
 CHURCH 3,865 SQ FT 355.00m²
 HIGH RISE 67,507 SQ FT 6274.26m²
 UTILITY BUILDING 47,781 SQ FT 4432.55m²
SUB-TOTAL 119,153 SQ FT 11062.81m²

NEW PROPOSED BUILDINGS:
 PROPOSED CHURCH ADDITION 195,574 SQ FT 18153.56m²
 PROPOSED CHURCH ADDITION 1,985 SQ FT 182.55m²
 PROPOSED CHURCH ADDITION 2,500 SQ FT 232.26m²
 PROPOSED CHURCH ADDITION 1,300 SQ FT 120.77m²
 PROPOSED CHURCH ADDITION 1,300 SQ FT 120.77m²
SUB-TOTAL: 199,659 SQ FT 18408.85m²

TOTAL: 318,812 SQ FT 29471.66m²

CROSS FLOOR AREA RATIO:

31,842.3m² / 74,945.0m² = 0.426

SETBACKS:

NORTH: 48.00m (157.48 FT)
 NORTH: 2.81m (9.22 FT)
 EAST: 108.81m (357.21 FT)

BUILDING HEIGHT:

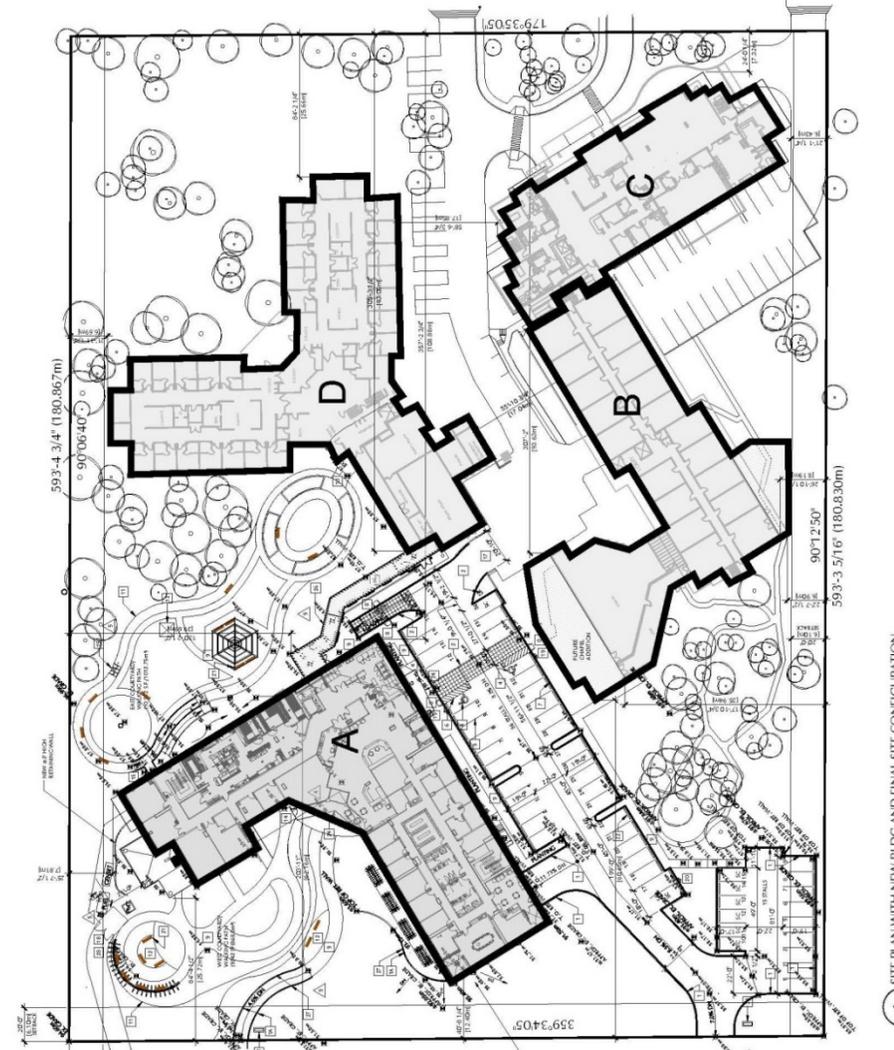
CODED ELEVATION TO TOP OF UPPER PARAPET 122.7m

PARKING:

EXISTING: PARKING @ GRADE 31 STALLS
 SUB-TOTAL 31 STALLS
NEW: PARKING @ GRADE 51 STALLS
 UTILITY PARKING 402 STALLS
SUB-TOTAL 433 STALLS
TOTAL 464 STALLS

UNIT COUNT:

EXISTING BUILDINGS: PROPOSED CHURCH ADDITION 50 UNITS
 PROPOSED CHURCH ADDITION 250 UNITS
SUB-TOTAL 300 UNITS
NEW 8 STOREY RESIDENTIAL CARE 195 UNITS
TOTAL 495 UNITS



1 SITE PLAN WITH NEW BLDG AND FINAL SITE CONFIGURATION
 A1.01 SCALE 1"=30'

7.20 CD-20 COMPREHENSIVE DEVELOPMENT ZONE (991 Stayte Road)

INTENT

The intent of this zone is to allow neighborhood-oriented retail service uses and a one-unit residential use.

1. Definitions

For the purposes of this zone the following definitions apply:

- (a) an *artisan shop* means the enclosed use of buildings and structures for the purpose of selling, processing, assembling, wholesaling, manufacturing, storing, repairing or producing artisan paintings, photography, woodworking, drawings, hand crafted items including knitting, weaving, silk screening or print screening, pottery, fired ceramics or sculpture for the ultimate consumer, and may include instructional classes or workshops.
- (b) a *retail service use* means a use providing for the sale at retail or repair of household or personal goods or things, or for extending services to persons; and is limited to: health clubs, appliance stores, art galleries, *artisan shops*, bakery shops, barbers, book shops, business offices, business schools, cafes, camera shops, clothing stores, coffee houses, dance studios, delicatessens, department stores, drug stores, dry cleaners, finance offices, grocery stores, hairdressers, hardware, home furnishing stores, laundrettes, meat markets, neighbourhood convenience stores, personal furnishing shops, printers, professional and semi-professional offices, *restaurants*, secondhand stores, shoemakers, stationary stores, tailors, toy stores, trade school and variety stores.

2. Permitted Uses

In the CD-20 Zone the following uses are permitted and all other uses are prohibited:

- (a) a *retail service use*
- (b) a *one-unit residential use*

3. Regulation for Permitted uses of Land, Buildings and Structures

- (a) A *retail service use* shall be limited exclusively to the *first story* of a *building*;
- (b) *Off street parking and loading* shall be provided in accordance with the provisions of Sections 4.14 and 4.15.
- (c) A *one-unit residential use*:
 - (i) shall not be permitted on a lot of less than 464.0m² (4,994.62ft²);
 - (ii) shall be limited exclusively to the *story* or stories above the *first story* of a *building*;
- (d) The maximum allowable size of a *lot* shall be 1,120.0m² (12,056.0ft²) in area.

4. Regulations for the Size, Shape and Siting of *Buildings* and *Structures*

- (a) *Principal buildings*:
 - (ii) shall not exceed a *lot coverage* of 45%;
 - (iii) shall not exceed a *height* of 7.7m (25.26ft);
 - (iv) shall be sited not less than:
 - a. 7.5m (24.61ft) from *front and rear lot lines*;

- b. 1.5m (4.92ft) from an *interior side lot line*;
 - c. 7.5m (24.61ft) from an *exterior side lot line* where the *rear lot line* abuts or faces the *interior side lot line* of the adjacent lot;
- (b) *Accessory buildings and structures*:
- (i) *accessory structures* shall not exceed a *height* of 4.0m (13.12ft);
 - (ii) *accessory structures* shall be sited not less than:
 - a. 1.5m (4.92ft) from a *rear lot line*;
 - b. 1.5m (4.92ft) from an *interior side lot line*;
 - c. 7.5m (24.61ft) from an *exterior side lot line*;
 - d. 2.4m (7.87ft) from a *rear lot line* abutting a *lane*;
 - (iii) *accessory buildings* shall not exceed a *height* of 4.0m (13.12ft);
 - (iv) *accessory buildings* shall not exceed a maximum area of 6.0m² (64.56ft²).

7.21 CD-21 COMPREHENSIVE DEVELOPMENT ZONE (Thrift, Everall, Goggs)

INTENT

The intent of this zone is to accommodate a residential development on a site of approximately 0.76ha (1.89ac)

1. Permitted Uses

In the CD-21 Zone the following uses are permitted and all other uses are prohibited:

- (a) *multi-unit residential use* in the form of an *apartment*
- (b) *accessory home occupation use* in accordance with the provisions of Section 5.3

2. Regulations for Permitted Uses of Land, Buildings and Structures

- (a) The location of each permitted use shall be in accordance with the Plans and as follows:
 - (i) An *apartment or townhouse* use is permitted in one or more principal buildings on the lot;
 - (ii) An *accessory home occupation* use shall comply with the provisions of Section 404.

3. Number of Dwelling Units / Gross Floor Area / Lot Coverage

The maximum number of *dwelling units*, *gross floor area* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

Maximum number of <i>Dwelling Units</i>	Maximum <i>gross floor</i> <i>area</i> ¹	Maximum <i>Lot</i> <i>Coverage</i>
87	10,906.2 m ²	42.0%

4. Regulations for Size, Shape, and Siting of Buildings and Structures

Reference to a numbered Building refers to the building labeled that specific number on the Plans.

- (a) As indicated on the Plans, *principal buildings*:
 - (i) shall not exceed a height of 101.7m geodetic for Building 1 and 104.98 m geodetic for Building 2²;
 - (ii) shall be sited in accordance with the setbacks from a property line as shown on the Plans.
- (b) *Accessory buildings and structures*:
 - (i) shall not exceed a height of 4.0 m;
 - (ii) shall be sited in accordance with the setbacks from a property line as shown on the Plans.

5. Parking and Loading

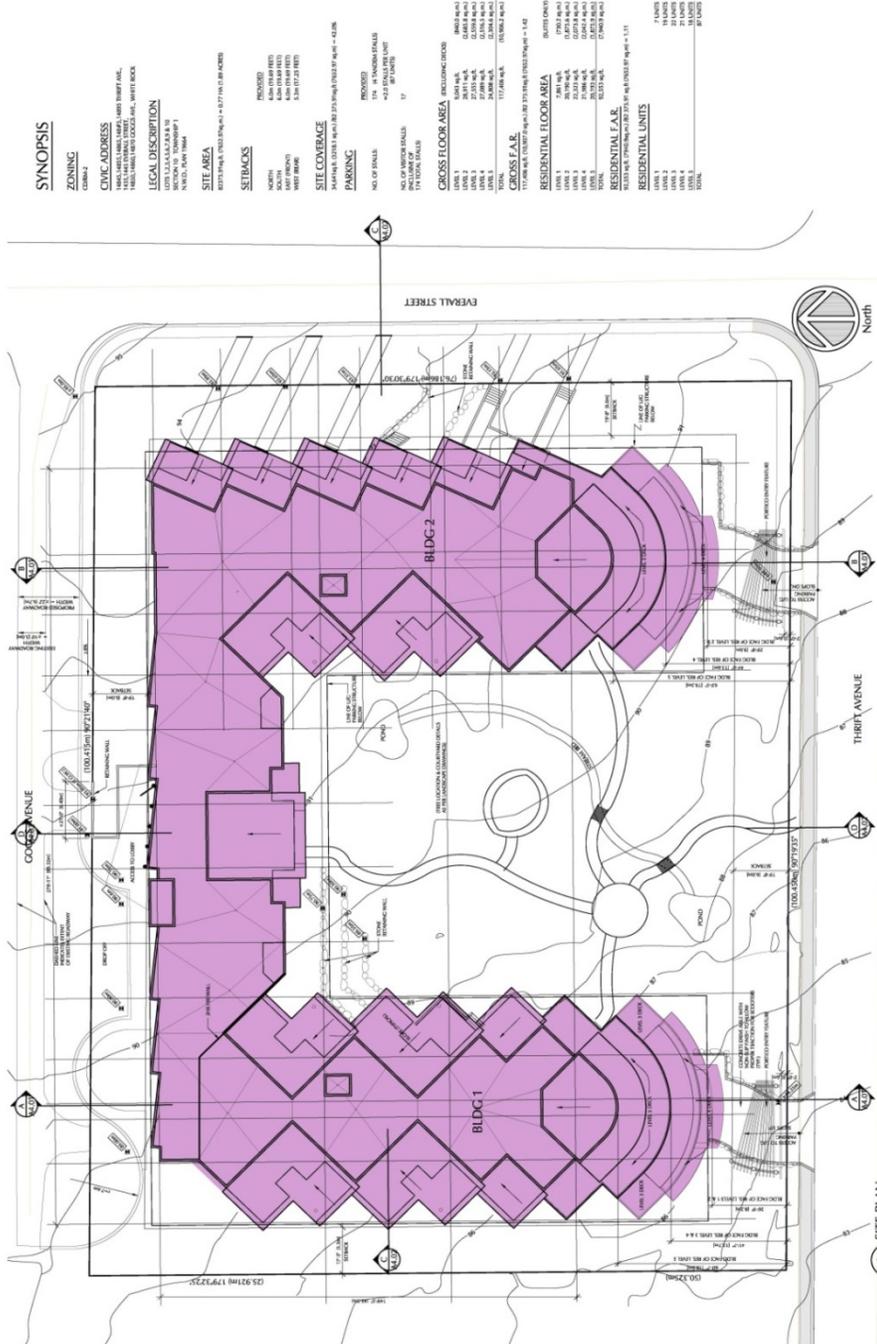
Parking and Loading shall be provided in accordance with the provisions of Sections 4.14 and 4.15, and, the minimum number of parking spaces shall be 174.

¹ Excludes unenclosed balconies.

² The heights of *buildings* and *structures* permitted in this zone may be exceeded for elevator shafts and stair towers which do not provide direct access to the roof; retaining walls; *antennas*; church spires, belfries and domes; chimneys; flag poles, and; scenery lofts.

6. Subdivision
Minimum *lot area* in this zone shall be 7,600m². No other lot maybe created through subdivision but existing legal parcels or portions thereof may be consolidated to support this development.
7. General
Drawings attached hereto prepared by Ankenman Associates Architect Inc A1.01, A3.0, A3.01, A3.02, A3.03A, A3.03B dated May 15, 2008 on file with the City of White Rock and for the purposes of this zone are referred to as “the Plans”.
8. Development in this zone shall conform substantially to the Plans.

The Plans



SYNOPSIS

ZONING
 COMM-2

CIVIC ADDRESS
 1208 THRIFT AVENUE, WHITE ROCK, BC V4A 3A7

LEGAL DESCRIPTION
 LOTS 1 & 2, S.S. 200, DIST. NO. 20

SITE AREA
 11,000.00 sq. ft.

SETBACKS

SITE COVERAGE
 42.00%

PARKING
 17 SPACES

CROSS FLOOR AREA

RESIDENTIAL FLOOR AREA

RESIDENTIAL F.A.R.

RESIDENTIAL UNITS

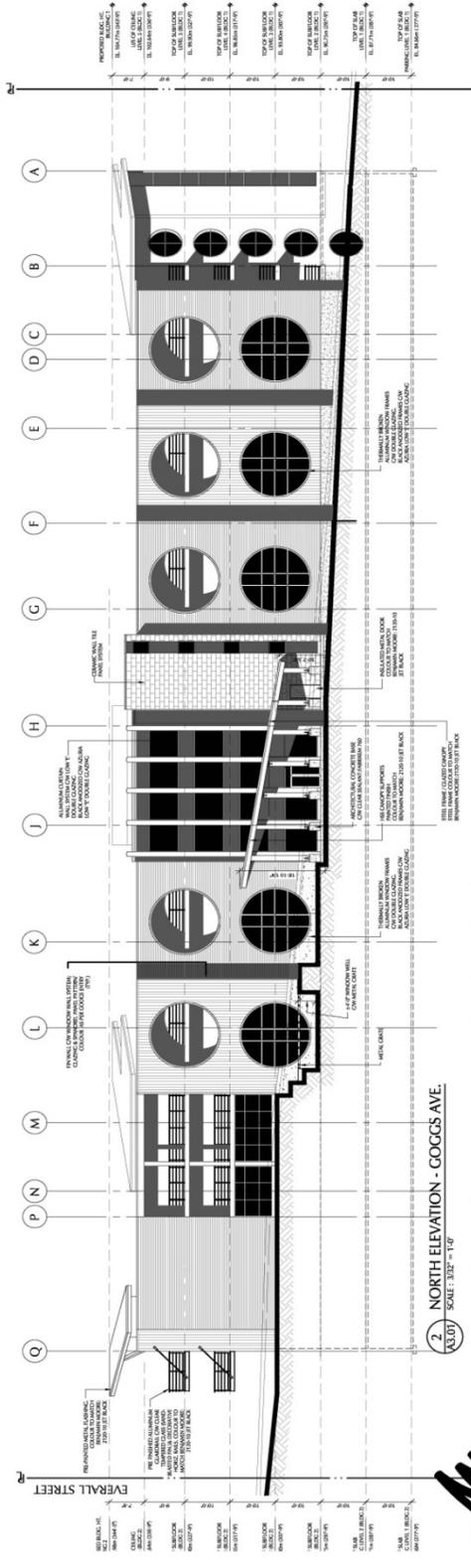
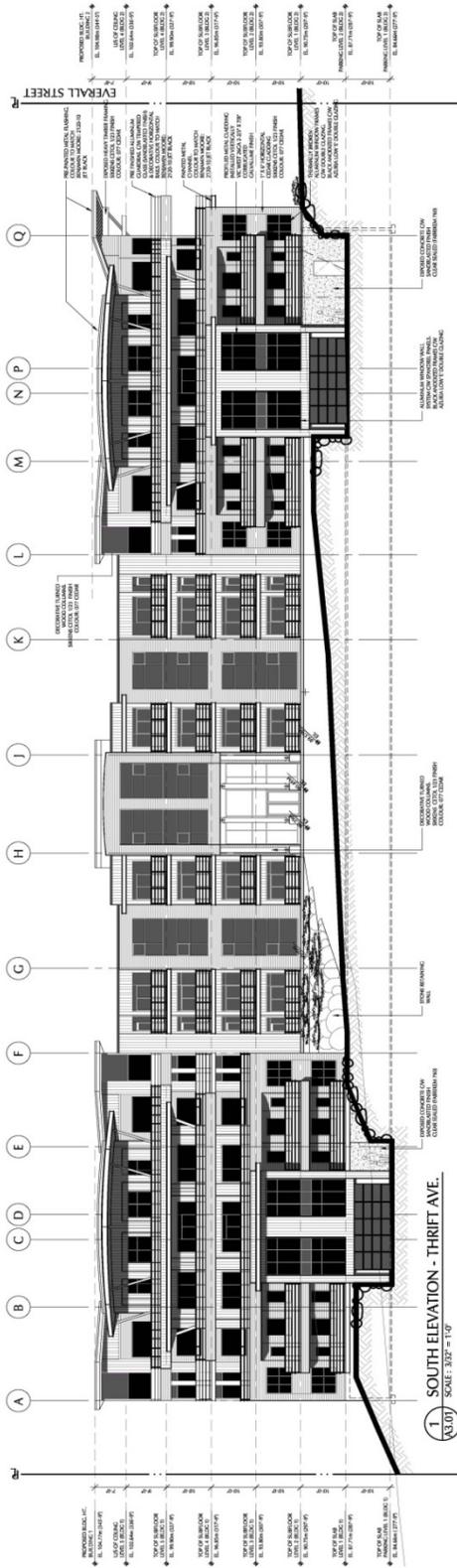
1. SITE PLAN
 SCALE: 1/16" = 1'-0"

ANKENMAN ASSOCIATES ARCHITECTS INC.
 12321 BEECHER ST., CRESCENT BEACH, BC V4A 3A7 604-536-1600

RESIDENTIAL DEVELOPMENT
 THRIFT AVENUE & EVERALL STREET, WHITE ROCK
 FORGE PROPERTIES INC.

1208
 SCALE: 1/16" = 1'-0"

A1.01



A3.01

1208

ELEVATIONS

THRIFT AVENUE & EVERALL STREET, WHITE ROCK

RESIDENTIAL DEVELOPMENT

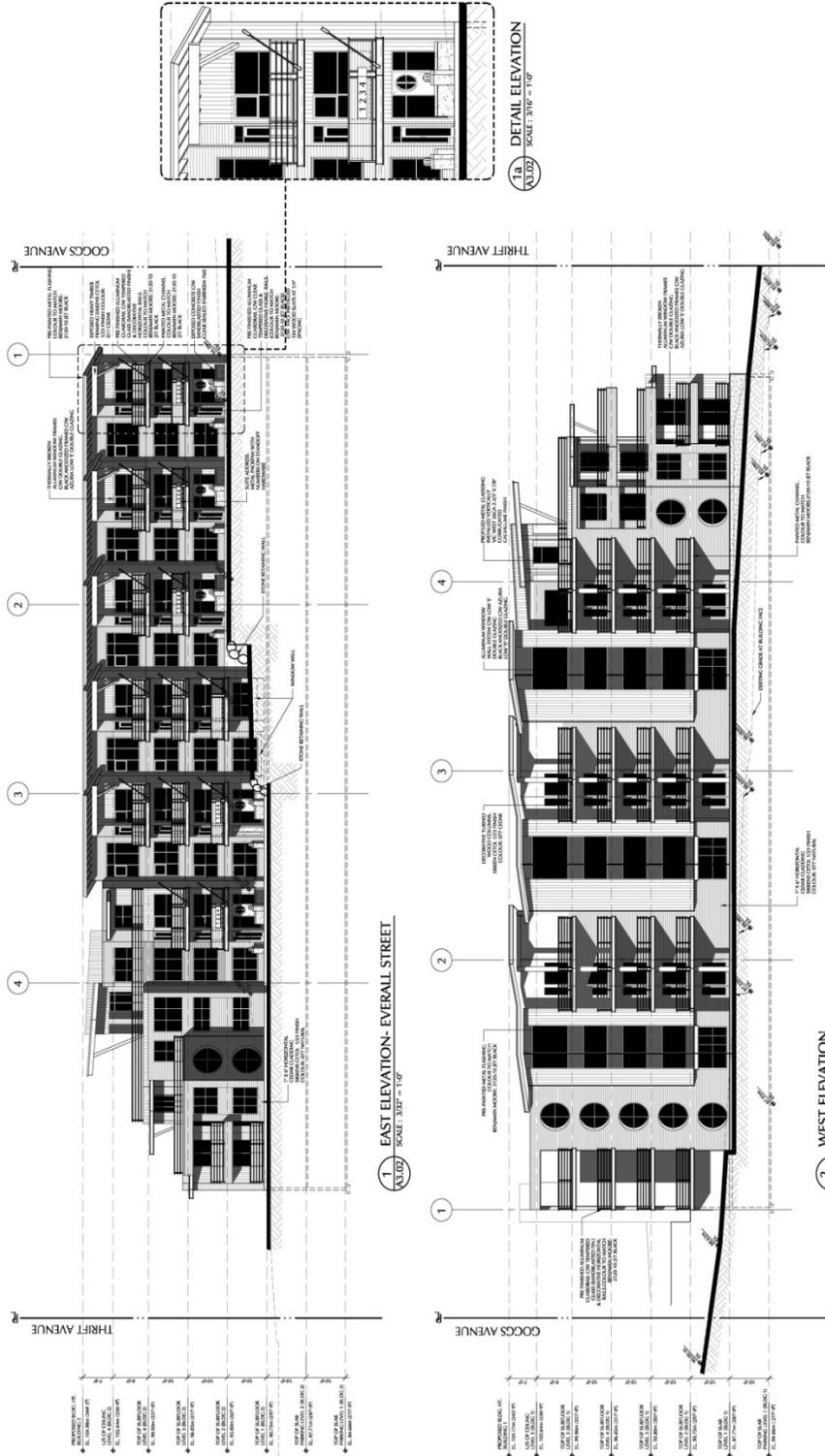


Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604-536.1600

SCALE: 3/32" = 1'-0"

1 T 1

RES ID DEVELOPMENT PLAN



RESIDENTIAL DEVELOPMENT THRIFT AVENUE & EVERALL STREET, WHITE ROCK
FORGE PROPERTIES INC.

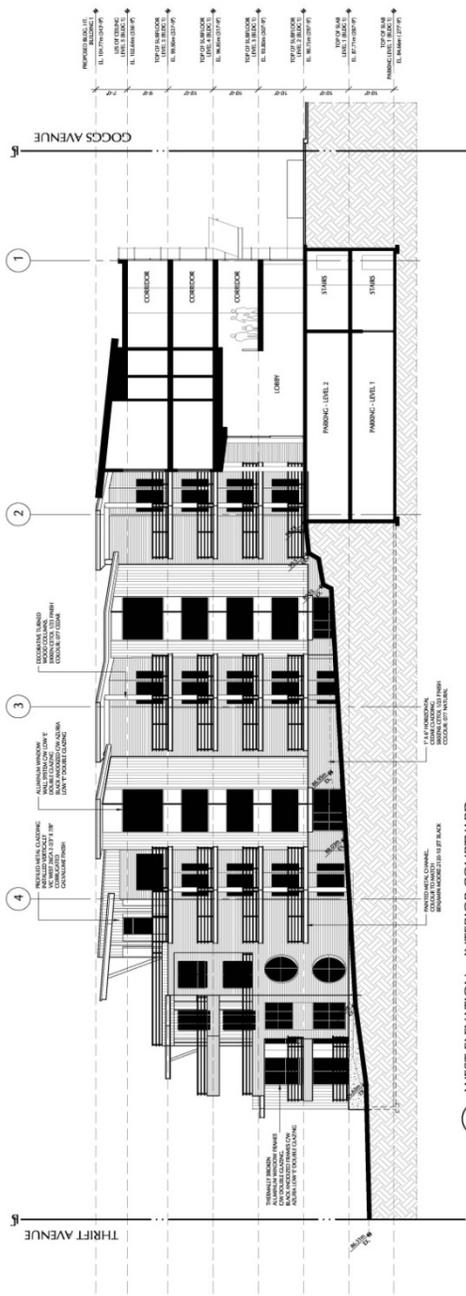
Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

ELEVATIONS SCALE: 3/32" = 1'-0"

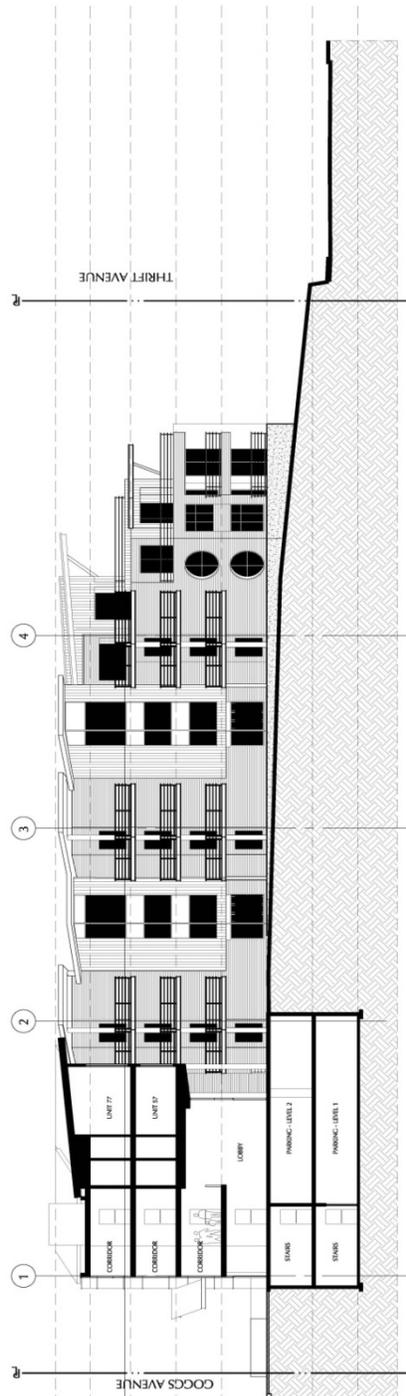
1208

DATE	BY	REVISION FOR ALIAS
16	MBT/LSM	REVISION FOR ALIAS
16	MBT/LSM	REVISION FOR ALIAS

A3.02



WEST ELEVATION - INTERIOR COURTYARD
SCALE: 3/32" = 1'-0"



EAST ELEVATION - INTERIOR COURTYARD
SCALE: 3/32" = 1'-0"



Ankenman Associates Architects Inc.
13231 Brecher St., Crescent Beach, BC V4A 3A7 604.536.1600

RESIDENTIAL DEVELOPMENT THRIFT AVENUE & EVERALL STREET, WHITE ROCK INTERIOR ELEVATIONS 1208
FORGE PROPERTIES INC.

SCALE: 3/32" = 1'-0"



A3.03A

7.22 CD-22 COMPREHENSIVE DEVELOPMENT ZONE (open for use)

7.23 CD-23 COMPREHENSIVE DEVELOPMENT ZONE (Johnston – George)

INTENT

The intent of this zone is to accommodate the development of an independent living / commercial / residential development in the Town Centre area on a site of approximately 0.27ha. (0.66ac.)

1. Permitted Uses

In the CD-23 Zone the following uses are permitted and all other uses are prohibited:

- (a) *multi-unit residential use*
- (b) *a retail service group 1 use*
- (c) *a licensed establishment, including liquor primary, food primary, agency store, liquor store, u-brew or u-vin*
- (d) *an assisted living residence*

2. Location of Permitted Uses

The location of each permitted use shall be in accordance with the Plans and as follows:

- (a) *A retail service group 1 use shall only be located on the first or second story of a building in the area referred to as Building 1 as shown on the Plans;*
- (b) *An apartment shall only be located above the first story of a building in the area referred to as Building 1 as shown on the Plans; and*
- (c) *An apartment or an assisted living residence only shall be located in Building 2 as shown on the plans.*

3. Number of Dwelling Units / Gross Floor Areas / Lot Coverage

The maximum number of *dwelling units*, *gross floor areas* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

Building Number ³	Maximum number of <i>Dwelling Units</i>	Maximum <i>gross floor area</i> ⁴ for a <i>residential use</i> (includes <i>amenity space</i> ⁵)	Maximum <i>gross floor area</i> for a <i>retail service group 1 use</i>	Maximum <i>Lot Coverage</i>
1	4	269.4 m ²	337.5 m ²	48.0%
2	108	9,578 m ²	0	44.5%
Total for all Buildings and Lots Combined	112	9,847.4 m ²	337.5 m ²	45.6%

4. Regulations for Size, Shape, and Siting of Buildings and Structures

Reference to a numbered Building refers to the building labeled that specific number on the Plans.

- (a) As indicated on the Plans, *principal buildings*:
 - (c) shall not exceed a height of 118.8m geodetic for Building 1, and 156.5m geodetic for Building 2;

³ As indicated on the Plans

⁴ Excludes unenclosed balconies

⁵ Means common recreation facilities provided within a *principal building* for the exclusive use of the residential tenants or their guests

- (d) shall be sited in accordance with the setbacks from a property line as shown on the Plans;
- (b) *Accessory buildings and structures:*
 - (ii) shall not exceed a height of 4.0 m;
 - (iii) shall be sited in accordance with the setbacks from a property line as shown on the Plans;

5. Parking and Loading

Parking and Loading shall be provided in accordance with Sections 4.14 and 4.15 as follows:

Building Number ⁶	Parking spaces for <i>residential use</i>	Parking spaces for <i>retail service group 1 use</i>	Parking spaces for <i>off-street loading use</i>
1	4	5	1
2	120	0	0
Total	124	5	1

6. Subdivision and Density

The existing legal parcels may be consolidated and re-divided to allow separate “fee-simple” titles for Building 1 at 1456 Johnston Road, and for Building 2 at 1447 George Street.

Density shall be calculated for all of the properties combined together, and the property for Building 1 at 1456 Johnston Road shall require restrictive covenant to limit or restrict further expansion that would serve to increase the Floor Area Ratio (FAR) for the combined properties above the maximum permitted.

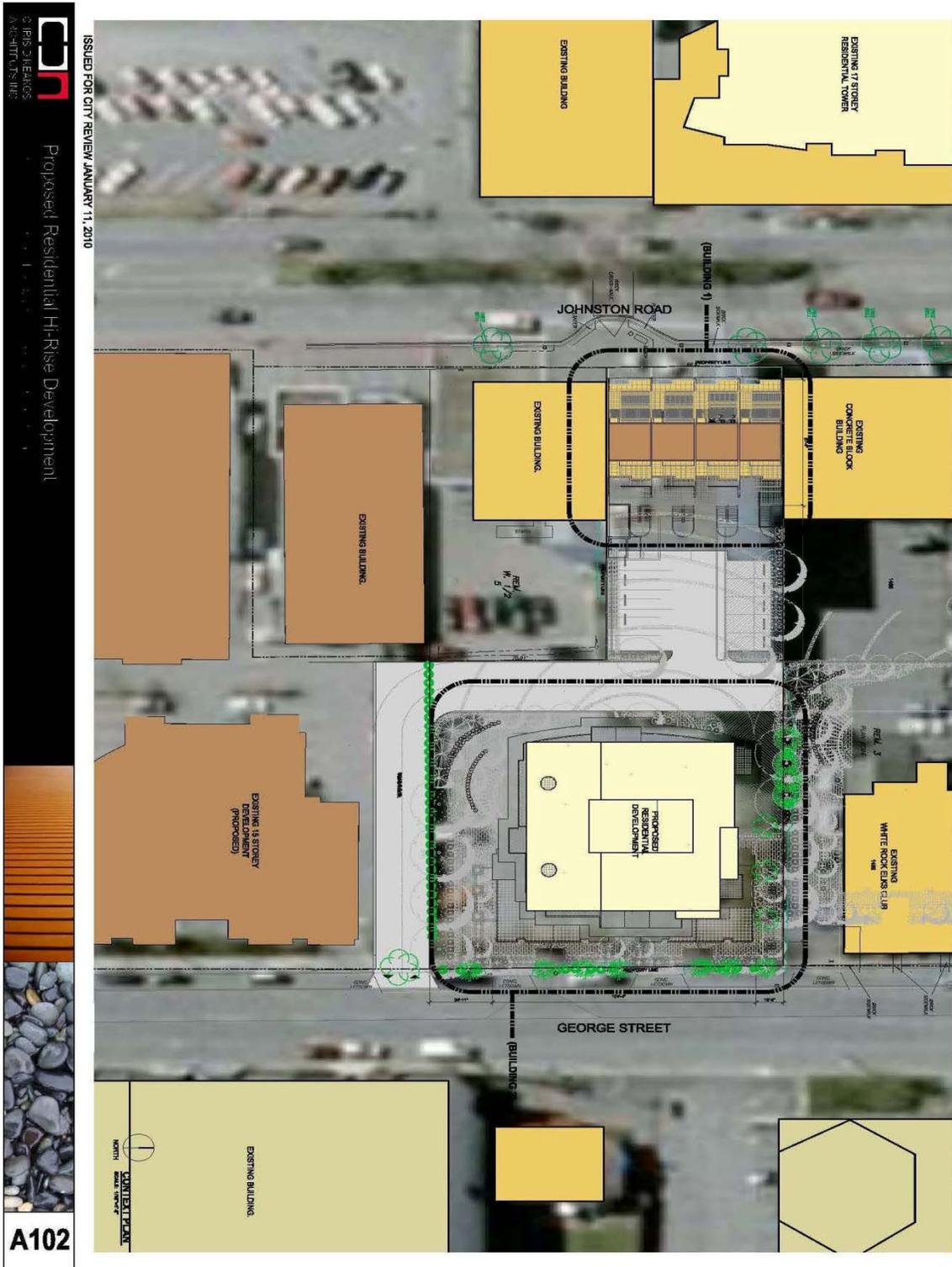
7. General

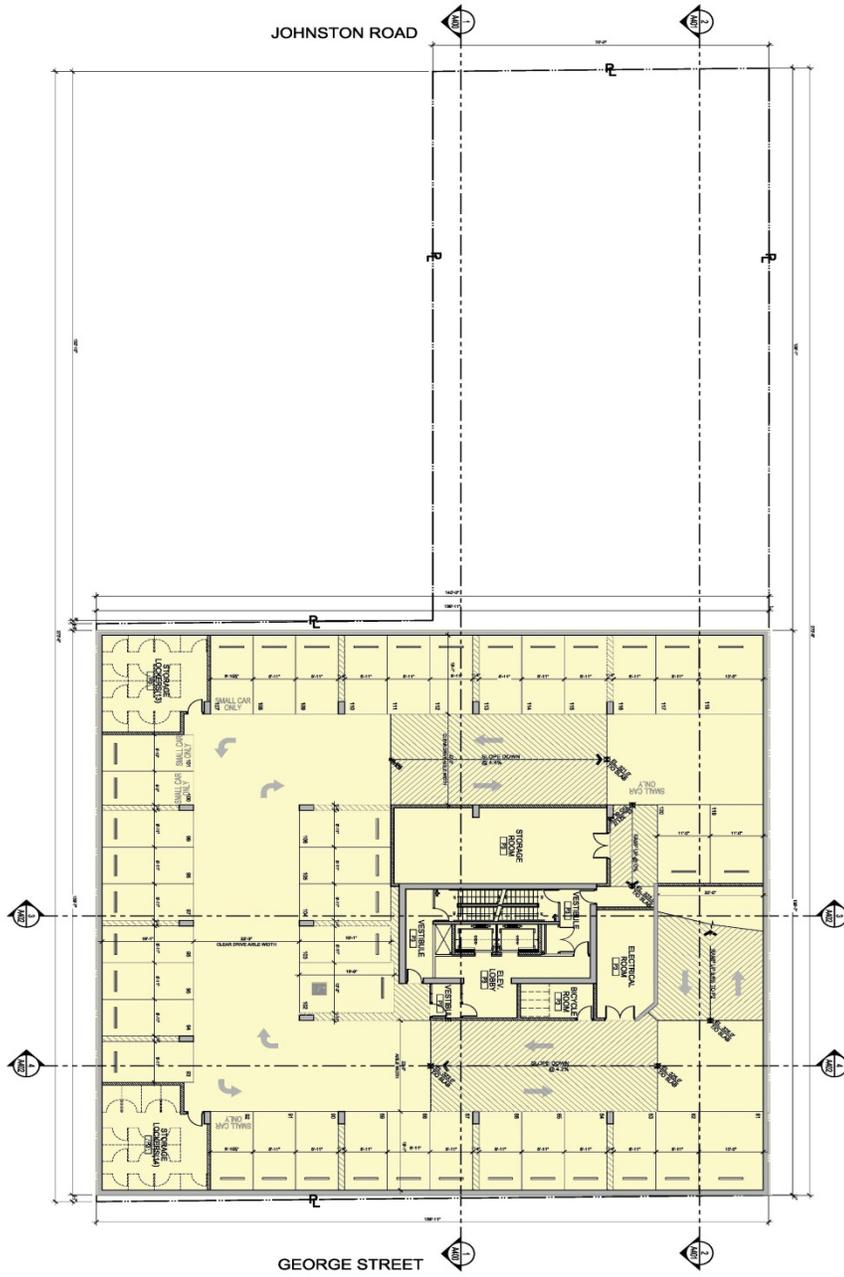
Drawings attached hereto prepared by Chris Dikeakos Architects Inc. A201, A202, A203, A204, A207, A210, A213, A214, A218, A219, A300, A301, A302, A303, A304 and A306, no date, on file with the City of White Rock; and for the purposes of this zone are referred to as “the Plans”.

8. Development in this zone shall conform substantially to the Plans.

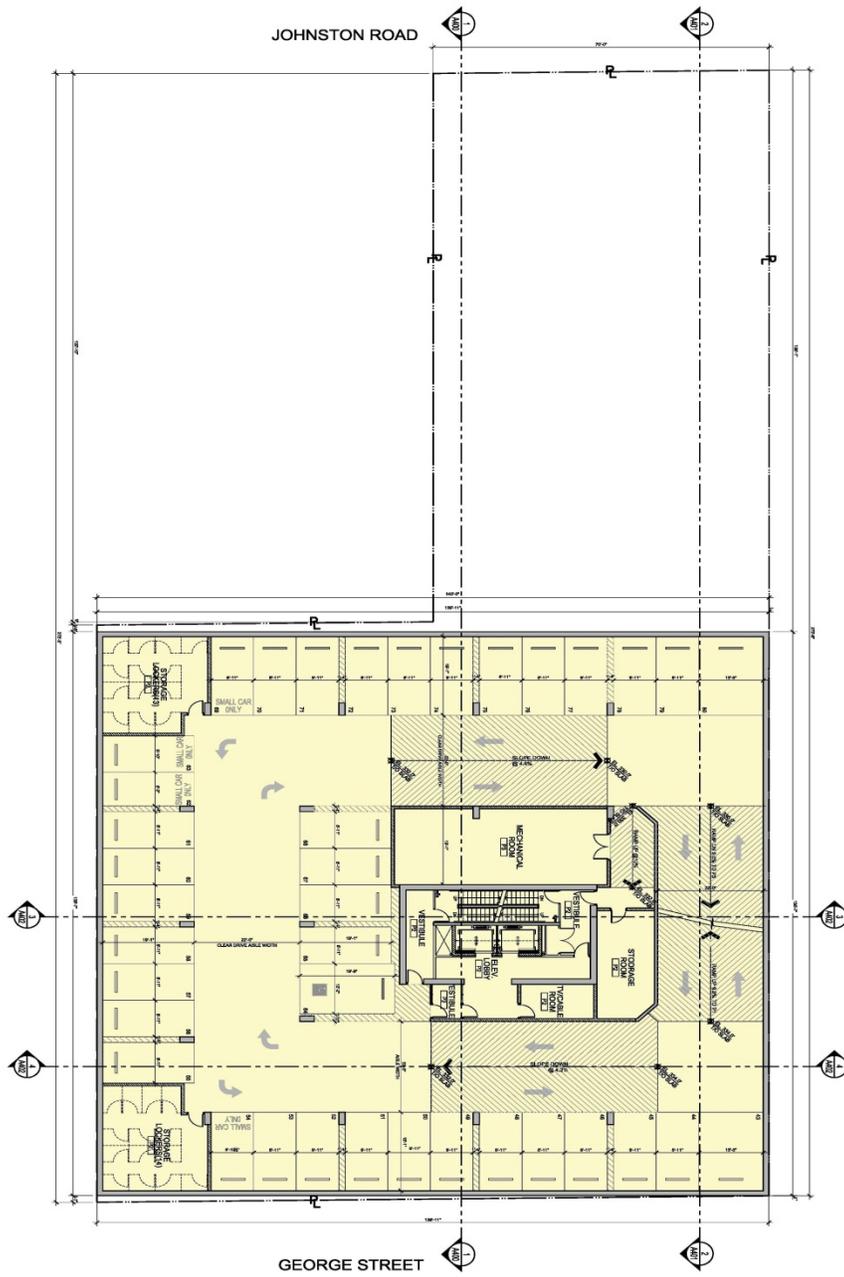
⁶ As indicated on the Plans

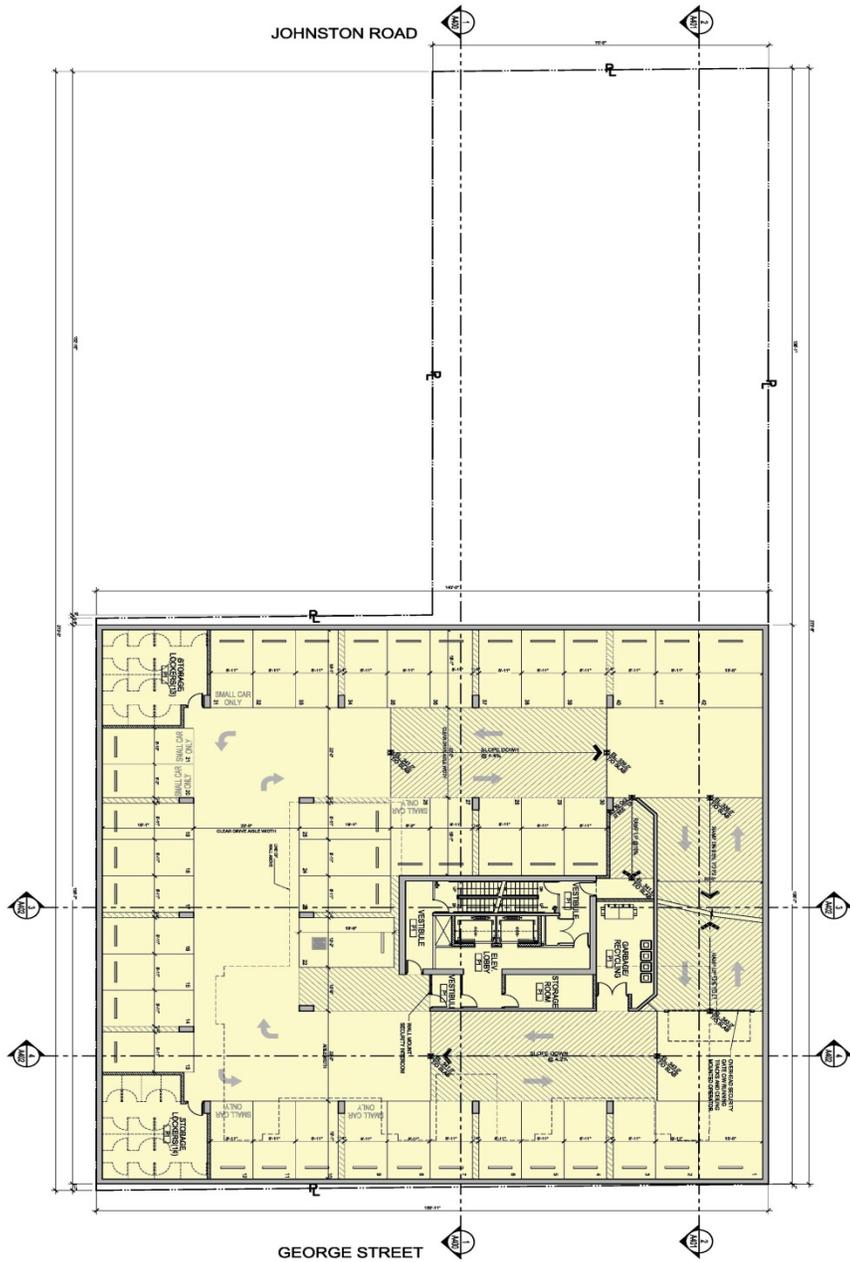
The Plans

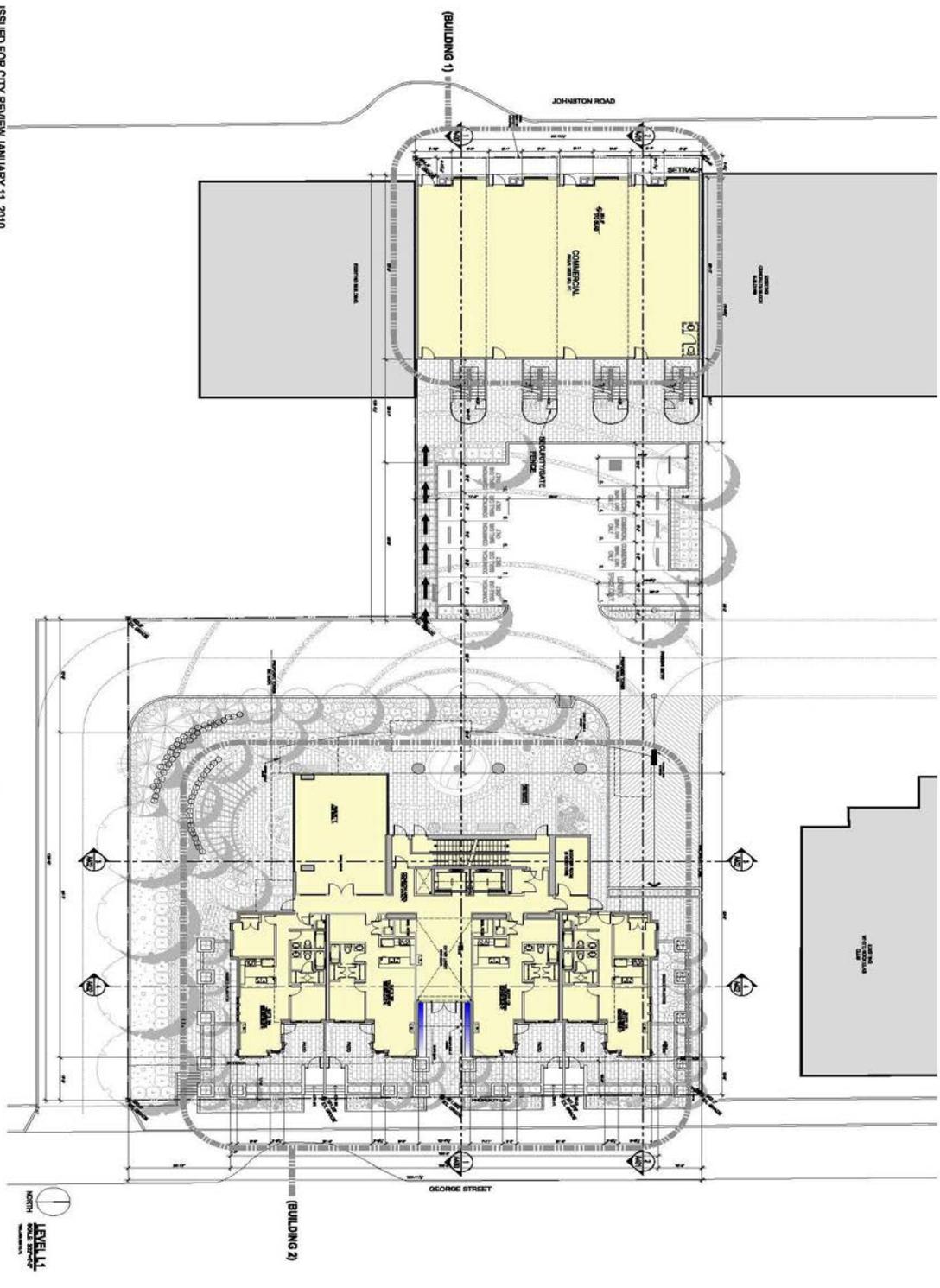


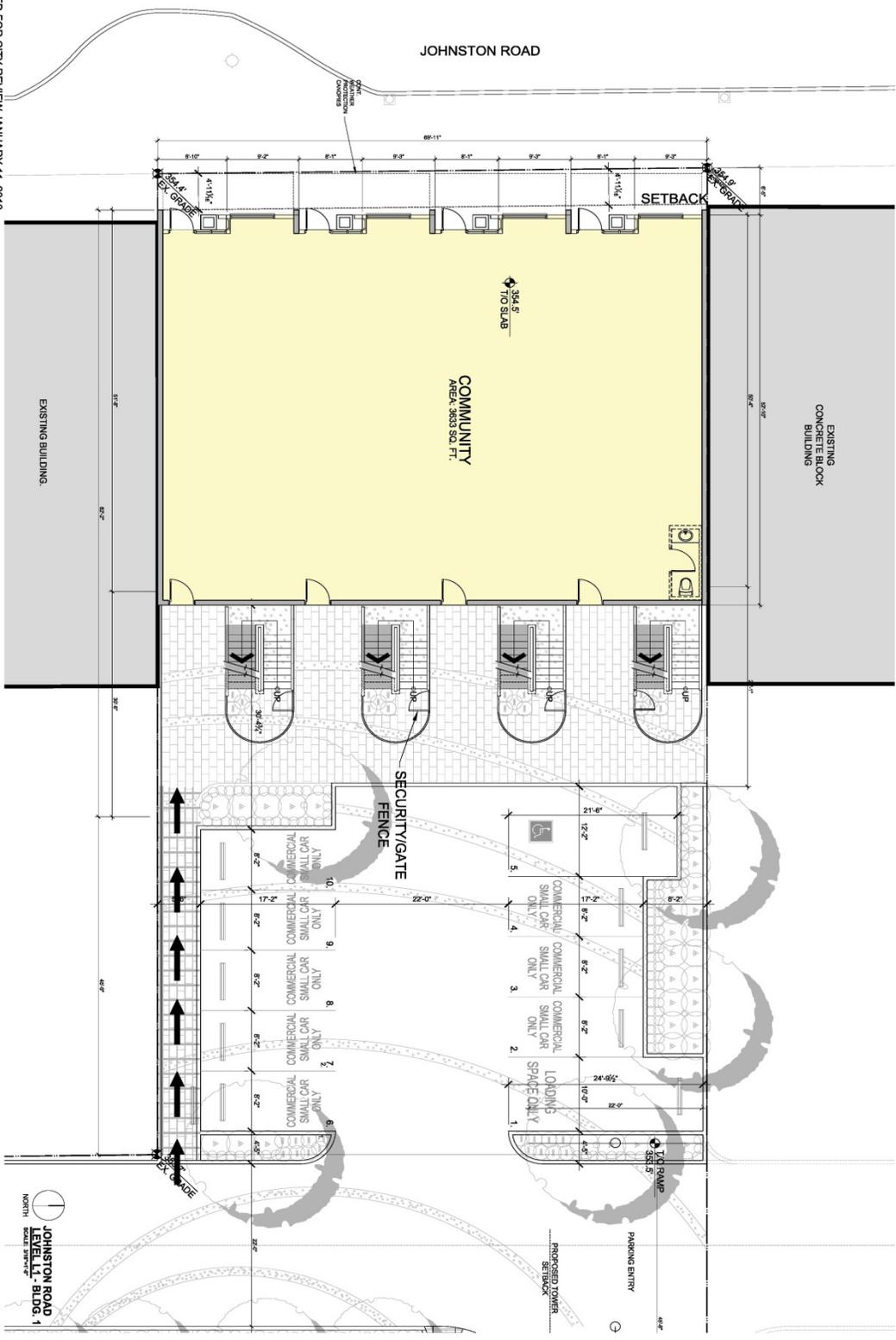


A201









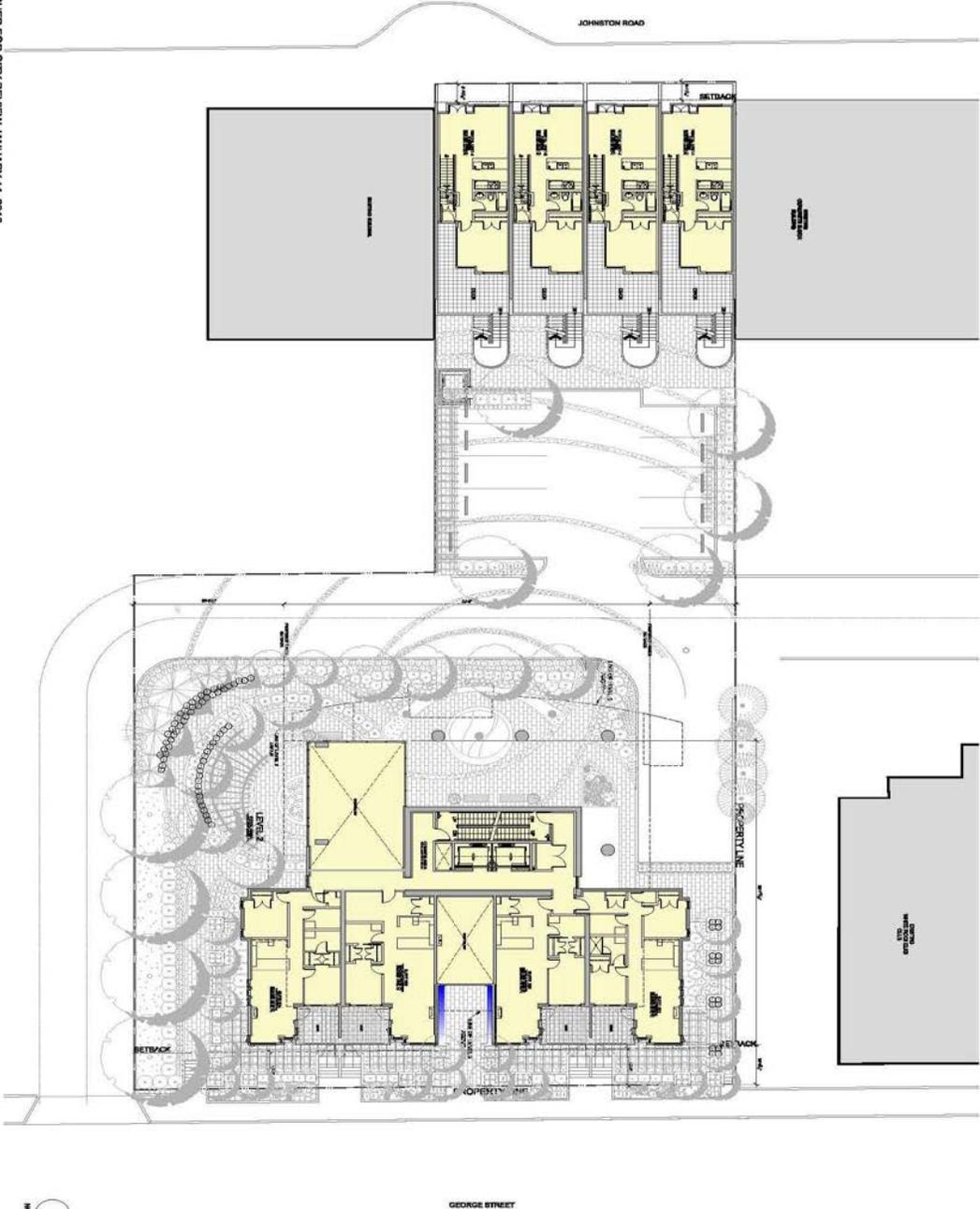
JOHNSTON ROAD
LEVEL 1.1 - BLDG. 1
NORTH
SCALE 1/8"=1'-0"

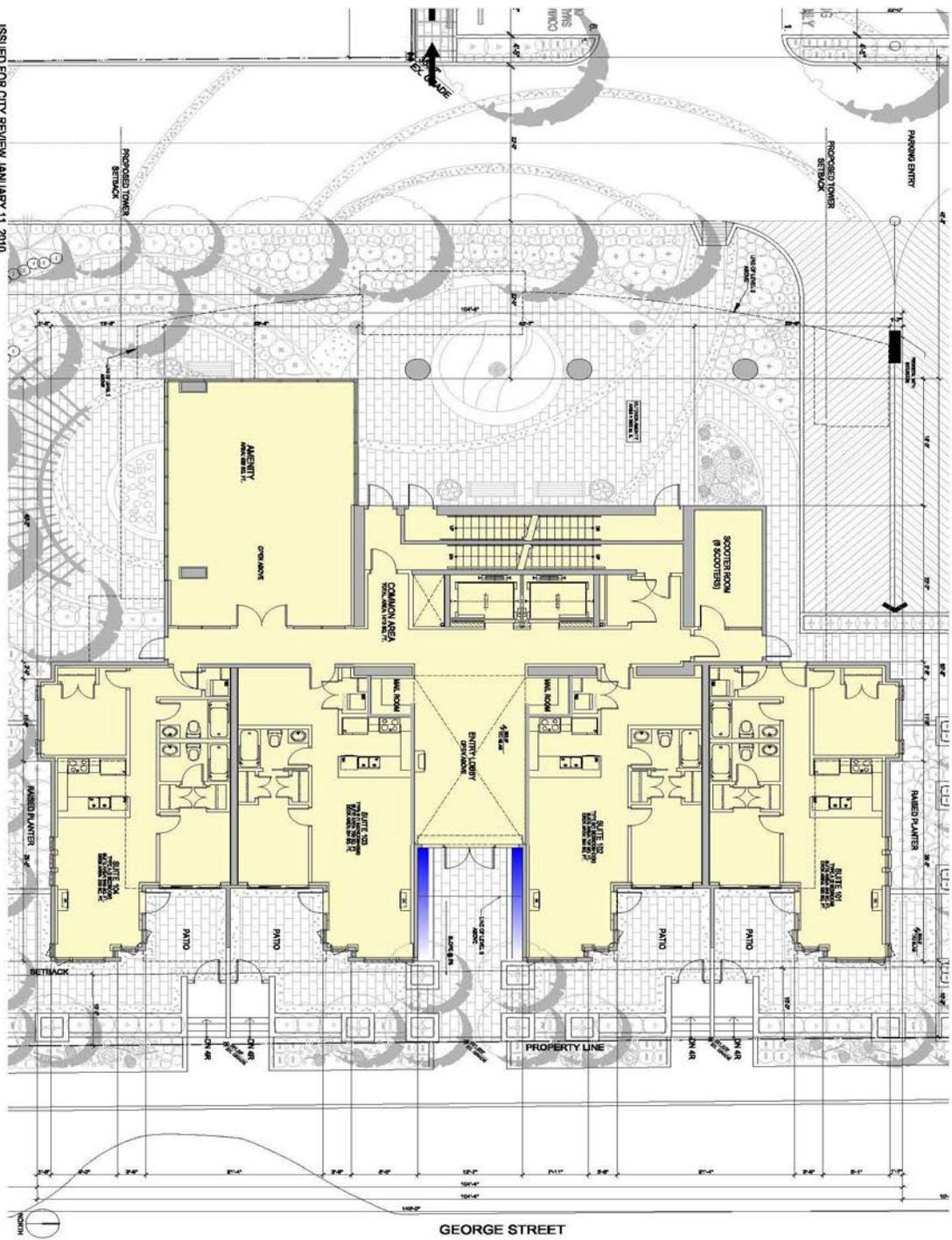


Proposed Residential Hi-Rise Development

A206

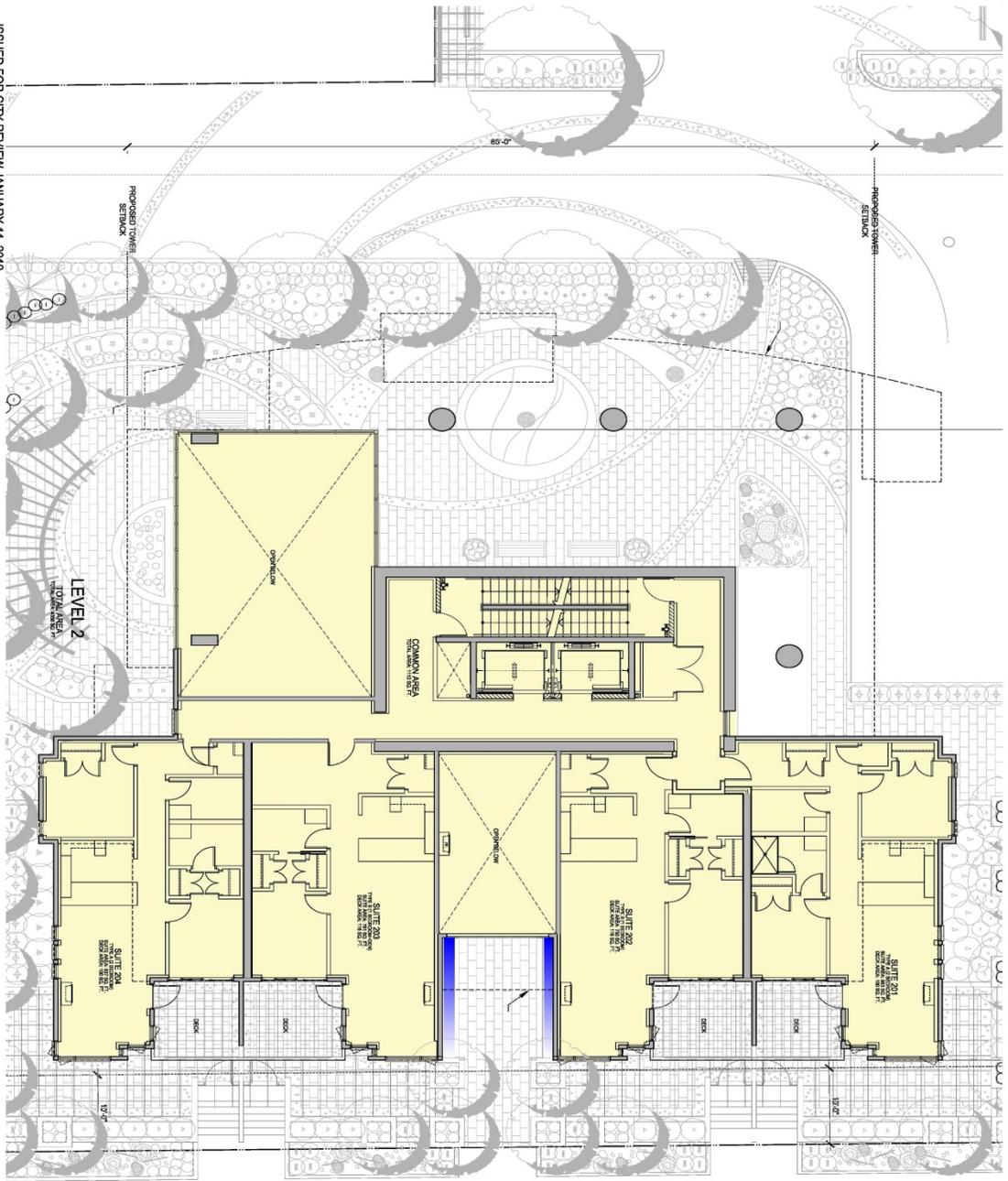
ISSUED FOR CITY REVIEW JANUARY 11, 2010





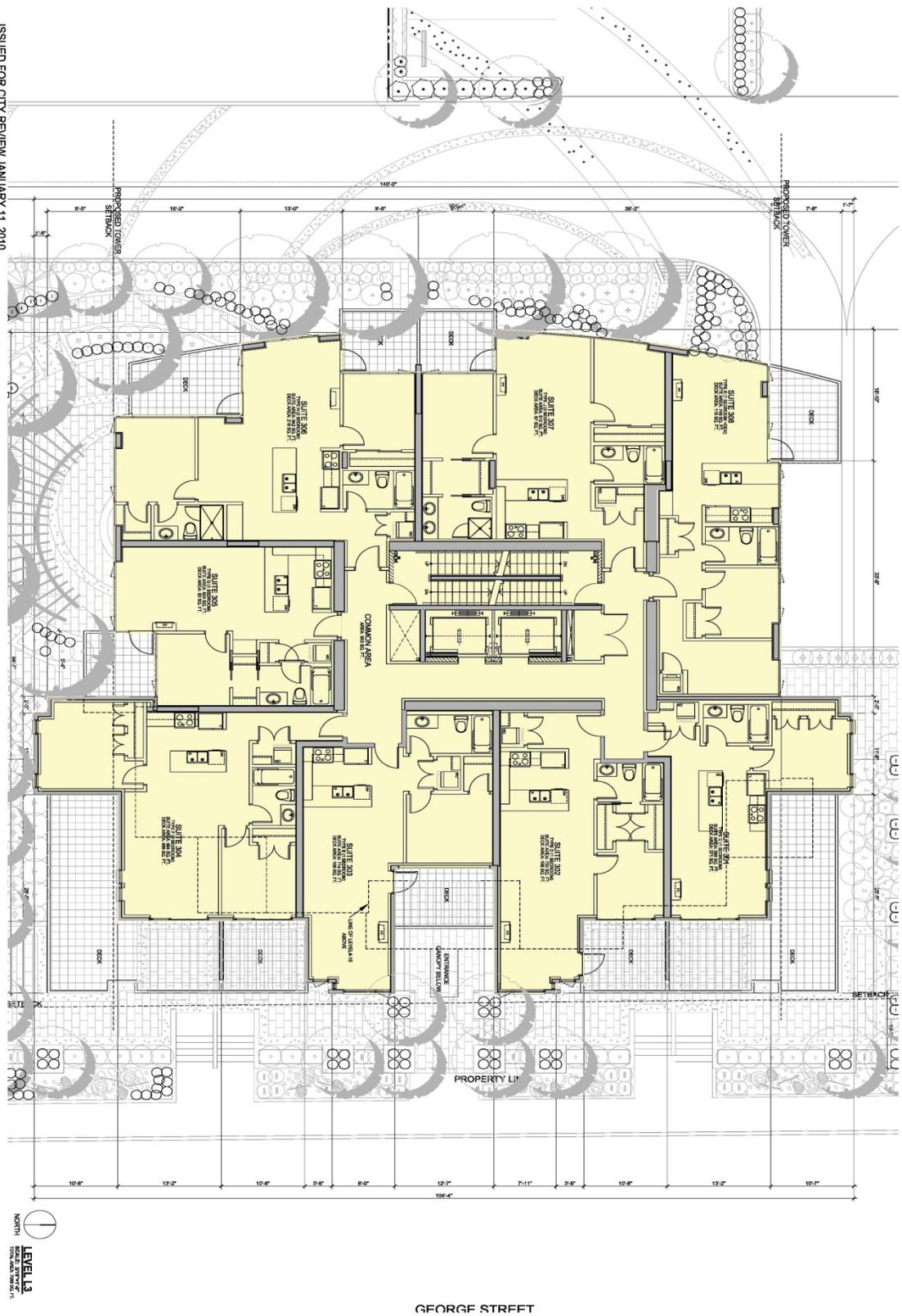

 NORTH
LEWELL
 ARCHITECTS

A207

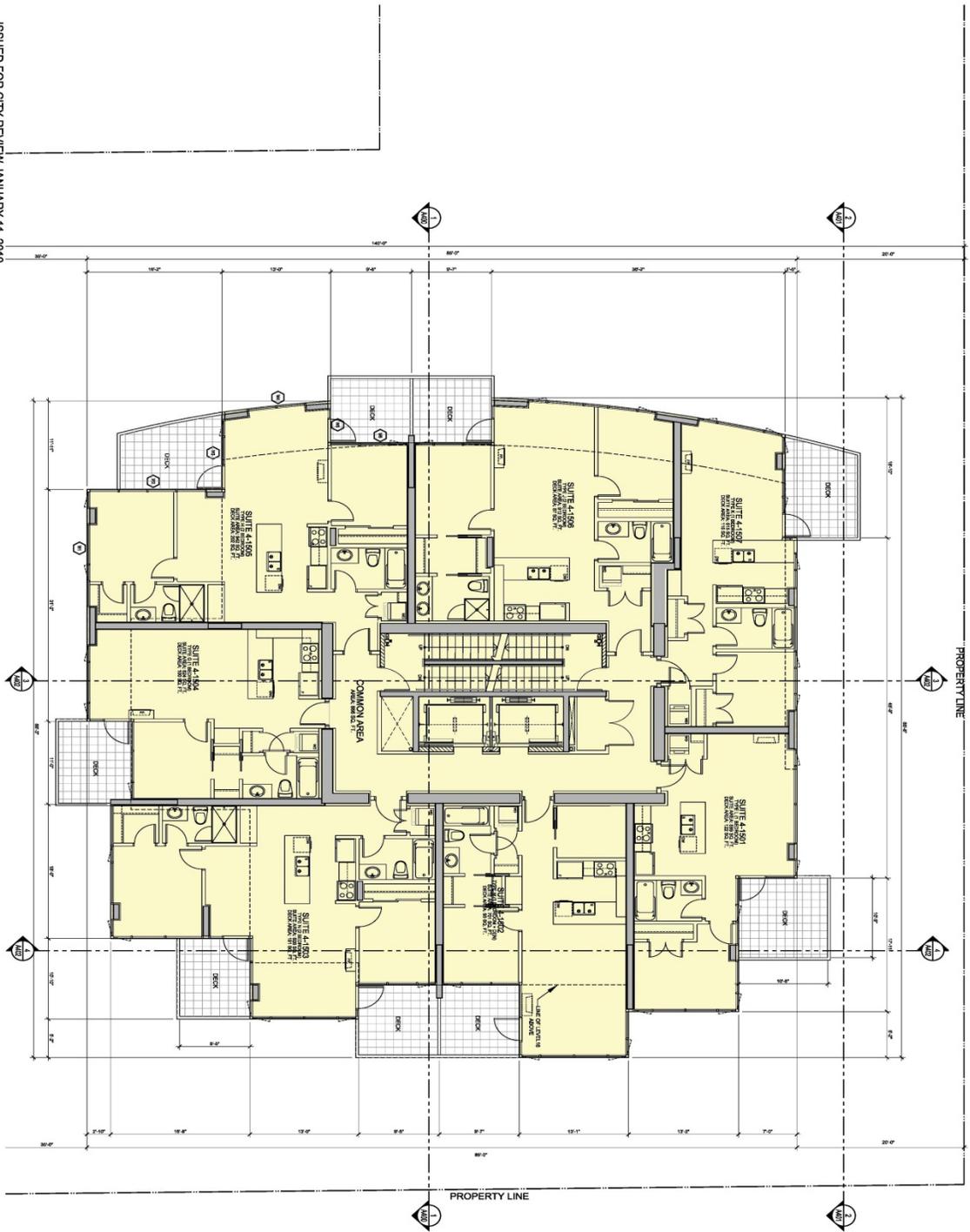


LEVEL 2

GEORGE STREET



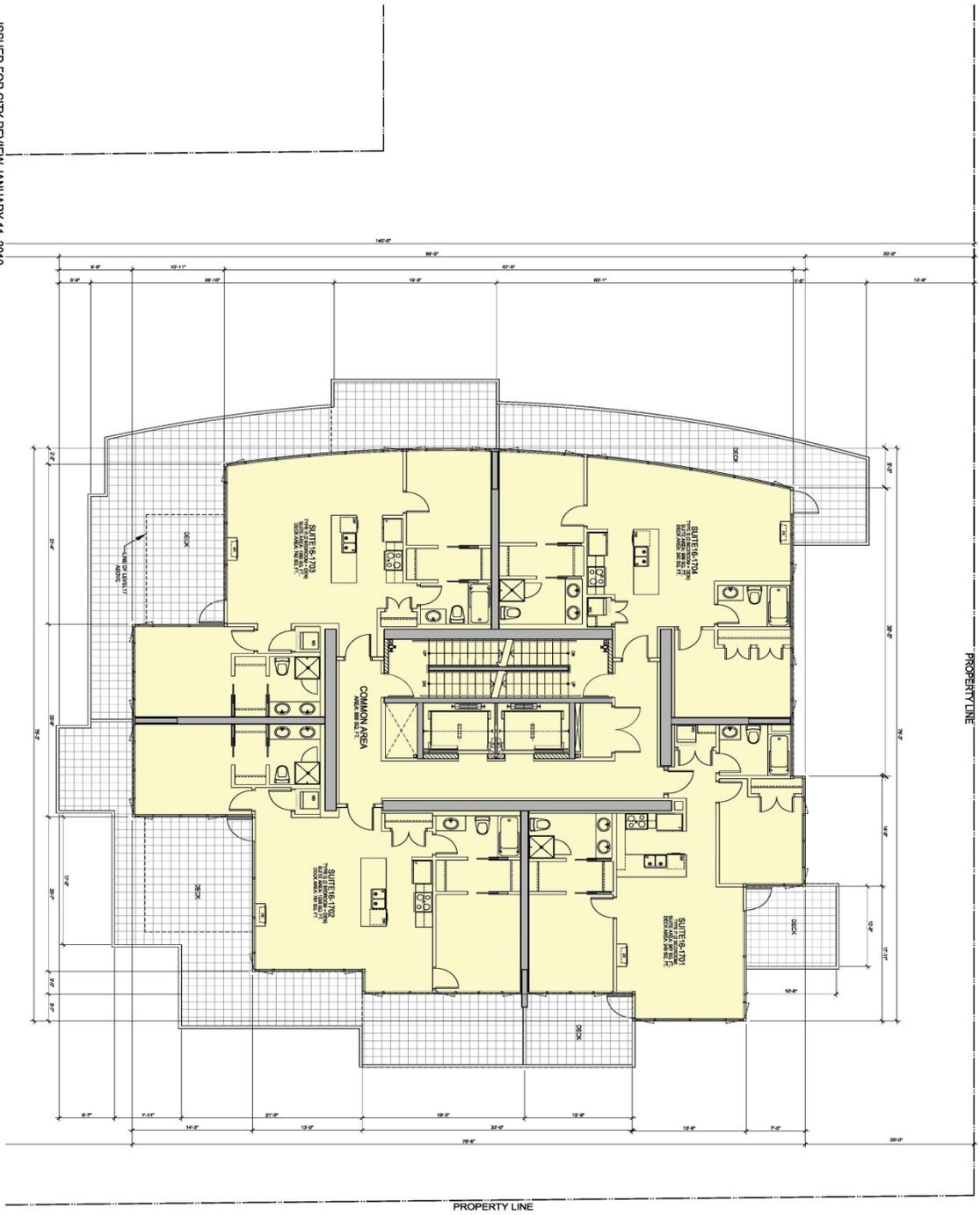
A209



GEORGE STREET



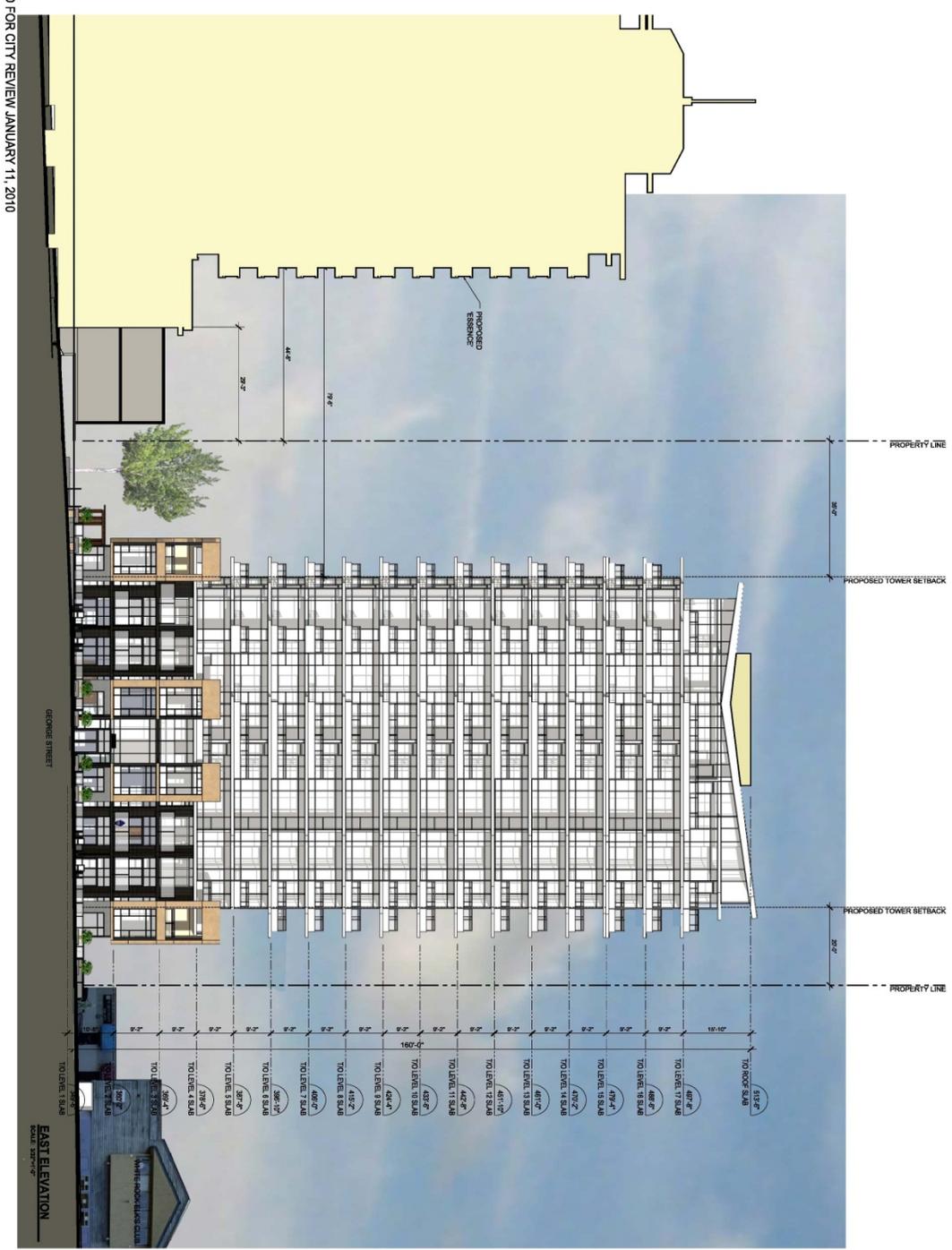
A210



GEORGE STREET

LEVEL 18-17
 NORTH
 TOTAL AREA: 6862.50 SF

A211



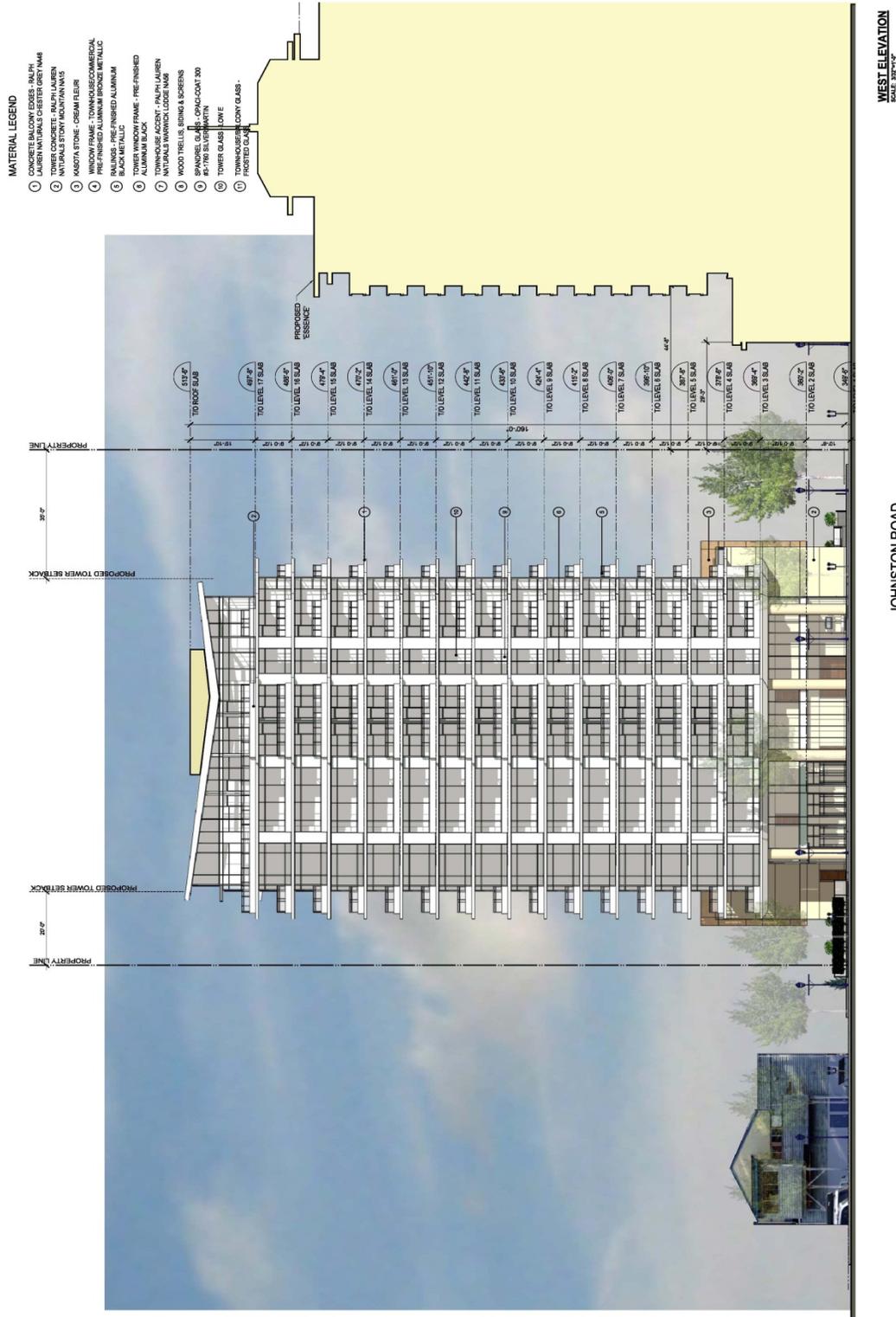
ISSUED FOR CITY REVIEW JANUARY 11, 2010



Proposed Residential Hi-Rise Development
CHRIS DIKEAKOS ARCHITECTS, INC.



A300



- MATERIAL LEGEND**
- ① CONCRETE BALCONY EDGES - PALPH LAUREN
 - ② TOWER CONCRETE - PALPH LAUREN
 - ③ NATURAL STONE MOUNTAIN VALS
 - ④ KASOTA STONE - CREAM FLEUR
 - ⑤ WINDOW FRAME - TOWNHOUSE COMMERCIAL
 - ⑥ PRE-FINISHED ALUMINUM BRONZE METALLIC
 - ⑦ BALCONY FINISH - PRE-FINISHED ALUMINUM
 - ⑧ TOWER WINDOW FRAME - PRE-FINISHED ALUMINUM BLACK
 - ⑨ TOWNHOUSE ACCENT - PALPH LAUREN
 - ⑩ NATURAL WARRICK LODGE 1408
 - ⑪ WOOD TRELLIS SIDING & SCREENS
 - ⑫ SPANREL CLAD - OPA-COAT 300
 - ⑬ TOWER GLASS - LOWE
 - ⑭ TOWNHOUSE GLASS - LOWE
 - ⑮ PRE-FINISHED ALUMINUM

WEST ELEVATION
1/11/2010

JOHNSTON ROAD

ISSUED FOR CITY REVIEW JANUARY 11, 2010

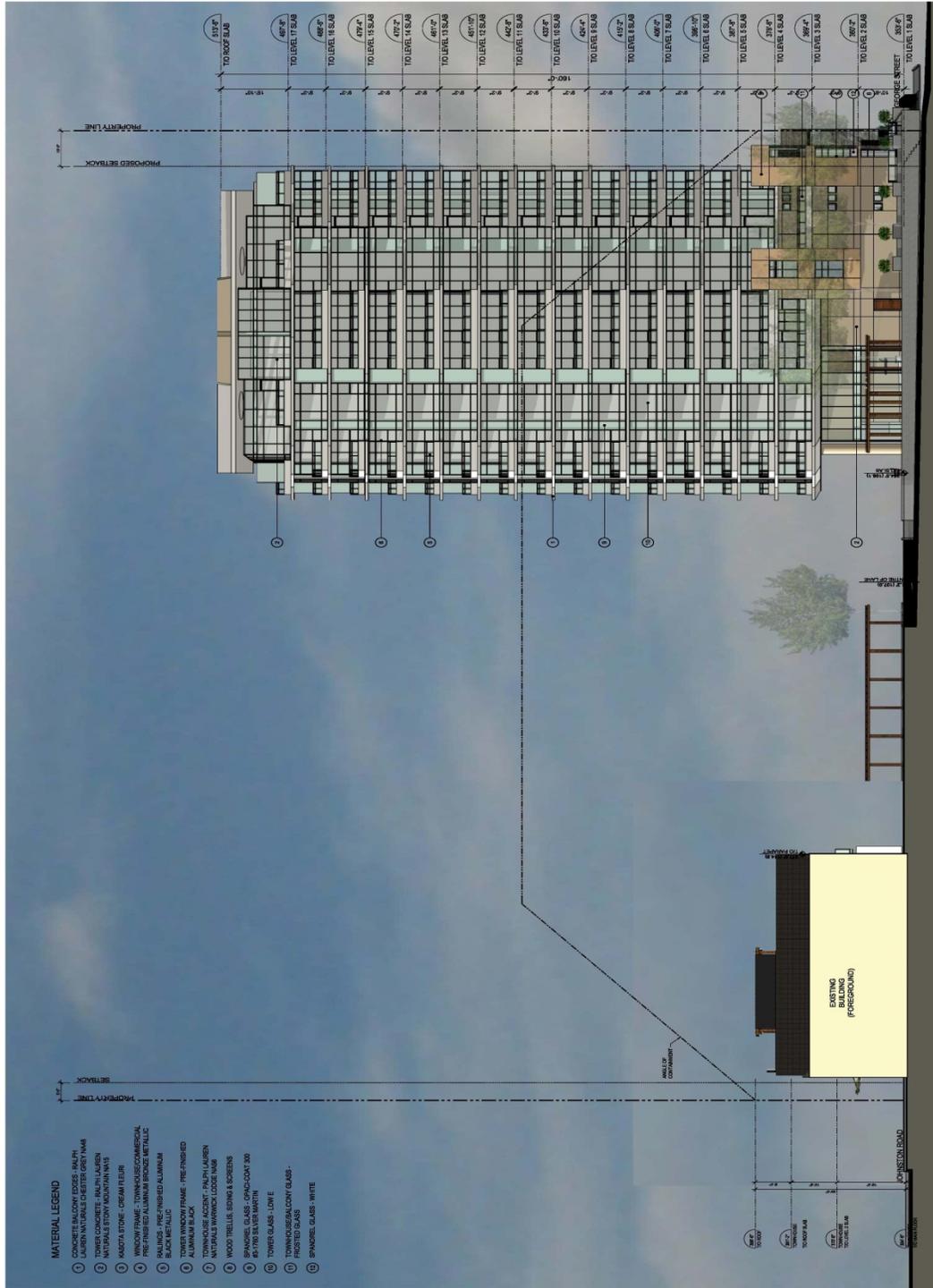
Proposed Residential Hi-Rise Development



CHRIS DIKEAKOS
ARCHITECTS INC.



A301



SOUTH ELEVATION
SCALE: 3/32"=1'-0"

A302

ISSUED FOR CITY REVIEW, JANUARY 11, 2010

Proposed Residential Hi-Rise Development





ISSUED FOR CITY REVIEW JANUARY 11, 2010

Proposed Residential Hi-Rise Development



CHRIS DIKEAKOS
ARCHITECTS INC.



A303

NORTH ELEVATION
SCALE 1/8"=1'-0"



WEST ELEVATION-COMMERCIAL/RESIDENTIAL
SCALE: 3/8"=1'-0"

COMMERCIAL/RESIDENTIAL
JOHNSTON ROAD

ISSUED FOR CITY REVIEW JANUARY 11, 2010

Proposed Residential Hi-Rise Development



CHRIS DIKEAKOS
ARCHITECTS, INC.



A304



EAST ELEV. COMMERCIAL TOWNHOUSE
SCALE 3/16" = 1'-0"

A305

ISSUED FOR CITY REVIEW, JANUARY 11, 2010

Proposed Residential Hi-Rise Development





7.24 CD-24 COMPREHENSIVE DEVELOPMENT ZONE (15109 Buena Vista Ave)

INTENT

The intent of this zone is to accommodate a personal care facility on a site of approximately 0.08ha (0.20ac)

1. Permitted Uses

In the CD-24 Zone the following uses are permitted and all other uses are prohibited:

- (a) *personal care use*

2. Regulations for Permitted Uses of Land, Buildings and Structures

- (a) *Off street parking and loading* shall be provided in accordance with the provisions of Sections 4.14 and 4.15 with the following exception:
 - (i) notwithstanding the provisions of Section 4.15, an *off-street loading space* is not required for a *personal care use*;
- (b) The maximum number of *sleeping units* for a *personal care use* shall be 12.

3. Regulations for Size, Shape, and Siting of Buildings and Structures

- (a) *Principal buildings*:
 - (i) together with *accessory buildings* shall not exceed a *lot coverage* of 45%;
 - (ii) shall not exceed a *height* of 7.7m (25.26ft);
 - (iii) shall not exceed a *residential gross floor area* of 0.6 times the *lot area*;
 - (iv) shall be sited not less than:
 - a. 8.0m (26.25ft) from a *front lot line*;
 - b. 11.0m (36.09ft) from a *rear lot line*;
 - c. 4.0m (13.12ft) from an *interior side lot line*;
 - d. 0.6m (1.97ft) from an *exterior side lot line*;
- (b) Notwithstanding Section 403(6), *sleeping units* for a *personal care use*:
 - (i) shall have a minimum size of 10.5m² (113ft²)
- (c) *Accessory buildings and structures*:
 - (i) shall not exceed a *height* of 4.0m (13.12ft);
 - (ii) shall be sited to the rear of the rear face of the *principal building* on the *lot*;
 - (iii) shall be sited not less than:
 - a. 1.2m (3.94ft) from a *rear lot line*;
 - b. 0.8m (2.62ft) from an *interior side lot line*;
 - c. 6.9m (22.64ft) from an *exterior side lot line*;

4. Subdivision

Minimum *lot area* in this zone shall be 801m². No other lot may be created through subdivision but existing legal parcels or portions thereof may be consolidated.

7.25 CD-25 COMPREHENSIVE DEVELOPMENT ZONE (1456 Everall Street)

INTENT

The intent of this zone is to accommodate the development of a nine (9) unit residential townhouse complex on a site of approximately 0.19ha (0.47ac)

1. Permitted Uses

In the CD-25 Zone the following uses are permitted and all other uses are prohibited:

- (a) A *townhouse* use
- (b) An *accessory home occupation use*

2. Location of Permitted Uses

The location of permitted use shall be in accordance with the Plans and as follows:

- (a) A *townhouse* use is permitted in one or more *principal buildings* on the *lot*;
- (b) An *accessory home occupation use* shall comply with the provisions of Section 5.3.

3. Number of Dwelling Units / Gross Floor Areas / Lot Coverage

The maximum number of *dwelling units* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

- (a) Maximum No. of *dwelling units* = nine (9)
- (b) Maximum *lot coverage* = 31.0%

4. Regulations for Size, Shape, and Siting of Buildings and Structures

Reference to a Building refers to the *building* labeled that specific number on the Plans. As indicated on the Plans, *principal buildings* are identified as Blocks A, B and C:

- (a) Maximum *height* of *buildings*, and property line *setbacks* for Block A are as follows:
 - (i) Maximum *height* of *buildings* = 12.03m (39.5ft)
 - (ii) *Setback* from *front lot line* = 4.572m (15.0ft)
 - (iii) *Setback* from *rear lot line* = as shown on plan
 - (iv) *Setback* from *south interior lot line* = 2.4m (7.87ft)
- (b) Maximum *height* of *buildings*, and property line *setbacks* for Block B are as follows:
 - (i) Maximum *height* of *buildings* = 11.41m (37.4ft)
 - (ii) *Setback* from *front lot line* = 4.572m (15.0)
 - (iii) *Setback* from *rear lot line* = as shown on plan
 - (iv) *Setback* from *north interior lot line* = 2.4m (7.87ft)
- (c) Maximum *height* of *buildings*, and property line *setbacks* for Block C are as follows:
 - (i) Maximum *height* of *buildings* = 10.37m (34.0ft)
 - (ii) *Setback* from *front lot line* = as shown on plan
 - (iii) *Setback* from *rear lot line* = 6.0m (19.7ft)
 - (iv) *Setback* from *north interior lot line* = 1.2m (3.94ft)
- (d) Maximum projections into the above property line *setback* requirements shall be as outlined in Section 4.14, except that:

- (i) a cantilevered floor area may extend not more than 0.3m (0.98) into an *interior side yard*;
- (ii) an open porch or balcony may extend not more than 1.68m (5.5) into a *front or rear yard setback*.
- (e) *Accessory buildings and structures*:
 - (i) shall not exceed a height of 4.0m (13.1ft).

5. Parking and Loading

Parking and Loading shall be provided in accordance with Sections 4.14 and 4.15, and, additionally as follows:

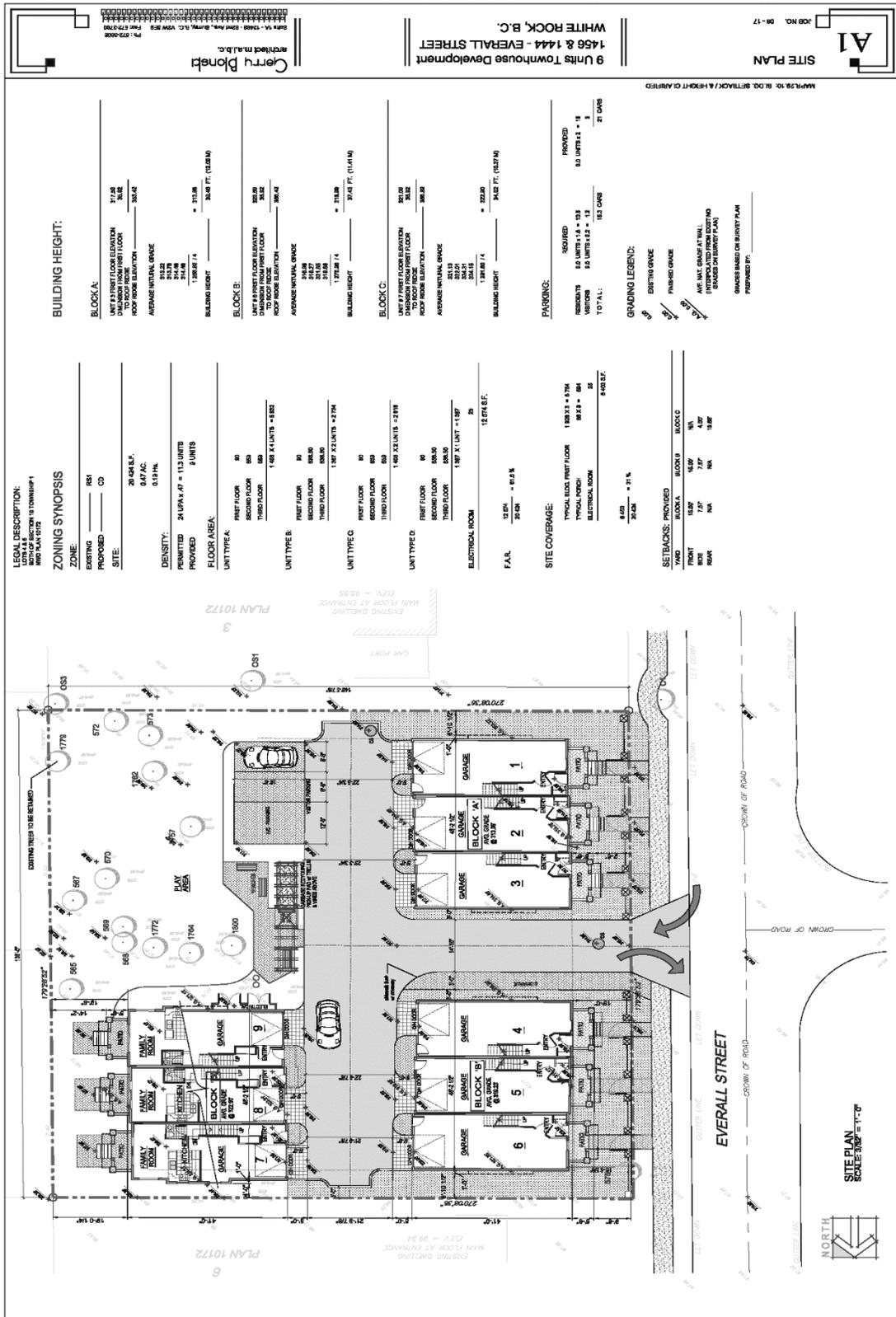
- (a) Two (2) enclosed parking spaces shall be provided for each *dwelling unit* as shown on the plans identified as garage for each *dwelling unit*;
- (b) Three (3) visitor parking spaces, including one (1) handicap accessible parking space, shall be provided as shown on the plans.

6. General

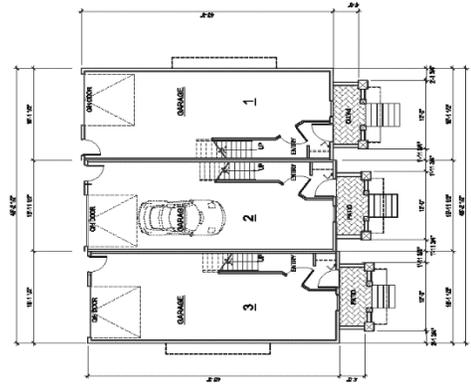
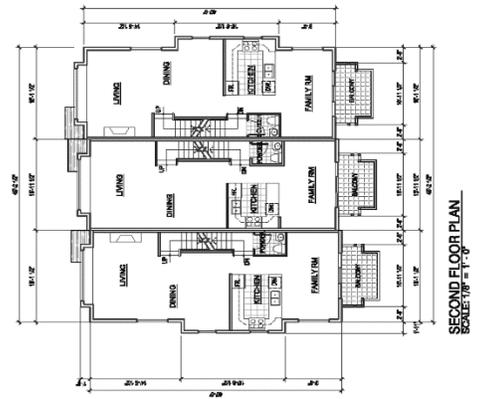
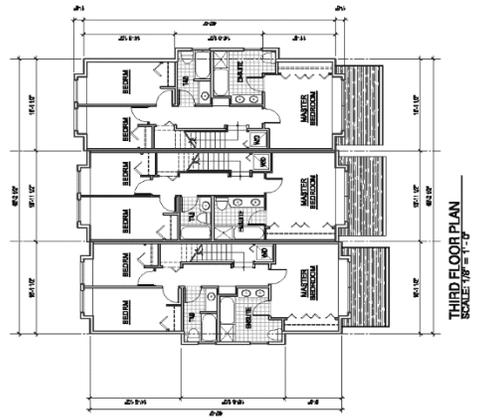
Drawings attached hereto prepared by Gerry Blonski, Architect, and LandSpace Design Inc., Landscape Architect, on file with the City of White Rock as shown on the attached plans; and for the purposes of this zone are referred to as “the Plans”.

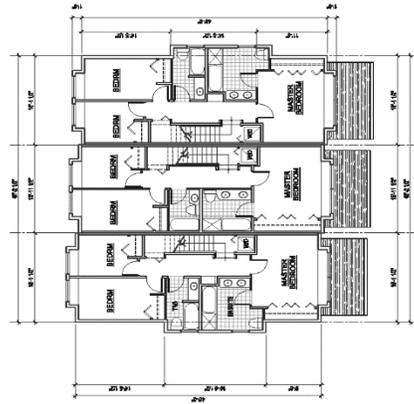
7. Development in this zone shall conform substantially to the Plans.



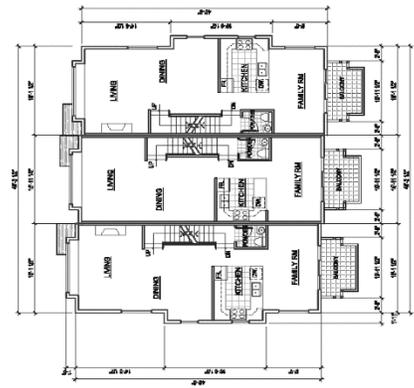


JAN 14, 10: 00 SUBMISSION

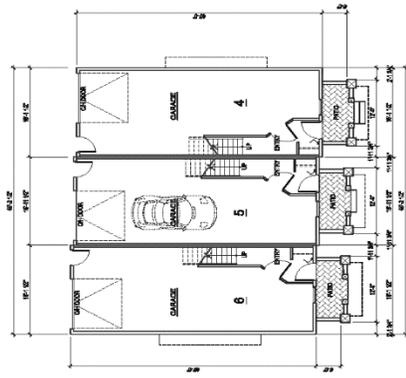




THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

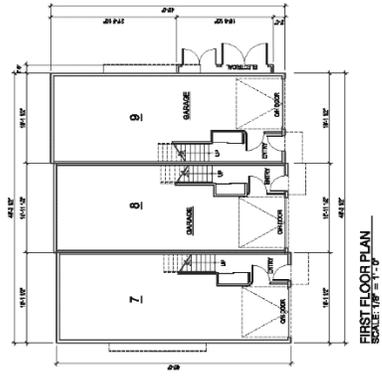
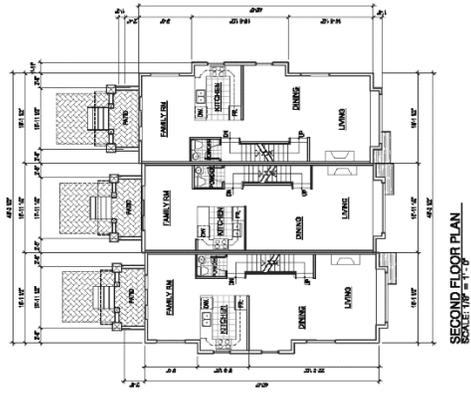
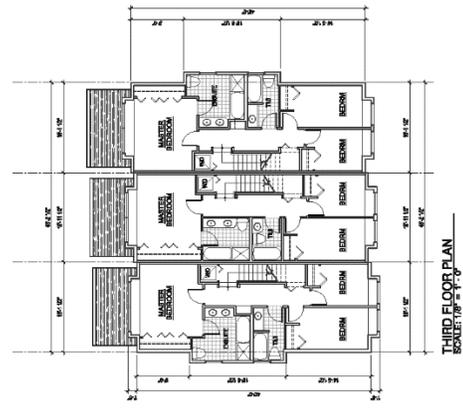


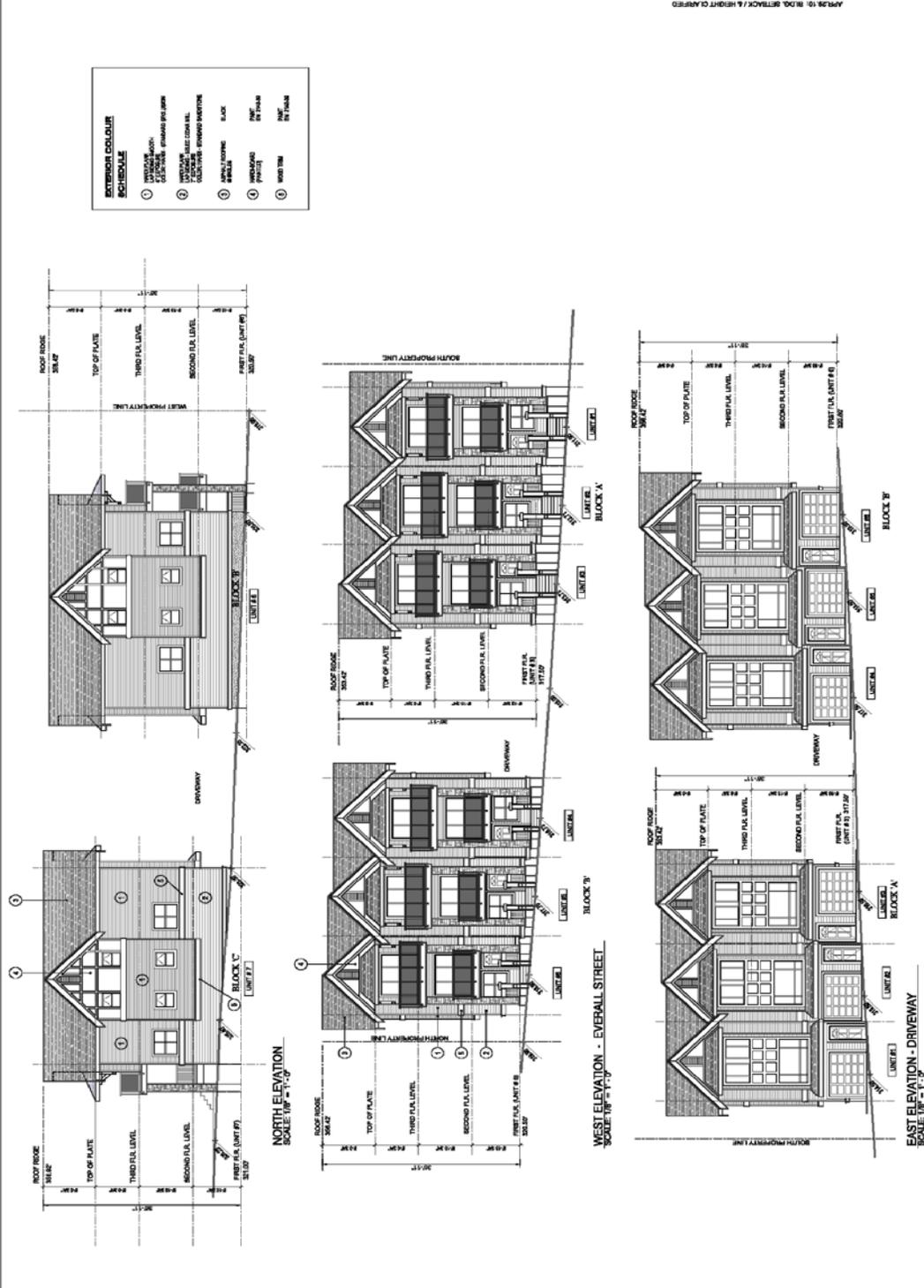
SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

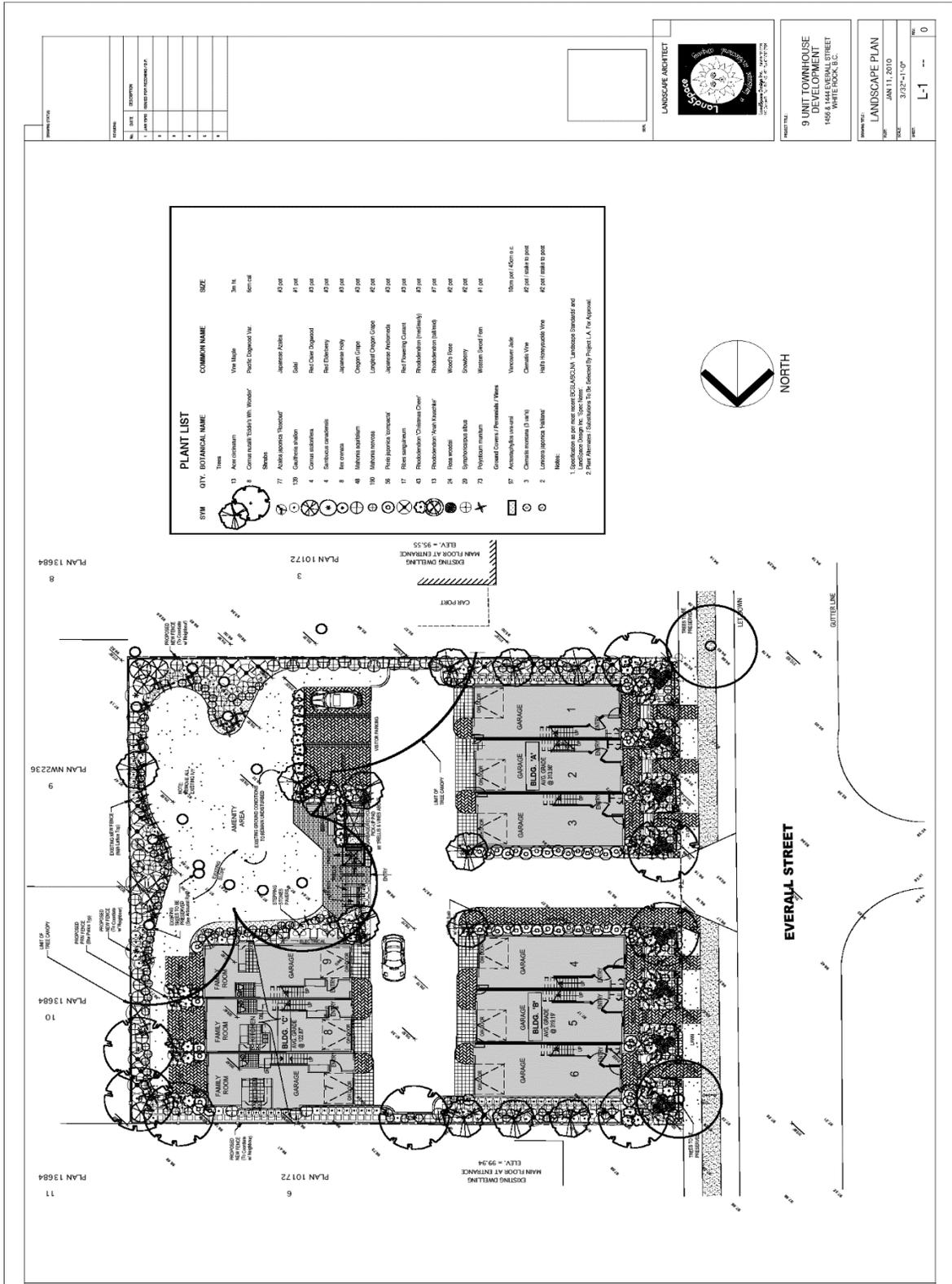


FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

JM14-12-07 SUBMISSION







7.26 CD-26 COMPREHENSIVE DEVELOPMENT ZONE (Anderson & McDonald)

INTENT

The intent of this zone is to accommodate the re-subdivision of the subject properties consistent in size and area with the adjacent properties and the original survey plan for the area.

1. Permitted Uses:

In the CD-26 Zone the following uses are permitted and all other uses are prohibited:

- (a) a *one-unit residential* use in conjunction with not more than one (1) of the following accessory uses:
 - (i) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - (ii) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - (iii) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - (iv) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
- (b) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3;
- (c) a *care facility* in accordance with the provisions of Section 5.1.

2. Lot Size:

- (a) Minimum “*lot width*”, “*lot depth*” and “*lot area*” in the CD-26 zone is as follows:
 - ii) minimum “*lot width*” = 10.0m (32.8ft)
 - iii) minimum “*lot depth*” = 27.4m (89.9ft)
 - iv) minimum “*lot area*” = 357.5m² (3,848ft²).

3. Lot Coverage:

- (a) The maximum *lot coverage* is as follows:
 - (i) 50% for lots with less than or equal to 380.0m² *lot area*;

4. Floor Area:

- (a) maximum *residential gross floor area* shall not exceed 0.6 times the *lot area*.

5. Building Heights:

- (a) *Principal buildings* shall not exceed a *height* of 7.7m (25.26ft), and the height of the southerly elevation of the building shall be determined by an angle of containment of 45 degrees to the vertical commencing 6.0m (19.69ft) above the natural grade at the base of the wall as illustrated in sub-section 4.8.3.

6. Minimum Setback Requirements:

- (a) *principal buildings* and *ancillary buildings and structures* in the CD-26 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	3.0m (9.84ft) to 9.0m (29.5ft)	Not permitted
Rear lot line (see c below for ancillary buildings and structures)	3.0m (9.84ft) to 9.0m (29.5ft)	2.4m (7.87ft) to 1.5m (4.92ft)
Combined front and rear lot line (see b below)	12.0m (39.37ft)	N/A
Interior side lot line	1.5m (4.92ft)	1.2m (3.94ft)
Exterior side lot line (see d below)	3.0m (9.84ft) to 1.5m (4.92ft)	3.0m (9.84ft) to 1.5m (4.92ft)

- (b) the minimum setback distance from front and rear lot lines shall be 3.0m (9.84ft), however, the front and rear yard setbacks shall in combination be not less than 12.0m (39.37ft).
 - (c) the minimum setback distance to a *rear lot line* for *ancillary buildings and structures* shall be 2.4m (7.87ft) from a *rear lot line* abutting a *lane*, and 1.5m (4.92 feet) from a *rear lot line* not abutting a *lane*;
 - (d) the minimum setback distance to an exterior side lot line shall be 3.0m (9.84ft) from an *exterior side lot line* for a distance of 7.5m (24.61ft) from the *front lot line*, and 1.5m (4.93ft) from that point to the *rear lot line* of the *lot*.
7. Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

7.27 CD-27 COMPREHENSIVE DEVELOPMENT ZONE (15611 – 19 Columbia)

INTENT

The intent of this zone is to accommodate the re-subdivision of the subject properties in order to create two single family lots of a consistent size.

2. Permitted Uses:

- a) a *one-unit residential use* in conjunction with not more than one (1) of the following accessory uses:
 - i) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - ii) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - iii) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - iv) an *accessory coach house* in accordance with the provisions of Section 5.6.
 - v) an *accessory bed & breakfast use* in accordance with the provisions of Section 5.7.
- b) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3;
- c) a *care facility* in accordance with the provisions of Section 5.1.

3. Lot Size:

- a) The minimum *lot width*, *lot depth* and *lot area* in the CD-27 zone are as follows:

Lot width	15.08m (49.5ft)
Lot depth	15.08m (49.5ft)
Lot area	285.0m ² (3,068.0ft ²)

3. Lot Coverage:

- a) The maximum *lot coverage* is 50% including ancillary buildings.

4. Floor Area:

- a) maximum *residential gross floor area* shall not exceed 0.7 times the *lot area*.

5. Building Heights:

- a) *principal buildings* shall not exceed a *height* of 7.7m (25.26ft).
- b) *ancillary buildings and structures* shall not exceed a *height* of 4.0m (13.12ft).

6. Minimum Setback Requirements:

- a) *principal buildings* and *ancillary buildings and structures* in the CD-27 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	1.5m (4.92ft)	Not permitted
Rear lot line	1.2m (3.94ft)	1.2m (3.94ft)
Interior side lot line	1.2m (3.94ft)	1.2m (3.94ft)
Exterior side lot line (see b below)	3.0m (8.84ft) to 1.5m (4.92)	3.0m (8.84ft) to 1.5m (4.92)

b) *principal buildings and ancillary buildings and structures* shall be located 3.0m (9.84ft) from an *exterior side lot line* for a distance of 7.5m (24.61ft) from the *front lot line* and 1.5m (4.92ft) from that point to the *rear lot line* of the *lot*.

7. Ancillary Buildings and Structures:

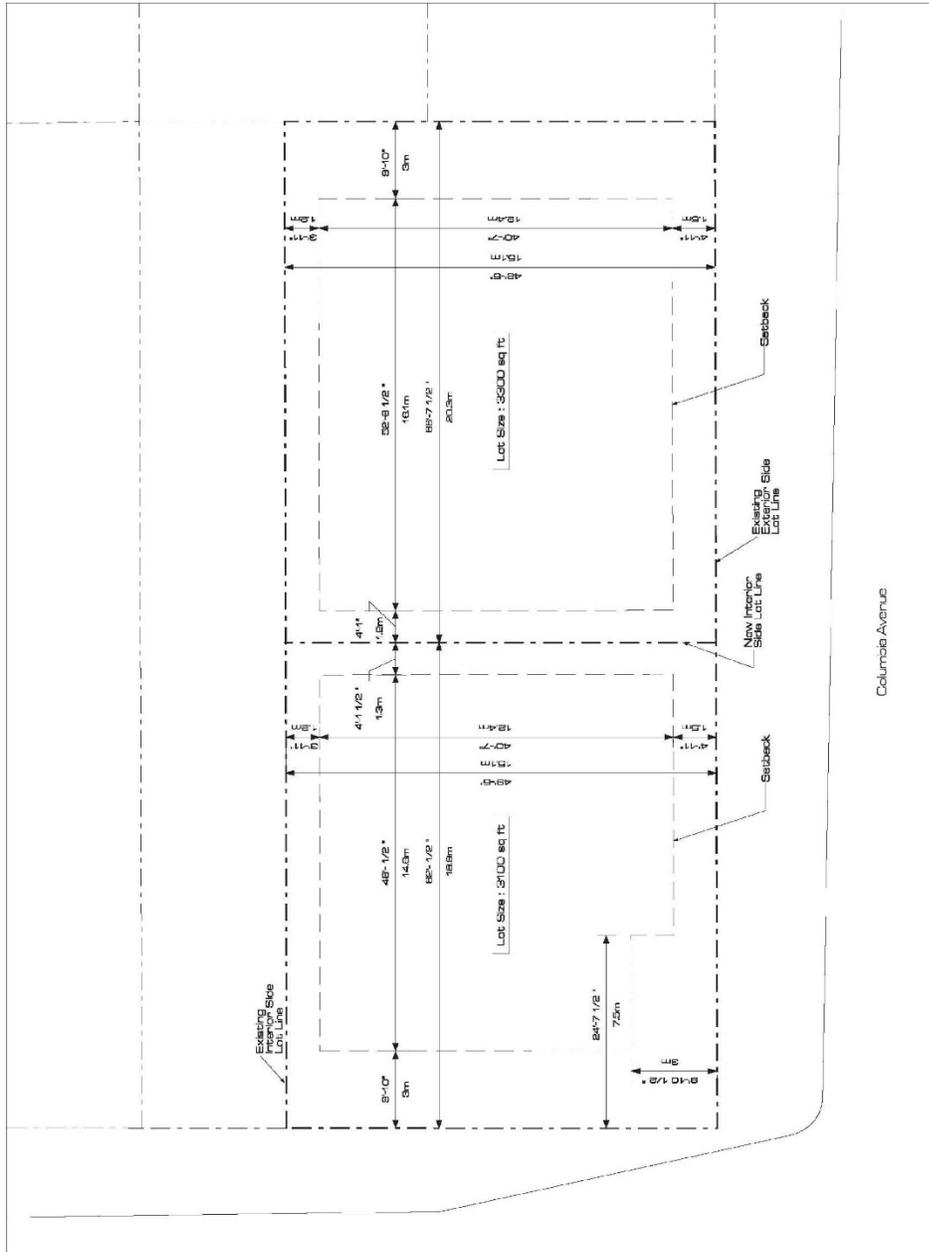
Except as otherwise provided in Section 4.13 and in addition to the provisions of subsections 5 and 6 above, the following also applies:

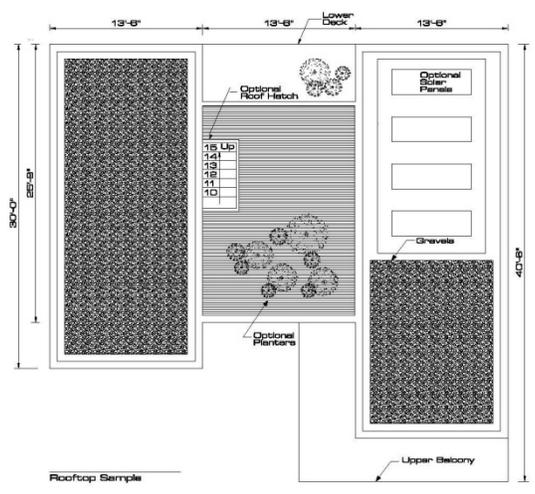
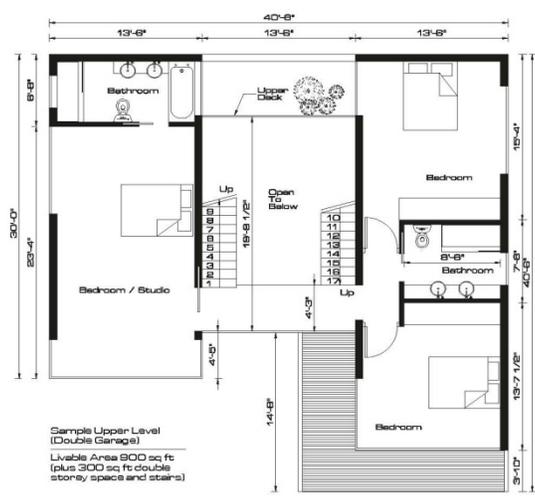
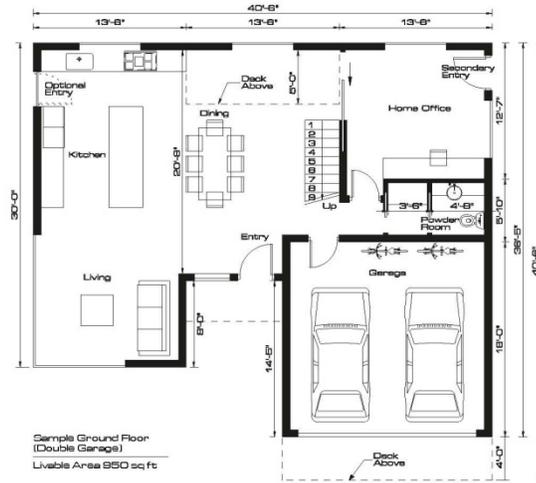
- a) there shall be not more than one *ancillary building* per *lot*.
- b) *ancillary buildings and structures* shall not be located beside or in front of the *principal building*, where the front of the *principal building* is interpreted as the side facing the *street*.

8. Accessory off-street parking shall be provided in accordance with the provisions of Section 4.14.

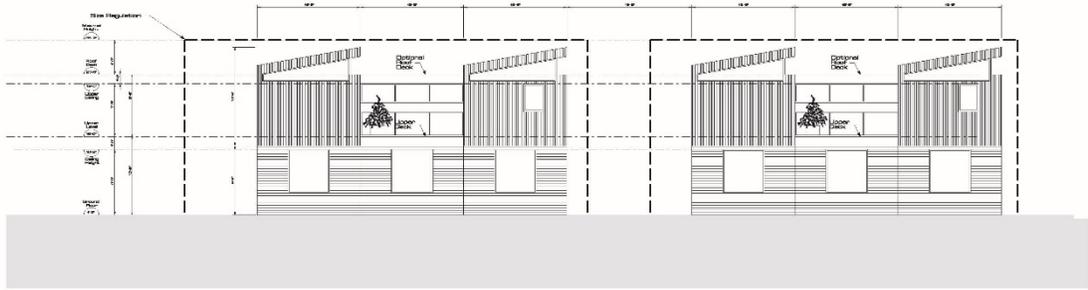
Site Plan

AS2.0 Title Block Date: 14/08/20 Scale: 1:200 Drawn: [Name] Checked: [Name] Approved: [Name] Date: [Date]	Project: [Name] Client: [Name] Address: [Address] City: [City] State: [State] Country: [Country]	Project: [Name] Client: [Name] Address: [Address] City: [City] State: [State] Country: [Country]
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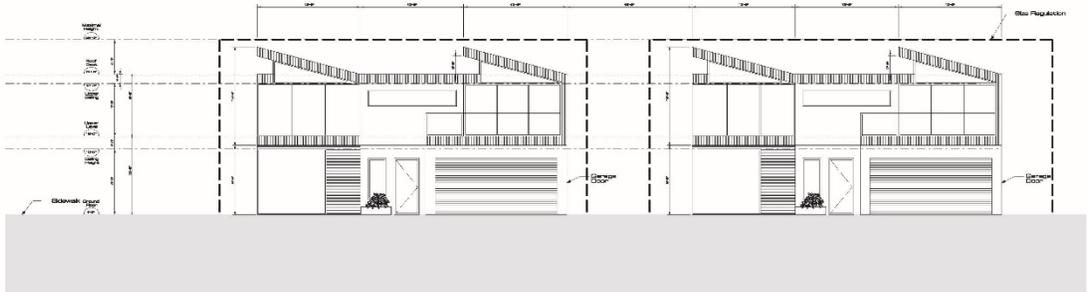




EXAMPLE 1850sqFT FLOORPLAN - 15611 COLUMBIA AVENUE

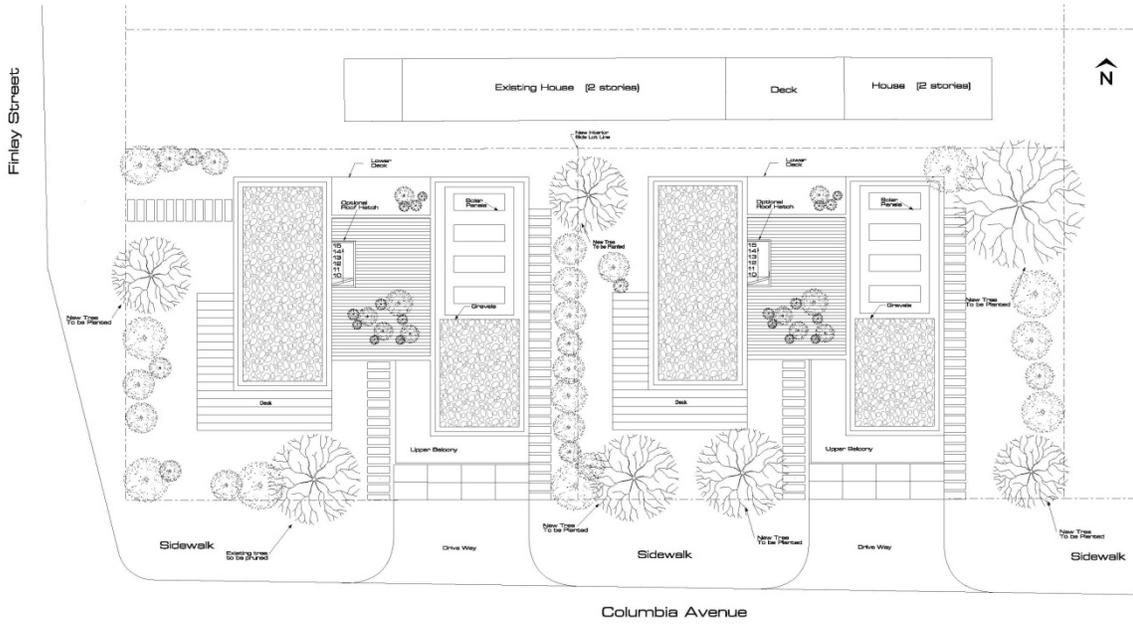


North Elevation



South Elevation

PROPOSED ELEVATIONS NORTH/SOUTH - 15611 COLUMBIA AVENUE



PROPOSED LANDSCAPE PLAN - 15611 COLUMBIA AVENUE

7.28 CD-28 COMPREHENSIVE DEVELOPMENT ZONE (1434 Overall Street)

INTENT

The intent of this zone is to accommodate the development of a five (5) unit residential townhouse complex on a site of approximately 0.1 (0.23 ac)

1. Permitted Uses

In the CD-27 Zone the following uses are permitted and all other uses are prohibited:

- (a) *multi-unit residential uses* in the form of a *townhouse* and may be permitted in one or more *principal buildings*.
- (b) An *accessory home occupation* use subject to the provisions of section 5.3.

2. Number of Dwelling Units / Gross Floor Areas / Lot Coverage

The maximum number of *dwelling units* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

- (a) Maximum No. of *dwelling units* = five (5)
- (b) Maximum Lot Coverage = 31.0%

3. Regulations for Size, Shape, and Siting of Buildings and Structures

Reference to a Building refers to the building labeled that specific number on the Plans. As indicated on the Plans, *principal buildings* are identified as Blocks A and B:

- (a) Maximum *height* of buildings, and property line setbacks for Block A are as follows:
 - (i) Maximum height of buildings = 11.7m (38.4ft)
 - (ii) Setback from front lot line = 4.57m (15.0ft)
 - (iii) Setback from rear lot line = as shown on plan
 - (iv) Setback from south interior lot line = 1.2m (3.94ft)
- (b) Maximum *height* of buildings, and property line setbacks for Block B are as follows:
 - (i) Maximum height of buildings = 11.4m (37.4ft)
 - (ii) Setback from rear lot line = as shown on plan
 - (iii) Setback from north interior lot line = 2.0m (6.56ft)
- (c) Maximum projections into the above property line setback requirements shall be as outlined in Section 4.14, except that:
 - (i) a cantilevered floor area may extend not more than 0.3m (1.0ft) into an interior side yard;
 - (ii) an open porch or balcony may extend not more than 1.68m (5.5ft) into a front or rear yard setback.
- (d) *Ancillary buildings* and *structures* shall not exceed a *height* of 4.0 m.

4. Parking and Loading

Parking and Loading shall be provided in accordance with Sections 4.14 and 4.15 and the following:

- (a) two (2) enclosed parking spaces shall be provided for each *dwelling unit* as shown on the plans identified as garage for each *dwelling unit*;
- (b) one (1) visitor parking spaces shall be provided as shown on the plans.

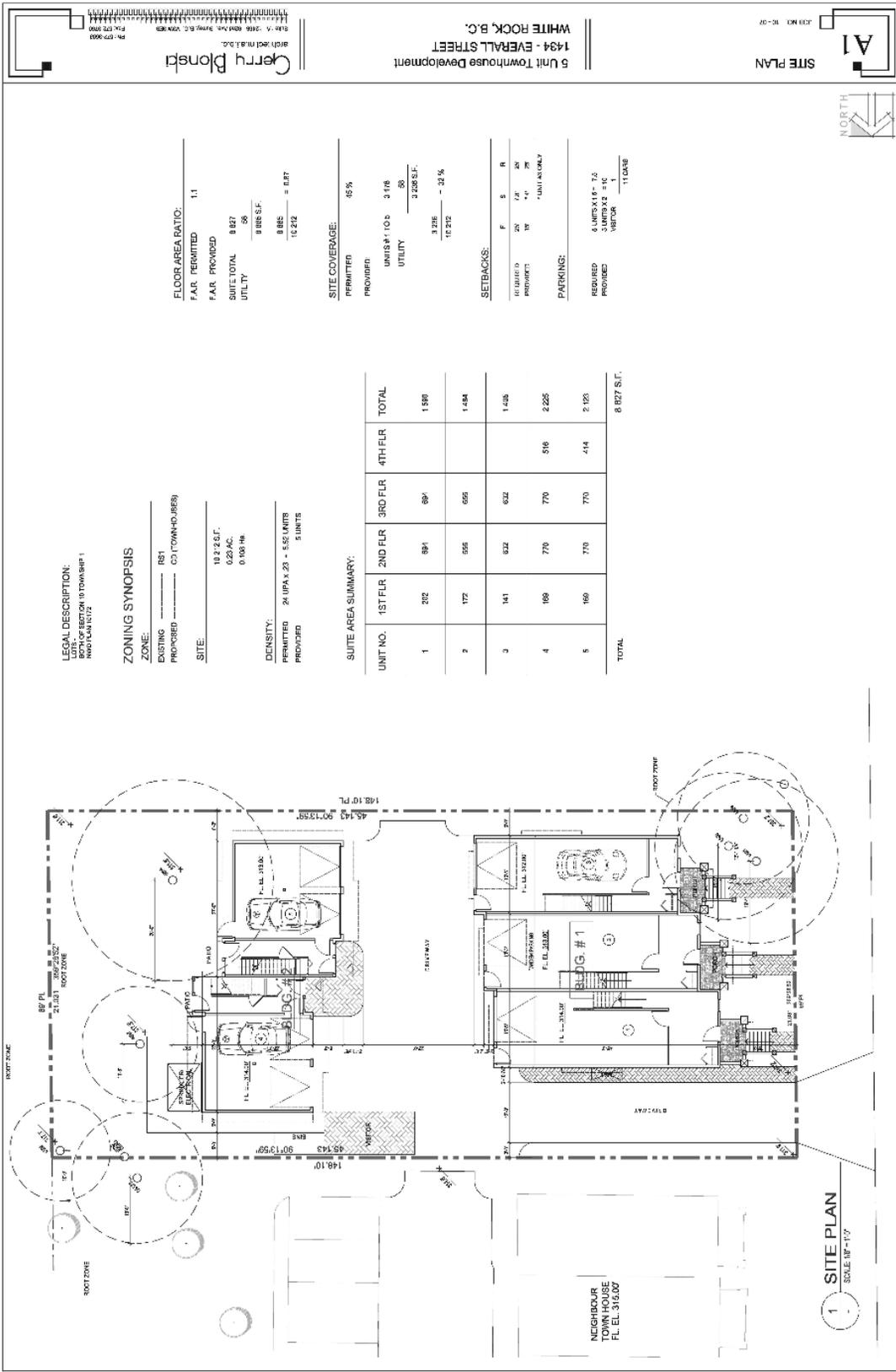
5. General

Drawings attached hereto prepared by Gerry Blonski, Architect, and on file with the City of White Rock as shown on the attached plans; and for the purposes of this zone are referred to as “the Plans”.

Development in this zone shall conform substantially to the Plans.

The Plans





LEGAL DESCRIPTION:
 SOUTH OF SECTION 10 TOWNSHIP 1
 RANGE 04 NORTH

ZONING SYNOPSIS

ZONE:
 EXISTING: RS1
 PROPOSED: C3 (TOWNHOUSE)

SITE:
 18.22 S.F.
 0.22 AC.
 0.03 Ha

DENSITY:
 PERMITTED: 24 UFA X 23 = 552 UNITS
 PROVIDED: 5 UNITS

FLOOR AREA RATIO:
 FAR PERMITTED: 1.1

FAR PROVIDED
 SUITE TOTAL: 8.87
 UTILITY: .56
 8.88 S.F.
 8.88 = 8.87
 10.22

SITE COVERAGE:
 PERMITTED: 45%
 PROVIDED: 45%

UNITS # 100
 UTILITY: 56
 3,208 S.F.
 3,208 = 35%
 10,222

SETBACKS:

	F	S	R
10' MINUT	0	20'	20'
PROVIDED:	10'	20'	20'

* UNIT ONLY

PARKING:

REQUIRED: 4 UNITS X 1.8 = 7.2
PROVIDED: 3 UNITS X 1.8 = 5.4
 11.028

SUITE AREA SUMMARY:

UNIT NO.	1ST FLR	2ND FLR	3RD FLR	4TH FLR	TOTAL
1	202	891	891		1,984
2	172	656	656		1,484
3	141	632	632		1,405
4	169	770	770	516	2,225
5	160	770	770	414	2,125
TOTAL					8,827 S.F.

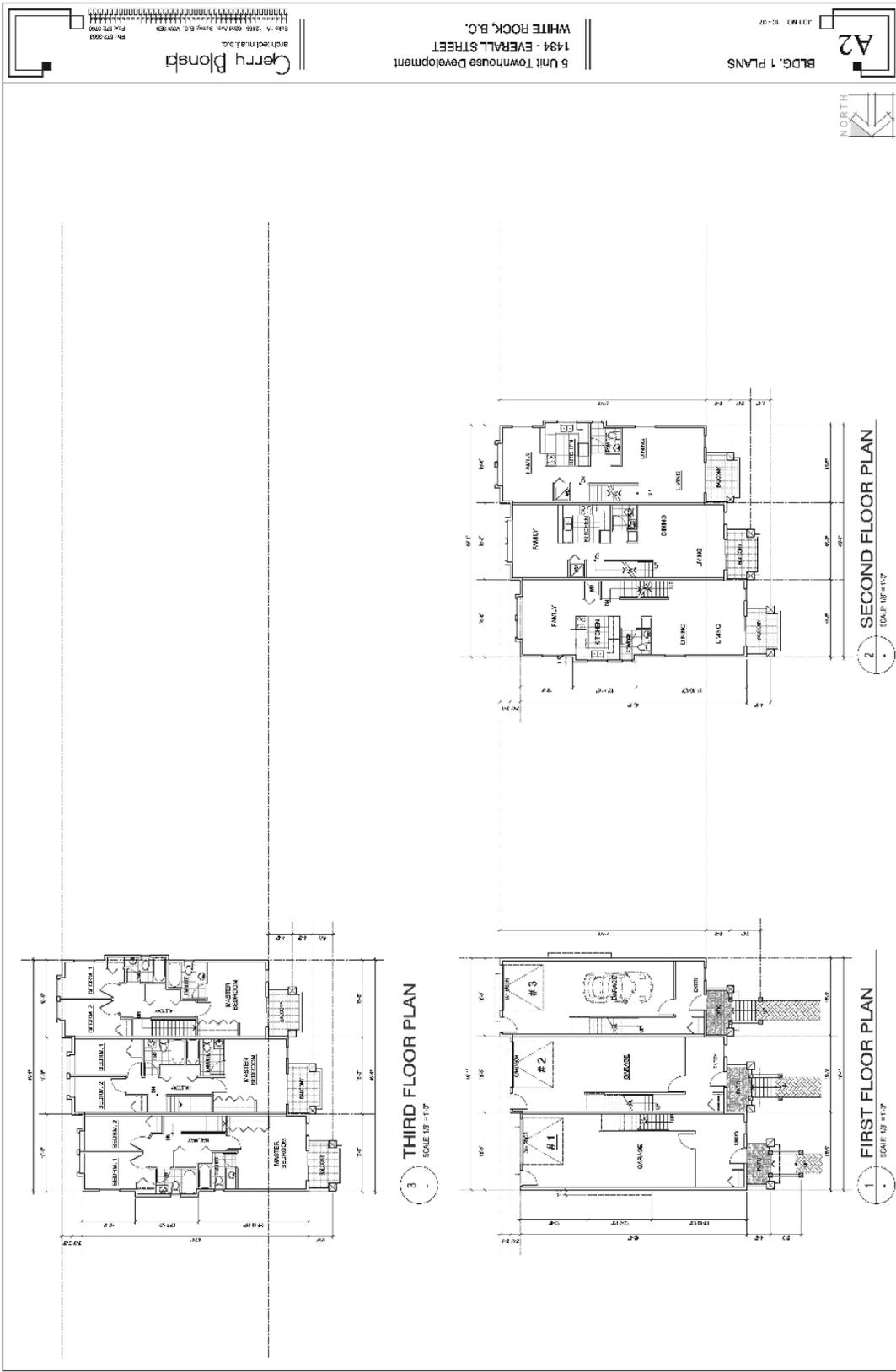
1 SITE PLAN
 SCALE: 1/8" = 1'-0"

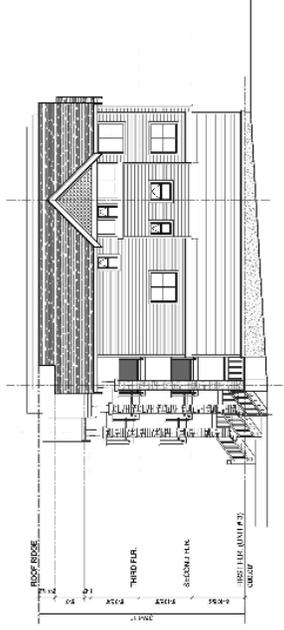


A1
 SITE PLAN

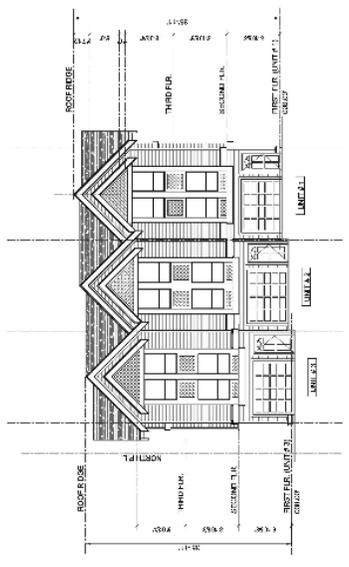
5 Unit Townhouse Development
 1434 - EVERALL STREET
 WHITE ROCK, B.C.

Gerry Blonshi
 ARCHITECTS INC.
 518 - V. 2088 (BURNABY) ST. W. B.C. V2C 2K8
 TEL: 604-790-8888

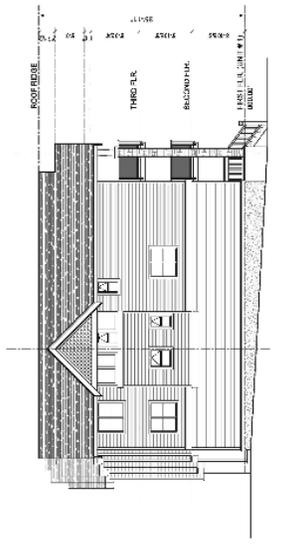




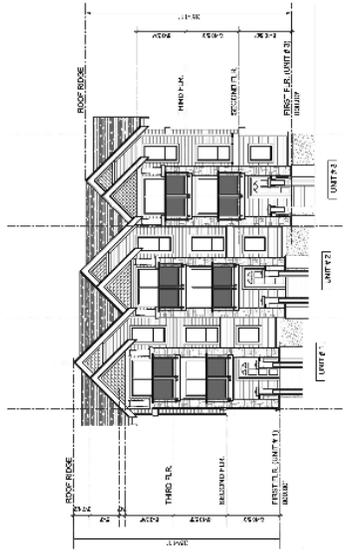
4 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



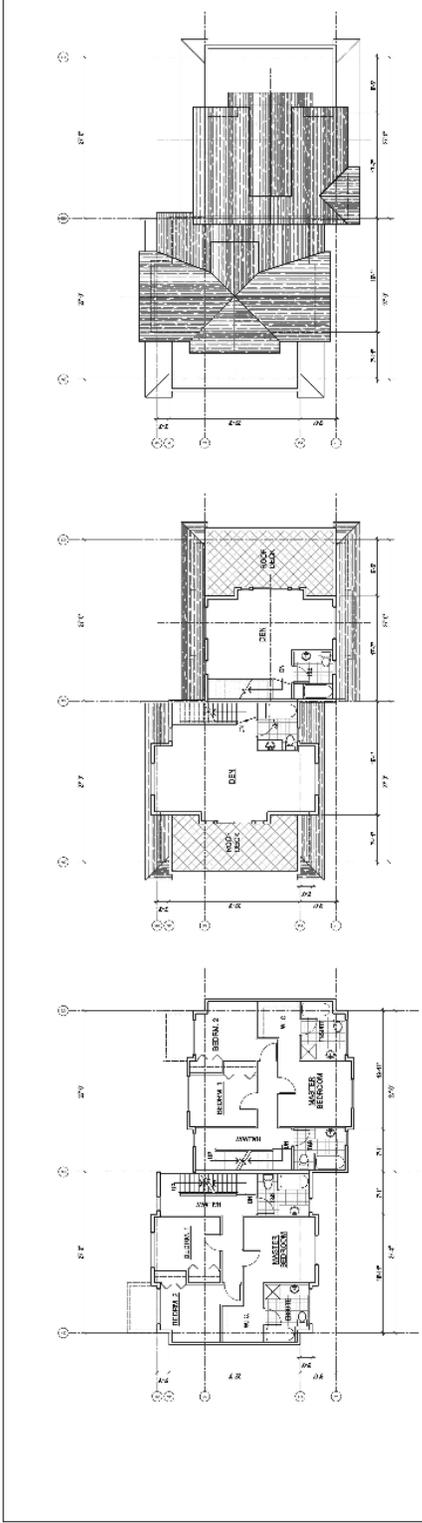
3 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



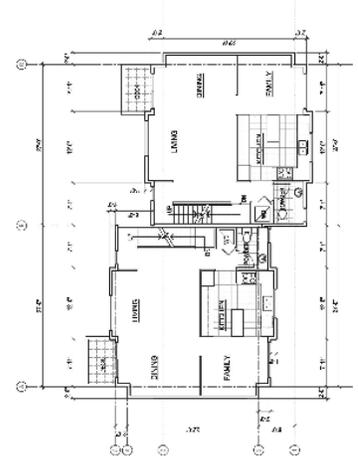
BLDG. 2 PLANS



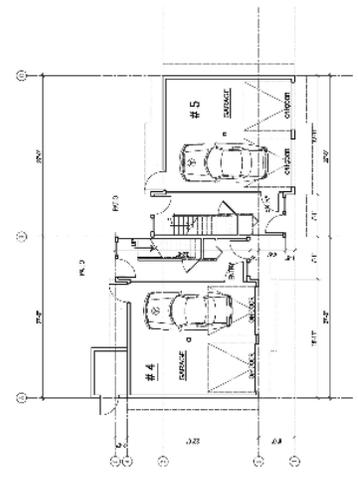
5 ROOF PLAN
SCALE 1/8" = 1'-0"

4 FOURTH FLOOR PLAN
SCALE 1/8" = 1'-0"

3 THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



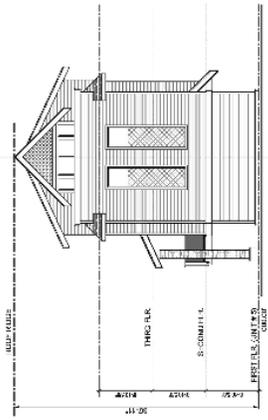
1 FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



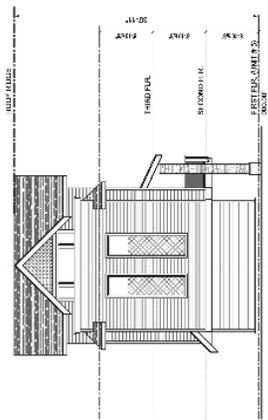
BLDG. 2 ELEVATIONS

5 Unit Townhouse Development
 1434 - EVERALL STREET
 WHITE ROCK, B.C.

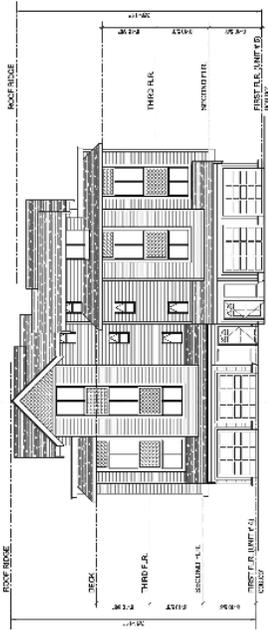
Gerry Blonski
 ARCHITECTURE
 1001 W. 26th Ave. Vancouver, B.C. V6K 2M8
 PH: 672-9088



4 ELEVATION
 SCALE: 1/8" = 1'-0"



3 ELEVATION
 SCALE: 1/8" = 1'-0"



1 ELEVATION
 SCALE: 1/8" = 1'-0"

7.29 CD-29 COMPREHENSIVE DEVELOPMENT ZONE (Marine & Oxford)

INTENT

The intent of this zone is to accommodate the development of a mixed commercial/residential complex on a site of approximately 0.4 ha. (0.99 ac) in the West Beach Waterfront Business Area.

1. Permitted Uses

In the CD-29 Zone the following uses are permitted and all other uses are prohibited:

- (a) *A retail service group 1 use*
- (b) *A multi-unit residential use in the form of apartment or townhouse*
- (c) *An accessory home occupation use subject to the provisions of section 5.3.*

2. Location and Conditions of Permitted Uses

The location of permitted uses shall be in accordance with the Plans and as follows:

- (a) *A retail service group 1 use shall be located on the ground level fronting Marine Drive and Oxford Street as shown on the plans attached herein.*
- (b) *A townhouse use shall be located above the retail service group 1 uses and above the parking complex as shown on the plans herein.*
- (c) *An apartment use shall be located above the parking complex as shown on the plans attached herein.*
- (d) *An accessory home occupation use shall be in accordance with the provisions of Section 5.3.*

3. Number of Dwelling Units / Gross Floor Areas

The maximum number of *dwelling units* and *gross floor area of buildings and structures* shall be in accordance with the following:

- (a) Maximum No. of *dwelling units* = sixty (60)
- (b) Maximum *gross floor area* of all uses = 7,298.75m² (78,563ft²)
- (c) Maximum *gross floor area* of all residential uses = 6,617.75m² (71,233ft²)
- (d) Maximum *gross floor area* of all commercial and storage uses exclusive of parking = 681m² (7,330ft²)

4. Regulations for Height and Siting of Buildings and Structures

Reference to a Building refers to the building labeled on the Plans. As indicated on the Plans, *principal buildings* are identified as Block 1, Block 2, Block 3 and Block 4:

- (a) Maximum geodetic *height* of buildings are as follows:
 - (i) Maximum height of Block 1= 14.40 metres (47.25 feet)
 - (ii) Maximum height of Block 2= 15.21 metres (49.83 feet)
 - (iii) Maximum height of Block 3= 13.35 metres (43.79 feet)
 - (iv) Maximum height of Block 4= 13.35 metres (43.79 feet)

5. Parking and Loading

Parking and Loading shall be provided in accordance with Sections 4.14 and 4.15, and as follows:

- (a) Ninety-six (96) parking spaces shall be provided to serve the residential townhouse and apartment units inclusive of one (1) parking space for disabled persons parking and which shall be clearly marked as per BC Building Code requirements.
- (b) Twenty (20) enclosed parking spaces shall be provided to serve the commercial uses and visitors parking (10 spaces for commercial use one (1) of which shall be provided for disabled persons parking and which shall be clearly marked as per BC Building Code requirements, and 10 spaces for visitor use); parking spaces shall be clearly marked as “commercial parking only” and as “visitors parking only”.
- (c) Not more than 40% of the parking spaces shall be small car spaces, and they shall be clearly marked as “small car only”.

All as generally shown on the Plans.

6. General

Drawings attached hereto prepared by Ankenman Marchand Architects, and on file with the City of White Rock as shown on the attached plans; and for the purposes of this zone are referred to as “the Plans”.

Development in this zone shall generally conform to the Plans.

Plot DIM: P4328.00x13.27x57.00 Client: 14807 Marine Drive, White Rock, BC

Marine Terraces

14807 Marine Drive, White Rock, BC
Mixed Use - Commercial / Residential Development

Issued for Zoning Amendment and Development Permit (Major): October 26, 2012
Issued for Land Use and Planning Committee Meeting: January 4, 2013
Re-issued for Zoning Amendment and Development Permit (Major): February 28, 2013



SHEET NUMBER	SHEET NAME
A01	COVER PAGE & DRAWING LIST
A02	STATISTICS
A10	SITE PLAN
A11	LEVEL 1 PLAN
A12	LEVEL 2 PLAN
A13	LEVEL 3 PLAN
A14	LEVEL 4 PLAN
A15	LEVEL 5 PLAN
A16	ROOF PLAN
A17	ELEVATIONS
A18	SECTIONS
A19	SECTION 1: STAIRS & ELEVATOR
A20	SECTION 2: STAIRS & ELEVATOR

<p>Client</p> <p>LIV Holdings Ltd 14807 Marine Drive, White Rock British Columbia, V7A 5E2 Contact: Sam Wynn Tel: 604.693.0007 Fax: 604.611.1111 Email: sam.wynn@livedevelopment.com</p>	<p>Architect</p> <p>Ankenman Marchand Architects 1969 West 36th Avenue Vancouver, BC V6U 1X8 Contact: Sam Wynn Tel: 604.672.2506 Fax: 604.672.2505 Email: sam@amenarchitects.com</p>
<p>Surveyor</p> <p>Murray & Associates 207-1365 York Avenue Vancouver, BC V6A 3E8 Contact: Tracey Wynn Tel: 604.693.6189 Fax: 604.693.3945 Email: tracey@murrayandassociates.com</p>	<p>Landscaper</p> <p>M7 Landscape Architecture 203-3100 Lorne Ave Vancouver, BC V6M 4R9 Contact: Tracey Wynn Tel: 604.553.0044 Fax: 604.553.3945 Email: tracey@landscapeart.ca</p>
<p>Structural Engineer</p> <p>T.J. Wines Consulting Group Inc. Address 2 2501-1365 York Avenue Vancouver, BC V6A 3E8 Contact: Tracey Wynn Tel: 604.642.8317 Fax: 604.611.1111 Email: tracey@twines.ca</p>	<p>Professional Engineer</p> <p>Professional Engineer 1969 West 36th Avenue Vancouver, BC V6U 1X8 Contact: Sam Wynn Tel: 604.672.2506 Fax: 604.672.2505 Email: sam@amenarchitects.com</p>

1969 West 36th Avenue
Vancouver, BC V6U 1X8
Tel: (604) 672-2506 Fax: (604) 672-2505
Email: office@AMArchitects.com

ANKENMAN MARCHAND

ARCHITECTS

Project: High
Sheet: 001
Project Name: Marine Terraces
14807 Marine Drive, White Rock, BC
Drawing: COVER PAGE & DRAWING LIST
Project Stage: Building Permit
Revision: SUBMISSION
Date: 03/11/2013
Author: [Redacted]
Checked: [Redacted]
Approved: [Redacted]

NO.	DATE	DESCRIPTION
1		
2		
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All drawings in this set to be used in accordance with the Building Code Authority. The contractor shall be responsible to verify that all work is executed to the satisfaction of the Building Code Authority. All rights reserved.

Scale: _____ DWG. NO. **A001**

Site Plan 1

ANKENMAN MARCHAND

ARCHITECTS

1645 West 5th Avenue
 Vancouver, BC V5U 1N5
 Tel: (604) 872-2959 Fax: (604) 872-2958
 E-mail: off@AMArchitects.com



Project: **Marine Terraces**
 1487 West 6th Ave, West 6th BC

Drawn: **SITE PLAN**

Project Status: **Building Permit**

Client: **SIMONSEN**

Architect: **ANKENMAN MARCHAND**

2011 BC Building Code (Townhouse)

2011 BC Building Code (Townhouse)

2011 BC Building Code (Townhouse)

2011 BC Building Code (Townhouse)

2011 BC Building Code (Townhouse)

2011 BC Building Code (Townhouse)

2011 BC Building Code (Townhouse)

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2011 BC Building Code (Townhouse)

REVISION	
NO.	DATE

Scale: 1/16" = 1'-0"

DWG. NO: **A100**



FILED: 2013.07.12 PM 1:22:14
 PROJECT: Marine Terraces, 1487 West 6th Ave, Vancouver, BC V5U 1N5
 ARCHITECT: ANKENMAN MARCHAND ARCHITECTS
 DRAWING: SITE PLAN

Parking Plan 1

ANKENMAN MARCHAND ARCHITECTS

1645 West 5th Avenue
Vancouver, BC V5U 1N5

Tel: (604) 672-2529 Fax: (604) 672-2525
Email: office@AMArchitects.com

Project: 1222
LWM Holdings Ltd.
Marine Terraces
4807 Marine Drive, North Vancouver, BC
Drawing: **PARKING LEVEL**

Project Status: **Building Permit**

DATE: **SUBMISSION**

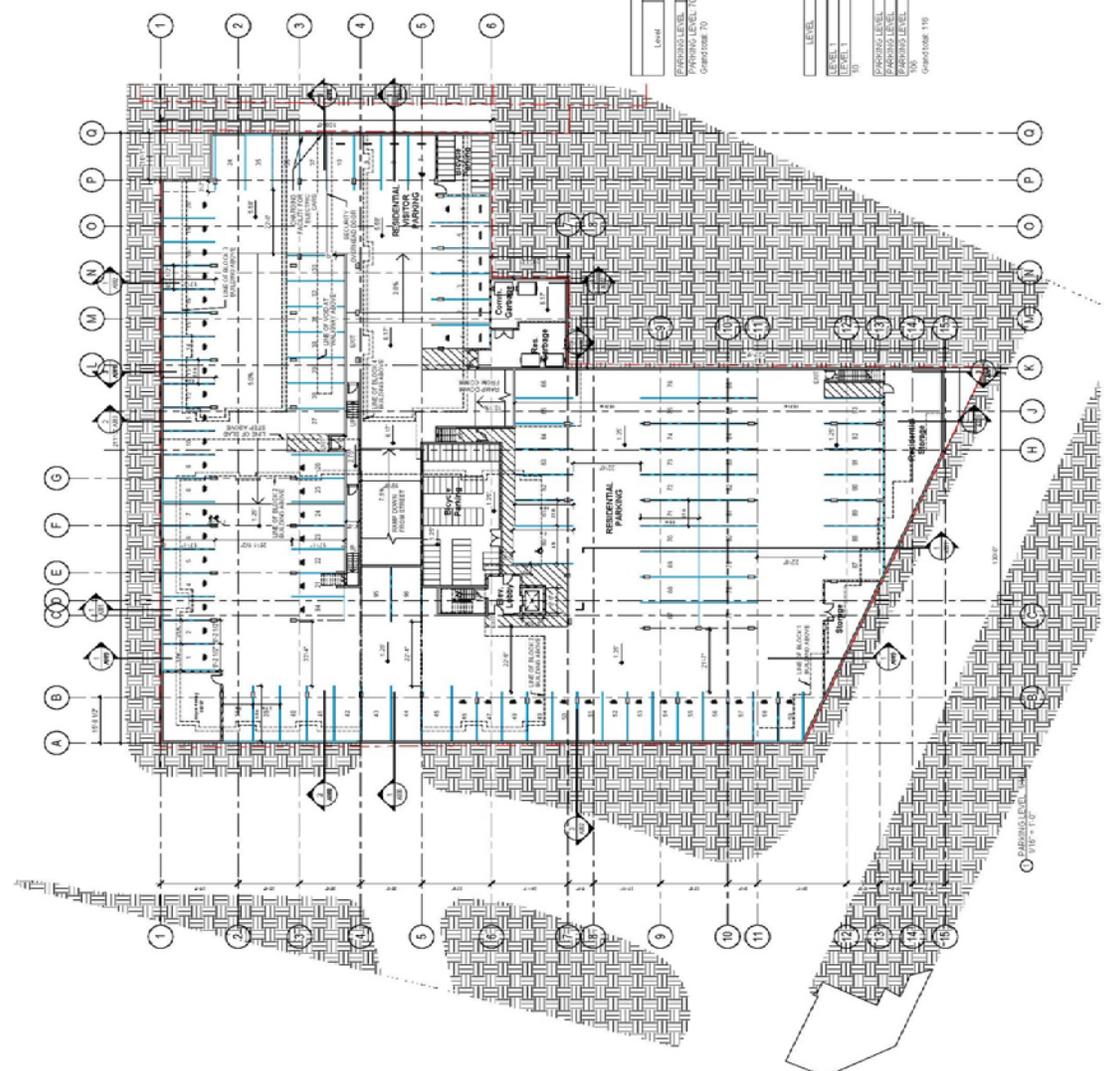
2019.05.09 (Submitted)
2019.05.15 (Revised)
2019.05.29 (Submitted)

NO. DATE DESCRIPTION

1 2019.05.09 (Submitted)
2 2019.05.15 (Revised)
3 2019.05.29 (Submitted)

All Drawings in this set to be read in conjunction with each other. Any errors or omissions shall be the responsibility of the Architect before commencing work. The Architect is not responsible for the interpretation of the appropriate regulatory requirements. © Copyright Ankenman Marchand Architects. All rights reserved.

Scale: 1/16" = 1'-0"
DWG. NO: **A101**



RECYCLE TO ALL		
Level	Type Comments	Count
PARKING LEVEL TO GARAGE LEVEL TO GARAGE LEVEL TO	Electrical Cables	50
	Outdoor	70
	Bicycle Rack	70

LEVEL	ROUTE	#	SPACING (mm)
LEVEL 1	Commercial / Residential / Industrial / or other	3	3000

LEVEL	CHERRY OF CAR	Count
PARKING LEVEL TO GARAGE LEVEL TO GARAGE LEVEL TO	CHERRY OF CAR	1
	Seat of CAR	24
	Trunk of CAR	21
	RECYCLE TO ALL	21

File Date: 19-05-2019 09:52:23 AM
Client: 1222 Marine Terraces, 4807 Marine Drive, North Vancouver, BC V8M 1R3
Drawing: 1222-PT-PK-01-01-01

Parking Plan 2

ANKENMAN MARCHAND

ARCHITECTS

1645 West 5th Avenue
Vancouver, BC V5U 1N5
Tel: (604) 872-2505 Fax: (604) 872-2505
Email: cfr.ca@AMArchitects.com



North

Project: 1222

Client: LVM Holdings Ltd.

Location: Marine Terraces

Address: 1487 Marine Drive, White Rock, BC

Drawing: LEVEL 1

Project Stage: Building Permit

Submission: SUBMISSION

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: 1/10" = 1'-0"

Sheet: A102

Revision: [Number]

Description: [Text]

No. Date Description

1. 01/10/2013 Initial Submission

2. 02/10/2013 Revised Submission

3. 03/10/2013 Revised Submission

4. 04/10/2013 Revised Submission

5. 05/10/2013 Revised Submission

6. 06/10/2013 Revised Submission

7. 07/10/2013 Revised Submission

8. 08/10/2013 Revised Submission

9. 09/10/2013 Revised Submission

10. 10/10/2013 Revised Submission

11. 11/10/2013 Revised Submission

12. 12/10/2013 Revised Submission

13. 01/11/2014 Revised Submission

14. 02/11/2014 Revised Submission

15. 03/11/2014 Revised Submission

16. 04/11/2014 Revised Submission

17. 05/11/2014 Revised Submission

18. 06/11/2014 Revised Submission

19. 07/11/2014 Revised Submission

20. 08/11/2014 Revised Submission

21. 09/11/2014 Revised Submission

22. 10/11/2014 Revised Submission

23. 11/11/2014 Revised Submission

24. 12/11/2014 Revised Submission

25. 01/12/2015 Revised Submission

26. 02/12/2015 Revised Submission

27. 03/12/2015 Revised Submission

28. 04/12/2015 Revised Submission

29. 05/12/2015 Revised Submission

30. 06/12/2015 Revised Submission

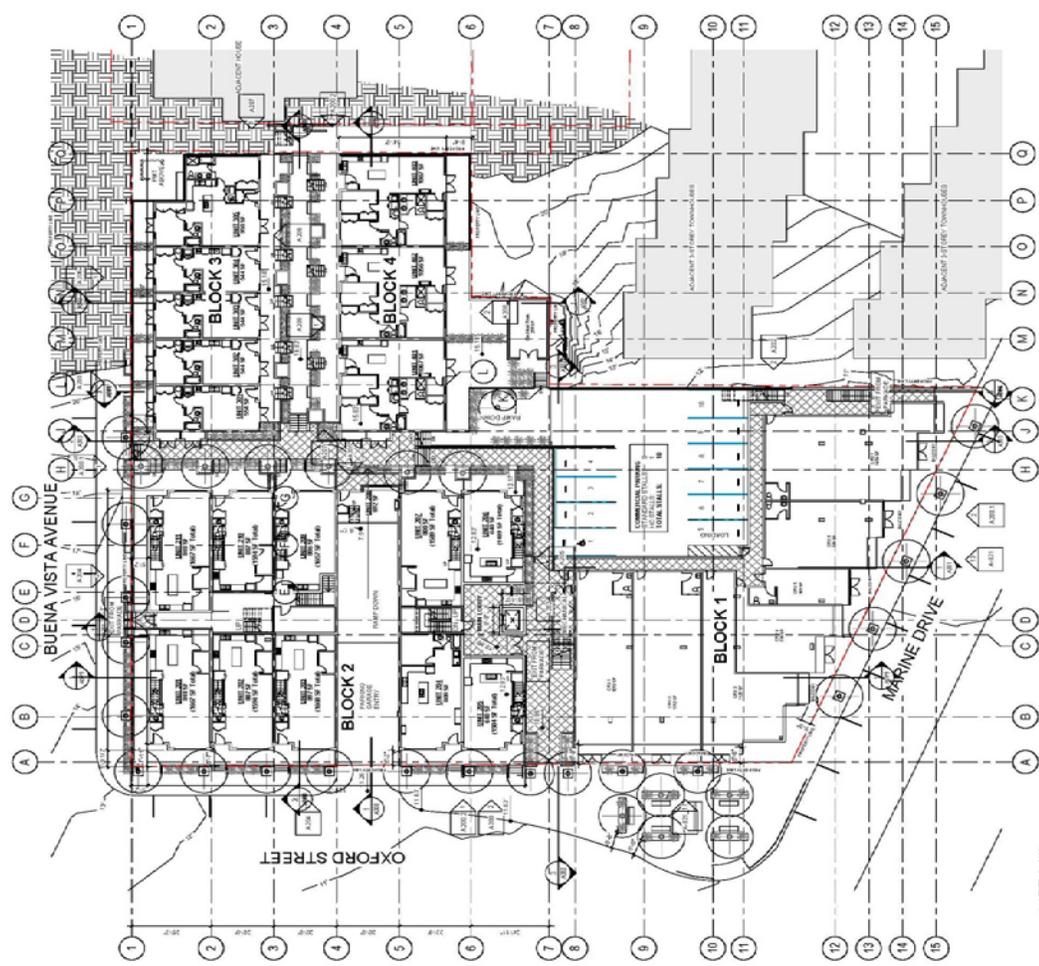
31. 07/12/2015 Revised Submission

32. 08/12/2015 Revised Submission

33. 09/12/2015 Revised Submission

34. 10/12/2015 Revised Submission

35. 11/12/2015 Revised Submission



Elevations 1

ANKENMAN MARCHAND

ARCHITECTS

1685 West 5th Avenue
Vancouver, BC V5Z 1Y0
Tel: (604) 672-2569 Fax: (604) 672-2825
Email: office@AMArchitects.com

Project:
1037-1039
1037 Marine Drive, White Rock, BC
Project Name: Marine Terraces
Drawing: ELEVATIONS

Project Status:
Building Permit

Date:
Description:
Author:
Checked:
Approved:
Project Manager: Property Development Permit

NO DATE DESCRIPTION

All Drawings are set to be read in
conjunction with the Project Description
and the Building Code. All work is to be
checked before commencing work.
This drawing is intended to be used
in conjunction with the Building Code & other
relevant regulations.
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Architects. All Rights Reserved

Scale:
3/32" = 1'-0"
DWG. NO.:
A200



South Elevation
3/32" = 1'-0"



West Elevation
3/32" = 1'-0"



South Elevation
3/32" = 1'-0"

File Date: Feb 28, 2013 2:29:04 PM
C:\Users\DMarchand\Documents\222_Marine Terraces\Work\Permit\222_Marine Terraces\1037-1039_BP_150709-10.dwg

7.30 CD-30 COMPREHENSIVE DEVELOPMENT ZONE (1424 Everall Street)

INTENT

The intent of this zone is to accommodate the development of a five (5) unit residential townhouse complex on a site of approximately 0.1 ha (0.24 ac)

1. Permitted Uses

In the CD-30 Zone the following uses are permitted and all other uses are prohibited:

- (a) A *multi-unit residential use* in the form of a *townhouse* in one or more principal buildings on the lot.
- (b) An *accessory home occupation* use subject to the provisions of section 5.3.

2. Number of Dwelling Units / Gross Floor Areas / Lot Coverage

The maximum number of *dwelling units* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

1. Maximum No. of *dwelling units* = five (5)
2. Maximum Lot Coverage = 38.0%

3. Regulations for Size, Shape, and Siting of Buildings and Structures

(a) Maximum *height* of buildings, and property line setbacks follows:

- (i) Maximum height of buildings = 10.5m (34.45ft)
- (ii) Setback from front (south) lot line = 2.94m (9.65ft)
- (iii) Setback from rear (north) lot line = 1.2m (3.94ft)
- (iv) Setback from interior (east) lot line = 7.0m (23.0ft)
- (v) Setback from exterior lot line (west) = 4.57m (15.0ft)

(b) Maximum projections into the above property line setback requirements are outlined in Section 4.14 with the following exceptions:

- (i) a cantilevered floor area may extend not more than 0.3m into an interior side yard;
- (ii) an open porch or balcony may extend not more than 1.68m into a front or exterior side yard setback.

(c) Subject to the provisions of Section 5.3, *accessory buildings* and *structures*:

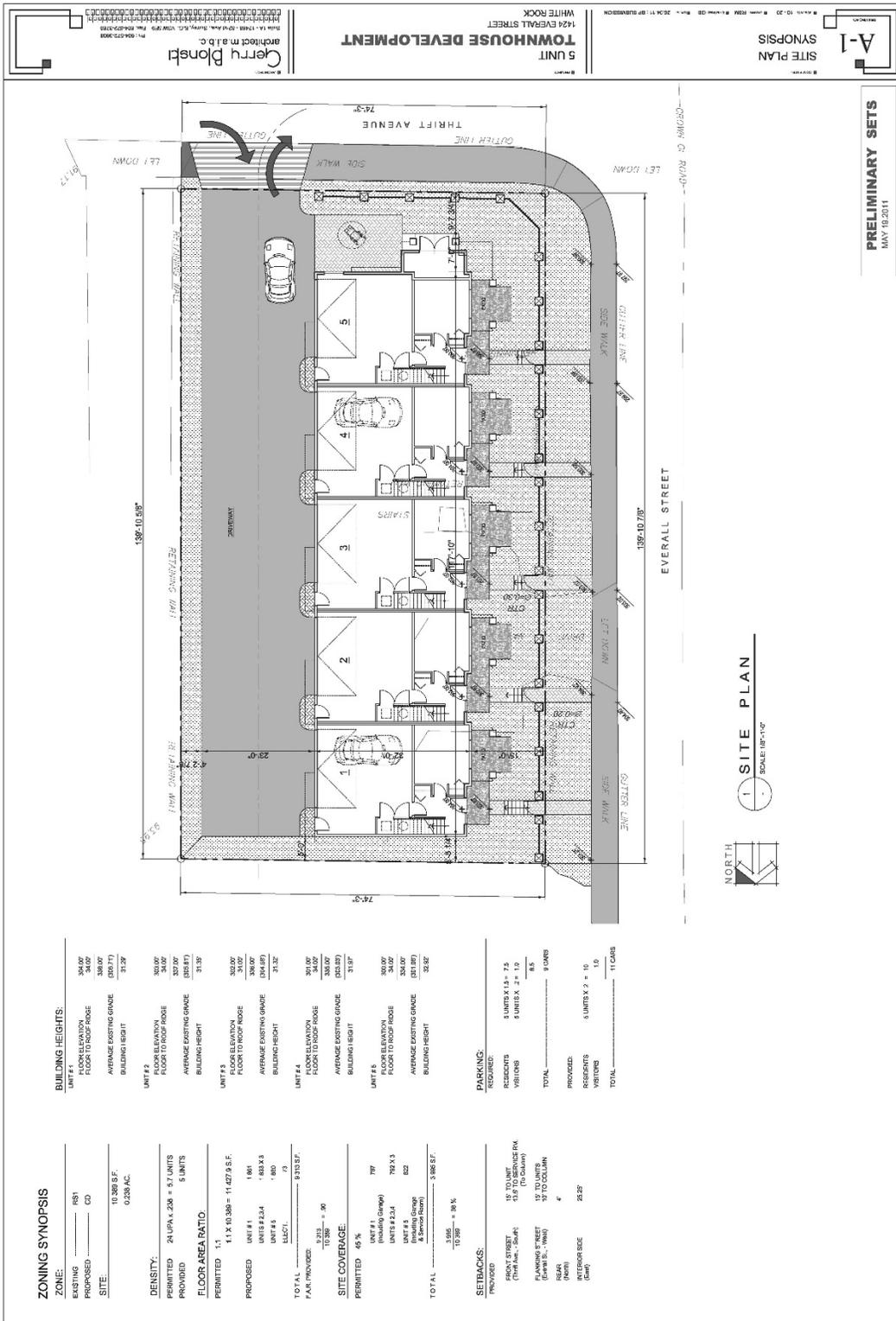
- (i) shall not exceed a height of 4.0 m.

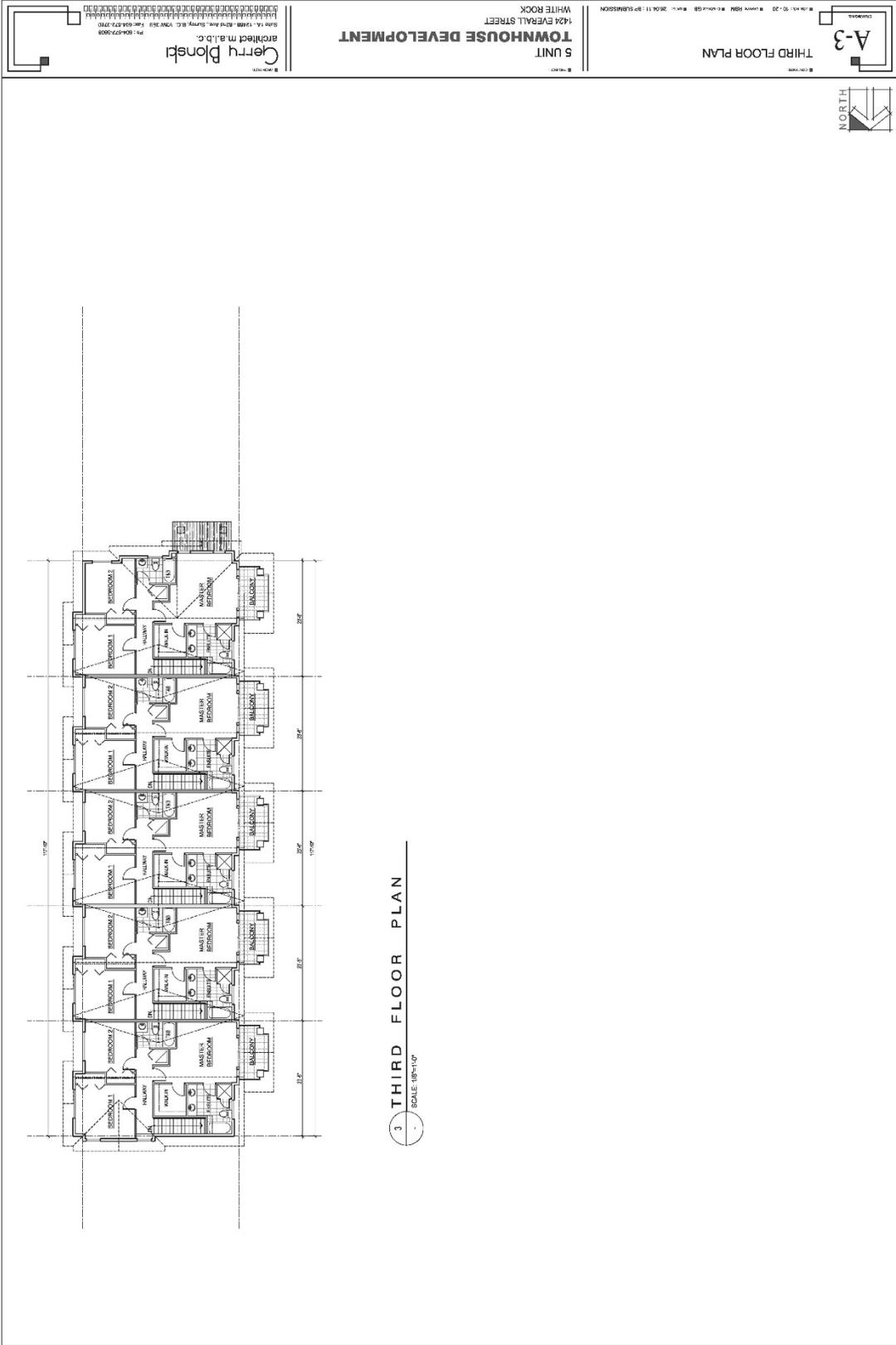
4. Parking and Loading shall be provided in accordance with Sections 4.14 and 4.15, with the following exceptions:

- (a) two (2) enclosed parking spaces shall be provided for each *dwelling unit* as shown on the plans identified as garage for each *dwelling unit*; and
- (b) one (1) visitor parking space shall be provided as shown on the plans.

5. Drawings attached hereto prepared by Gerry Blonski, Architect, and on file with the City of White Rock as shown on the attached plans; and for the purposes of this zone are referred to as “the Plans”. Development in this zone shall conform substantially to the Plans.

The Plans





3 THIRD FLOOR PLAN
SCALE: 1/8"=1'-0"

A-3
THIRD FLOOR PLAN

5 UNIT
TOWNHOUSE DEVELOPMENT
1424 E/FALL STREET
WHITE ROCK

architect m.a.l.c.
Certy Blonsh



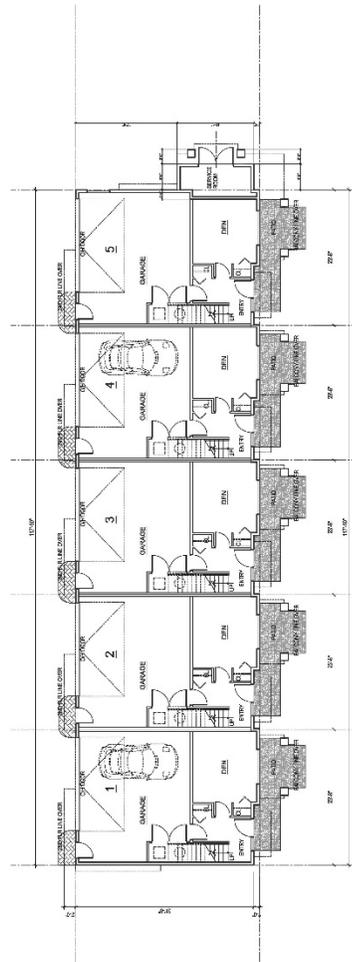
A-2

FIRST FLOOR PLAN
SECOND FLOOR PLAN

5 UNIT
TOWNHOUSE DEVELOPMENT
1426 EVELL STREET
WHITE ROCK

Gerry Plonst
architect m a b c

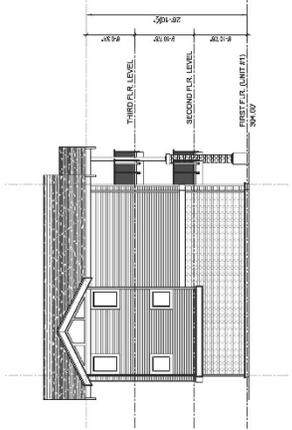
740 S. 2000 W. SUITE 200
SALT LAKE CITY, UT 84119
PHONE: 313.222.2222
WWW.GERRYPLONST.COM



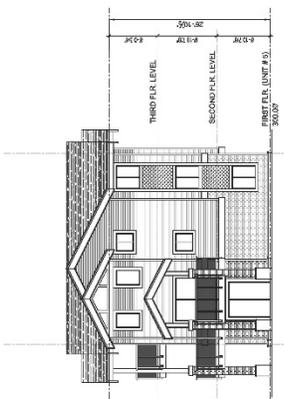
1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"



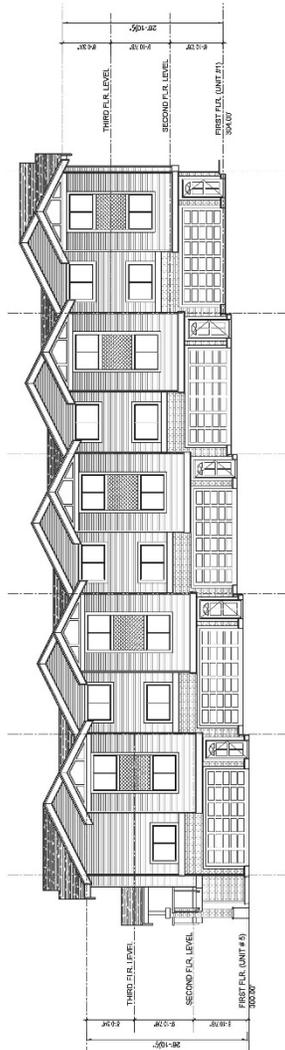
2 SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



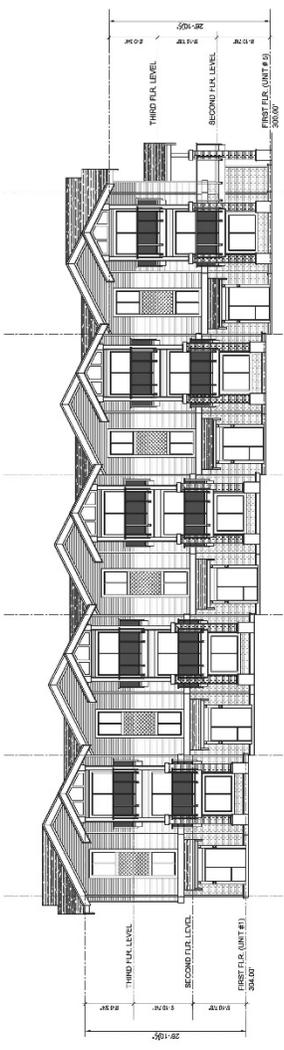
4 NORTH ELEVATION
 SCALE: 1/8"=1'-0"



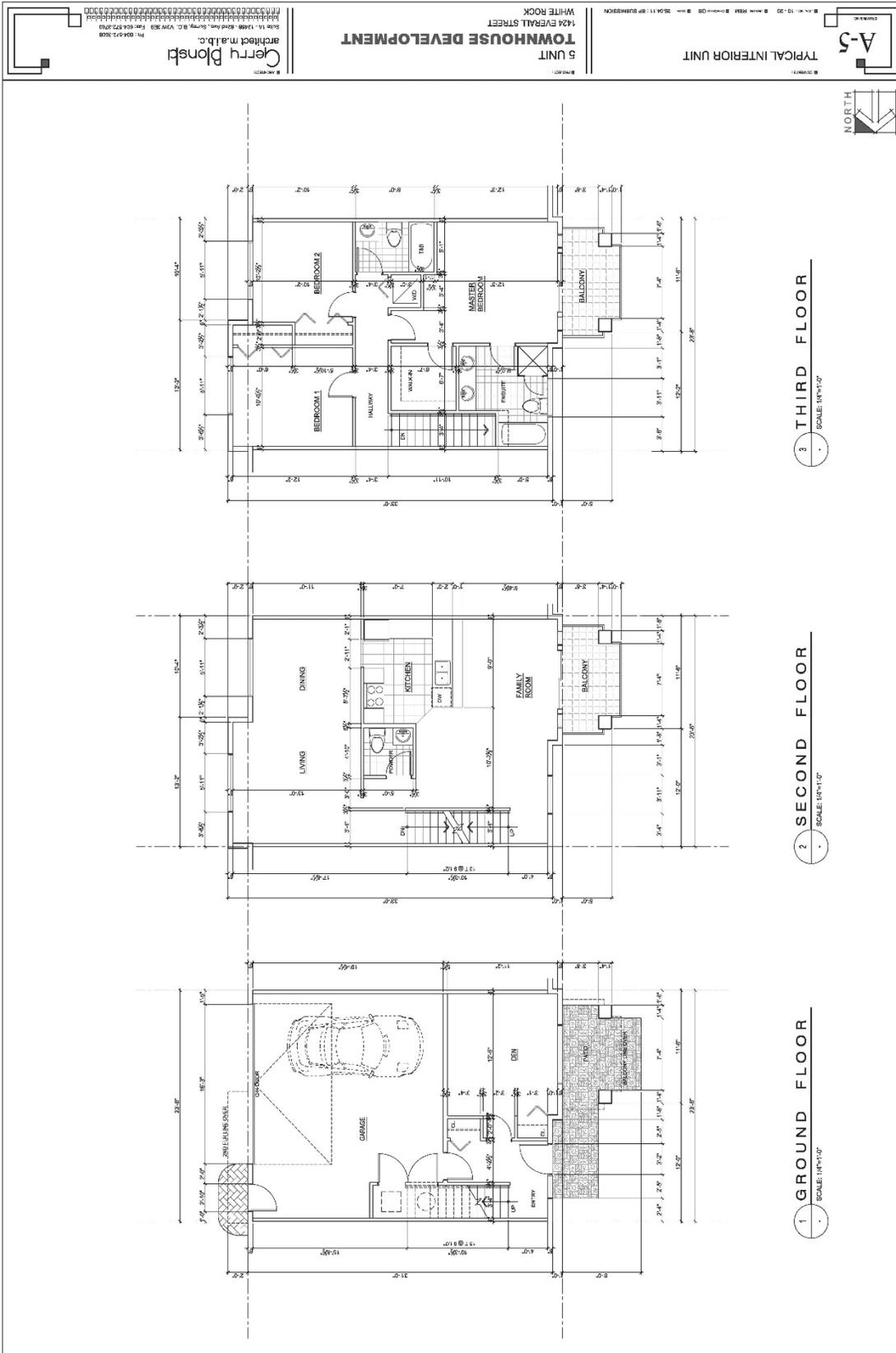
2 SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

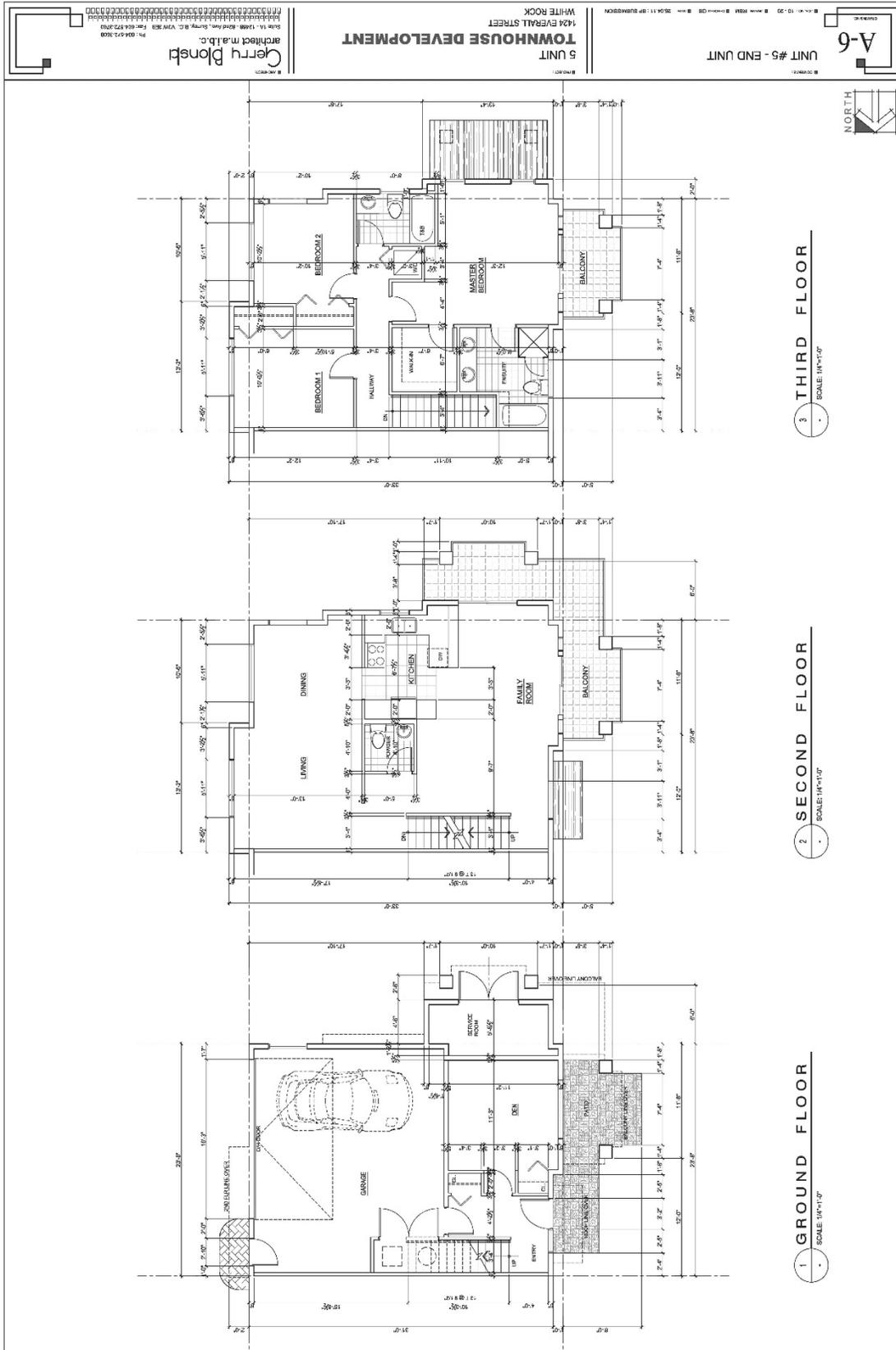


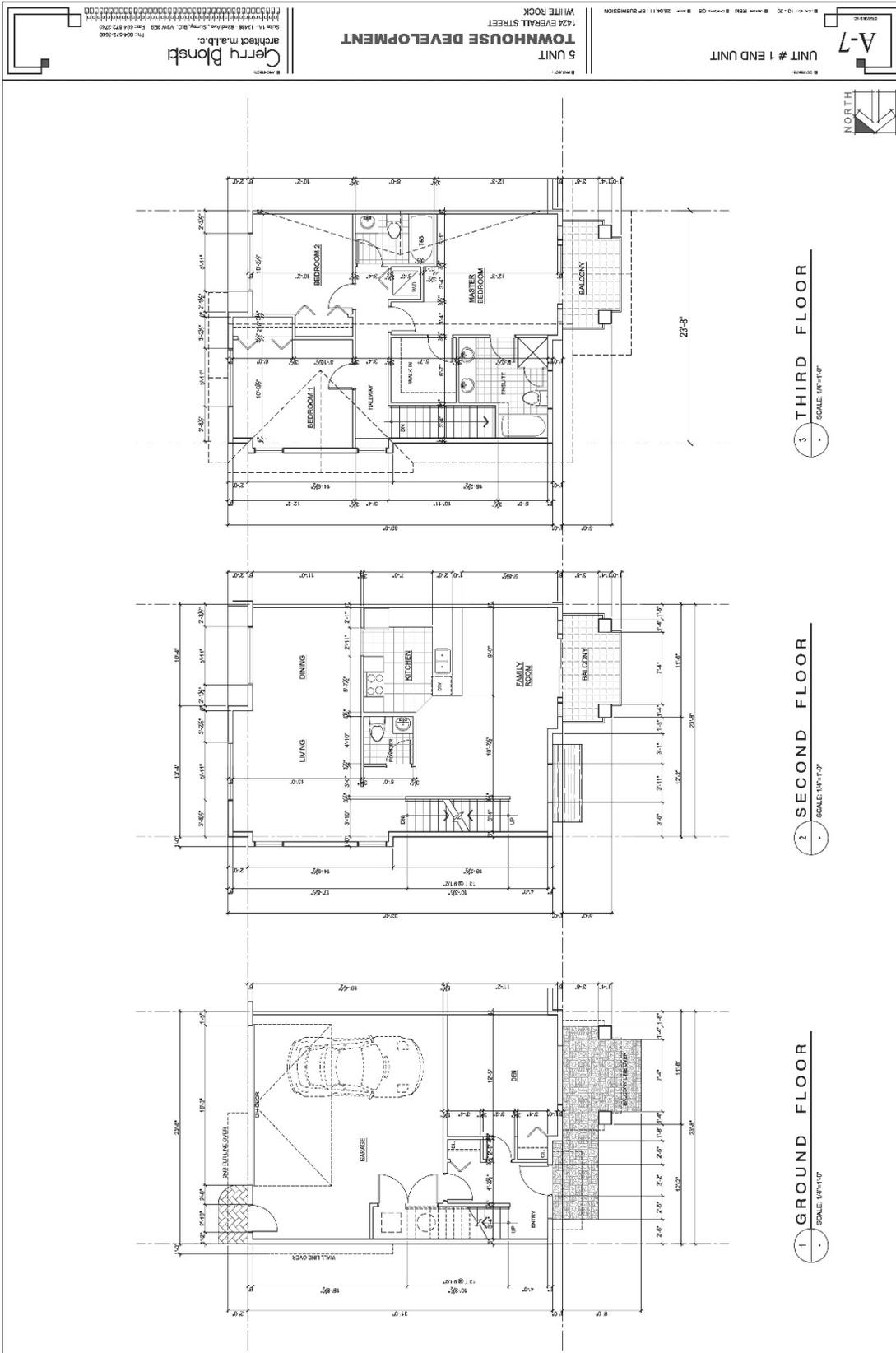
3 EAST ELEVATION
 SCALE: 1/8"=1'-0"

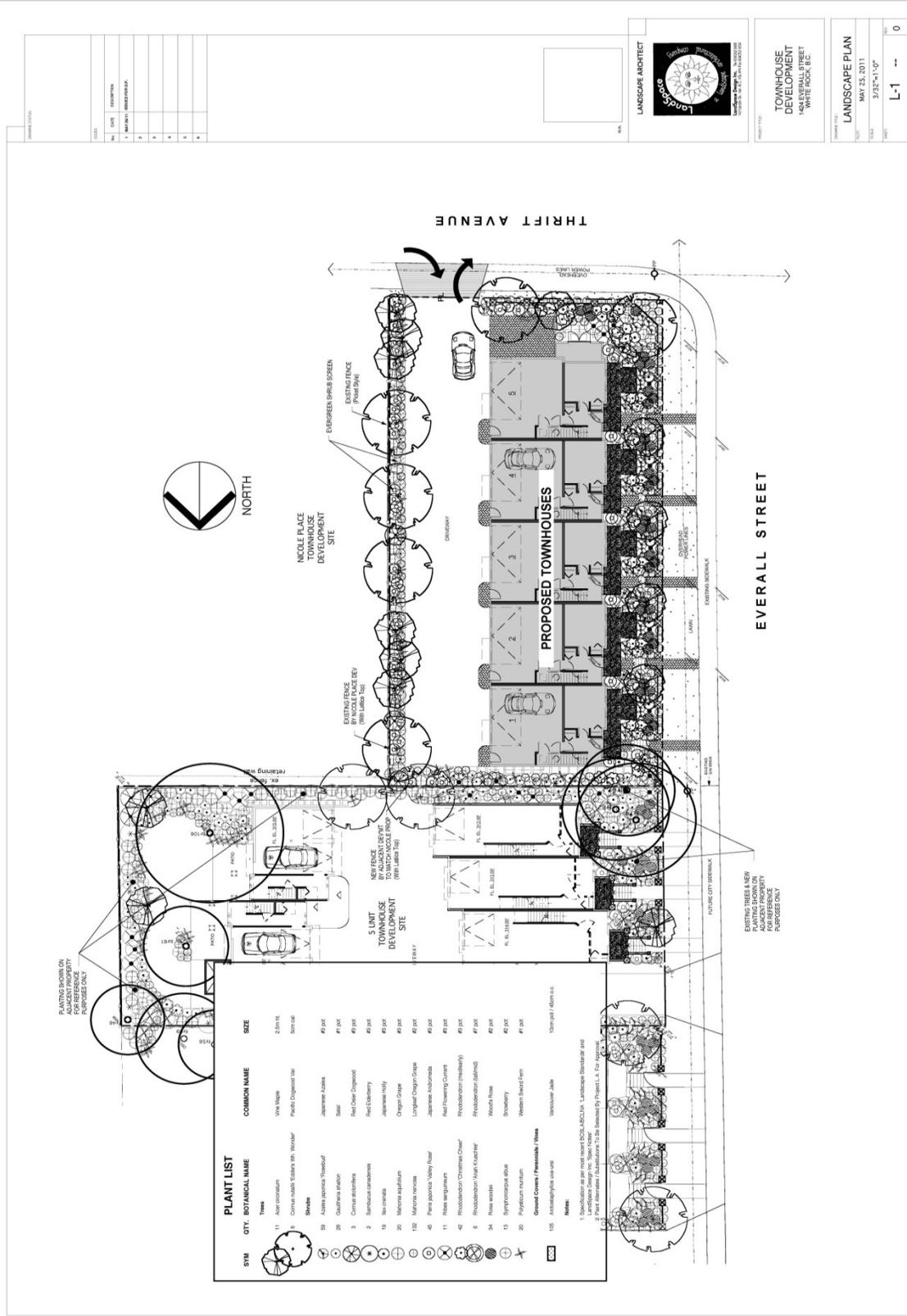


1 WEST ELEVATION
 SCALE: 1/8"=1'-0"









LANDSCAPE ARCHITECT

LANDSCAPE ARCHITECT
 144 EVERALL STREET
 WHITE ROCK, B.C.

PROJECT NO.
 DATE
 SCALE
 SHEET

LANDSCAPE PLAN
 MAY 23, 2011
 3/8" = 1'-0"
 L-1 -- 0

7.31 CD-31 COMPREHENSIVE DEVELOPMENT ZONE (1450 Vidal Street)

INTENT

The intent of this zone is to accommodate the development of a five (5) unit residential townhouse complex on a site of approximately 0.06 hectares (0.17 acres)

1. Permitted Uses:

In the CD-31 Zone the following uses are permitted and all other uses are prohibited:

- (a) A *multi-unit residential use* in the form of a *townhouse*
- (b) An *accessory home occupation* use in accordance with the provisions of Section 5.3.

2. Number of Dwelling Units / Gross Floor Areas / Lot Coverage:

The maximum number of *dwelling units* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

- (a) Maximum No. of *dwelling units* = five (5)
- (b) Maximum Lot Coverage = 45.0%

3. Regulations for Size, Shape, and Siting of Buildings and Structures:

Reference to a Building refers to the building labeled on the Plans. As indicated on the Plans, *principal buildings* are identified and labeled as Blocks A and B:

- (a) Maximum *height* of buildings, and property line setbacks shall be as follows:
 - (i) Maximum height of buildings = 11.68 metres (38.33 feet)
 - (ii) Setback from front (west) lot line = 6.1 metres (20 feet)
 - (iii) Setback from rear (east) lot line = 6.1 metres (20 feet)
 - (iv) Setback from interior (south) lot line = 1.5 metres (5 feet)
 - (v) Setback from interior lot line (north) = 1.1 metres (3.75 feet)
- (b) Maximum projections into the above property line setback requirements shall be as outlined in Section 4.14, except that:
 - (i) a cantilevered floor area may extend not more than 0.3 metres (1.0 feet) into an interior side yard;
 - (ii) an open porch or balcony may extend not more than 1.68 metres (5.5 feet) into a front or exterior side yard.

4. Parking and Loading:

Parking and Loading shall be provided in accordance with the requirements of Sections 4.14 and 4.15, and, additionally as follows:

- (a) two (2) enclosed parking spaces shall be provided for each *dwelling unit* as shown on the plans identified as garage for each *dwelling unit*;
- (b) one (1) open parking space shall be provided for each *dwelling unit* as shown on the plans.

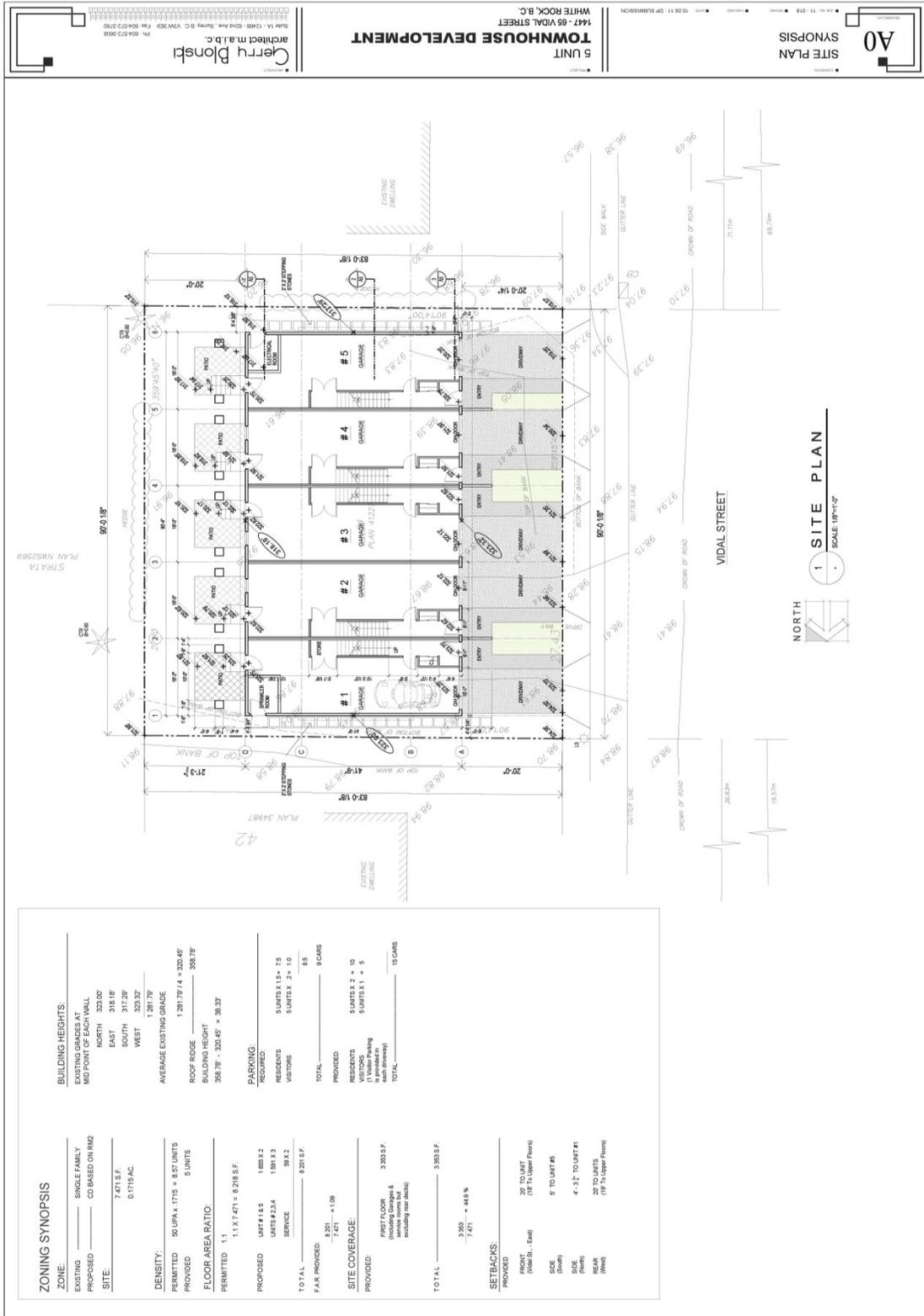
5. General:

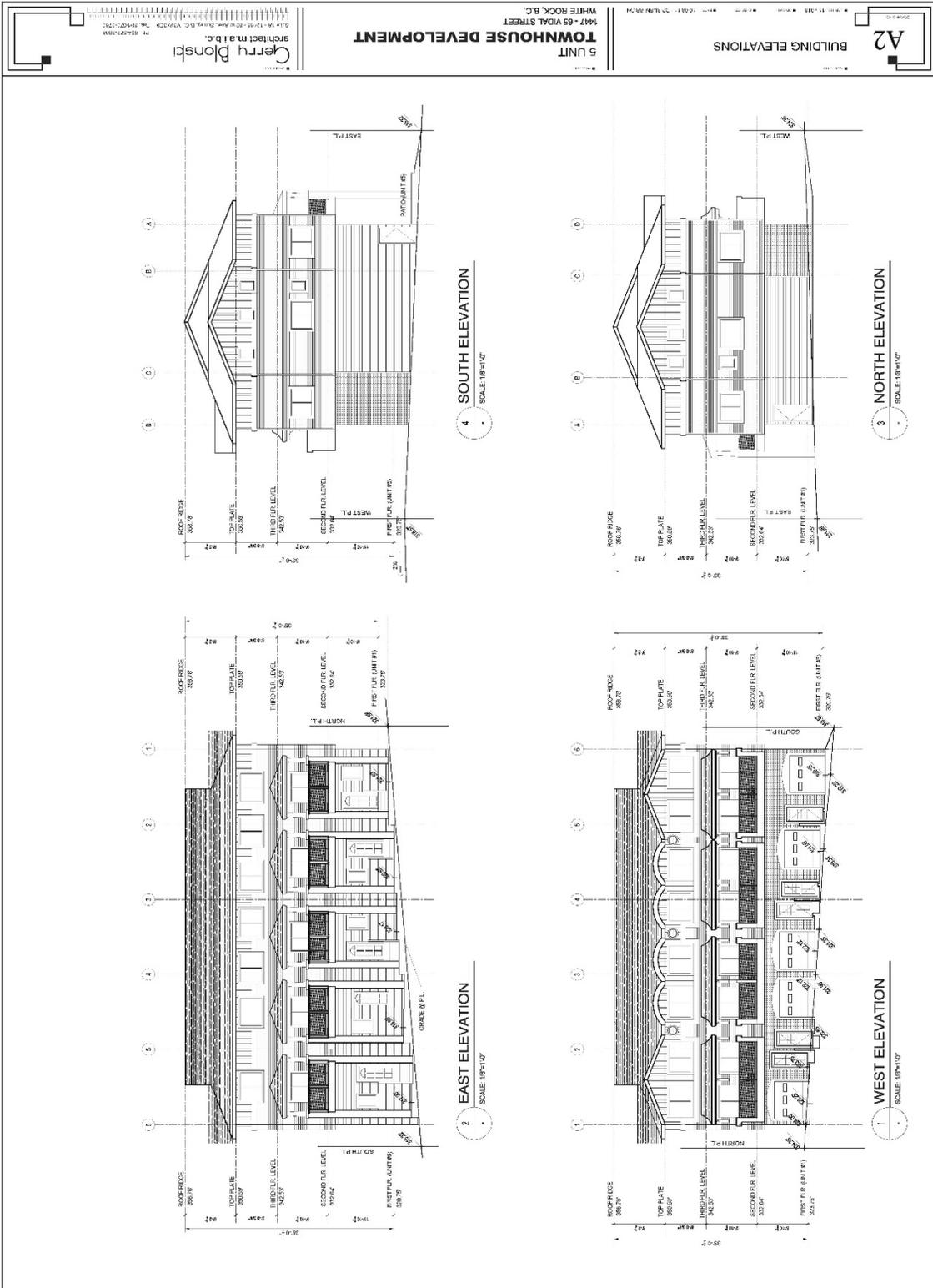
Drawings attached hereto prepared by Gerry Blonski, Architect, and on file with the City of White Rock as shown on the attached plans; and for the purposes of this zone are

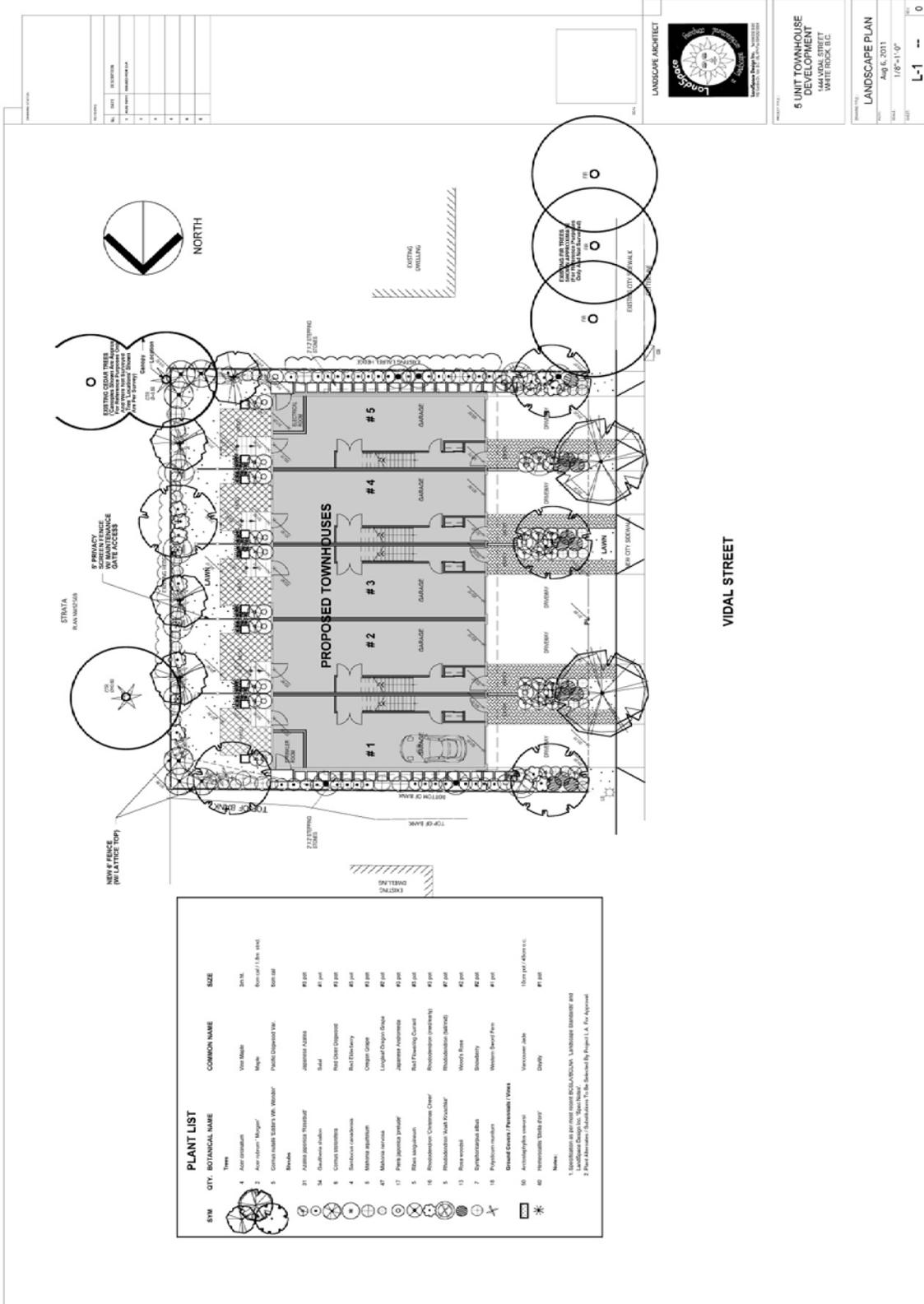
referred to as “the Plans”. Development in this zone shall conform substantially to the Plans.

The Plans









PLANT LIST

SYM	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
1	1	Acacia saligna	Wattle	20' x 10'
2	1	Acacia saligna	Wattle	10' x 5'
3	1	Acacia saligna	Wattle	10' x 5'
4	1	Acacia saligna	Wattle	10' x 5'
5	1	Acacia saligna	Wattle	10' x 5'
6	1	Acacia saligna	Wattle	10' x 5'
7	1	Acacia saligna	Wattle	10' x 5'
8	1	Acacia saligna	Wattle	10' x 5'
9	1	Acacia saligna	Wattle	10' x 5'
10	1	Acacia saligna	Wattle	10' x 5'
11	1	Acacia saligna	Wattle	10' x 5'
12	1	Acacia saligna	Wattle	10' x 5'
13	1	Acacia saligna	Wattle	10' x 5'
14	1	Acacia saligna	Wattle	10' x 5'
15	1	Acacia saligna	Wattle	10' x 5'
16	1	Acacia saligna	Wattle	10' x 5'
17	1	Acacia saligna	Wattle	10' x 5'
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19	1	Acacia saligna	Wattle	10' x 5'
20	1	Acacia saligna	Wattle	10' x 5'
21	1	Acacia saligna	Wattle	10' x 5'
22	1	Acacia saligna	Wattle	10' x 5'
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37	1	Acacia saligna	Wattle	10' x 5'
38	1	Acacia saligna	Wattle	10' x 5'
39	1	Acacia saligna	Wattle	10' x 5'
40	1	Acacia saligna	Wattle	10' x 5'

Notes:
 1. Installation of all trees must follow B.C.A.C. (B.C. Arboriculture) Landscape Installation and Maintenance Code for "Street Planting".
 2. Plant Alternatives / Substitutions To Be Selected By Proprietor, A.S. For Approval.

7.32 CD-32 COMPREHENSIVE DEVELOPMENT ZONE (1455 – 65 Vidal Street)

INTENT

The intent of this zone is to accommodate the development of an eight (8) unit residential townhouse complex on a site of approximately 0.16 hectares (0.40 acres)

1. Permitted Uses:

In the CD-32 Zone the following uses are permitted and all other uses are prohibited:

- (a) A *multi-residential* use in the form of a *townhouse*, in more than one *principal building*
- (b) An *accessory home occupation* use in accordance with the provisions of Section 5.2

2. Number of Dwelling Units / Gross Floor Areas / Lot Coverage:

The maximum number of *dwelling units* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

- (a) Maximum No. of *dwelling units* = eight (8)
- (b) Maximum Lot Coverage = 38.5%

3. Regulations for Size, Shape, and Siting of Buildings and Structures:

Reference to a Building refers to the building as labeled on the Plans. As indicated on the Plans, *principal buildings* are identified as Building #1 and #2:

- (a) Maximum *height* of buildings, and property line setbacks are as follows:
 - (i) Maximum height of building #1 = 11.5m (37.65ft)
 - (ii) Maximum height of building #2 = 10.8m (35.4ft)
 - (iii) Setback from front (east) lot line = 5.4m (17.83ft)
 - (iv) Setback from rear (west) lot line = 2.7m (8.83ft)
 - (v) Setback from interior (south) lot line = 6.1m (20.0ft)
 - (vi) Setback from interior lot line (north) = 6.1m (20.0ft)
- (b) Maximum projections into the above property line setback requirements shall be as outlined in Section 4.14, with the following exceptions:
 - (i) a cantilevered floor area may extend not more than 0.3 metres (1.0 feet) into an interior side yard.
 - (ii) an open porch or balcony may extend not more than 1.68 metres (5.5 feet) into a front or interior side yard setback.

4. Parking and Loading shall be provided in accordance with Sections 4.14 and 4.15 and, additionally as follows:

- (a) two (2) enclosed parking spaces shall be provided for each *dwelling unit* as shown on the plans identified as garage for each *dwelling unit*;
- (b) two (2) visitor parking spaces shall be provided as shown on the plans.

5. **General:**
Drawings attached hereto prepared by Gerry Blonski, Architect, on file with the City of White Rock as shown on the attached plans, and for the purposes of this zone, are referred to as “the Plans”. Development in this zone shall generally conform to the Plans.

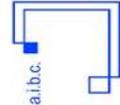
The Plans



6 UNIT TOWNHOUSE DEVELOPMENT
1455 & 1465 VIDAL ST., WHITE ROCK, B.C.

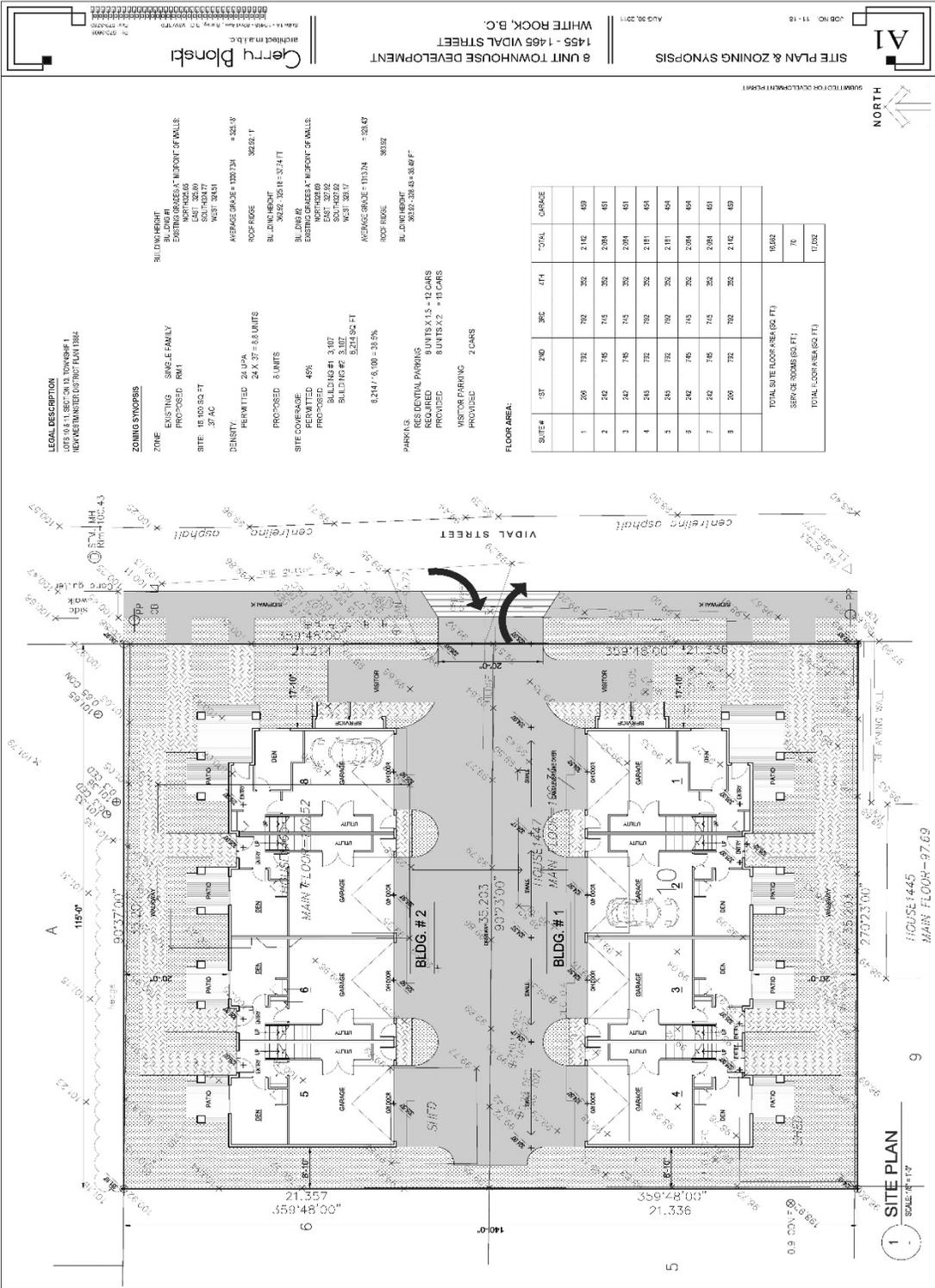
30.AUG.11 : DP SUBMISSION
PROJ. NO. : 11 - 18
/E/Tung

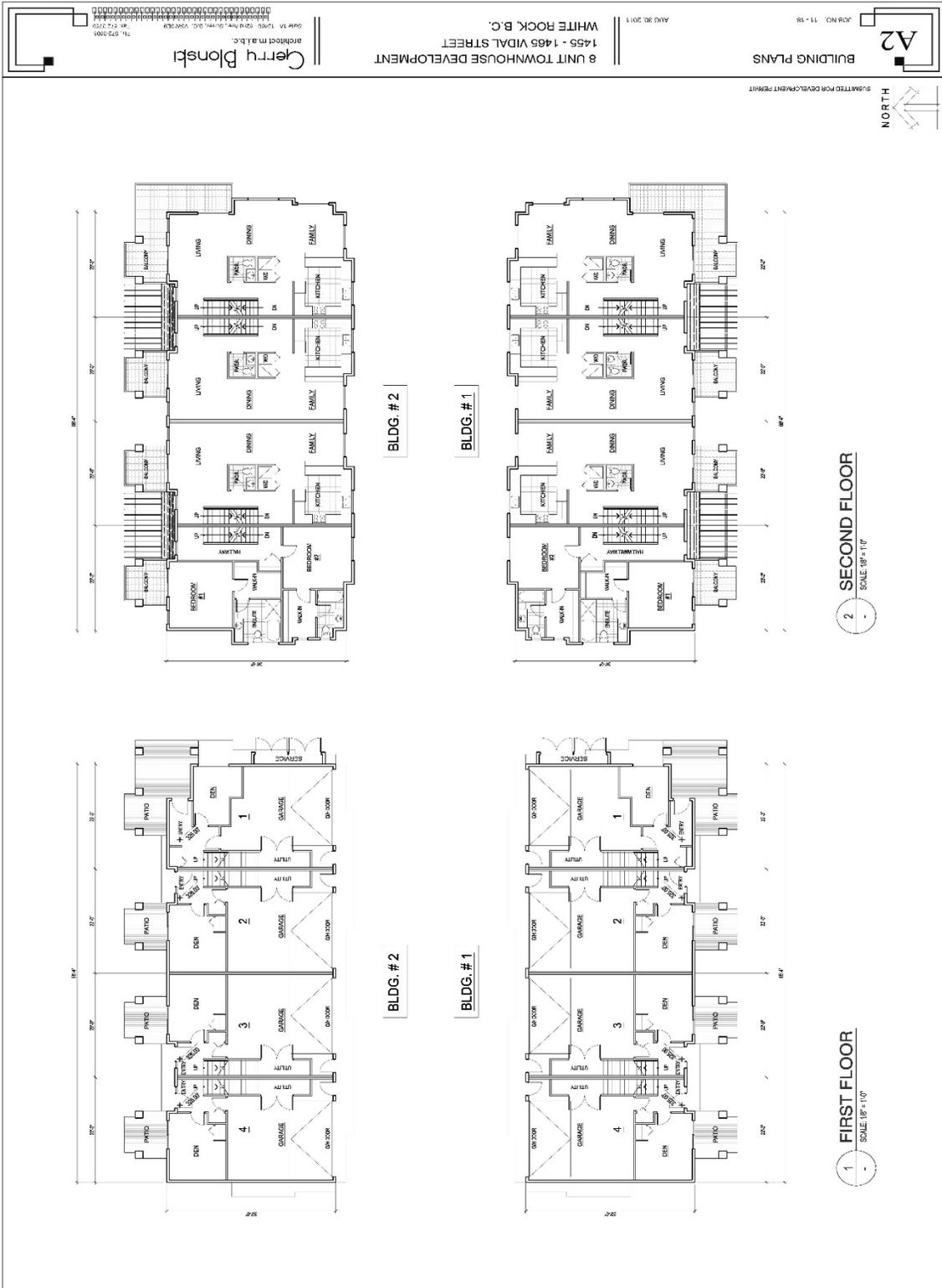
Gerry Blonst architect m.a.i.b.c.

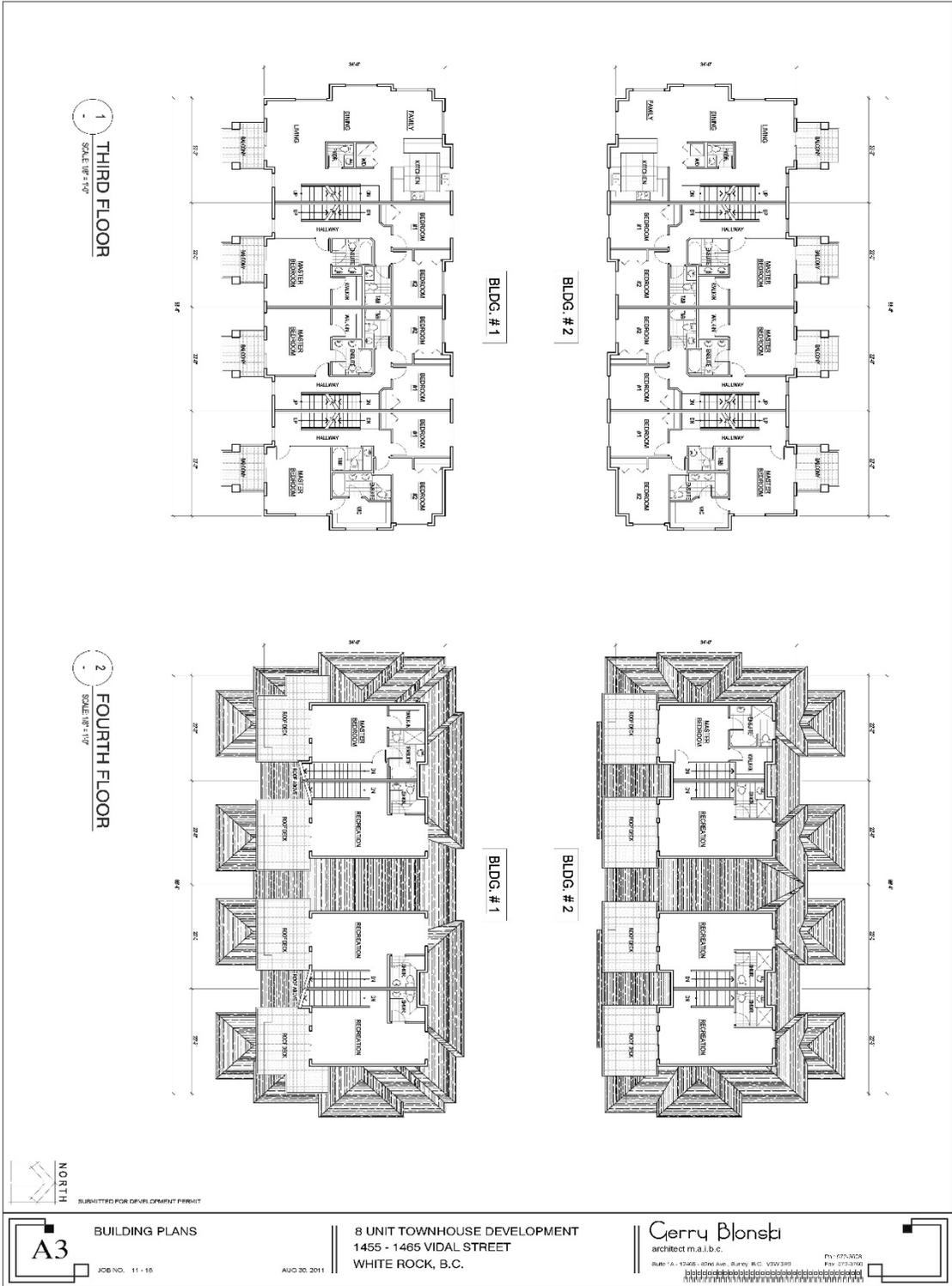


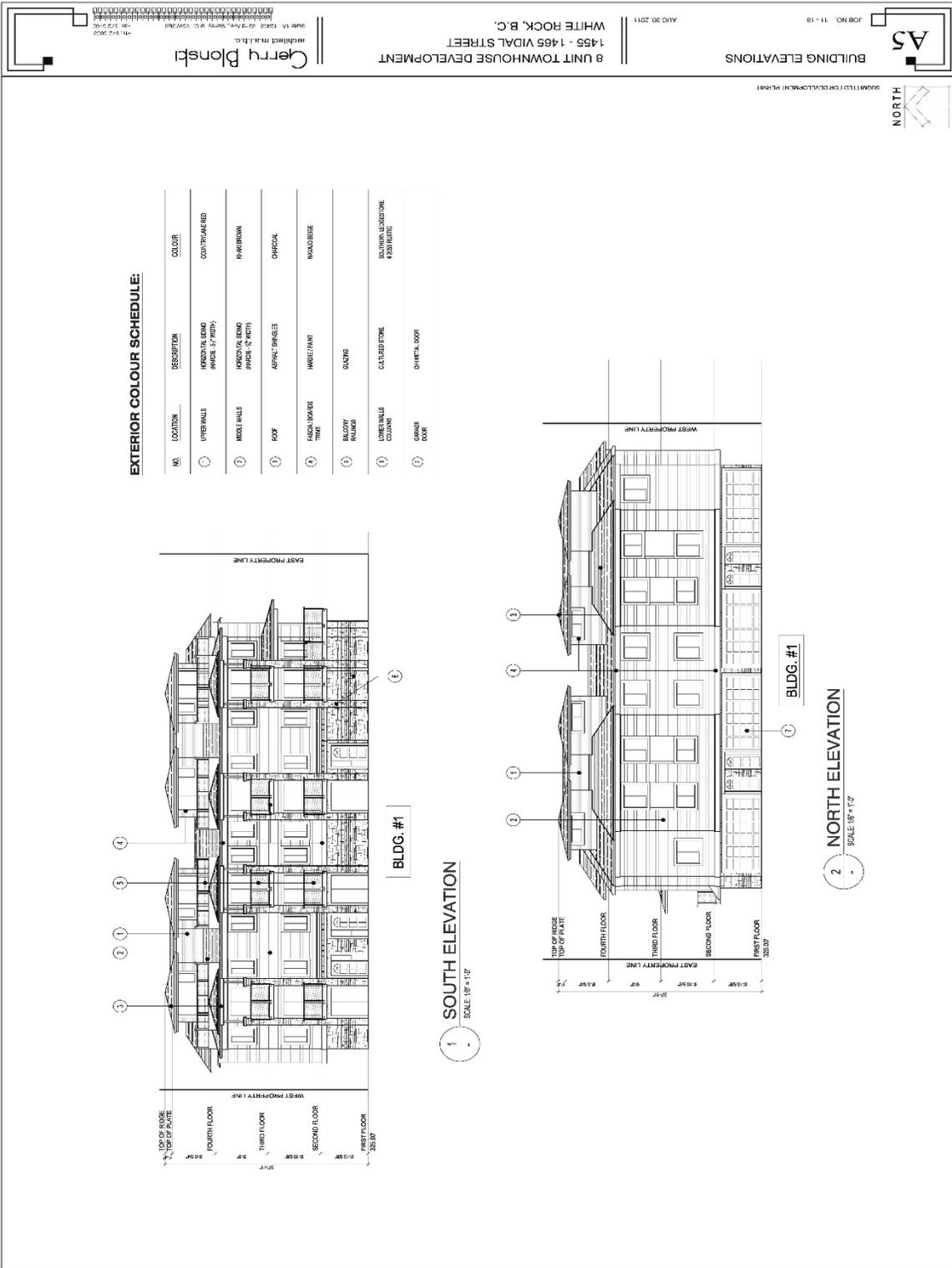
Suite 114 - 12488 - 82nd Ave., Surrey, B.C. V3W 5E9
Ph: 604-572-3005
Fax: 604-572-3700

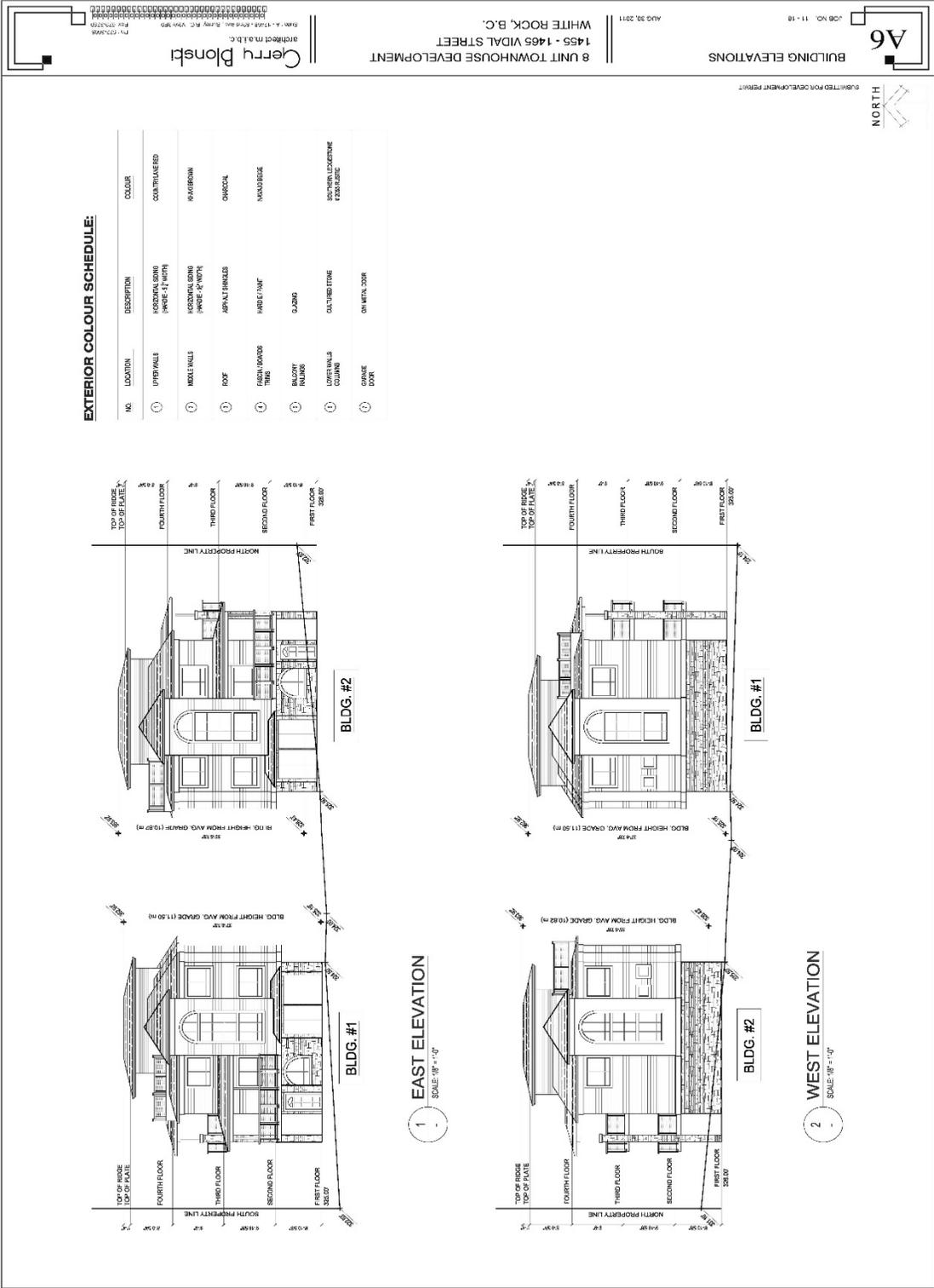






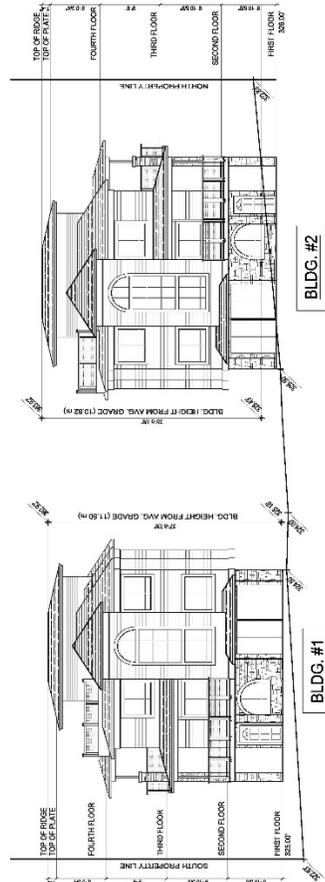






EXTERIOR COLOUR SCHEDULE:

NO.	LOCATION	DESCRIPTION	COLOR
①	UPPER WALLS	HORIZONTAL SIDING (WHITE, 1" NOTCH)	COUNTRYLAKES®
②	WALLS	HORIZONTAL SIDING (DARK, 1" NOTCH)	ONYX BROWN
③	ROOF	ASPHALT SHINGLES	CHARCOAL
④	FACIAL BOARDS TRIMS	PAINTED TRIM	WINDY RIDGE
⑤	WALKWAY BALUSTES	CLADDING	
⑥	LOWER WALLS COLUMNS	CULTURED STONE	SOUTHERN LOGGERS®
⑦	DOORWAY AWNINGS	ON METAL DOOR	PERENNIAL®



① EAST ELEVATION
SCALE: 1/8" = 1'-0"

② WEST ELEVATION
SCALE: 1/8" = 1'-0"

7.33 CD-33 COMPREHENSIVE DEVELOPMENT ZONE (application deferred)

7.34 CD-34 COMPREHENSIVE DEVELOPMENT ZONE (1321 Fir Street)

INTENT

The intent of this zone is to accommodate the development of a four (4) unit residential townhouse complex on a site of approximately 0.07 hectares (0.17 acres)

1. Permitted Uses

In the CD-34 Zone the following uses are permitted and all other uses are prohibited:

- (a) A *multi-unit residential use* in the form of a *townhouse* in one or more principal buildings on the lot.
- (b) An *accessory home occupation* use subject to the provisions of section 5.3.

2. Number of Dwelling Units / Lot Coverage

The maximum number of *dwelling units* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

- (a) Maximum No. of *dwelling units* = four (4)
- (b) Maximum Lot Coverage = 38%

3. Regulations for Size, Shape, and Siting of Buildings and Structures

Reference to a Building refers to the building as labeled on the Plans. As indicated, *principal buildings* are identified as Buildings A and B:

- (a) Maximum *height* of buildings, and property line setbacks follows:
 - (i) Maximum height of building A = 11.54 metres (37.86 feet)
 - (ii) Maximum height of building B = 11.61 metres (38.09 feet)
 - (iii) Setback from front lot line = 4.45 metres (14.5 feet)
 - (iv) Setback from rear lot line = 3.5 metres (11.5 feet)
 - (v) Setback from interior lot line = 1.5 metres (5 feet)
 - (vi) Setback from interior lot line = 1.5 metres (5 feet)

4. Parking and Loading

Parking and Loading shall be provided in accordance with the following in addition to the requirements of Sections 4.14 and 4.15:

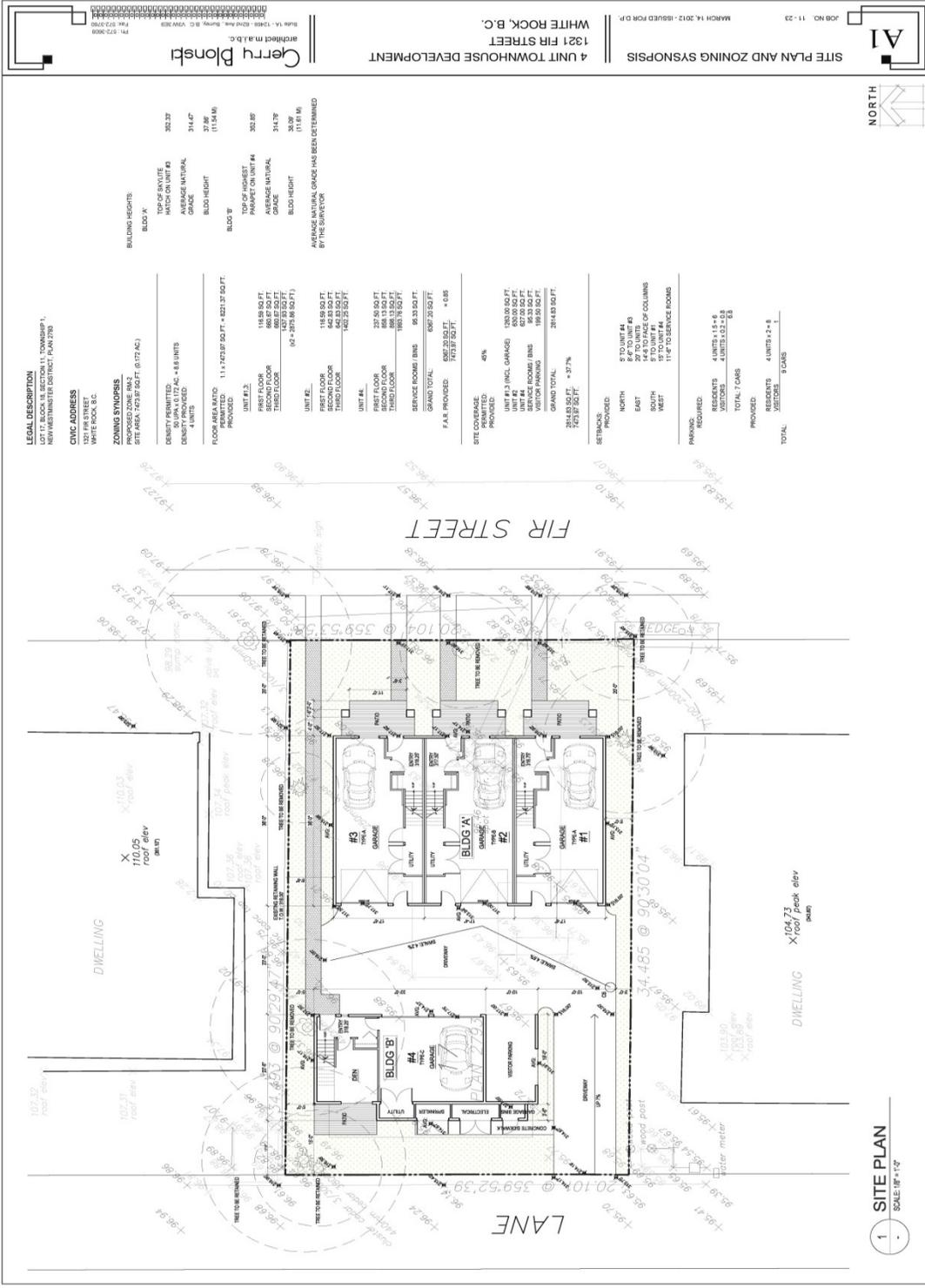
- (a) two (2) enclosed parking spaces shall be provided for each *dwelling unit* as shown on the plans identified as garage for each *dwelling unit*;
- (b) one (1) visitor parking space shall be provided as shown on the plans.

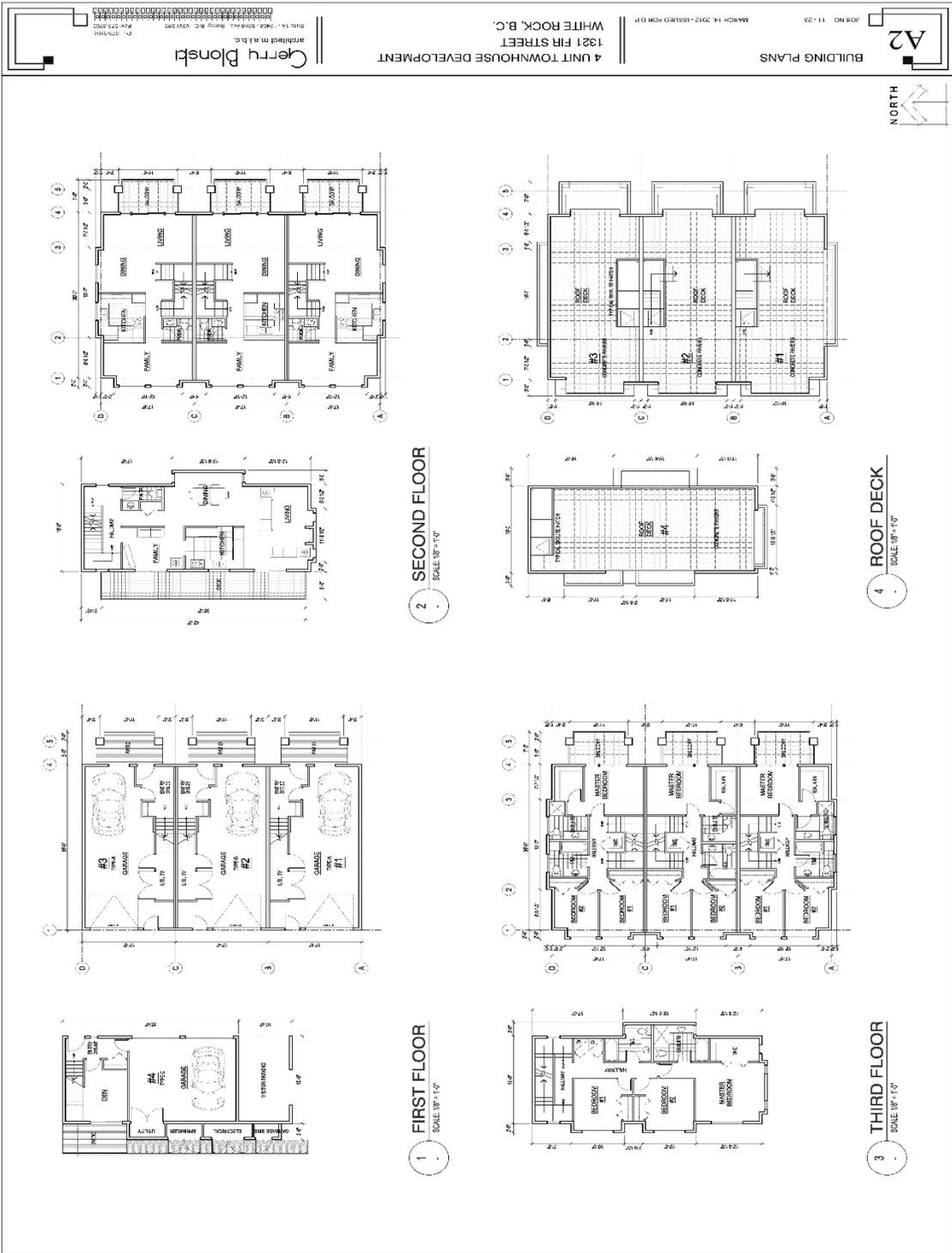
5. General

Drawings attached hereto prepared by Gerry Blonski, Architect, and on file with the City of White Rock as shown on the attached plans; and for the purposes of this zone are referred to as “the Plans”. Development in this zone shall generally conform to the Plans.

The Plans







Gertry Plonski
architect m.s.l.d.
Suite 111, 1200 Bloor Street West, Toronto, Ontario M5S 1A5
416-593-9008

4 UNIT TOWNHOUSE DEVELOPMENT
1321 FIR STREET
WHITE ROCK, B.C.

A3 BUILDING ELEVATIONS
JOB NO: 11-23
MARCH 14, 2012 - ISSUED FOR D.P.

NORTH

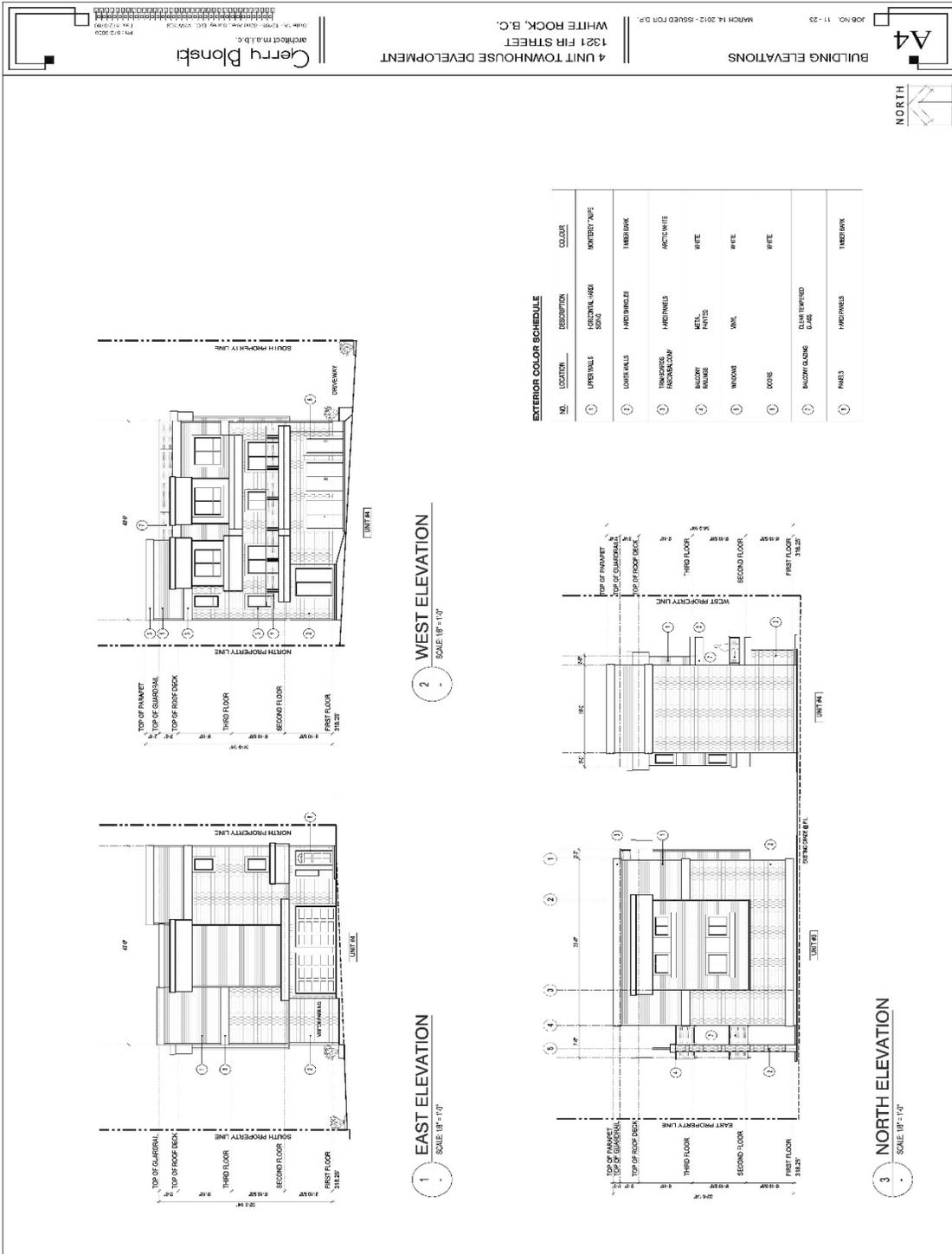
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR COLOR SCHEDULE

NO.	LOCATION	DESCRIPTION	COLOR
1	UPPER WALLS	HORIZONTAL HARD SIDING	HONEYBUMP
2	LOWER WALLS	HIGHER WALLS	TIMBERBARK
3	TRIMWORKS TRIMWORKS TRIMWORKS	HIGHER WALLS HIGHER WALLS HIGHER WALLS	ARCTIC WHITE
4	WINDOWS DOORS	WALLS WALLS	WHITE
5	ROOFING ROOFING	WALLS WALLS	WHITE
6	ROOFING ROOFING	WALLS WALLS	WHITE
7	ROOFING ROOFING	WALLS WALLS	WHITE
8	ROOFING ROOFING	WALLS WALLS	WHITE
9	ROOFING ROOFING	WALLS WALLS	WHITE
10	ROOFING ROOFING	WALLS WALLS	WHITE
11	ROOFING ROOFING	WALLS WALLS	WHITE
12	ROOFING ROOFING	WALLS WALLS	WHITE
13	ROOFING ROOFING	WALLS WALLS	WHITE
14	ROOFING ROOFING	WALLS WALLS	WHITE
15	ROOFING ROOFING	WALLS WALLS	WHITE
16	ROOFING ROOFING	WALLS WALLS	WHITE
17	ROOFING ROOFING	WALLS WALLS	WHITE
18	ROOFING ROOFING	WALLS WALLS	WHITE
19	ROOFING ROOFING	WALLS WALLS	WHITE
20	ROOFING ROOFING	WALLS WALLS	WHITE
21	ROOFING ROOFING	WALLS WALLS	WHITE
22	ROOFING ROOFING	WALLS WALLS	WHITE
23	ROOFING ROOFING	WALLS WALLS	WHITE
24	ROOFING ROOFING	WALLS WALLS	WHITE
25	ROOFING ROOFING	WALLS WALLS	WHITE
26	ROOFING ROOFING	WALLS WALLS	WHITE
27	ROOFING ROOFING	WALLS WALLS	WHITE
28	ROOFING ROOFING	WALLS WALLS	WHITE
29	ROOFING ROOFING	WALLS WALLS	WHITE
30	ROOFING ROOFING	WALLS WALLS	WHITE
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35	ROOFING ROOFING	WALLS WALLS	WHITE
36	ROOFING ROOFING	WALLS WALLS	WHITE
37	ROOFING ROOFING	WALLS WALLS	WHITE
38	ROOFING ROOFING	WALLS WALLS	WHITE
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40	ROOFING ROOFING	WALLS WALLS	WHITE
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44	ROOFING ROOFING	WALLS WALLS	WHITE
45	ROOFING ROOFING	WALLS WALLS	WHITE
46	ROOFING ROOFING	WALLS WALLS	WHITE
47	ROOFING ROOFING	WALLS WALLS	WHITE
48	ROOFING ROOFING	WALLS WALLS	WHITE
49	ROOFING ROOFING	WALLS WALLS	WHITE
50	ROOFING ROOFING	WALLS WALLS	WHITE

3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



7.35 CD-35 COMPREHENSIVE DEVELOPMENT ZONE (15118 Thrift Avenue)

INTENT

The intent of this zone is to accommodate the development of a five (5) unit residential townhouse complex on a site of approximately 0.06 hectares (0.15 acres)

1. Permitted Uses:

In the CD-35 Zone the following uses are permitted and all other uses are prohibited:

- (a) A *multi-unit residential use* in the form of a *townhouse* in one or more principal buildings on the lot.
- (b) An *accessory home occupation* use subject to the provisions of Section 5.3.

2. Number of Dwelling Units / Lot Coverage:

The maximum number of *dwelling units* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

- (a) Maximum No. of *dwelling units* = five (5)
- (b) Maximum Lot Coverage = 48.5%

3. Regulations for Size, Shape, and Siting of Buildings and Structures:

Reference to a Building refers to the building labeled that on the Plans:

- (a) Maximum *height* of buildings, and minimum setbacks from property lines are as follows:
 - (i) Maximum height of building = 9.95m (32.3ft)
 - (ii) Setback from the front lot line = 4.51m (14.8ft)
 - (iii) Setback from the rear lot line = 3.56m (11.7ft)
 - (iv) Setback from the west interior lot line = 4.57m (15.0ft)
 - (v) Setback from the east interior lot line = 1.27m (4.2ft)
- (b) Maximum projections into the above property line setback requirements shall be as outlined in Section 4.14 except as otherwise authorized or required below:
 - (i) an open porch may extend not more than 1.54m (5.1ft) into a front yard setback.
 - (ii) A set of stairs may extend not more than 3.82m (12.5ft) into a front yard setback.
 - (iii) an open balcony may extend not more than 0.55m (1.8ft) into a front or side yard setback.
 - (iv) A canopy may extend not more than 0.91m (3.0ft) into a front or side yard setback.

4. Parking and Loading:

Parking and Loading shall be provided in accordance with the provisions of Sections 4.14 and 4.15, except as otherwise authorized or required below:

- (a) one (1) enclosed parking space shall be provided for each *dwelling unit* as shown on the plans identified as garage for each *dwelling unit*;

- (b) one (1) parking space shall be provided for each *dwelling unit* as shown on the plans identified as driveway for each *dwelling unit*; and
- (c) one (1) visitor parking space shall be provided as shown on the plans.

5. General:

Drawings attached hereto prepared by Barnett Dembek Architects Inc. and on file with the City of White Rock as shown on the attached plans and for the purposes of this zone are referred to as “the Plans”. Development in this zone shall generally conform to the Plans.

The Plans

EAST ELEVATION
SCALE: 1/8" = 1'-0"

NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 FIBRE CEMENT PLANK COLLINS AND DECK FASCIA CAN EASY TRIM CORNERS
- 2 PRE-FINISHED METAL GARAGE DOOR
- 3 VINYL FRAMED WINDOWS
- 4 POWDER COAT ALUMINUM RAIL CAN GLASS INFILL PANELS
- 5 HORIZONTAL FIBRE CEMENT PLANK FASCIA - SMOOTH FINISH
- 6 VERTICAL FIBRE CEMENT PANELS - SMOOTH FINISH
- 7 PRE-FINISHED METAL EAST TRIMS & CORNERS
- 8 HORIZONTAL FIBRE CEMENT PLANK "TRIM" PANELS
- 9 4" X 12" PRESSURE TREATED STRINGER
- 10 PREFABRICATED CONCRETE TREADS
- 11 FRONT DOOR CAN RAISED VERTICAL TRIMS & REFURGE

REV	DATE	BY	CHKD	REASON FOR CHANGE

DESIGNED BY: MR. JASJEYAN SINGH
 DRAWN BY: MR. JASJEYAN SINGH
 CHECKED BY: MR. JASJEYAN SINGH
 SCALE: 1/8" = 1'-0"

PROJECT: 5 UNIT TOWNHOUSE PROJECT
ADDRESS: 5110 TRINITY AVE, WHITE ROCK, B.C.
CLIENT: MR. JASJEYAN SINGH
DATE: 10/1/2020
SCALE: 1/8" = 1'-0"

barrett dembek
 ARCHITECTURE & INTERIOR DESIGN
 7200 103 STREET, SUITE 101
 VANCOUVER, B.C. V6P 4N4
 PHONE: (604) 997-7100
 FAX: (604) 997-0899
 EMAIL: maddalena@barrettdembek.com

CLIENT: MR. JASJEYAN SINGH
PROJECT: 5 UNIT TOWNHOUSE PROJECT
ADDRESS: 5110 TRINITY AVE, WHITE ROCK, B.C.
SCALE: 1/8" = 1'-0"

SHEET NO.: AC-410
DATE: 10/20/20
SCALE: 1/8" = 1'-0"

REV	DATE	BY	CHK	APP	DESCRIPTION
1	15/03/19				
2	15/03/19				
3	15/03/19				
4	15/03/19				
5	15/03/19				
6	15/03/19				
7	15/03/19				
8	15/03/19				
9	15/03/19				
10	15/03/19				

DATE	15/03/19
PROJECT NO.	10046
CLIENT	MR. MALWAN SINGH
PROJECT NAME	5 UNIT TOWNHOUSE PROJECT
PROJECT ADDRESS	1585 HERRITT AVE, WHITE ROCK, B.C.
SCALE	1" = 10'
SHEET NUMBER	1
TOTAL SHEETS	1

CLIENT	MR. MALWAN SINGH
PROJECT NAME	5 UNIT TOWNHOUSE PROJECT
PROJECT ADDRESS	1585 HERRITT AVE, WHITE ROCK, B.C.
SCALE	1" = 10'
SHEET NUMBER	1
TOTAL SHEETS	1

UNIT 153
 SURVEY & DESIGN
 1505 116th St
 White Rock, BC
 V4B 1H6
 PHONE: (604) 897-7100
 FAX: (604) 897-7100
 EMAIL: info@sdm.com

DATE	15/03/19
PROJECT NO.	10046
CLIENT	MR. MALWAN SINGH
PROJECT NAME	5 UNIT TOWNHOUSE PROJECT
PROJECT ADDRESS	1585 HERRITT AVE, WHITE ROCK, B.C.
SCALE	1" = 10'
SHEET NUMBER	1
TOTAL SHEETS	1

DEVELOPMENT DATA

ZONING: CD BASED ON RH-2
 SITE AREA: 142 m² (1697 SF)
 ALLOWED: 626 SF (7030 sq ft) (6663 SF)
 DENSITY: 5 UNITS (38 U.S.A.)
 F.A.R.: 0.6
 STORAGE/LANDRY BONUS: (56m² x 5.0) / 603.3m = 0.246
 TOTAL ALLOWABLE F.A.R.: 0.846
 PROPOSED F.A.R.: 1.08 (1246 SF.)

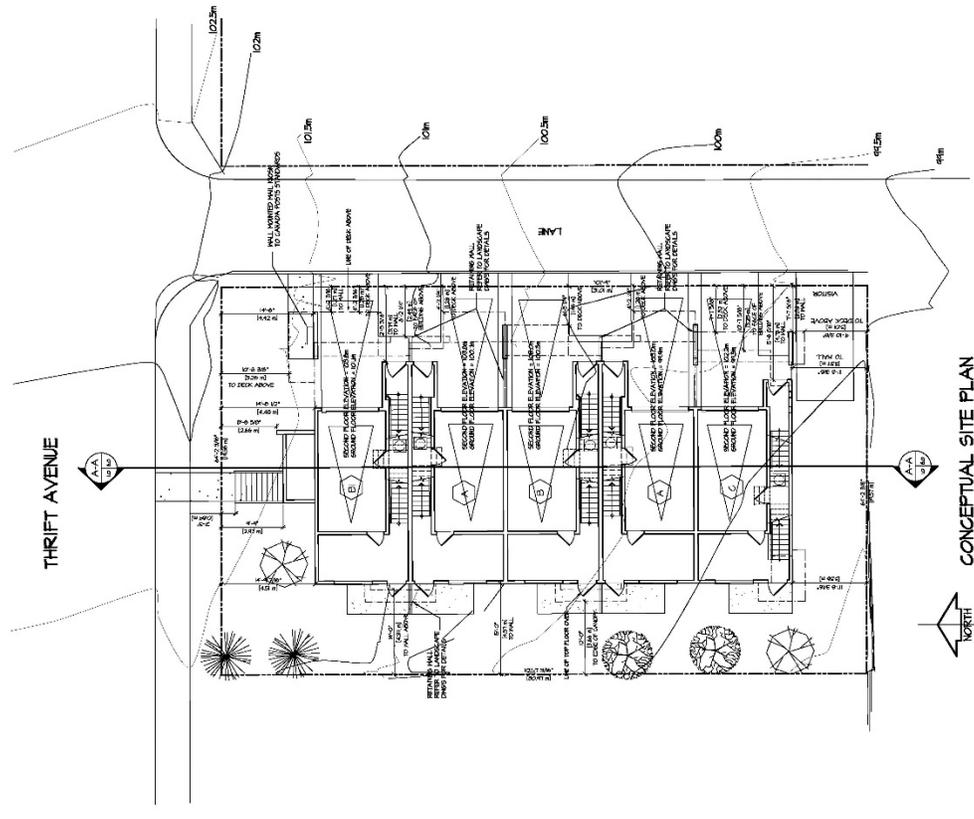
SITE COVERAGE: 45 %
 ALLOWABLE: 45 %
 PROPOSED: 46.4 % (346 SF.)
 BUILDING HEIGHT: 3 STOREYS
 ALLOWABLE: 35.04 FT (10.7m)
 PROPOSED: 9 STOREYS
 NATURAL GRADE: (64.2 x 49.3 + 101.25 + 103.3) / 4 = 100.31
 PROPOSED BUILDING HEIGHT = 102.5 - 100.31 = 4.19
 SETBACKS:
 ALLOWABLE: 20 FT (6m) FRONT REAR & EXTERIOR SIDE
 PROPOSED:
 NORTH: 4.5m
 SOUTH: 3.5m
 WEST: 4.2m

UNIT SUMMARY:
 UNIT A (3 BEDROOM SINGLE GARAGE) 1445 SF
 UNIT B (3 BEDROOM SINGLE GARAGE) 1424 SF
 UNIT C (2 BEDROOM SINGLE GARAGE) 1234 SF
 TOTAL: 4103 SF

TABLE OF CONTENTS

- SITE PLAN AND DEVELOPMENT DATA
- AC-10 CONTEXT PLAN
- AC-11 UNIT PLANS
- AC-20 BUILDING & ROOF PLANS
- AC-30 ELEVATIONS
- AC-40 AC-50 SITE SECTION

NOTE: ELEVATIONS AND CONTOURS IN METRIC



CONCEPTUAL SITE PLAN
 SCALE: 1/8" = 1'-0"

DESIGNER	DATE	BY	CHECKED	DATE	BY	REVISION

DATE	
SCALE	1/8" = 1'-0"
SHEET	OF 10

OWNER: HR. JAGJIVAN SINGH
 PROJECT: 5 UNIT TOWNHOUSE PROJECT
 505 TRINITY AVE, WHITE ROCK, B.C.
 BLDG NO: 505
 LOT NO: 1157
 PLAN NO: 505-1157-2009
 DRAWN BY: **arnett bambak**

UNIT 1, 2, 3, 4, 5
 505 TRINITY AVE.
 WHITE ROCK, B.C.
 V1W 1V12
 PHONE: (604) 977-7009
 FAX: (604) 977-7009
 EMAIL: info@arnett.com
 UNIT NO: AC-3-D
 PROJECT NO: 10208
 DRAWN BY: [initials]

ROOF PLAN
SCALE: 1/8" = 1'-0"

UPPER FLOOR PLAN
SCALE: 3/8" = 1'-0" 2,395 SF.

SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0" 2,374 SF.

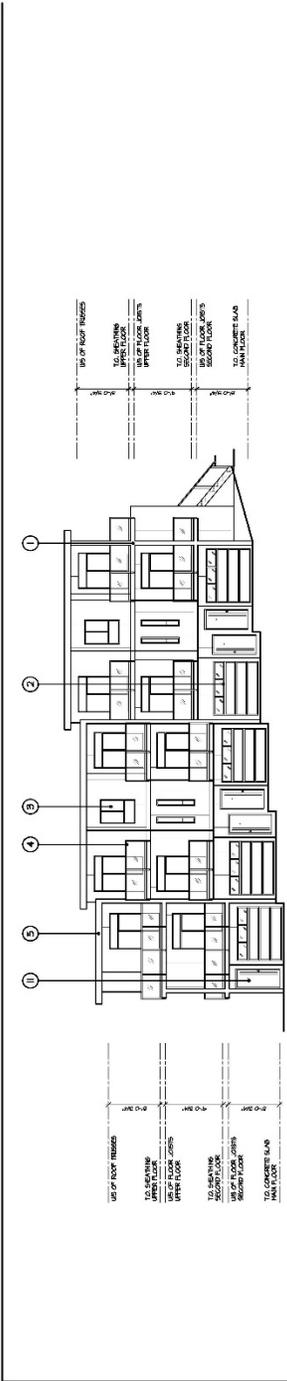
GROUND FLOOR PLAN
SCALE: 3/8" = 1'-0" 2,405 SF.

REV	DATE	BY	CHK	APP	DESCRIPTION

CLIENT :	MR. MANSUR SINGH
PROJECT :	5 UNIT TOWNHOUSE PROJECT
ADDRESS :	1818 TRINITY AVE, WHITE ROCK, B.C.
DATE :	12/12/2023
SCALE :	1/8" = 1'-0"
SHEET :	CONCRETE ELEVATIONS

bornet dembek
 ARCHITECTS INC.
 1100 WEST 10TH AVENUE, SUITE 200
 VANCOUVER, BC V6H 2E6
 PHONE: (604) 597-7100
 FAX: (604) 597-7101
 EMAIL: bornet@bornetdembek.com

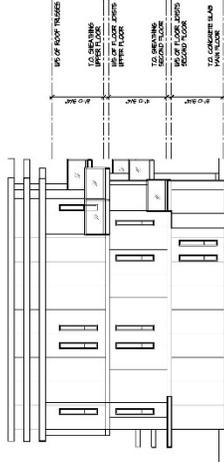
COMP. NO.	REV. NO.
AC-40	
PROJECT NO.	REV. NO.
10066	



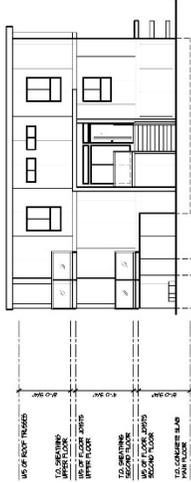
EAST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

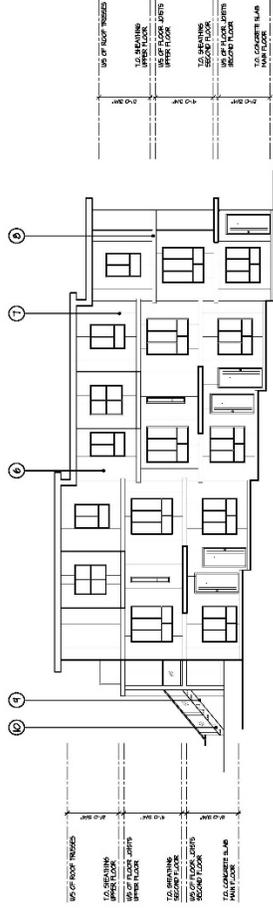
- ① FIBRE CEMENT PLANK COLUMN AND DECK FASCIA CAN EAST TRIM CORNERS
- ② PRE-FINISHED METAL GARAGE DOOR
- ③ VINYL FRAMED WINDOWS
- ④ POWDER COAT ALUMINUM RAIL CAN GLASS INFILL PANELS
- ⑤ HORIZONTAL FIBRE CEMENT PLANK FASCIA - SMOOTH FINISH
- ⑥ VERTICAL FIBRE CEMENT PANELS - SMOOTH FINISH
- ⑦ PRE-FINISHED METAL EAST TRIMS & CORNERS
- ⑧ HORIZONTAL FIBRE CEMENT PLANK TRIM
- ⑨ FLOOR LEVELS
- ⑩ 4" X 12" PRESURE TREATED STRINGER
- ⑪ PREPARATED CONCRETE TREADS
- ⑫ FRONT DOOR CAN RANSED VERTICAL TRIMS & PEEP HOLE



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

7.36 CD-36 COMPREHENSIVE DEVELOPMENT ZONE (15577 – 85 Marine Drive)

INTENT

The intent of this zone is to accommodate the development of ten (10) unit apartment and one unit commercial complex on a site of approximately 0.05 hectares (0.13 acres)

1. Permitted Uses

In the CD-36 Zone the following uses are permitted and all other uses are prohibited:

- (a) A retail service group 1 use
- (b) An apartment use
- (c) An accessory home occupation use

2. Location of Permitted Uses

The location of permitted use shall be in accordance with the Plans and as follows:

- (a) A retail service group 1 use shall be limited to the first and second storeys of a building;
- (b) An apartment use as subject to Section 403(6) shall be limited exclusively to the storey or storeys above the first storey of a building and above the highest storey in the building which is used for a retail service group 1 use; and
- (c) An *accessory home occupation* use shall comply with the provisions of Section

3. Number of Dwelling Units / Gross Floor Areas / Lot Coverage

The maximum number of *dwelling units* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

- (a) Maximum No. of *dwelling units* = ten (10)
- (b) Maximum Lot Coverage = 96.8%

4. Regulations for Size, Shape, and Siting of Buildings and Structures

Reference to a Building refers to the building labelled that specific number on the Plans. As indicated on the Plans, *principal buildings* are identified as Building #1, #2, #3, and #4:

- (a) Maximum *height* of buildings, and property line setbacks follows:
 - (i) Maximum height = 16.3 metres (53.48 feet) geodetic
 - (ii) Setback from front (south) lot line = 0.0 metres (0.0 feet)
 - (iii) Setback from rear (north) lot line = 0.305 metres (1.0 feet)
 - (iv) Setback from interior (east) lot line = 0.0 metres (0.0 feet)
 - (v) Setback from interior (west) lot line = 0.0 metres (0.0 feet)

5. Parking and Loading

Parking and Loading shall be provided in accordance with Section 402 and additionally as follows:

- (a) one (1) enclosed parking space for a total of ten (10), including one (1) handicap parking space shall be provided for each *dwelling unit* as shown on the plans; and
- (b) One (1) commercial parking will be provided, as shown in the plans.

6. General

Drawings attached hereto prepared by David Danyluck Architect and on file with the City of White Rock as shown on the attached plans; and for the purposes of this zone are referred to as “the Plans”.

Development in this zone shall generally conform to the Plans.

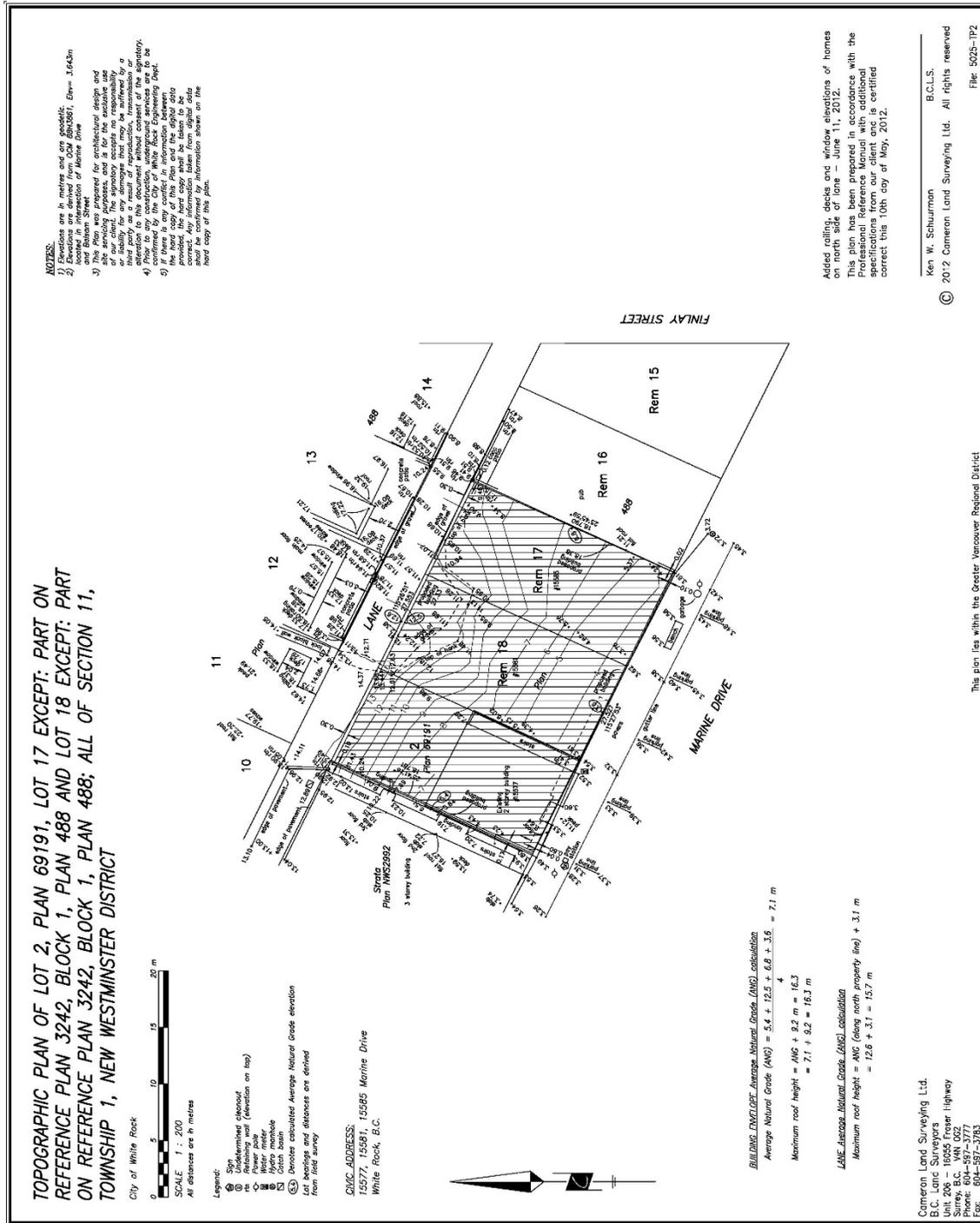
The Plans



David Danyluck Architect, MAIBC
604 530 0978

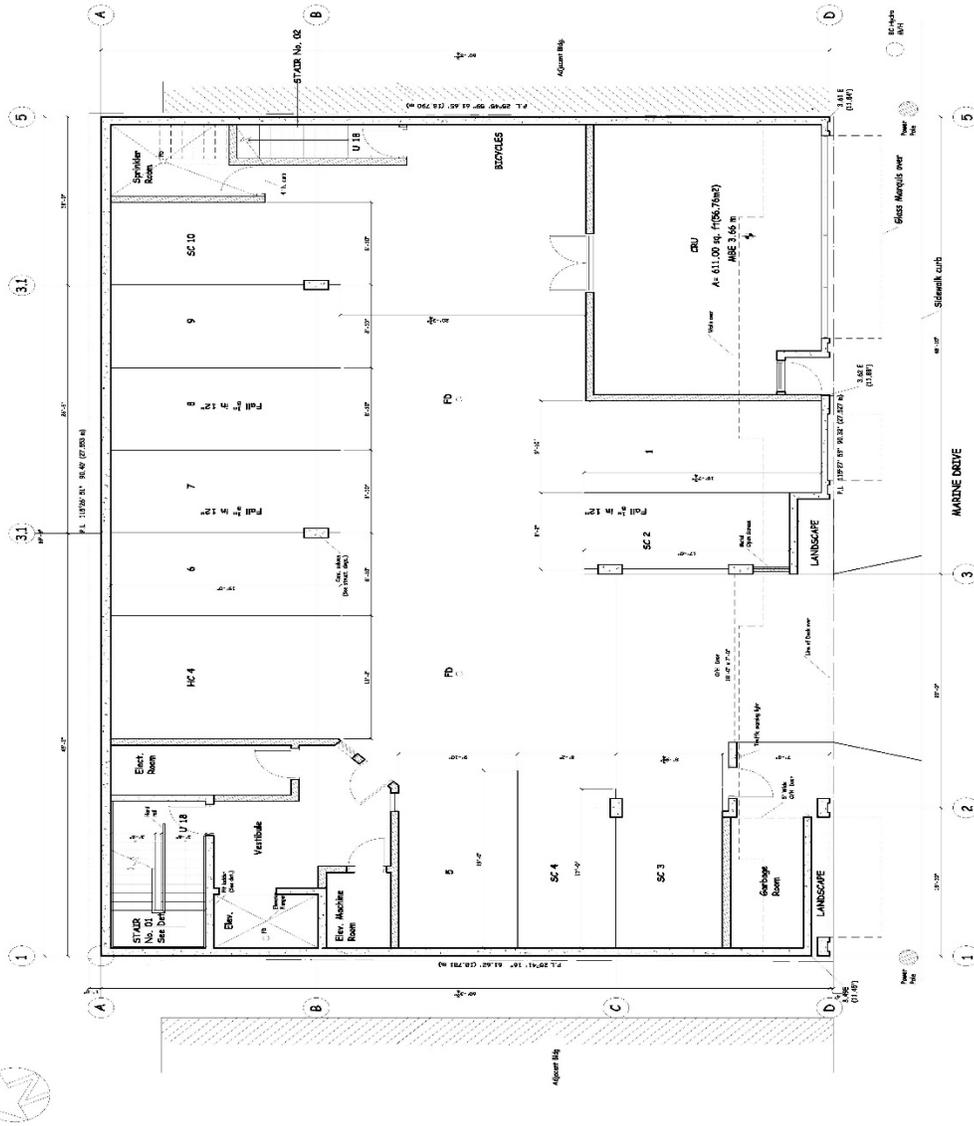
Waves at White Rock

Site Plan



Floor Plans

GROSS BUILDING AREA = 5438 sq. ft. (505.21 m²)



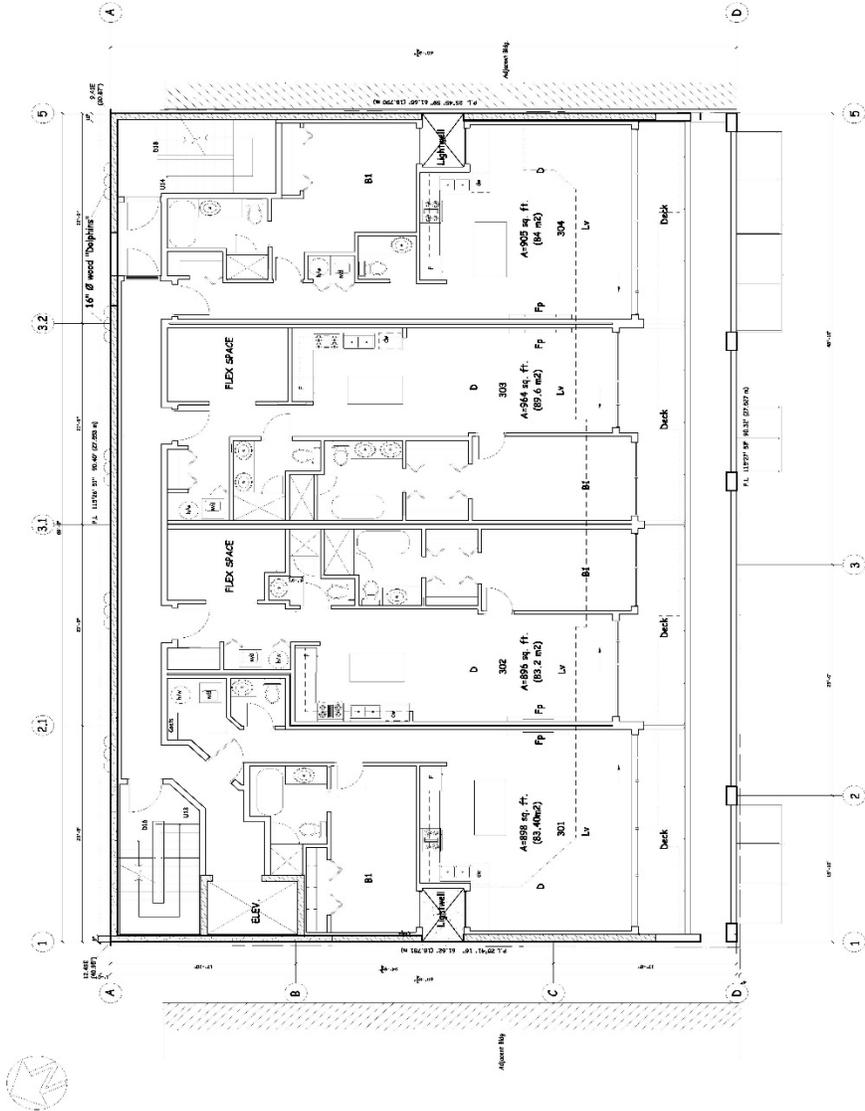
David Langlois Architect 4517-20th St. S Langley, BC V0V 1G0 Phone: 604-885-1111 Fax: 604-885-1112 www.dlanglois.com	1. CONTRACT NO. 2. SUBMITTAL NO.
	3. DATE OF ISSUE 4. PROJECT NO.
5. SHEET NO. 6. TOTAL SHEETS	7. SCALE 8. DRAWN BY
9. CHECKED BY 10. APPROVED BY	11. DATE
12. PROJECT NAME 13. PROJECT ADDRESS 14. PROJECT CONTACT 15. PROJECT PHONE 16. PROJECT FAX 17. PROJECT EMAIL	18. PROJECT NO.
19. PROJECT STATUS 20. PROJECT PHASE	21. PROJECT DATE
22. PROJECT DESCRIPTION 23. PROJECT LOCATION	24. PROJECT DRAWING NO.
25. PROJECT DRAWING DATE 26. PROJECT DRAWING SCALE	27. PROJECT DRAWING STATUS
28. PROJECT DRAWING TITLE 29. PROJECT DRAWING NUMBER	30. PROJECT DRAWING SHEET NO.
31. PROJECT DRAWING TOTAL SHEETS	32. PROJECT DRAWING SCALE
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44. PROJECT DRAWING TITLE 45. PROJECT DRAWING NUMBER	46. PROJECT DRAWING SHEET NO.
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65. PROJECT DRAWING DATE 66. PROJECT DRAWING SCALE	67. PROJECT DRAWING STATUS
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79. PROJECT DRAWING TOTAL SHEETS	80. PROJECT DRAWING SCALE
81. PROJECT DRAWING DATE 82. PROJECT DRAWING SCALE	83. PROJECT DRAWING STATUS
84. PROJECT DRAWING TITLE 85. PROJECT DRAWING NUMBER	86. PROJECT DRAWING SHEET NO.
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92. PROJECT DRAWING TITLE 93. PROJECT DRAWING NUMBER	94. PROJECT DRAWING SHEET NO.
95. PROJECT DRAWING TOTAL SHEETS	96. PROJECT DRAWING SCALE
97. PROJECT DRAWING DATE 98. PROJECT DRAWING SCALE	99. PROJECT DRAWING STATUS
100. PROJECT DRAWING TITLE 101. PROJECT DRAWING NUMBER	102. PROJECT DRAWING SHEET NO.

Daniel Gansback Architect
 6571 5024th Ave
 Langley, BC V3A 0C0
 Phone: 604.527.7777
 Fax: 604.527.7777
 www.dgansback.com

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8
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PROJECT: 24.0001.0000.0000.0000
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THIRD FLOOR
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7.37 CD-37 COMPREHENSIVE DEVELOPMENT ZONE (application deferred)

7.38 CD-38 COMPREHENSIVE DEVELOPMENT ZONE (open for use)

7.39 CD-39 COMPREHENSIVE DEVELOPMENT ZONE (14310 Marine Drive)

INTENT

The intent of this zone is to accommodate the subdivision of the subject properties in order to create two single family lots on smaller, irregular lot sizes.

1. Permitted Uses:

- 1) a *one-unit residential use* in conjunction with not more than one (1) of the following accessory uses:
 - (a) an *accessory child care centre* in accordance with the provisions of Section 5.1.
 - (b) an *accessory boarding use* in accordance with the provisions of Section 5.4.
 - (c) an *accessory registered secondary suite* in accordance with the provisions of Section 5.5.
 - (d) an *accessory coach house* in accordance with the provisions of Section 5.6.
 - (e) an *accessory bed and breakfast use* in accordance with the provisions of Section 5.7.
 - (f) an *accessory vacation rental* in accordance with the provisions of Section 5.8.
- 2) an *accessory home occupation* in conjunction with a *one-unit residential use* and in accordance with the provisions of Section 5.3;
- 3) a *care facility* in accordance with the provisions of Section 5.1.

2. Lot Size:

- 1) The minimum *lot width*, *lot depth* and *lot area* in the CD-39 zone are as follows:

Lot width	16.0m (52.5ft)
Lot depth	20.5m (67.25ft)
Lot area	330.0m ² (3,552.1ft ²)

3. Lot Coverage:

- 1) The maximum *lot coverage* in the CD-39 zone is 65%.

4. Floor Area:

- 1) Maximum *residential gross floor area* shall not exceed:
 - (a) 0.3 times the lot area where two (2) levels of basement are constructed; or
 - (b) 0.6 times the lot area where one (1) level of basement is constructed.

5. Building Heights:

- 1) *principal buildings* shall not exceed a *height* of 7.7 metres (25.26 feet) from Average Natural Grade.

2) *ancillary buildings* and structures shall not exceed a *height* of 4.0m (13.12ft) from Average Natural Grade..

6. Minimum Setback Requirements:

1) *principal buildings* and *ancillary buildings* and *structures* in the CD-39 zone shall be sited in accordance with the following minimum *setback* requirements:

Setback	Principal Building	Ancillary Buildings and Structures
Front lot line	1.2m (4.0ft)	Not permitted
Rear lot line	3.05m (10.0ft)	1.2m (3.94ft)
Interior side lot line	1.5m (4.92ft)	1.2m (3.94ft)

7. Ancillary Buildings and Structures:

1) Except as otherwise provided in Section 4.14 and in addition to the provisions of sub-sections 5. 2) and 6. 1) above, the following also applies:

- (a) there shall be not more than one *ancillary building* per *lot*.
- (b) *ancillary buildings and structures* shall not be located in any required *front yard* area.

8. General:

Drawings attached hereto prepared by Ankenman Associates Architects and on file with the City of White Rock, as shown on the attached plans, and for the purposes of this zone are referred to as “the Plans”. Development in this zone shall generally conform to the Plans.

The Plans: Rendering



VIEW FROM THE NORTHEAST



VIEW FROM THE NORTHWEST



VIEW FROM THE SOUTHWEST



VIEW FROM THE SOUTHEAST



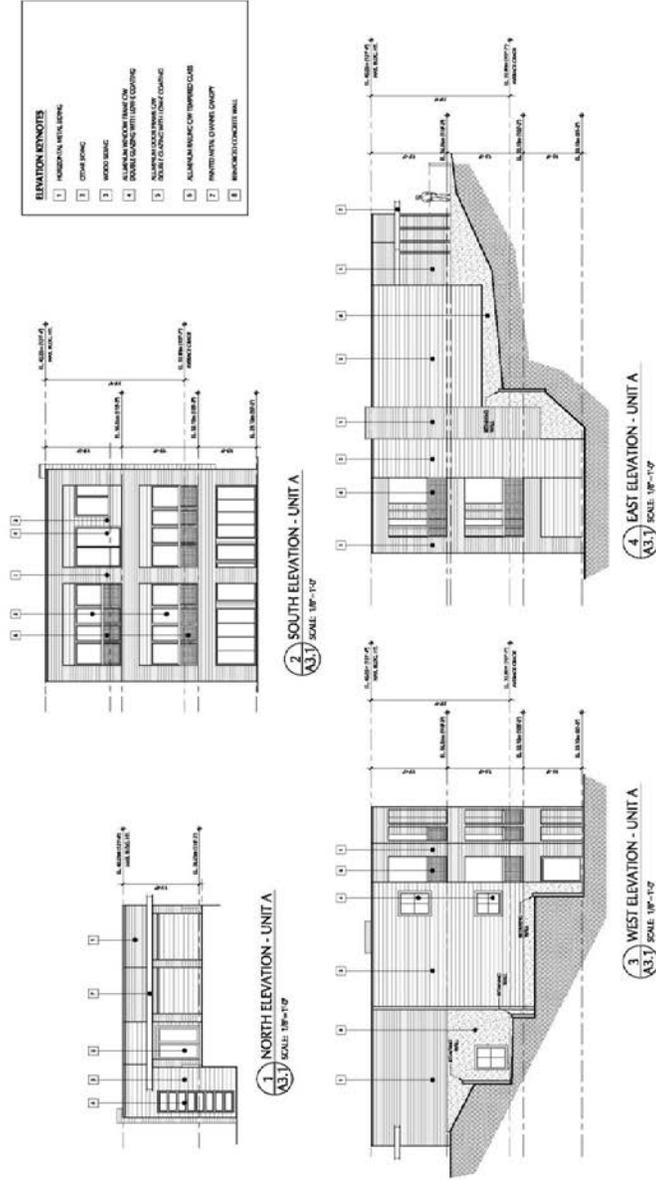
A0.0
SCALE: NTS
JAN 15 13

1212 PERSPECTIVE VIEWS
14310 MARINE DRIVE, WHITE ROCK, SURREY B.C.

PROP. SUBDIVISION OF LOT 'F', PLAN 21895

Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

Plans: Elevations of Unit A



PROPOSED SUBDIVISION OF LOT 'F', PLAN 21895

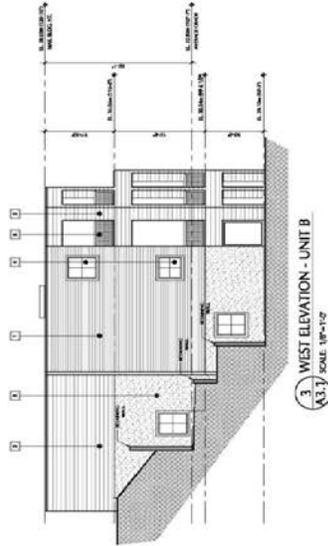
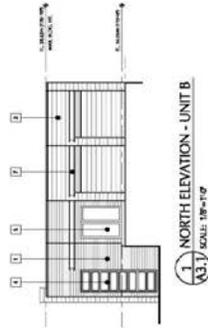
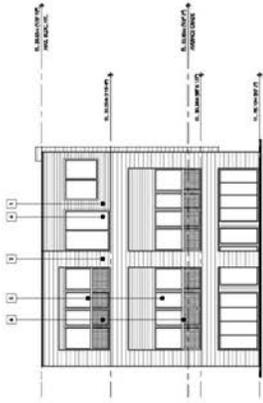
Ankenman Associates Architects Inc.
12221 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

ELEVATIONS 1212
SCALE: 1/8"=1'-0"

A3.1
JAN 15 13

Plans: Elevations of Unit B

ELEVATION KEYNOTES	
1	PAINTED FIN METAL SIDING
2	CONCRETE
3	WOOD SIDING
4	ALUMINUM WINDOW FRAME AND GLASS
5	PAINTED ALUMINUM WINDOW FRAME AND GLASS
6	ALUMINUM WINDOW FRAME AND GLASS
7	PAINTED METAL DOWNSPOUT
8	PAINTED CONCRETE WALL



A3.2

JAN 15 13

ELEVATIONS 1212

SCALE: 1/8" = 1'-0"

PROPOSED SUBDIVISION OF LOT 'F', PLAN 21895

14310 MARINE DRIVE, WHITE ROCK, SURREY B.C.



Ankenman Associates Architects Inc.

12221 Beecher St., Crescent Beach, BC V4A 3A7 604.536.1600

7.40 CD-40 COMPREHENSIVE DEVELOPMENT ZONE (1330 – 46 Foster Street)

INTENT

The intent of this zone is to accommodate the development of a fourteen (14) unit residential townhouse complex on a site of approximately 0.18 hectares (0.44 acres)

1. Permitted Uses:

In the CD-40 Zone the following uses are permitted and all other uses are prohibited:

- (a) A multi-unit residential use in the form of a *townhouse* in one or more *principal buildings*
- (b) An *accessory home occupation* use subject to the provisions of section 5.3

2. Number of Dwelling Units / Gross Floor Areas / Lot Coverage:

The maximum number of *dwelling units* and *lot coverage* of *buildings* and *structures* shall be in accordance with the following:

- (a) Maximum No. of *dwelling units* = fourteen (14)
- (b) Maximum Lot Coverage = 47.5%

3. Regulations for Size, Shape, and Siting of Buildings and Structures:

Reference to a Building refers to the building labeled that specific number on the Plans. As indicated on the Plans, *principal buildings* are identified as Building #1 and #2:

- (a) Maximum *height* of buildings (from *average natural grade*), and property line setbacks follows:
 - (i) Maximum height of building #1 = 10.07m (33.04ft)
 - (ii) Maximum height of building #2 = 12.66m (41.58ft)
 - (iii) Setback from front (west) lot line = 6.0m (19.6ft)
 - (iv) Setback from rear (east) lot line = 5.8m (19.0ft)
 - (v) Setback from interior (north) lot line = 3.43m (11.3ft)
 - (vi) Setback from interior (south) lot line = 2.13m (7.0ft)
- (b) Maximum projections into the above property line setback requirements be as outlined in the attached drawings in addition to sub-section 4.14, including:
 - (i) An open deck or balcony which may extend not more than 2.1 metres (6.9 feet) into a front or rear yard setback.

4. Parking and Loading:

Parking and Loading shall be provided in accordance with the following in addition to the provisions of Sections 4.14 and 4.15:

- (a) two (2) enclosed parking spaces shall be provided for each *dwelling unit* as shown on the plans identified as garage for each *dwelling unit*;
- (b) additional visitor parking spaces shall be provided in the driveways as shown on the plans.

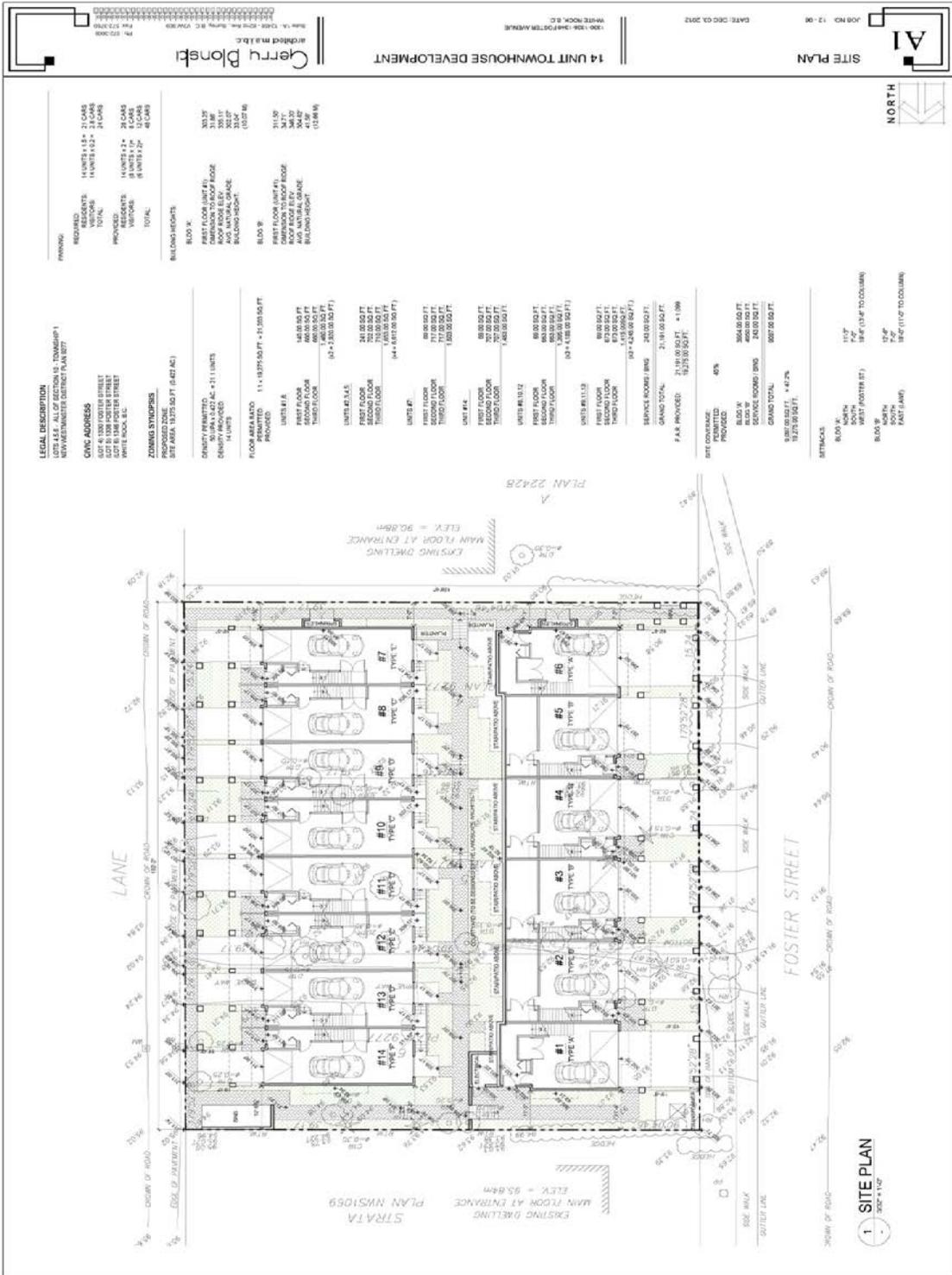
5. Drawings:

Drawings attached hereto prepared by Gerry Blonski, Architect, and on file with the City of White Rock as shown on the attached plans, and for the purposes of this zone are referred to as “the Plans”.

Development in this zone shall generally conform to the Plans.

The Plans





7.41 CD-41 COMPREHENSIVE DEVELOPMENT ZONE (1467 – 1519 Vidal Street)

INTENT

The intent of this zone is to accommodate the development of a 109 unit, 12-storey multi-unit residential complex on a site of approximately 0.4848 ha (1.198 ac) on Vidal Street.

1. Permitted Uses

In the CD-41 Zone the following uses are permitted and all other uses are prohibited:

- (a) A *multi-unit residential use* in the form of *apartment* or *townhouse*
- (b) An *accessory home occupation* use subject to the provisions of section 5.3.

2. Number of Dwelling Units / Gross Floor Areas

The maximum number of *dwelling units* and *gross floor area* of *buildings* and *structures* shall be in accordance with the following:

- (a) Maximum number of *dwelling units* = one hundred and nine (109)
- (b) Maximum number of townhouse units = twelve (12)
- (c) Maximum number of apartment units = ninety-seven (97)
- (d) Maximum *residential floor area* = 11,037.8m² (118,810ft²)
- (e) Maximum *gross floor area* = 13,750m² (148,000ft²)

3. Regulations for Height and Siting of Buildings and Structures

Maximum building height = 37.04m (121.52ft) measured to a maximum height of 141.35m (463.75ft) geodetic up from a starting point of 104.31m (342.2ft) geodetic elevation.

4. Parking and Loading

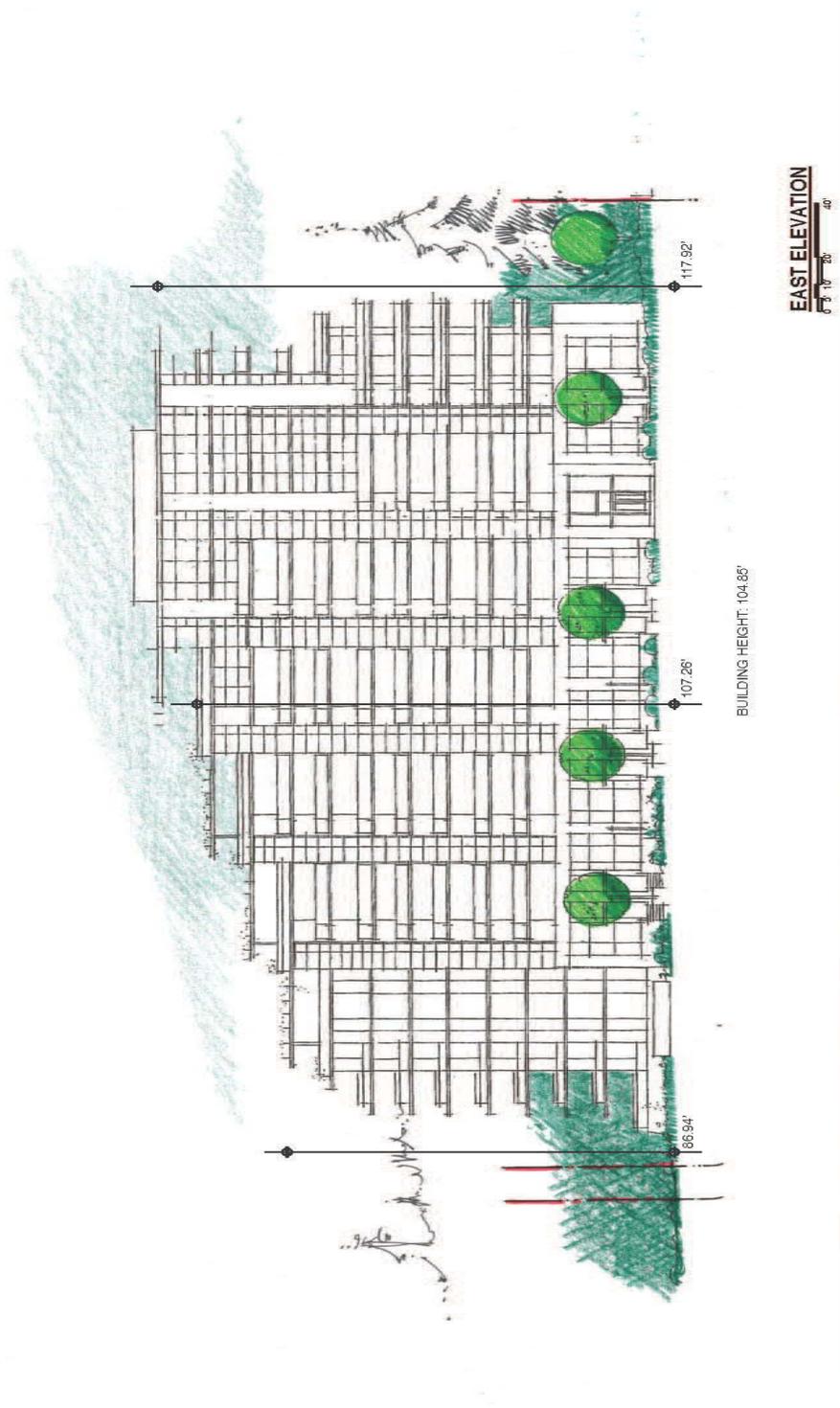
Parking and Loading shall be provided in accordance with Sections 4.14 and 4.15, with a total minimum of one hundred and seventy-one (171) parking spaces to be provided as follows:

- (a) Twenty-four (24) parking spaces shall be provided to serve the 12 townhouse units at a ratio of 2 spaces per townhouse unit;
- (b) One hundred and sixteen (116) parking spaces shall be provided to serve the 97 apartment units;
- (c) Not more than 40% of the parking spaces shall be small car spaces, and they shall be clearly marked as “small car only”.
- (d) Twenty-nine (29) visitor parking spaces shall be provided to the residential complex and they shall be clearly marked as “visitor parking”.
- (e) A minimum of two (2) parking spaces shall be provided for disabled persons parking and shall be clearly marked as per BC Building Code requirements.
- (f) A minimum of one (1) on-site loading space shall be provided.

5. General

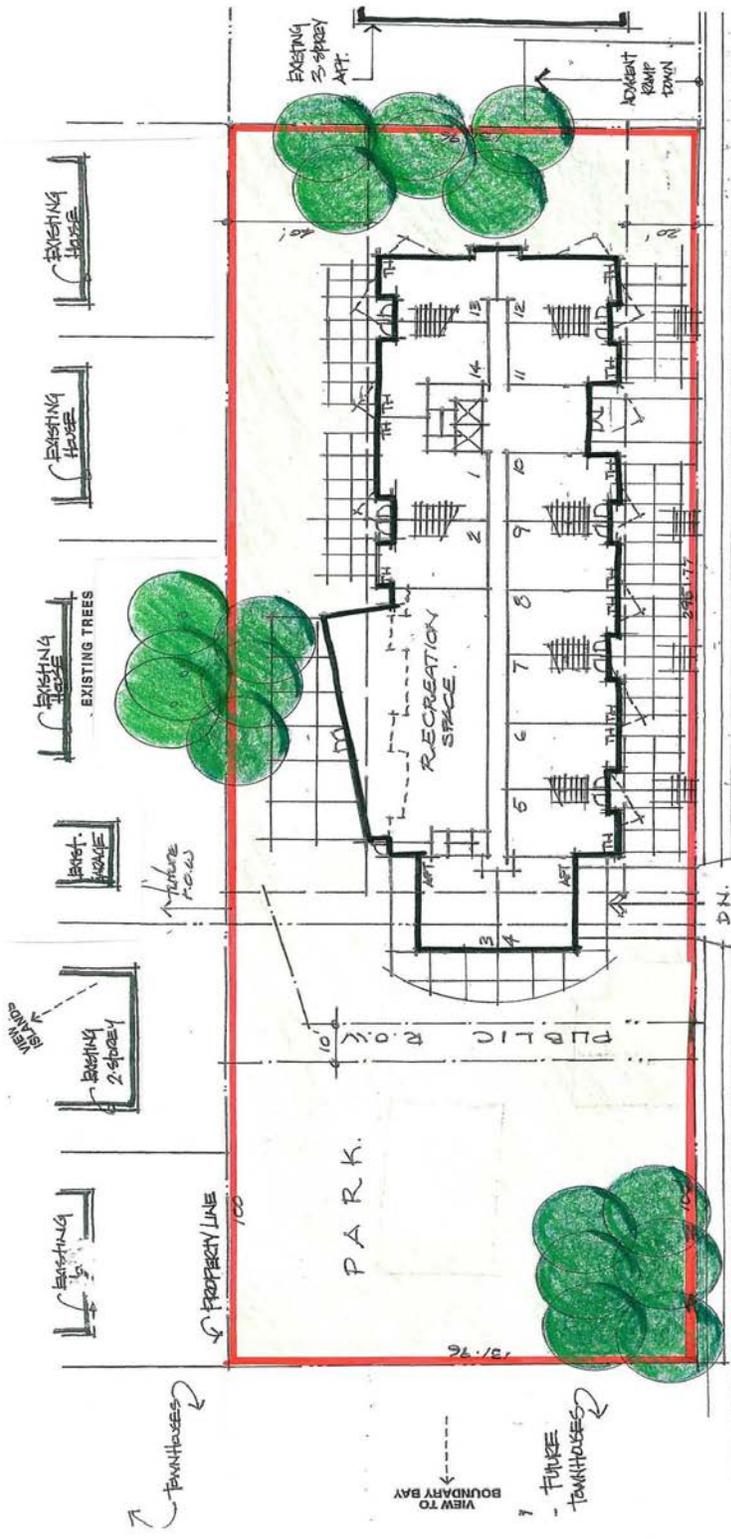
Drawings attached hereto and on file with the City of White Rock as shown on the attached plans and for the purposes of this zone are referred to as “the Plans”. Development in this zone shall generally conform to the Plans.

The Plans

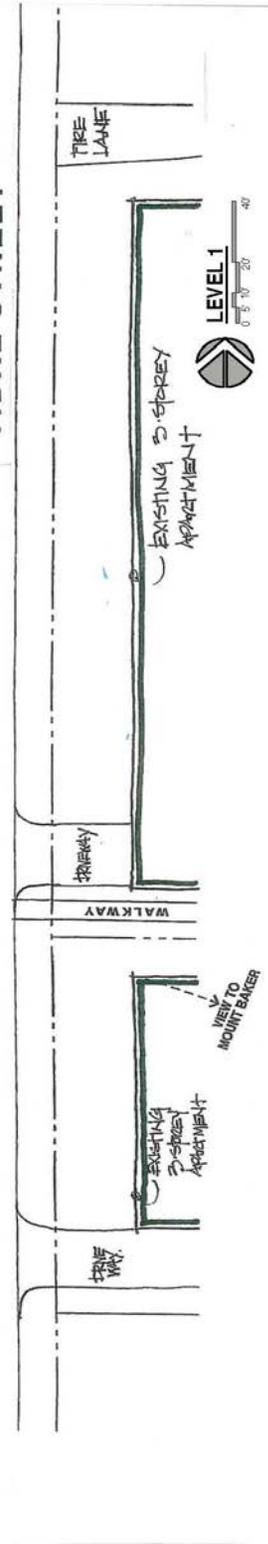


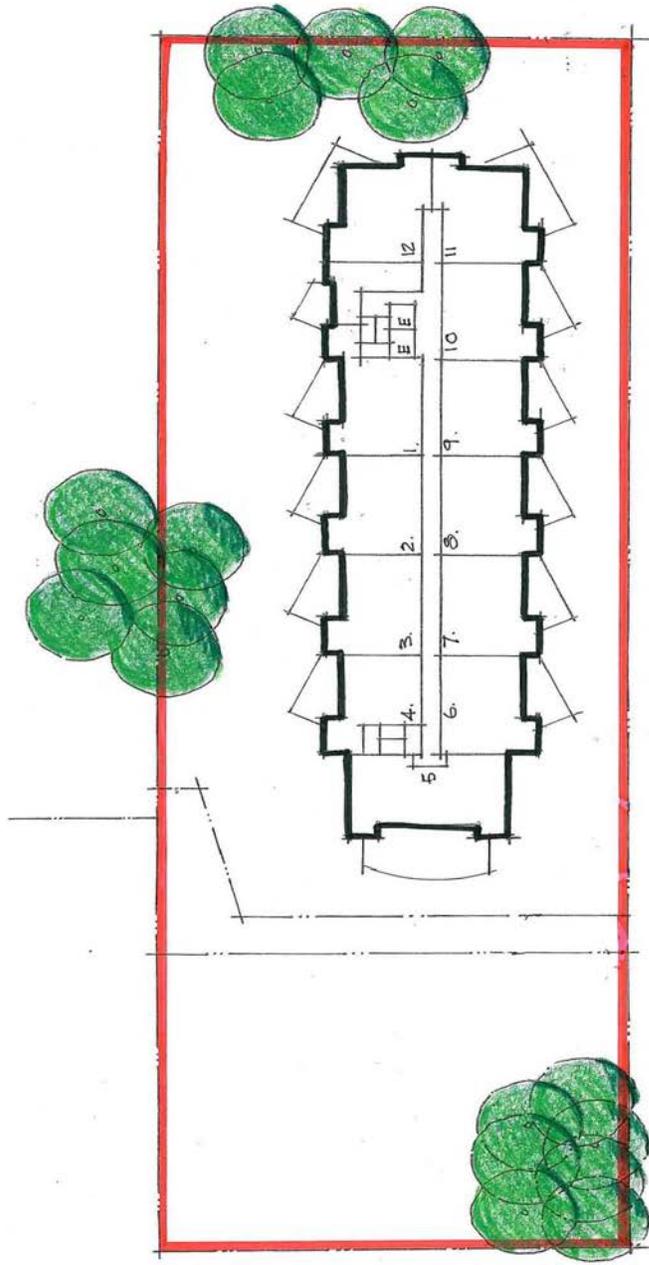
BUILDING HEIGHT: 104.85'

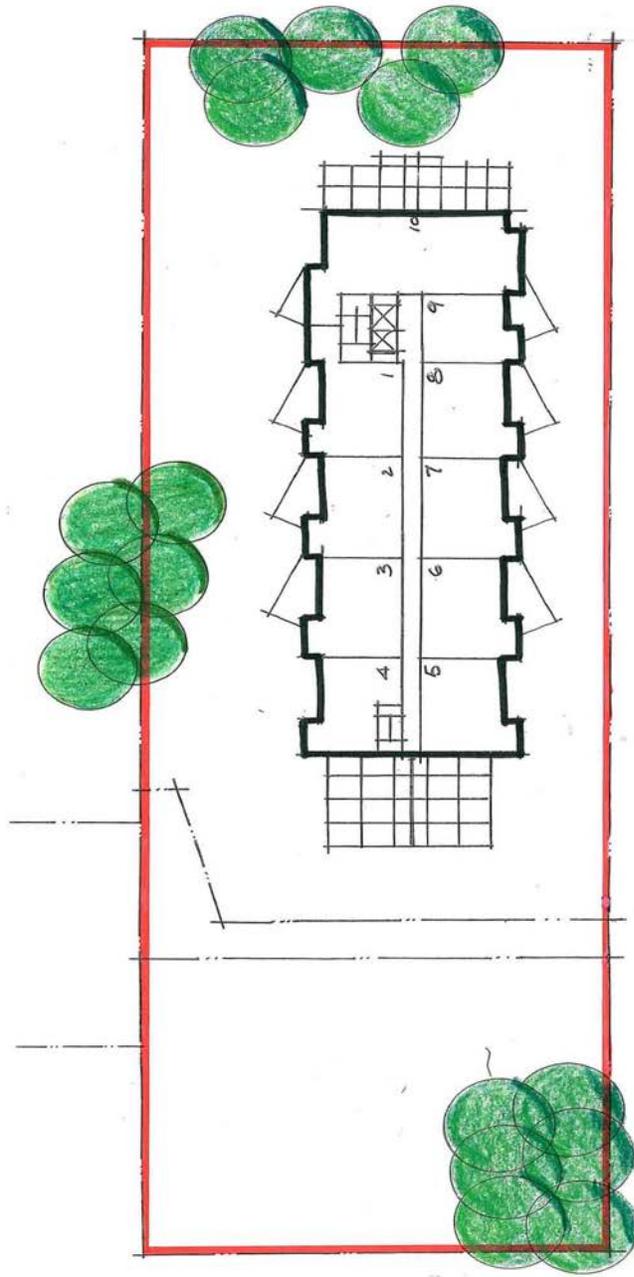
EAST ELEVATION
0 8 10 20 40'



VIDAL STREET



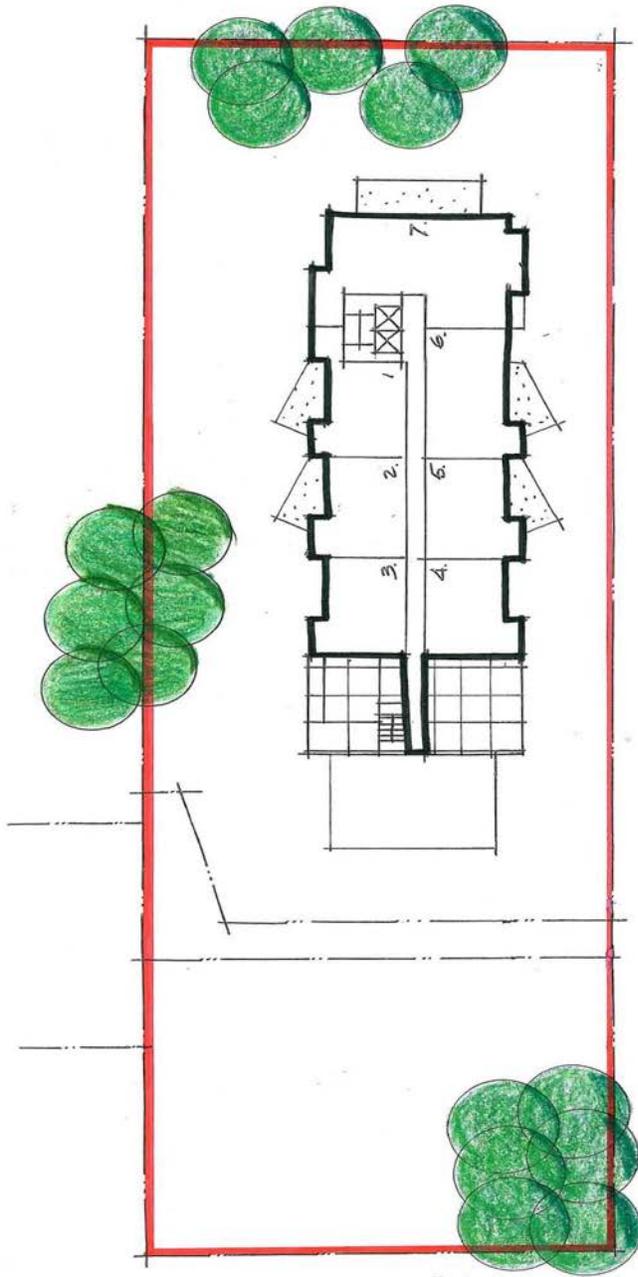




CRESSEY DEVELOPMENT GROUP
 BINGHAM HILL ARCHITECTS

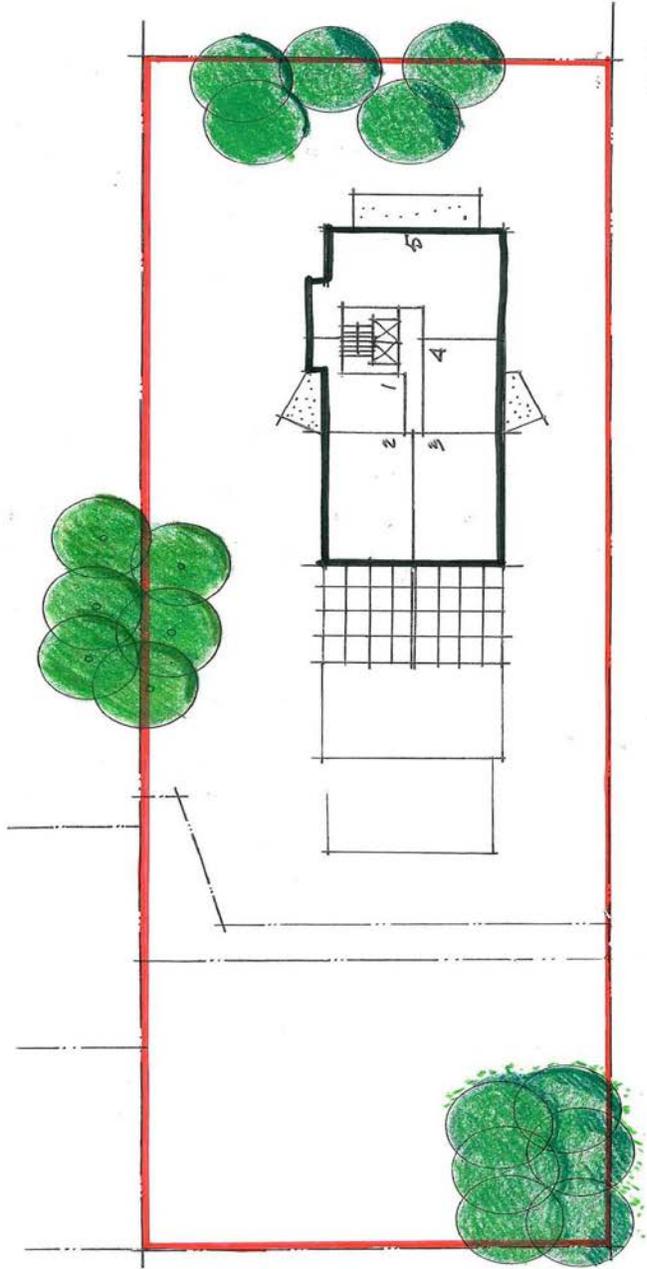
Rezoning Application
 Vidal Street
 City of White Rock BC

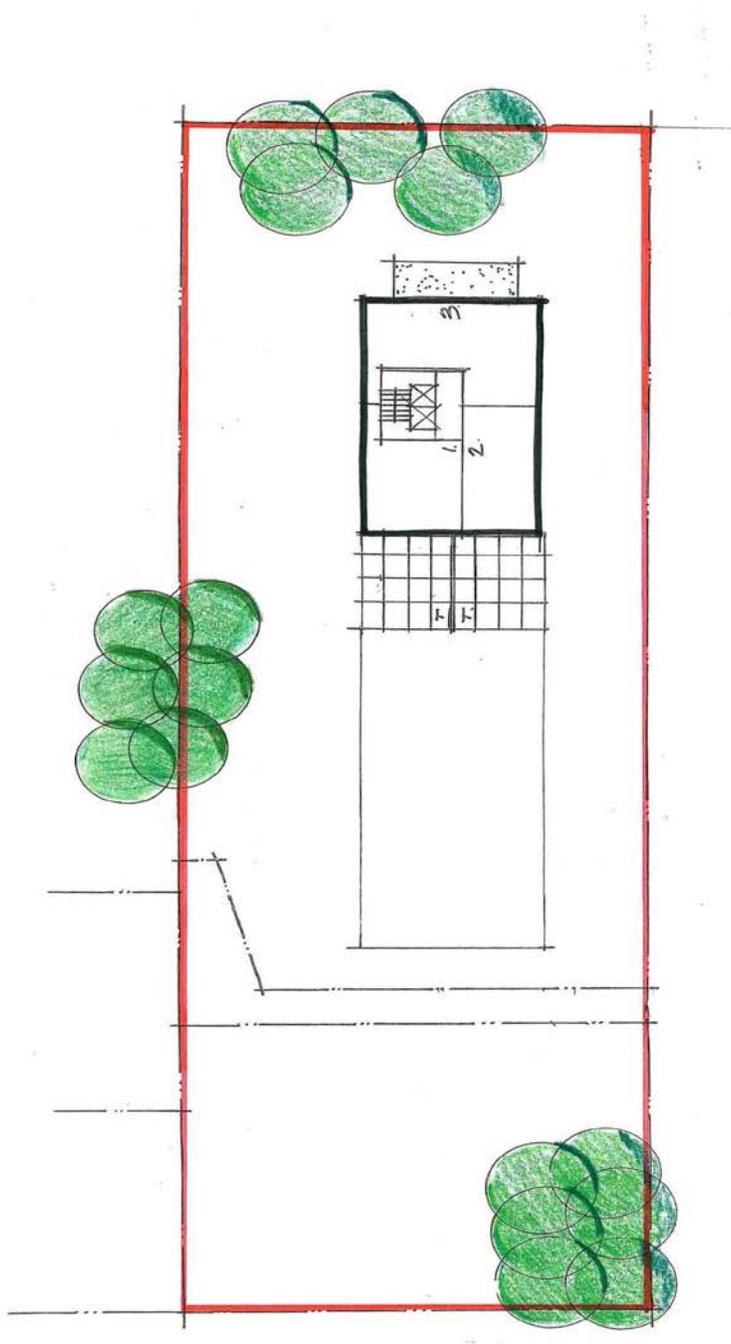
OCTOBER 1, 2012

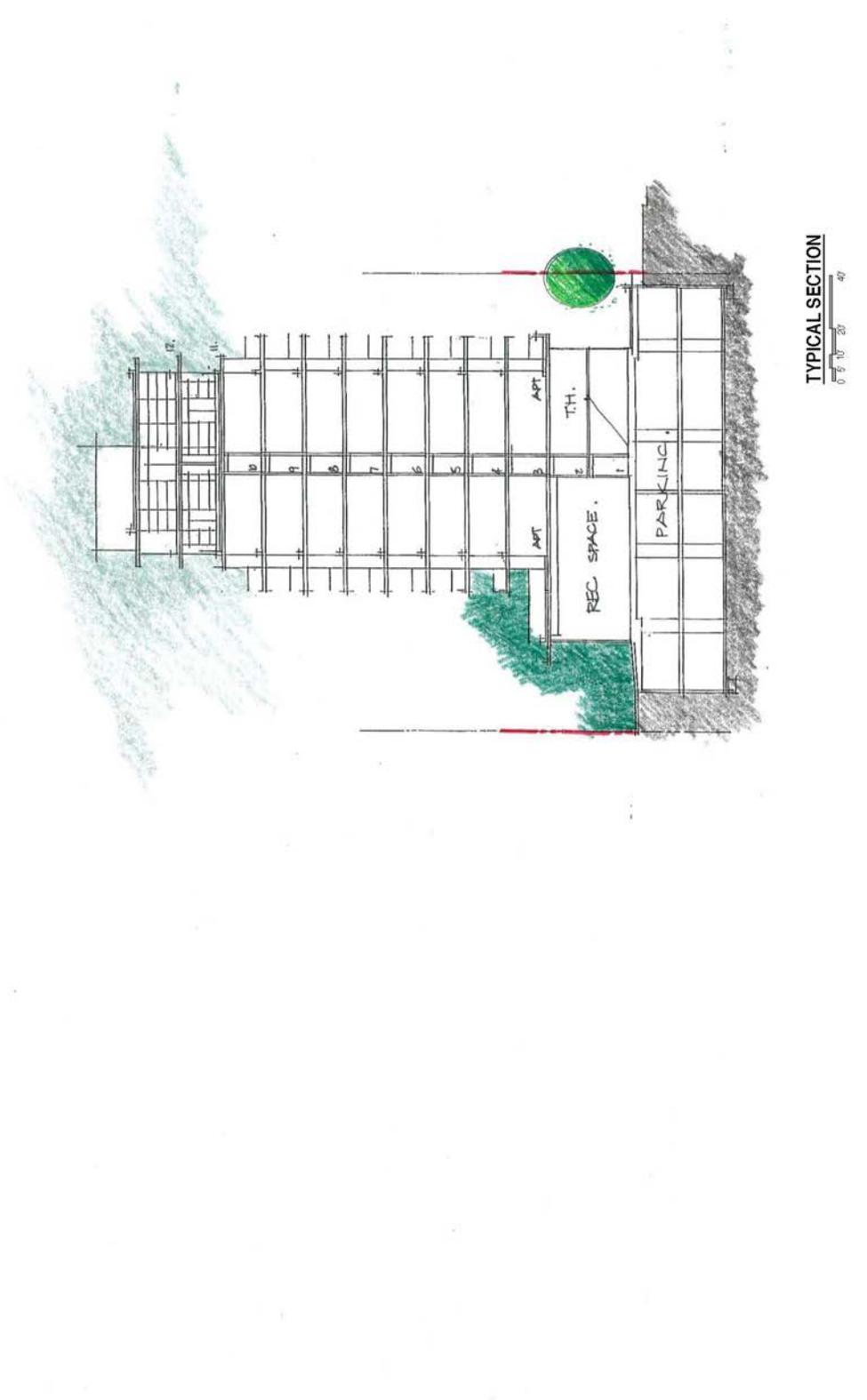


CRESSEY DEVELOPMENT GROUP
 BINGHAM HILL ARCHITECTS

Rezoning Application
 Vidal Street
 City of White Rock BC



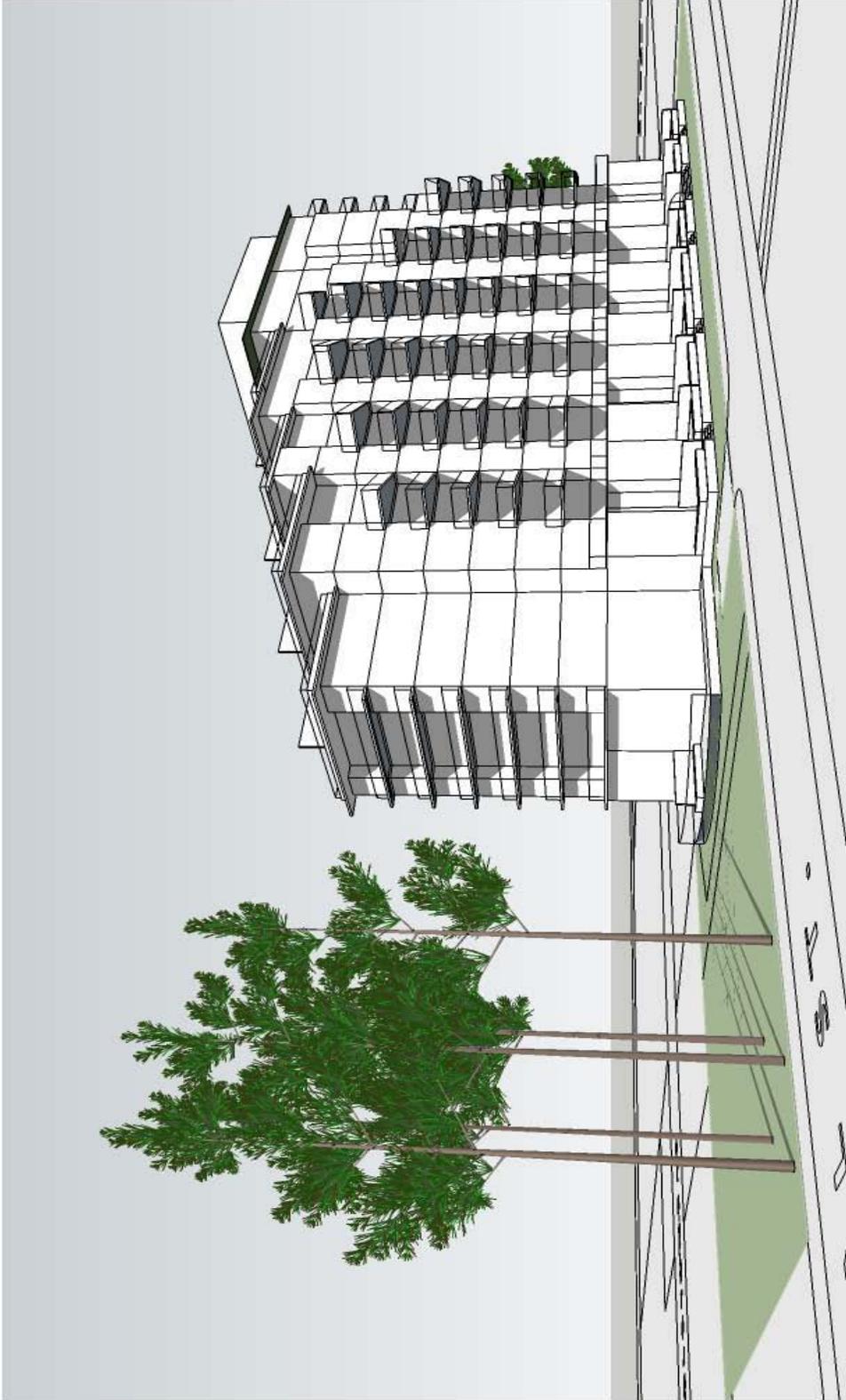




CRESSEY DEVELOPMENT GROUP
BINGHAM HILL ARCHITECTS

Rezoning Application
Vidal Street
City of White Rock BC

OCTOBER 1, 2012



STREET VIEW FROM SOUTHEAST

OCTOBER 1, 2012

CRESSEY DEVELOPMENT GROUP
BINGHAM HILL ARCHITECTS

Rezoning Application
Vidal Street
City of White Rock BC

7.46 CD-46 COMPREHENSIVE DEVELOPMENT ZONE

INTENT

The intent of this zone is to accommodate a 121-unit residential development on a site of approximately 7,090 square metres (1.75 acres) in area.

1. Permitted Uses:
 - (a) *multi-unit residential use*
 - (b) *accessory home occupation* use in accordance with the provisions of 5.3 and that does not involve clients directly accessing the *building*

2. Lot Coverage:
 - (a) Maximum *lot coverage* shall not exceed 36%

3. Density:
 - (a) Maximum *gross floor area* shall not exceed 32,522 square metres (350,060ft²)
 - (b) Maximum *residential floor area* shall not exceed 27,607 square metres (297,156ft²)
 - (c) Maximum number of *dwelling units* shall not exceed 121

4. Building Height:
 - (b) Tower A (shown on attached Plans) shall not exceed a *height* of 159.5 metres geodetic
 - (c) Tower B (shown on attached Plans) shall not exceed a *height* of 170.5 metres geodetic
 - (d) Section 4.13.4 does not apply to the CD-46 Zone

5. Siting Requirements:
 - (a) Minimum setbacks are as follows:

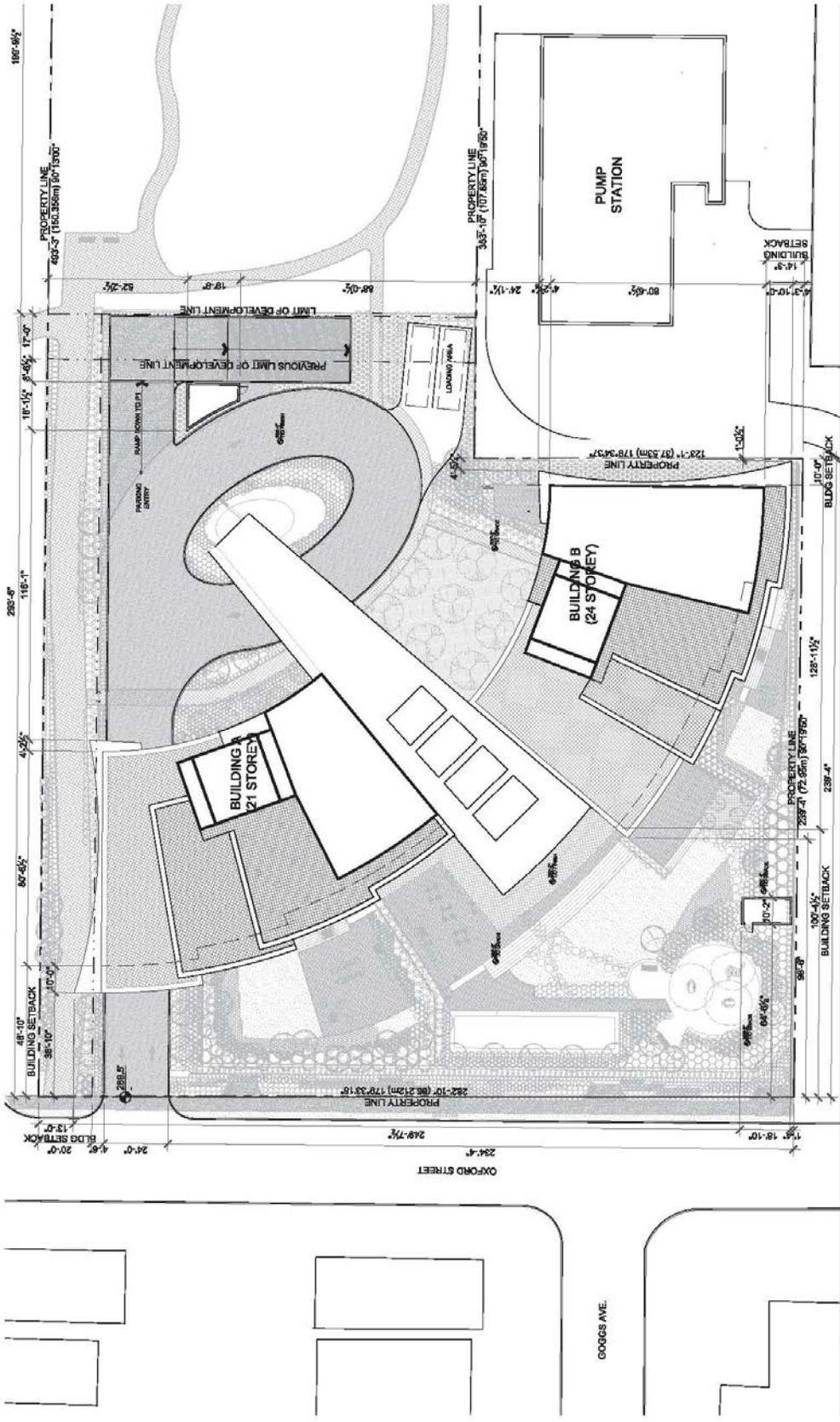
(i) Setback for buildings from front (west) lot line	= 14.8 metres
(ii) Setback for balconies from front (west) lot line	= 11.8 metres
(iii) Setback for buildings from rear (east) lot line	= 19.5 metres
(iv) Setback for buildings from north interior side lot line	= 6.1 metres
(v) Setback for slab extensions from north interior side lot line	= 3.9 metres
(vi) Setback for buildings from south interior side lot line	= 4.3 metres
(vii) Setback for balconies from south interior side lot line	= 1.2 metres
(viii) Setback for buildings from other interior side lot lines	= 3.0 metres
(ix) Setback for slab extensions from other interior side lot lines	= 0.3 metres
 - (b) Stair accesses to the underground parking shall be sited as shown on the attached Plans

6. Parking:

Parking shall be provided in accordance with Section 4.14, with a total minimum of four hundred (400) parking spaces to be provided as follows:

 - (d) A minimum of forty (40) visitor spaces are to be provided and marked as ‘visitor parking’

- (e) A minimum of three hundred and sixty (360) spaces shall be provided to serve the residential units
 - (f) A minimum of six (6) spaces shall be provided for disabled persons parking and shall be clearly marked as per BC Building Code requirements
7. Loading:
- (a) Two (2) loading zones shall be provided in accordance with Section 4.15
8. Bicycle Parking:
- (a) A minimum of one hundred and twenty-two (122) Class I bicycle parking spaces shall be provided, in accordance with Section 4.16
 - (b) A minimum of twenty-five (25) Class II bicycle parking spaces shall be provided, in accordance with Section 4.16
9. General:
- (a) Development in this zone shall substantially conform to the Plans prepared by Chris Dikeakos Architects Inc. and dated October 27, 2015, that are attached hereto and on file at the City of White Rock





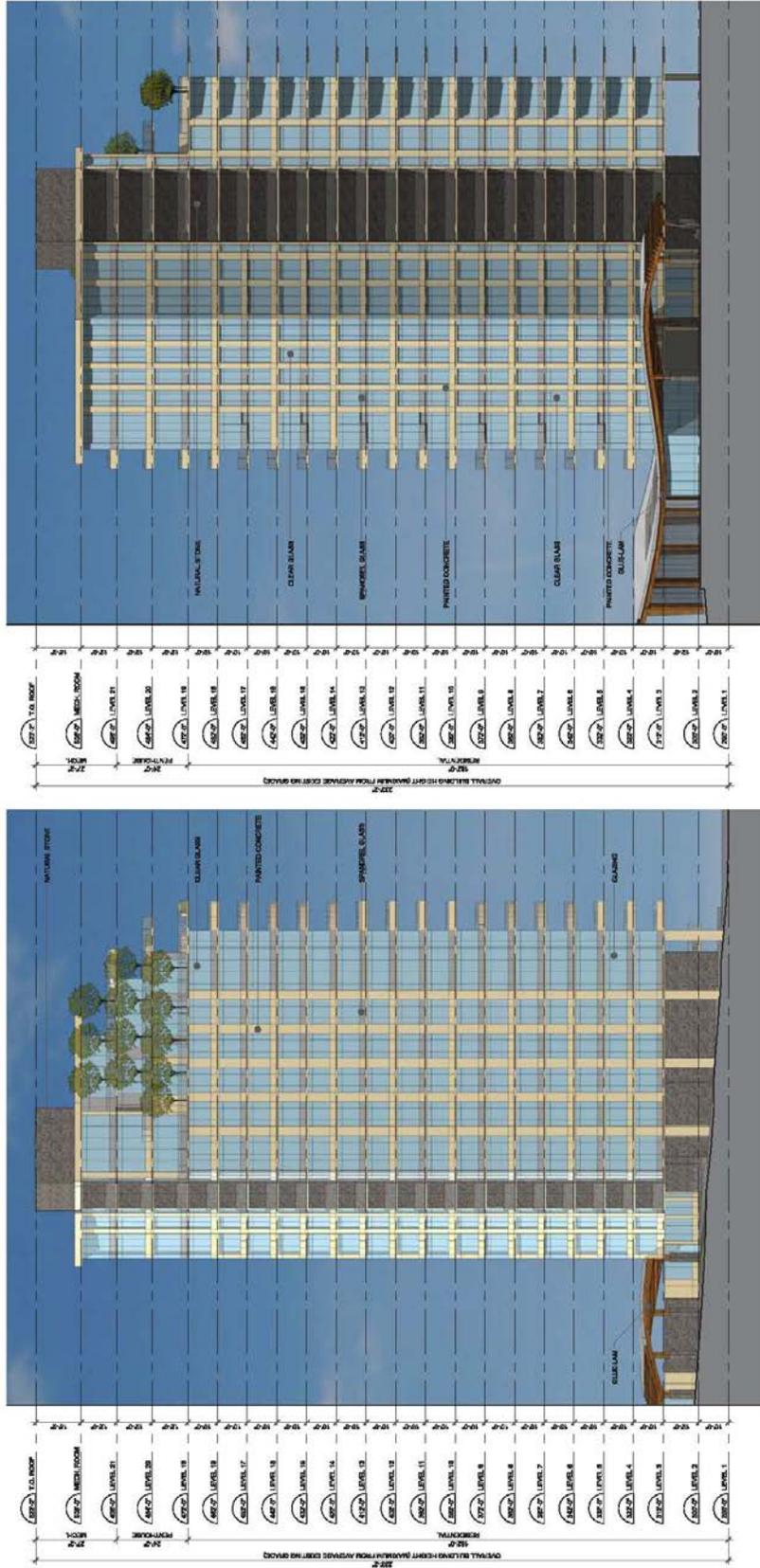
The Oxford
1530 Oxford Street, White Rock, BC

SITE PLAN
Scale: 1/32" = 1'-0"

Rezoning Re-submission
October 27, 2015



Elegant
DEVELOPMENT INC.



EAST ELEVATION

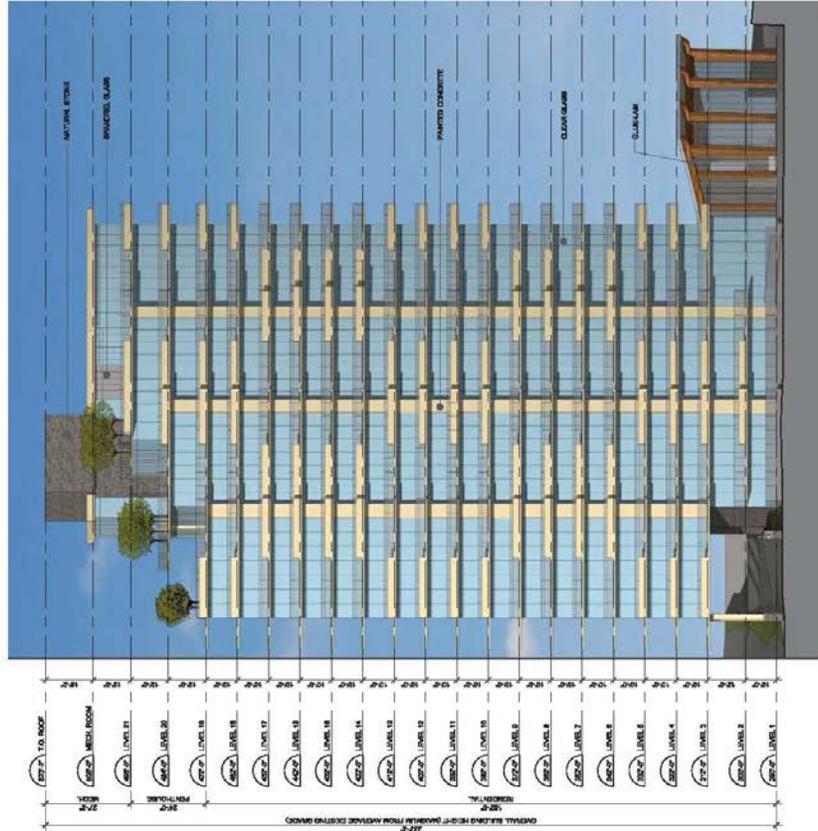
NORTH ELEVATION


The Oxford
 1500 Oxford Street, White Rock, BC
 Chris Dineakos Architects Inc.

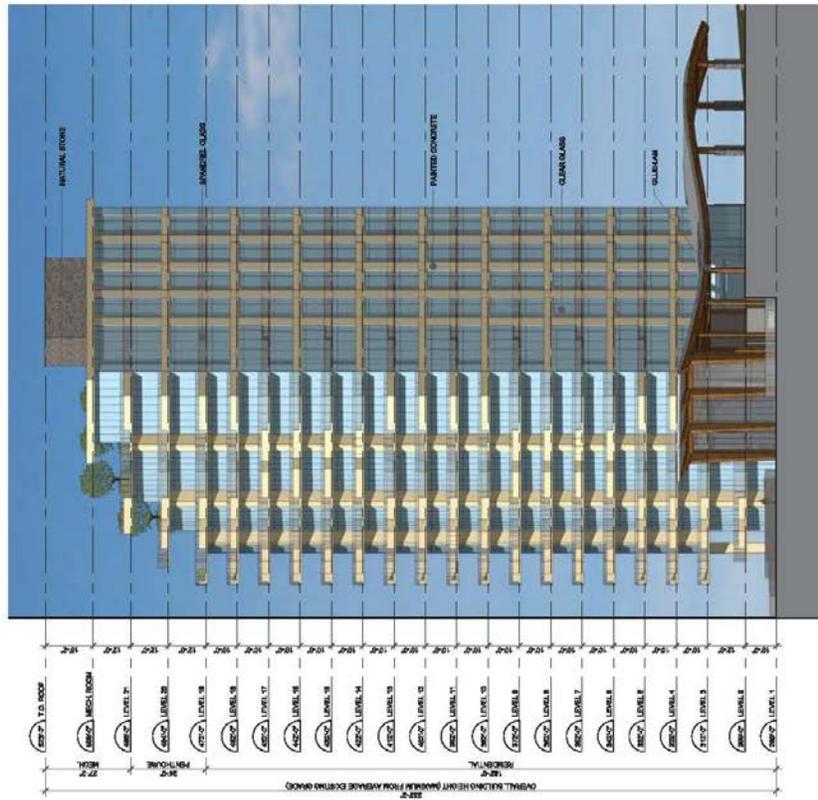
NORTH & EAST ELEV. - TOWER A
 Scale: 1/32" = 1'-0"

Rezoning Re-submission
 October 27, 2015


A3.00



WEST ELEVATION



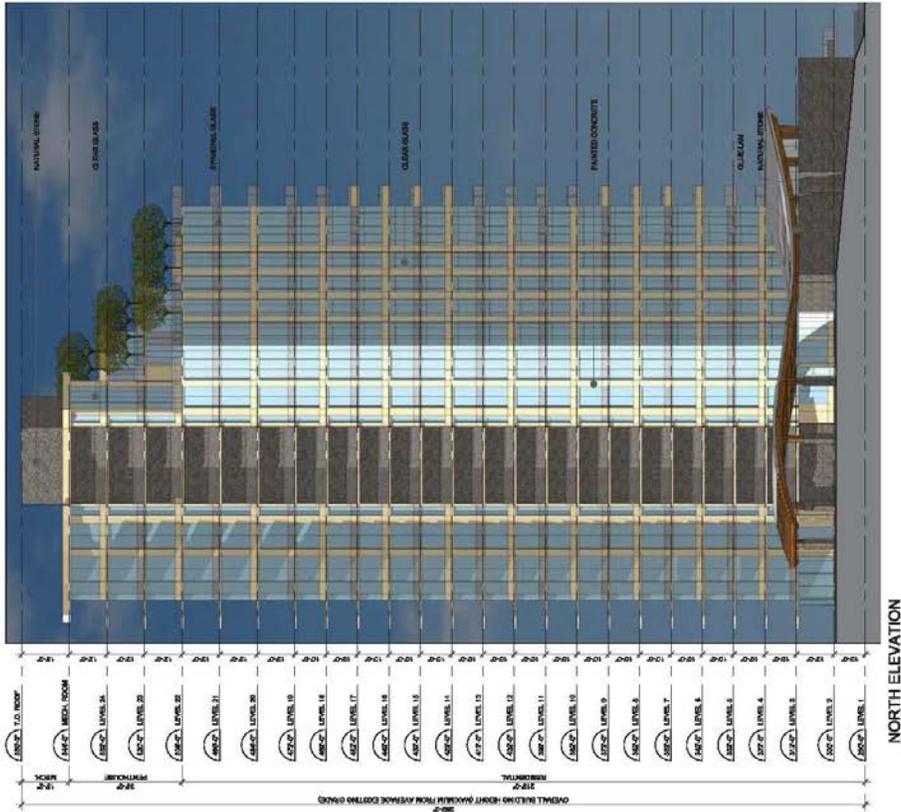
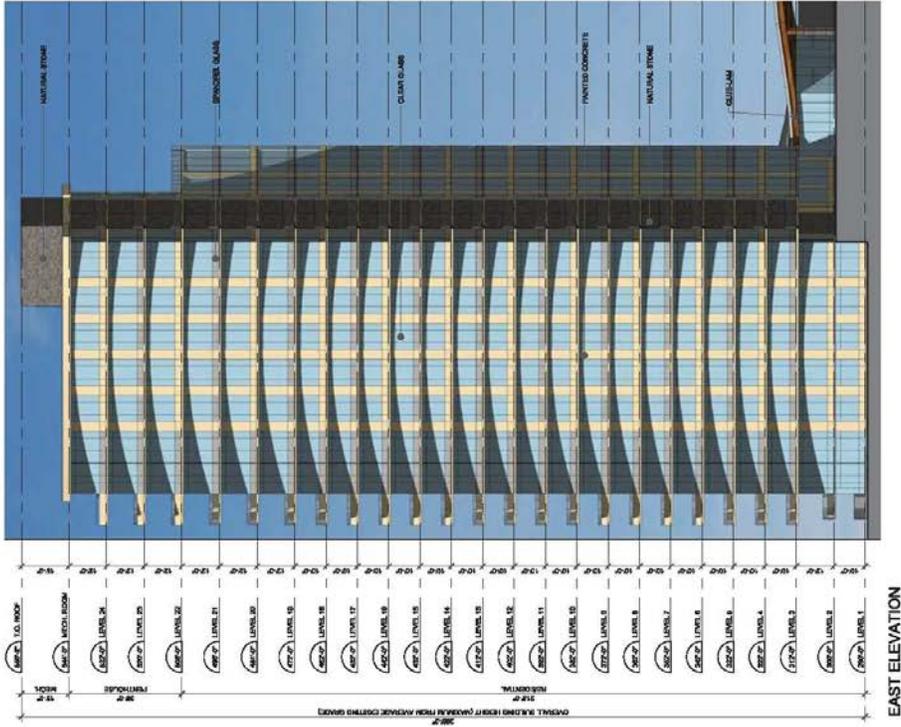
SOUTH ELEVATION


The Oxford
 1500 Oxford Street, White Rock, BC
 Chris Dineavos Architects Inc.

SOUTH & WEST ELEV. - TOWER A
 Scale: 1/32" = 1'-0"

Rezoning Re-submission
 October 27, 2015


A3.01



EAST ELEVATION

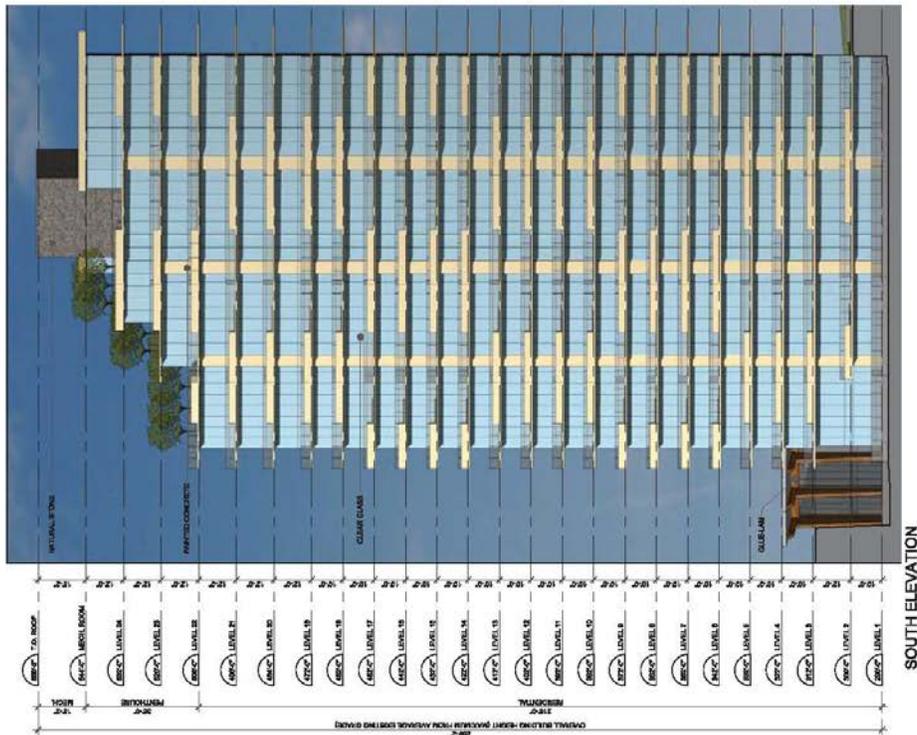
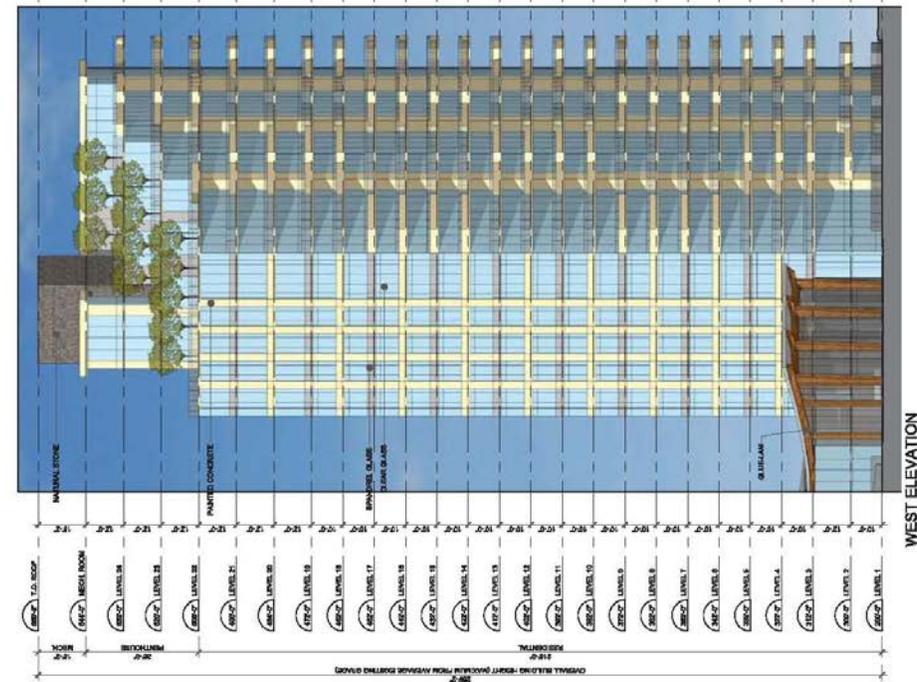
NORTH ELEVATION


The Oxford
 1500 Oxford Street, White Rock, BC

NORTH & EAST ELEV. - TOWER B
 Scale: 1/32" = 1'-0"

Rezonng Re-submission
 October 27, 2015


A3.02



SOUTH & WEST ELEV. - TOWER B

Scale: 1/32" = 1'-0"

Rezoning Re-submission
October 27, 2015

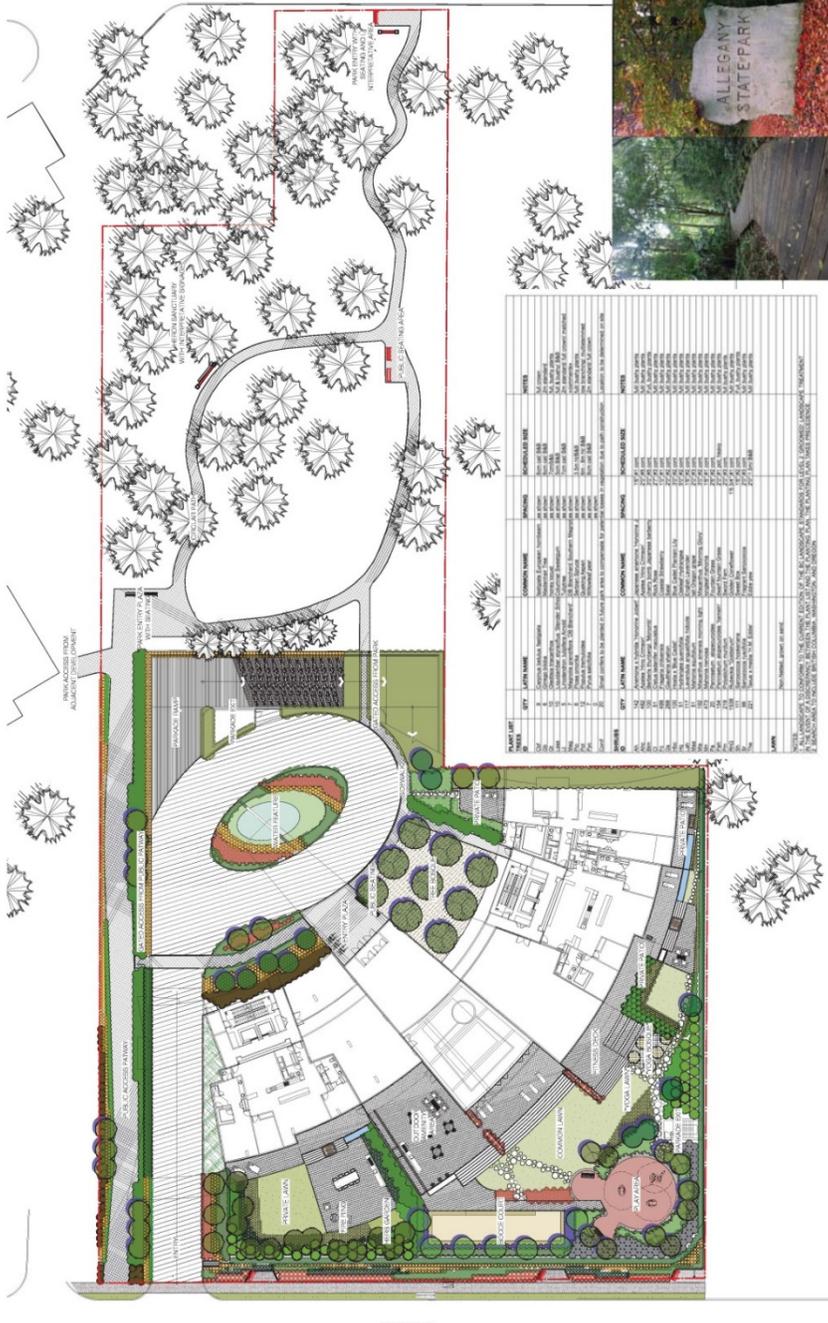
elegant DEVELOPMENT INC. | **A3.03**

The Oxford
1500 Oxford Street, White Rock, BC

CDP
CHRIS DINEAKIS
ARCHITECTS INC.

- 1. SITE PLAN
- 2. CONCEPT PLAN
- 3. CONCEPT PLAN
- 4. CONCEPT PLAN
- 5. CONCEPT PLAN
- 6. CONCEPT PLAN

OXFORD STREET



eta
 ENVIRONMENTAL TERRACE ARCHITECTURE
 1000 West 10th Avenue
 Vancouver, BC, Canada V6H 1V8
 TEL: 604.681.1888
 FAX: 604.681.1889
 WWW.ETAA.CA

Project:
**OXFORD STREET
 RESIDENTIAL**
 1000 OXFORD STREET
 White River, BC

Drawn by:
**OXFORD STREET
 CONTEXT PLAN**

DATE	DESCRIPTION
2024.01.15	CONCEPT PLAN
2024.01.15	CONCEPT PLAN
2024.01.15	CONCEPT PLAN
2024.01.15	CONCEPT PLAN
2024.01.15	CONCEPT PLAN
2024.01.15	CONCEPT PLAN
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2024.01.15	CONCEPT PLAN
2024.01.15	CONCEPT PLAN
2024.01.15	CONCEPT PLAN

PLANT NAME	COMMON NAME	PLANTING DATE	PLANTING RATE
1.01	AMERICAN RED CEDAR	2024	10 PER ACRE
1.02	WESTERN RED CEDAR	2024	10 PER ACRE
1.03	WESTERN WHITE PINE	2024	10 PER ACRE
1.04	WESTERN DOUGLASS PINE	2024	10 PER ACRE
1.05	WESTERN LARCH	2024	10 PER ACRE
1.06	WESTERN SITKA SPRUCE	2024	10 PER ACRE
1.07	WESTERN HEMLOCK	2024	10 PER ACRE
1.08	WESTERN JUNIPER	2024	10 PER ACRE
1.09	WESTERN YEW	2024	10 PER ACRE
1.10	WESTERN REDWOOD	2024	10 PER ACRE
1.11	WESTERN DOUGLASS FIR	2024	10 PER ACRE
1.12	WESTERN WHITE PINE	2024	10 PER ACRE
1.13	WESTERN DOUGLASS PINE	2024	10 PER ACRE
1.14	WESTERN LARCH	2024	10 PER ACRE
1.15	WESTERN SITKA SPRUCE	2024	10 PER ACRE
1.16	WESTERN HEMLOCK	2024	10 PER ACRE
1.17	WESTERN JUNIPER	2024	10 PER ACRE
1.18	WESTERN YEW	2024	10 PER ACRE
1.19	WESTERN REDWOOD	2024	10 PER ACRE
1.20	WESTERN DOUGLASS FIR	2024	10 PER ACRE



7.48 CD-48 COMPREHENSIVE DEVELOPMENT ZONE (15611 Marine Drive)

INTENT

The intent of this zone is to accommodate a hotel with 39 suites above a lounge area on a site of approximately 5,567 square metres in area.

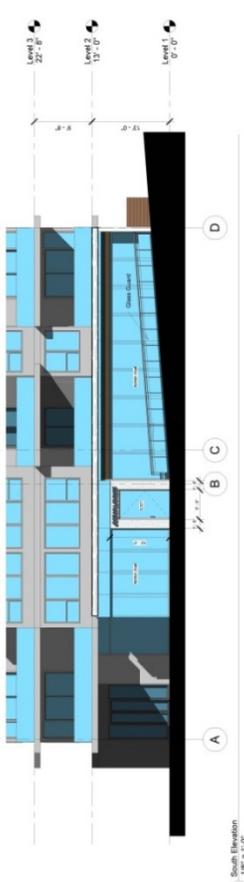
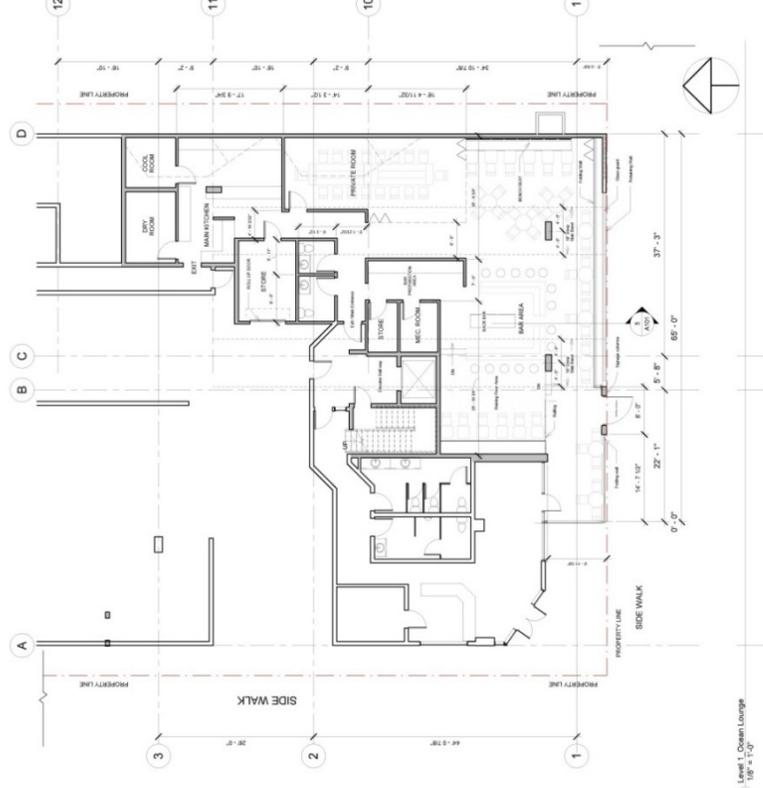
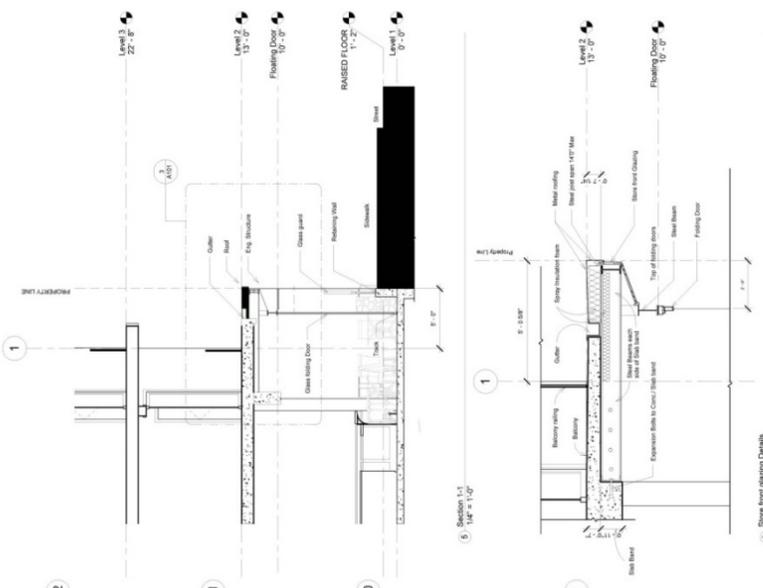
1. Permitted Uses:
 - (a) *hotel*
 - (b) *licenced establishments, including liquor primary, food primary, agent store, u-brew and u-vin*
 - (c) *retail service group 1 uses;*
2. Lot Coverage:
 - (a) Maximum *lot coverage* shall not exceed 93%
3. Density:
 - (d) Maximum *gross floor area* shall not exceed 5,567 square metres (59,922 square feet)
4. Building Height:
 - (e) *Principal buildings* shall not exceed a *height* of 19.1 metres geodetic
5. Siting Requirements:
 - (c) Minimum setbacks are as follows:

(i) Setback from front (north) lot line	= 1.8 metres
(ii) Setback from rear (south) lot line	= 0.0 metres
(iii) Setback from exterior (west) side lot line	= 1.5 metres
(iv) Setback from interior (east) side lot lines	= 0.9 metres
 - (d) Notwithstanding the above, *balconies* and roof overhangs may extend to within 0.9 metres of an exterior (west) side lot line.
6. Parking:
 - (a) A minimum of 57 parking spaces shall be provided
7. General:
 - (a) Development in this zone shall conform to the Plans (last revision date August 15, 2014) prepared by Paul Rust, Architect, that are attached hereto and on file at the City of White Rock

NO.	DATE	REVISIONS

OCEAN PROMENADE
 ALL SUITE HOTEL
 19571 MARINE DR., WHITE ROCK BC V4B 1E1

NO.	DATE	REVISIONS





ARCHITECT
19579
5TH AVENUE
SURREY BC V3S 9R9
PHONE 804-531-7855
FAX 804-538-1450
paul rust
MAIBC MRAIC

No.	Description	Date

OCEAN PROMENADE
OCEAN LOUNGE
EXTERIOR FRONT

Project Number: _____ Issue Date: _____
 Date: _____ Author: _____
 Created by: CHOWDER

A103

Scale: 1/8" = 1'-0"

PLU RES1 9 H-100000



① Elev. 1/8" = 1'-0"



② 3D View_1



③ 3D View_2



④ 3D View_3



⑤ 3D View_4

7.51 CD-51 COMPREHENSIVE DEVELOPMENT ZONE

INTENT

The intent of this zone is to accommodate the development of a multi-unit residential development on a site of approximately 2,023.7 square metres in area.

1. Permitted Uses:
 - (a) *multi-unit residential use*
 - (b) *accessory home occupation* use in accordance with the provisions of 5.3 and that does not involve clients directly accessing the *building*

2. Lot Coverage:
 - (e) Maximum *lot coverage* shall not exceed 38%

3. Density:

Maximum *gross floor area* shall not exceed 5,671.3 square metres (61,045.1 ft²), maximum *residential floor area* shall not exceed 4,431.3 square metres (46,729.5ft²), and the maximum number of *dwelling units* shall not exceed 25, comprised as follows:

 - (a) **BASE DENSITY:** The maximum *gross floor area* shall not exceed 0.9 times the lot area, and the maximum number of dwelling units shall not exceed 12 units.

 - (b) **ADDITIONAL (BONUS) DENSITY:** Where a contribution of \$350,000 has been provided to the Community Amenity Reserve Fund to assist with the provision of the amenities in the following table, the maximum *gross floor area* shall not exceed 5,671.3 square metres (61,045.1 ft²), the maximum *residential floor area* shall not exceed 4,431.3 square metres (46,729.5ft²), and the maximum number of *dwelling units* shall not exceed 25 units.

#	Amenity
1	New public open space and walkways
2	Improvement of existing open space and walkways
3	Public art
4	Waterfront improvement, including civic parking facilities
5	Special needs or non-market affordable housing
6	People movement infrastructure to link Uptown to the Waterfront

The amenity must be provided in accordance with an amenity agreement and section 219 covenant delivered by the owner of the subject real property, to secure the amenity.

4. Building Height:
 - (a) The building shall not exceed 118.6 metres geodetic, inclusive of the stair tower and elevator shaft.

5. Siting Requirements:

- (a) Minimum setbacks are as follows:
 - (i) Setback from front (south) lot line = 12.95 metres
 - (ii) Setback from rear (north) lot line = 6.71 metres
 - (iii) Setback from interior side (east) lot line = 7.15 metres
 - (iv) Setback from interior side (west) lot line = 6.16 metres
- (b) Notwithstanding the above, balconies and canopies may encroach by up to 2.99 metres into the required front (south) lot line setback, and balconies may encroach by up to 2.14 metres into the required rear (north) lot line setback.

6. Parking:

Parking shall be provided in accordance with Section 4.14, with a minimum total of sixty (60) parking spaces to be provided as follows:

- (a) A minimum of fifty (52) spaces shall be provided to serve the residential units, including a minimum of one (1) space for disabled persons clearly marked as per BC Building Code requirements
- (b) A minimum of eight (8) visitor spaces are to be provided and marked as ‘visitor,’ including a minimum of one (1) space for disabled persons clearly marked as per BC Building Code requirements

7. Loading:

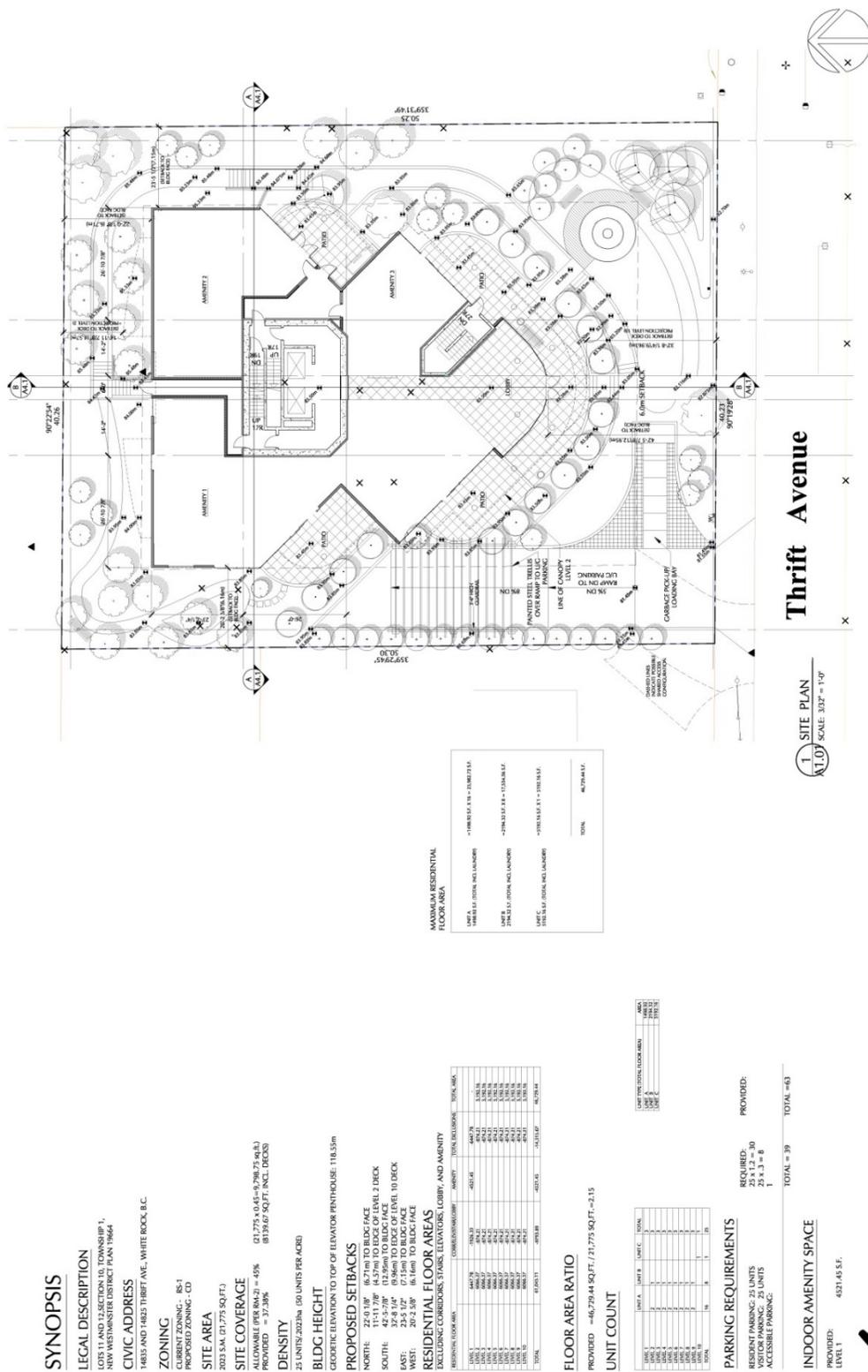
- (a) One (1) loading zone shall be provided in accordance with Section 4.15

8. Bicycle Parking:

- (a) A minimum of twenty-five (25) Class I bicycle parking spaces shall be provided, in accordance with Section 4.16
- (b) A minimum of five (5) Class II bicycle parking spaces shall be provided, in accordance with Section 4.16

9. General:

- (a) Development in this zone that includes the additional (bonus) density referred to in Subsection 3(b) shall substantially conform to the elevations prepared by Ankenman Associates Architects Inc. dated February 7, 2017 and the site plan prepared by Ankenman Associates Architects Inc. dated February 7, 2017, that are attached hereto and on file at the City of White Rock.
- (b) Development in this zone that does not include the additional (bonus) density referred to in Sub-section 3(b) shall be required to obtain a new Major Development Permit.



SYNOPSIS

LEGAL DESCRIPTION
 LOTS 11 AND 12 SECTION 10, TOWNSHIP 1,
 NEW WESTMINSTER DISTRICT PLAN 19644
CIVIC ADDRESS
 14825 AND 14835 THRIFT AVE., WHITE ROCK, B.C.
ZONING
 CURRENT ZONING - RS-1
 PROPOSED ZONING - CD
SITE AREA
 2023 S.M. (71,775 SQ.FT.)
SITE COVERAGE
 41% (28,525 SQ.FT.)
 ALLOWABLE (PER RALD-3) = 45%
 PROVIDED = 37.38%
DENSITY
 25 UNITS/2,023 S.M. (12 UNITS PER ACRE)

BLDG HEIGHT
 GEOMETRIC ELEVATION TO TOP OF ELEVATOR PENTHOUSE: 118.55m
PROPOSED SETBACKS
 NORTH: 22'-0" MIN. (6.71m) TO BLDG FACE
 SOUTH: 11'-0" MIN. (3.35m) TO EDGE OF LEVEL 2 DECK
 EAST: 25'-0" MIN. (7.62m) TO EDGE OF LEVEL 2 DECK
 WEST: 25'-0" MIN. (7.62m) TO BLDG FACE
RESIDENTIAL FLOOR AREAS
 EXCLUDING CORRIDORS, STAIRS, ELEVATORS, LOBBY, AND AMENITY

FLOOR	AREA (SQ.FT.)	AREA (SQ.M.)	TOTAL FLOOR AREA
LEVEL 1	10,000	929.03	10,000
LEVEL 2	10,000	929.03	20,000
LEVEL 3	10,000	929.03	30,000
LEVEL 4	10,000	929.03	40,000
LEVEL 5	10,000	929.03	50,000
LEVEL 6	10,000	929.03	60,000
LEVEL 7	10,000	929.03	70,000
LEVEL 8	10,000	929.03	80,000
LEVEL 9	10,000	929.03	90,000
LEVEL 10	10,000	929.03	100,000
LEVEL 11	10,000	929.03	110,000
LEVEL 12	10,000	929.03	120,000
LEVEL 13	10,000	929.03	130,000
LEVEL 14	10,000	929.03	140,000
LEVEL 15	10,000	929.03	150,000
LEVEL 16	10,000	929.03	160,000
LEVEL 17	10,000	929.03	170,000
LEVEL 18	10,000	929.03	180,000
LEVEL 19	10,000	929.03	190,000
LEVEL 20	10,000	929.03	200,000
LEVEL 21	10,000	929.03	210,000
LEVEL 22	10,000	929.03	220,000
LEVEL 23	10,000	929.03	230,000
LEVEL 24	10,000	929.03	240,000
LEVEL 25	10,000	929.03	250,000
LEVEL 26	10,000	929.03	260,000
LEVEL 27	10,000	929.03	270,000
LEVEL 28	10,000	929.03	280,000
LEVEL 29	10,000	929.03	290,000
LEVEL 30	10,000	929.03	300,000
LEVEL 31	10,000	929.03	310,000
LEVEL 32	10,000	929.03	320,000
LEVEL 33	10,000	929.03	330,000
LEVEL 34	10,000	929.03	340,000
LEVEL 35	10,000	929.03	350,000
LEVEL 36	10,000	929.03	360,000
LEVEL 37	10,000	929.03	370,000
LEVEL 38	10,000	929.03	380,000
LEVEL 39	10,000	929.03	390,000
LEVEL 40	10,000	929.03	400,000
LEVEL 41	10,000	929.03	410,000
LEVEL 42	10,000	929.03	420,000
LEVEL 43	10,000	929.03	430,000
LEVEL 44	10,000	929.03	440,000
LEVEL 45	10,000	929.03	450,000
LEVEL 46	10,000	929.03	460,000
LEVEL 47	10,000	929.03	470,000
LEVEL 48	10,000	929.03	480,000
LEVEL 49	10,000	929.03	490,000
LEVEL 50	10,000	929.03	500,000

FLOOR AREA RATIO
 PROVIDED = 46,739.44 SQ.FT. / 71,775 SQ.FT. = 0.65

UNIT COUNT

UNIT TYPE	UNIT COUNT	TOTAL UNIT COUNT
1-BED	100	100
2-BED	100	200
3-BED	100	300
4-BED	100	400
5-BED	100	500
6-BED	100	600
7-BED	100	700
8-BED	100	800
9-BED	100	900
10-BED	100	1,000
11-BED	100	1,100
12-BED	100	1,200
13-BED	100	1,300
14-BED	100	1,400
15-BED	100	1,500
16-BED	100	1,600
17-BED	100	1,700
18-BED	100	1,800
19-BED	100	1,900
20-BED	100	2,000
21-BED	100	2,100
22-BED	100	2,200
23-BED	100	2,300
24-BED	100	2,400
25-BED	100	2,500
26-BED	100	2,600
27-BED	100	2,700
28-BED	100	2,800
29-BED	100	2,900
30-BED	100	3,000
31-BED	100	3,100
32-BED	100	3,200
33-BED	100	3,300
34-BED	100	3,400
35-BED	100	3,500
36-BED	100	3,600
37-BED	100	3,700
38-BED	100	3,800
39-BED	100	3,900
40-BED	100	4,000
41-BED	100	4,100
42-BED	100	4,200
43-BED	100	4,300
44-BED	100	4,400
45-BED	100	4,500
46-BED	100	4,600
47-BED	100	4,700
48-BED	100	4,800
49-BED	100	4,900
50-BED	100	5,000

PARKING REQUIREMENTS

REQUIRED:
 25 x 1.2 = 30 UNITS
 1 x 1.5 = 1.5 UNITS
 ACCESSIBLE PARKING:
 1
 TOTAL = 39

INDOOR AMENITY SPACE

PROVIDED:
 LEVEL 1 4521.45 S.F.

1 SITE PLAN
 A1.0 SCALE 3/32" = 1'-0"

Thrift Avenue

PROPOSED DEVELOPMENT

14825 & 14835 Thrift Ave,
 White Rock BC

SITE PLAN & SYNOPSIS

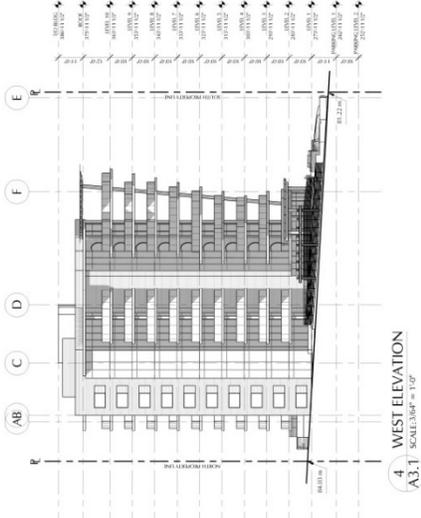
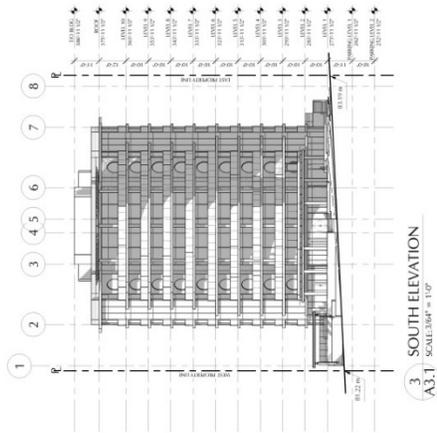
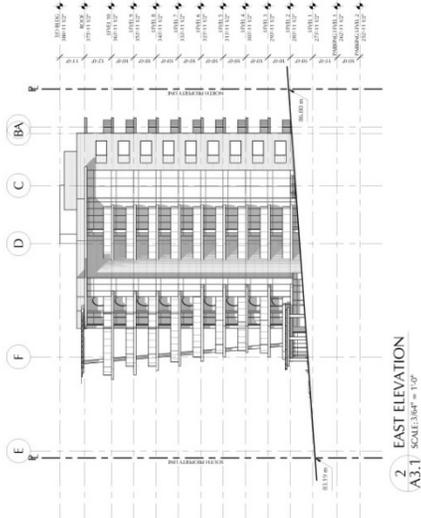
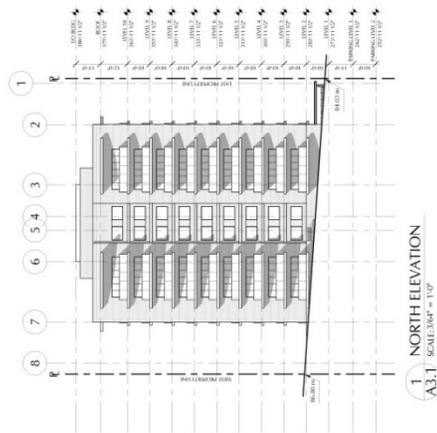
A1.1

Ankenman Associates Architects Inc.
 12321 Beecher St., Crescent Beach, BC V4A 3A7
 604.536.1600

1501

February 7, 2017

SCALE: 3/32" = 1'-0"
 FEB. 7, 2017, REVISION: 1
 FEB. 7, 2017, REVISION: 2
 FEB. 7, 2017, REVISION: 3



Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7
604.536.1600

PROPOSED DEVELOPMENT

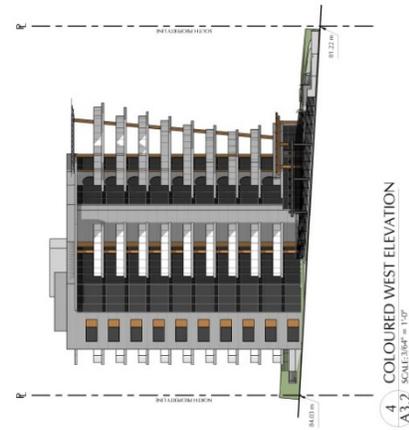
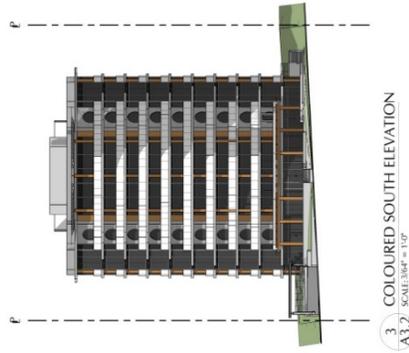
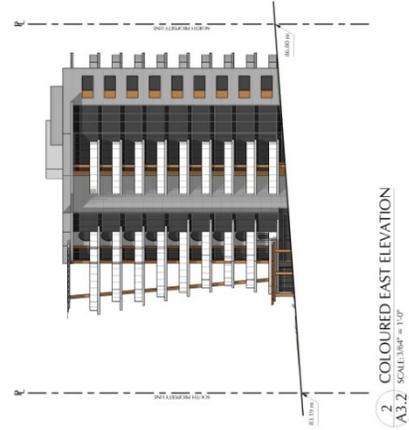
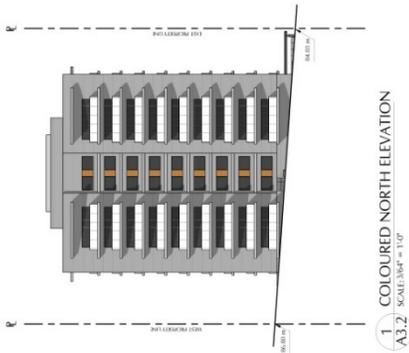
14825 & 14835 Thrift Ave,
White Rock BC

Development For FORGE PROPERTIES

ELEVATIONS
1501

A3.1

REV. DATE DESCRIPTION
FEB. 7, 2017 RELEASE FOR PERMITTING
REV. DATE DESCRIPTION
SCALE: 3/64" = 1'-0"
February 7, 2017



Ankenman Associates Architects Inc.
12321 Beecher St., Crescent Beach, BC V4A 3A7
604.536.1600

PROPOSED DEVELOPMENT

14825 & 14835 Thrift Ave,
White Rock BC

COLOURED ELEVATIONS

Development For FORGE PROPERTIES

1501

SCALE: 3/8" = 1'-0"
February 7, 2017

PREPARED FOR:	FORGE PROPERTIES INC.	DATE:	FEB 7, 2017
PROJECT:	1501	SCALE:	3/8" = 1'-0"
DESIGNED BY:	ANKENMAN ASSOCIATES ARCHITECTS INC.	DATE:	FEB 7, 2017
CHECKED BY:	ANKENMAN ASSOCIATES ARCHITECTS INC.	DATE:	FEB 7, 2017

A3.2

7.54 CD-54 COMPREHENSIVE DEVELOPMENT ZONE (Best & Roper)

INTENT

The intent of this zone is to accommodate the development of a multi-unit residential development on a site of approximately 1,887 square metres in area.

- 1. Permitted Uses:
 - (a) *multi-unit residential use*
 - (b) *accessory home occupation* use in accordance with the provisions of 5.3 and that does not involve clients directly accessing the *building*

- 2. Lot Coverage:
 - (a) Maximum *lot coverage* shall not exceed 53%.

3. Density:
 Maximum *residential floor area* shall not exceed 1.5 times the lot area, and the maximum number of *dwelling units* shall not exceed 28, comprised as follows:

- (a) **BASE DENSITY:** The maximum residential floor area shall not exceed 1.1 times the lot area, and the maximum number of dwelling units shall not exceed 23 units.
- (b) **ADDITIONAL (BONUS) DENSITY:** Where a contribution of \$712,063 has been provided to the Community Amenity Reserve Fund to assist with the provision of the amenities in the following table, the maximum residential floor area shall not exceed 1.5 times the lot area, and the maximum number of dwelling units shall not exceed 28 units.

#	Amenity
1	New public open space and walkways
2	Improvement of existing open space and walkways
3	Public art
4	Waterfront improvement, including civic parking facilities
5	Special needs or non-market affordable housing
6	People movement infrastructure to link Uptown to the Waterfront

The amenity must be provided in accordance with an amenity agreement and section 219 covenant delivered by the owner of the subject real property, to secure the amenity.

- 4. Building Height:
 - (a) The building shall not exceed 106.6 metres geodetic

5. Siting Requirements:

- (a) Minimum setbacks are as follows:
 - (i) Setback from front (east) lot line = 6.01 metres
 - (ii) Setback from rear (west) lot line = 6.0 metres
 - (iii) Setback from exterior side (north) lot line = 6.0 metres
 - (iv) Setback from interior side (south) lot line = 5.7 metres
- (b) Notwithstanding the above, balconies may encroach by up to 1.17 metres into the required rear (west) lot line setback, a bay window may encroach by up to 0.5 metres into the required interior (south) lot line setback, balconies may encroach by up to 1.17 metres into the required front (east) lot line setback, and entrance canopies may encroach by up to 3.05 metres into the required front (east) lot line setback.

6. Parking:

Parking shall be provided in accordance with Section 4.14, with a minimum 1.5 parking spaces per dwelling unit to be provided as follows:

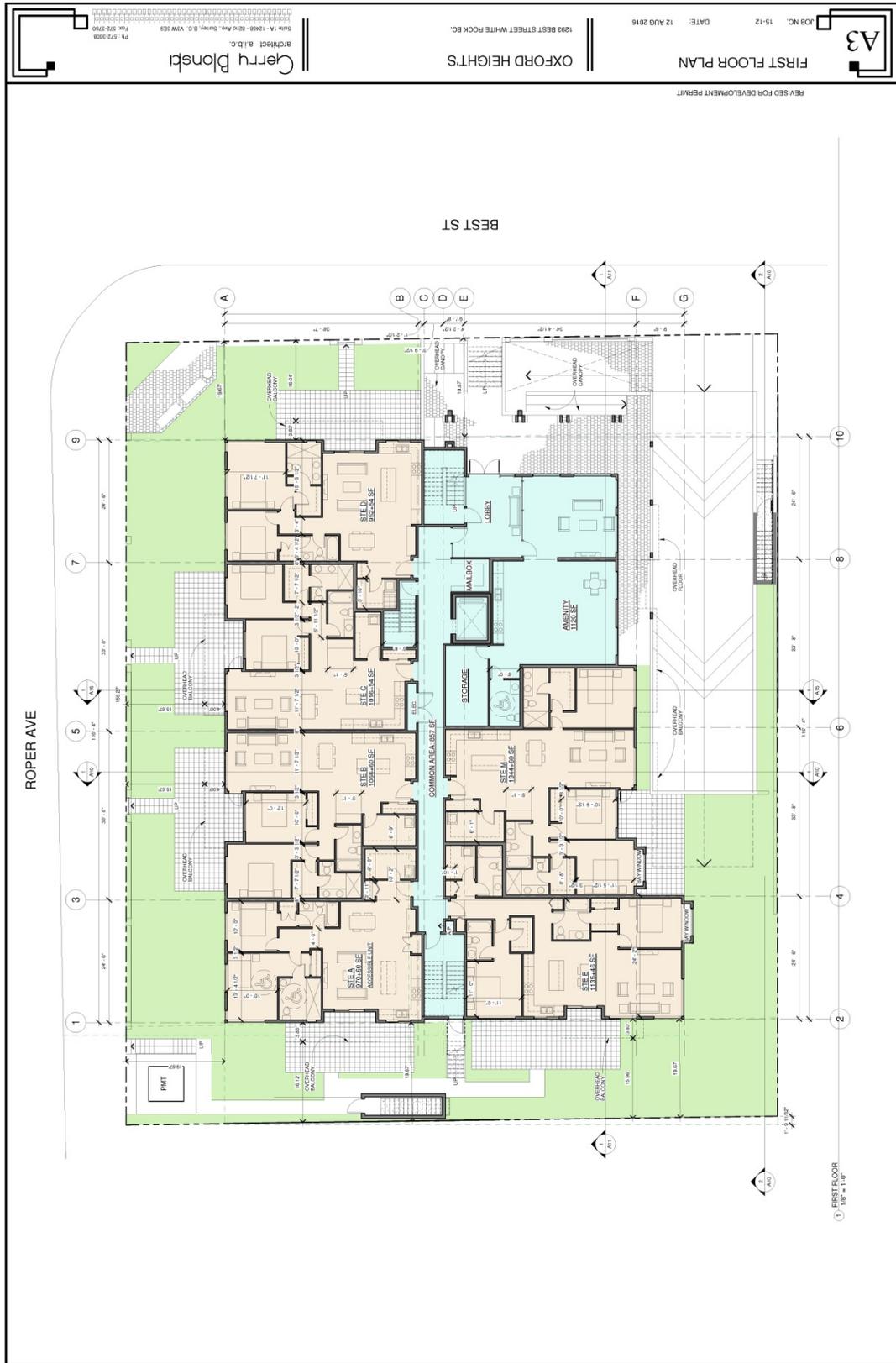
- (a) A minimum of 1.2 spaces per dwelling unit shall be provided to serve the residential units
- (b) A minimum of 0.3 spaces per dwelling unit are to be provided and marked as 'visitor'
- (c) A minimum of three (3) spaces shall be provided for disabled persons parking and shall be clearly marked as per BC Building Code requirements

7. Loading:

- (a) One (1) loading zone shall be provided in accordance with Section 4.15

8. General:

- (a) Development in this zone that includes the additional (bonus) density referred to in Sub-section 3(b) shall substantially conform to the Plans prepared by Gerry Blonski Architect and dated "August 27, 2016 Revised", that are attached hereto and on file at the City of White Rock
- (b) Development in this zone that does not include the additional (bonus) density referred to in Sub-section 3(b) shall be required to obtain a Major Development Permit.



Architect & P.C.
Gerrit Plonksi

1280 BEST STREET WHITE ROCK BC.
OXFORD HEIGHTS

DATE: 12 20 2016

JOB NO. 15-12

REVIEWED FOR DEVELOPMENT PERMIT

AS8

ELEVATIONS

EXTERIOR FINISH SCHEDULE

MATERIAL	FINISH
1 HARD SIDING 1ST, 2ND, 3RD FL. EXTERNAL WALLS	HARD SIDING BM #PC-46 JACKSON TAN
2 HARD PANEL 1ST, 2ND, 3RD, 4TH WALLS WINDOW	SMOOTH FINISH SM #PC-58 SAINT MARTIN SAND
3 HARD PANEL WITH BATTENS 4TH FL. EXTERNAL WALLS	SMOOTH FINISH SM #PC-58 SAINT MARTIN SAND
4 WOOD LAMINATE ENTRANCE COLUMNS	SMOOTH FINISH STAINED
5 CULTURAL STONE FURN CULTURAL STONE 1ST EXTERNAL WALLS	CULTURED STONE FURN SM #PC-48 LADY LEDGESTONE CSV-20041
6 CONCRETE FOUNDATION WALLS, FENCING POSTS	PAINTED SM #PC-382 ELK
7 WOOD TRIM/ FASCIA 1ST, 2ND, 3RD, 4TH FL.	PAINT SM #PC-428 BONE CHINA
8 RAILING	WALNUT DARK GREY
9 CEDAR SOFFIT	STAINED TO MATCH LAMINATE WOOD BEAM

1 1/8" = 1'-0" (EAST)
1/8" = 1'-0" (WEST)



7.56 CD-56 COMPREHENSIVE DEVELOPMENT ZONE (Nichol & North Bluff)

INTENT

The intent of this zone is to accommodate the development of a multi-unit residential development with a commercial component on a site of approximately 2,660 square metres in area.

1. Permitted Uses:
 - (a) *multi-unit residential use*
 - (b) *retail service group 1 use*
 - (c) *accessory home occupation use* in accordance with the provisions of 5.3 and that does not involve clients directly accessing the *building*

2. Location of Permitted Uses:
 - (a) a *retail service group 1 use* shall be located on the ground level in the portion of the *building* fronting on Nichol Road.
 - (b) a *multi-unit residential use* shall be located in all parts of the *building* other than the ground level fronting on Nichol Road.
 - (c) an *accessory home occupation use* may be located within a *dwelling unit*.

3. Lot Coverage:
 - (a) *lot coverage* shall not exceed 60%.

4. Density:

Maximum *gross floor area* shall not exceed 2.18 times the lot area, and the maximum number of *dwelling units* shall not exceed 51, comprised as follows:

 - (a) **BASE DENSITY:** The maximum *gross floor area* shall not exceed 1.75 times the lot area, and the maximum number of dwelling units shall not exceed 33 units.
 - (b) **ADDITIONAL (BONUS) DENSITY:** Where a contribution of \$200,000 has been provided to the Community Amenity Reserve Fund to assist with the provision of the amenities in the following table, the maximum *gross floor area* shall not exceed 2.18 times the lot area, and the maximum number of dwelling units shall not exceed 51 units.

#	Amenity
1	New public open space and walkways
2	Improvement of existing open space and walkways
3	Public art
4	Waterfront improvement, including civic parking facilities
5	Special needs or non-market affordable housing
6	People movement infrastructure to link Uptown to the Waterfront

The amenity must be provided in accordance with an amenity agreement and section 219 covenant delivered by the owner of the subject real property, to secure the amenity.

5. Building Height:

- (a) The building shall not exceed 100.5 metres geodetic

6. Siting Requirements:

- (a) Minimum setbacks are as follows:
 - (i) Setback from front (west) lot line = 3.68 metres
 - (ii) Setback from rear (east) lot line = 3.91 metres
 - (iii) Setback from exterior side (north) lot line = 2.13 metres
 - (iv) Setback from interior side (south) lot line = 2.33 metres
- (b) Notwithstanding the above, balconies/overhangs may encroach by up to 2.17 metres into the required front (west) lot line setback, 1.07 metres into the required rear (east) lot line setback, 2.13 metres into the required exterior side (north) lot line setback, and 1.67 metres into the required interior side (south) lot line setback.
- (c) Notwithstanding the above, columns may encroach by up to 0.81 metres into the required front (west) lot line setback, 0.61 metres into the required rear (east) lot line setback, and 0.61 metres into the required exterior side (north) lot line setback.

7. Parking:

Parking shall be provided in accordance with Section 4.14, with the minimum number of spaces required as follows:

- (a) A minimum of 86 spaces shall be provided for the residential units
- (b) A minimum of 15 spaces shall be provided for visitors and marked as 'visitor'
- (c) A minimum of six (6) spaces shall be provided for use by the commercial tenants and marked as 'commercial'
- (d) A minimum of two (2) spaces shall be provided for disabled persons parking and shall be clearly marked as per BC Building Code requirements

8. Bicycle Parking:

Bicycle parking shall be provided in accordance with Section 4.16, with the minimum number of spaces required as follows:

- (a) A minimum of 55 Class I spaces shall be provided
- (b) A minimum of 10 Class II spaces shall be provided

9. Loading:

Loading shall be provided in accordance with Section 4.15, with the minimum number of loading spaces required as follows:

- (a) One (1) loading zone shall be provided for residential use in accordance with Section 4.15
- (b) One (1) loading zone shall be provided for commercial use in accordance with Section 4.15

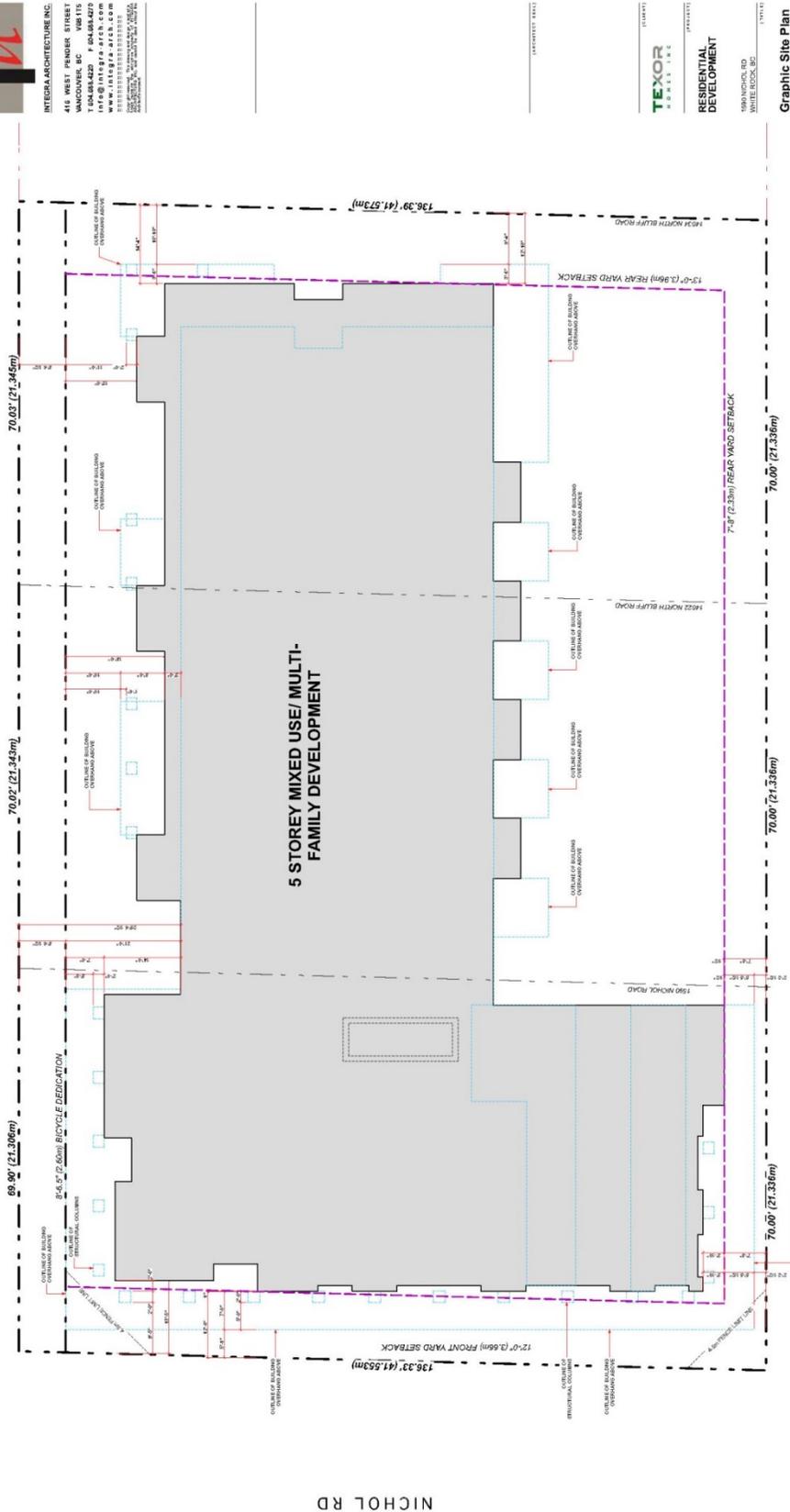
10. General:

- (a) Development in this zone that includes the additional (bonus) density referred to in Subsection 4(b) shall substantially conform to the Plans prepared by Integra Architecture Inc. dated October 4, 2016, that are attached hereto and on file at the City of White Rock.
- (b) Development in this zone that does not include the additional (bonus) density referred to in Sub-section 4(b) shall be required to obtain a new Major Development Permit.



INTERA ARCHITECTURE INC.
 445 WHEAT PRAIRIE STREET
 VANCOUVER, BC V6B 1T5
 TEL: 604.681.4220 F: 604.681.4270
 INFO@INTERAARCH.COM
 WWW.INTERAARCH.COM

NORTH BLUFF RD



5 STOREY MIXED USE/ MULTI-FAMILY DEVELOPMENT

NICHOL RD

COLDICUTT LANE

RESIDENTIAL DEVELOPMENT

TEXOR

1598 NICHOL RD
VANCOUVER, BC

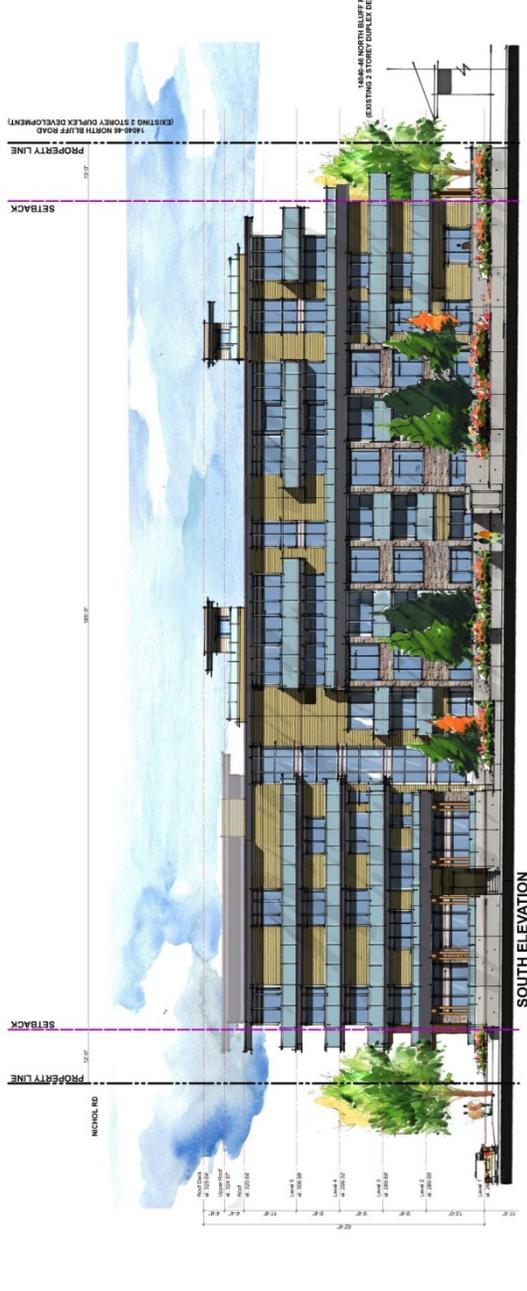
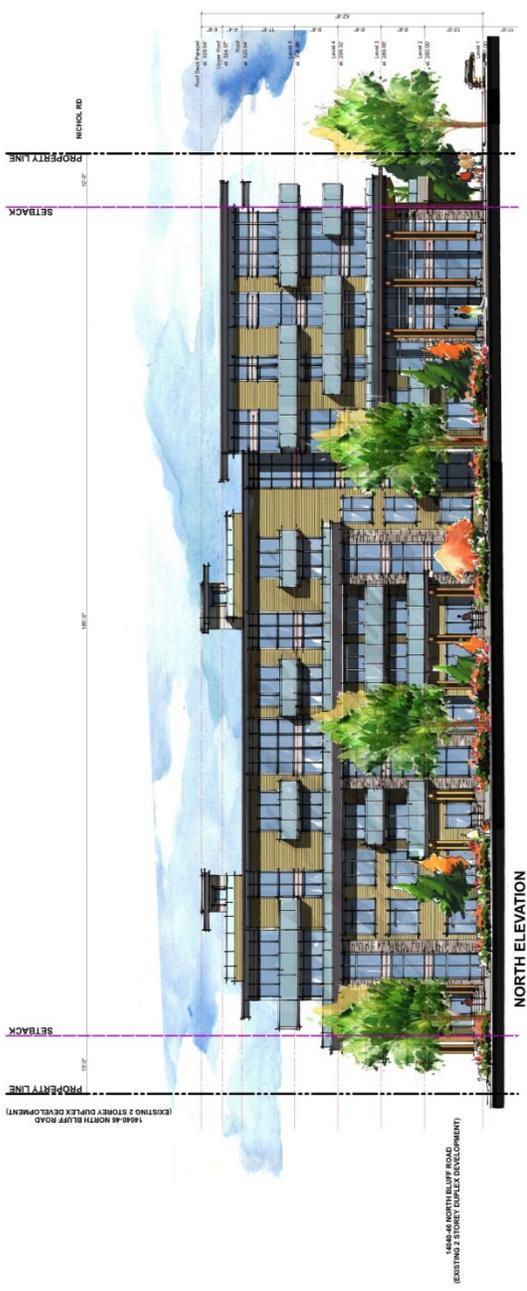
Graphic Site Plan

DATE: 04/14/2018
 SCALE: 1/8" = 1'-0"
 DRAWN BY: [Name]
 CHECKED BY: [Name]

A-1.011



INTEGRA ARCHITECTURE, INC.
 145 WEST PARKER STREET
 WASHINGTON, BC V8B 1T5
 T 604.686.4229 F 604.686.4276
 info@integra-arch.com
 www.integra-arch.com



TEXOR
 RESIDENTIAL DEVELOPMENT
 1556 NICHOL RD
 WITLIE (LOCAL 62)
 ELEVATIONS
 1467 (1466-46)
 1468 (1466-46)
 2022 = 1'-0"
 Oct 04 2018
 15a
A-4.001



INTEGRA ARCHITECTURE, INC.
 145 WEST PENNSLER STREET
 WACO, TEXAS 76710
 T 817.688.4229 F 817.688.4276
 info@intgra-arch.com
 www.intgra-arch.com



EAST ELEVATION



WEST ELEVATION

(DATE) (SCALE) (SHEET)
TEXOR
 RESIDENTIAL DEVELOPMENT
 1556 N. COLLETT RD
 WACO, TEXAS 76710
 (DATE) (SCALE) (SHEET)
Elevations
 14027 (DATE) (SCALE)
 2022" = 1" = 0" (DATE)
 Oct 04 2018 (DATE)
 15a (DATE)
A-4.011

7.57 CD-57 COMPREHENSIVE DEVELOPMENT ZONE (Finlay/Russell)

INTENT

The intent of this zone is to accommodate the development of a mixed-use development on a site of approximately 5,290.4 square metres (1.3 acres) in area.

1. Permitted Uses:
 - (a) *multi-unit residential use*
 - (b) *retail service group 1 use*
 - (c) *medical or dental clinic*
 - (d) *child care centre use* in accordance with the provisions of section 5.1.1
 - (e) *accessory home occupation use* in accordance with the provisions of section 5.3 and that does not involve clients directly accessing the *principal building*
2. Location of Permitted Uses:
 - (a) *retail service group 1 uses, medical or dental clinics, and child care centre uses* shall be located on the first or second storey of the *principal building*
 - (b) *multi-unit residential uses* shall be located above the first two storeys of the *principal building*
 - (c) an *accessory home occupation use* may be located within a *dwelling unit*.
3. Lot Coverage:
 - (a) *lot coverage* shall not exceed 82%
4. Density:
 - (a) Maximum *gross floor area* shall not exceed 24,145 square metres, and the maximum number of *dwelling units* shall not exceed 126, comprised as follows:
 - (i) **BASE DENSITY:** The maximum *gross floor area* shall not exceed 9,822 square metres, and the maximum number of dwelling units shall not exceed 57 units
 - (ii) **ADDITIONAL (BONUS) DENSITY:** Where a contribution of \$2,210,000 has been provided to the Community Amenity Reserve Fund to assist with the provision of the amenities in the following table, and a housing agreement has been entered into and filed with the Land Title Office on the subject real property to secure sixteen (16) units with a minimum aggregate 1,363.6 square metres (14,678 square feet) *residential floor area* as rental tenure for the life of the building, the maximum *gross floor area* shall not exceed 24,145 square metres, and the maximum number of dwelling units shall not exceed 126 units

#	Amenity
1	New public open space and walkways
2	Improvement of existing open space and walkways
3	Public art
4	Waterfront improvement, including civic parking facilities
5	Special needs or non-market affordable housing
6	People movement infrastructure to link Uptown to the Waterfront

The amenity must be provided in accordance with an amenity agreement and a section 219 covenant delivered by the owner of the subject real property to secure the amenity

5. Building Height:

- (a) The *principal building* shall not exceed 143.9 metres geodetic

6. Siting Requirements:

- (a) Minimum setbacks are as follows:
- (i) Setback from front (south) lot line = 3.04 metres
 - (ii) Setback from rear (north) lot line = 0.00 metres
 - (iii) Setback from exterior side (west) lot line = 1.85 metres
 - (iv) Setback from interior side (east) lot line = 6.09 metres
- (b) Notwithstanding the above, balconies may encroach by up to 2.57 metres into the required front (south) lot line setback and 1.15 metres into the required interior side (east) lot line setback

7. Parking:

Parking shall be provided in accordance with Section 4.14, with the minimum total number of 349 spaces required as follows:

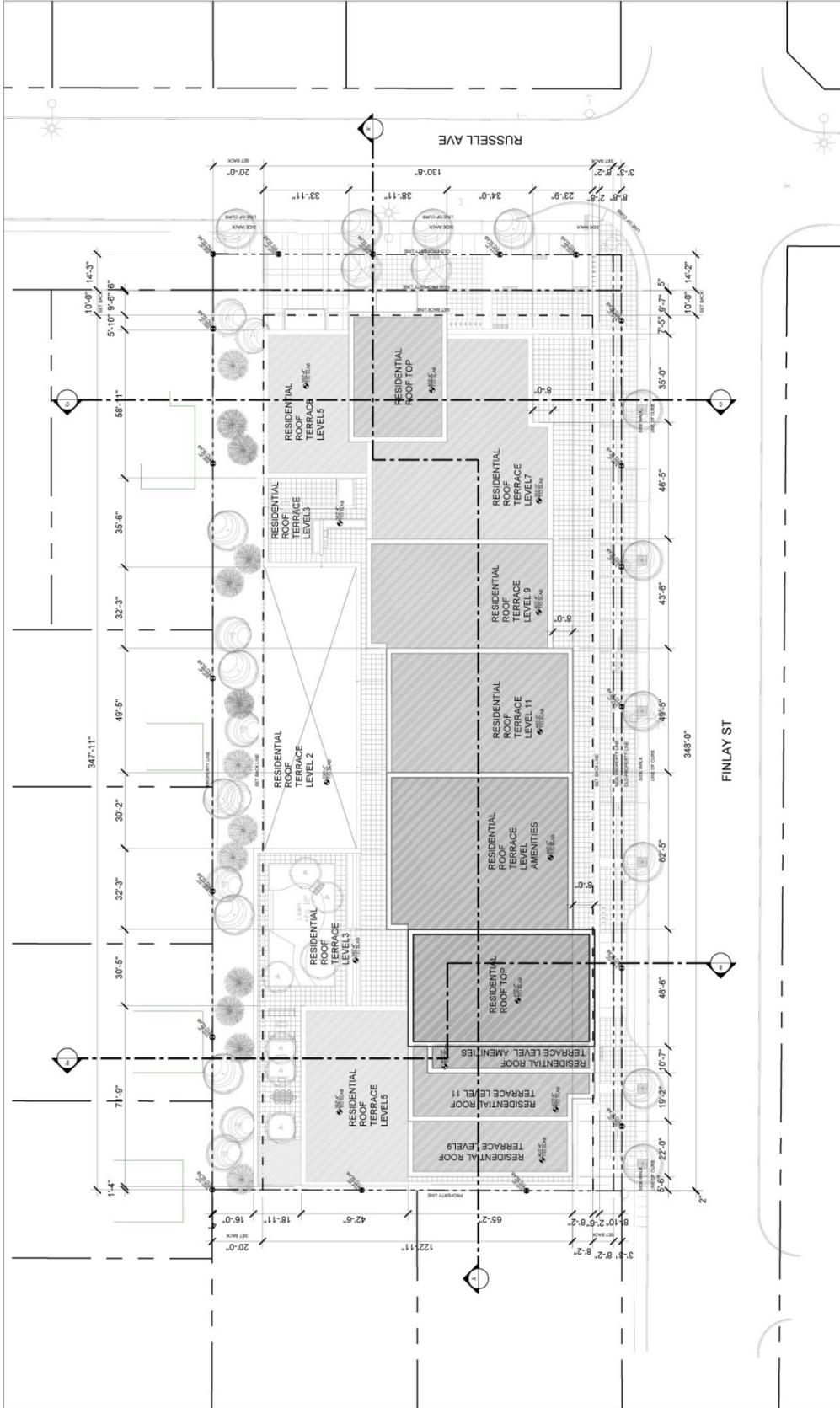
- (a) A minimum of 179 spaces shall be provided for the residential *dwelling units*
- (b) A minimum of 40 spaces shall be provided for visitors and marked as ‘visitor’
- (c) A minimum of 130 spaces shall be provided for the *retail service group 1 uses, medical or dental clinic* and the *child care centre uses*
- (d) A minimum of eight (8) of the required 349 spaces shall be provided for disabled persons parking and shall be clearly marked in accordance with B.C. Building Code requirements
- (e) Where a *child care centre use* is operating on the property, a minimum of two (2) of the required 349 spaces shall be provided for *child care centre use* on the ground floor level and shall be clearly marked

8. Bicycle Parking:

Bicycle parking shall be provided in accordance with Section 4.16, with the minimum number of spaces required as follows:

- (a) A minimum of 91 Class I spaces shall be provided

- (b) A minimum of 19 Class II spaces shall be provided
9. Loading:
- (a) One (1) loading zone shall be provided for residential use and three (3) loading zones shall be required for commercial use in accordance with Section 4.15
10. General:
- (a) Development in this zone that includes the additional (bonus) density referred to in Section 4 shall substantially conform to the Plans prepared by Chris Dikeakos Architects Inc. dated January 25, 2017 that are attached hereto and on file at the City of White Rock
 - (b) Development in this zone that does not include the additional (bonus) density referred to in Section 3 shall be required to obtain a new Major Development Permit



A009



ISSUED FOR CITY REVIEW
January 25, 2017

ROOF PLAN
1/32" = 1'-0"

MIXED-USE DEVELOPMENT
1556 FINLAY ST. WHITE ROCK, BC





- 1 WINDOW FRAME & GUARDRAIL SUPPORTS
COLOUR: GREY VELVET
- 2 GLASS DOUBLE GLAZED WINDOWS - CLEAR GLASS WITH LOW-E COATING
- 3 SPANDREL GLASS: 6MM CLEAR TEMPERED WRROLL COAT CERAMIC TINT 24 PAINTED COLOUR: ANTI-GLARE GREY
- 4 SPANDREL GLASS: 4MM CLEAR ANNEALED CAN VITRUM 6MM CLEAR TEMPERED SURFACE COLOUR: LIGHT YELLOW
- 5 ARCHITECTURAL FINISH CONCRETE PAINTED:
COLOUR BENJAMIN MOORE WHITE DIAMOND - 2121-690
- 6 ARCHITECTURAL FINISH CONCRETE PAINTED:
COLOUR BENJAMIN MOORE PULSAR HAZE - 2122-50
- 7 SIMULATED WOOD AT UNDERSIDE OF THE OFFICE SOFFIT
- 8 NATURAL STONE: STONE TILE - LOIRE HONED, LIMESTONE MORING
- 9 NATURAL STONE: STONE TILE - BLACK SHADOW HONED, MARBLE
- 10 ARCHITECTURAL LOUVERS
- 11 NATURAL STONE: HENNER SPILT FACE GREY (EAST WALL)
- 12 LANDSCAPED WALL

CHRIS DIKEAKOS
ARCHITECTS INC.

MIXED-USE DEVELOPMENT
1556 FINLAY ST. WHITE ROCK, BC

WEST ELEVATION
SCALE: 1/16" = 1"

ISSUED FOR CITY REVIEW
January 25, 2017

OVIEDO DEVELOPMENTS

A300



- 1 WINDOW FRAME & GUARDRAIL SUPPORTS
COLOUR: GREY VELVET
- 2 GLASS DOUBLE GLAZED WINDOWS - CLEAR GLASS WITH LOW E COATING
- 3 SPANDREL GLASS: 6MM CLEAR TEMPERED W/ROLL COAT CERAMIC FRI 42 PAINTED COLOUR: BRUSSELS GREY
- 4 SPANDREL GLASS: 6MM CLEAR ANNEALED CW VITRUM 6MM CLEAR TEMPERED SURFACE COLOUR: LIGHT YELLOW
- 5 ARCHITECTURAL FINISH CONCRETE PAINTED: COLOUR BENJAMIN MOORE WHITE DIAMOND - 2121 480
- 6 ARCHITECTURAL FINISH CONCRETE PAINTED: COLOUR BENJAMIN MOORE PUGNIM HAZE - 2132 50
- 7 SIMULATED WOOD AT UNDERSIDE OF THE OFFICE SOFFIT
- 8 NATURAL STONE: STONE TILE - LORE HONED, LIMESTONE MORING
- 9 NATURAL STONE: STONE TILE - BLACK SHADOW HONED, MARBLE
- 10 ARCHITECTURAL LOWERS
- 11 NATURAL STONE: VENEER SPLIT FACE GREY (EAST WALL)
- 12 LANDSCAPED WALL

MIXED-USE DEVELOPMENT
1556 FINLAY ST., WHITE ROCK, BC

CHRIS DIKEAKOS ARCHITECTS INC.

SOUTH ELEVATION
SCALE: 1/16" = 1"

ISSUED FOR CITY REVIEW
January 25, 2017

OVIEDO DEVELOPMENTS

A301



- 1 WINDOW FRAME & GUARDRAIL SUPPORTS
COLOUR: GREY VELVET
- 2 GLASS: DOUBLE GLAZED WINDOWS - CLEAR GLASS WITH LOWE COATING
- 3 SPANDREL GLASS: 6MM CLEAR TEMPERED WROOL COAT CERAMIC FRT 47 PAINTED COLOUR: ANTI-GLOSS GREY
- 4 SPANDREL GLASS: 4MM CLEAR ANNEALED CW VITRUM 6MM CLEAR TEMPERED SURFACE COLOUR: LIGHT YELLOW
- 5 ARCHITECTURAL FINISH CONCRETE PAINTED COLOUR: BENJAMIN MOORE WHITE DIAMOND - 2121-60
- 6 INTERIOR FINISH CONCRETE PAINTED COLOUR: BENJAMIN MOORE PULGRI MAZE - 2132-50
- 7 SIMULATED WOOD AT UNDERSIDE OF THE OFFICE SOFFIT
- 8 NATURAL STONE: STONE TILE - LOIRE HONED LIMESTONE MORIAC
- 9 NATURAL STONE: STONE TILE - BLACK SHADOW HONED, MARBLE
- 10 ARCHITECTURAL LOUVERS
- 11 NATURAL STONE: HENNER SPILT FACE GREY (EAST WALL)
- 12 LANDSCAPED WALL



ISSUED FOR CITY REVIEW
January 25, 2017

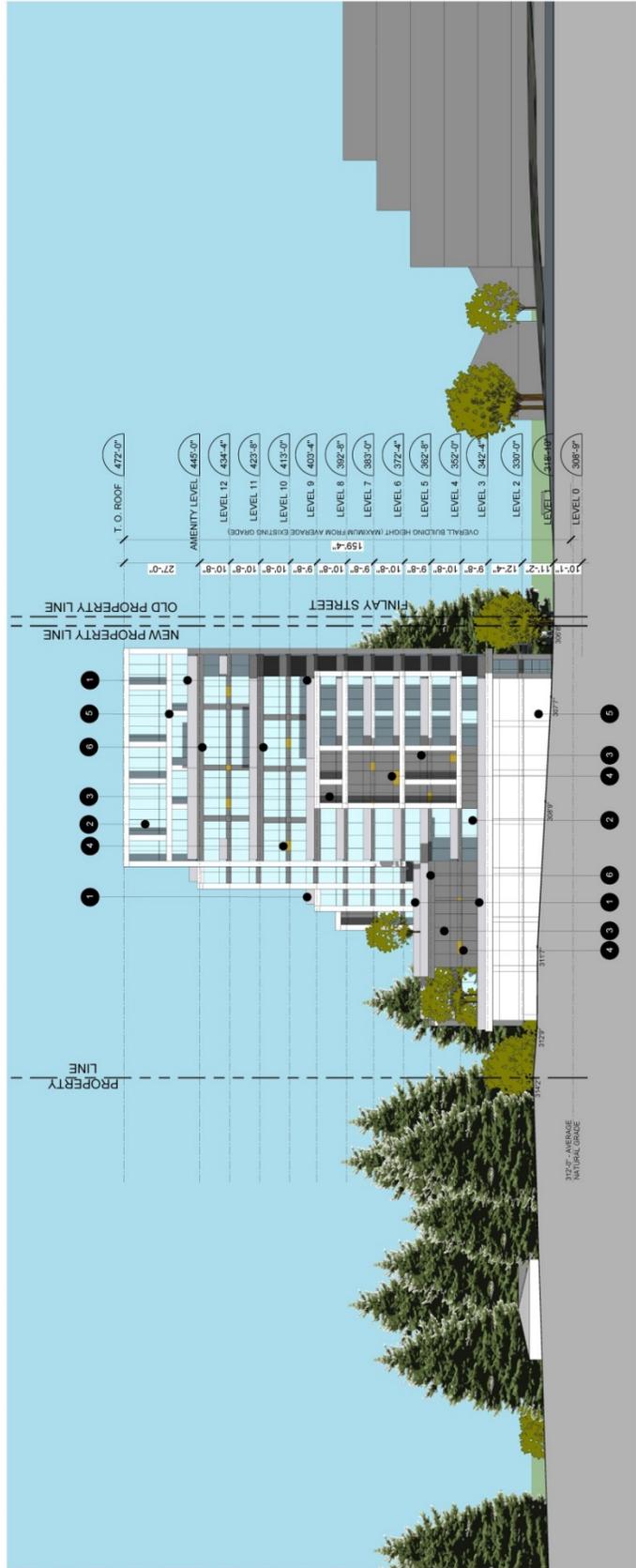
EAST ELEVATION
SCALE: 1/16" = 1'

MIXED-USE DEVELOPMENT
1556 FINLAY ST. WHITE ROCK, BC

A302



CHRIS DIKEAKOS ARCHITECTS INC.



- 1 WINDOW FRAME & GUARDRAIL SUPPORTS
COLOUR: GREY VELVET
- 2 GLASS DOUBLE GLAZED WINDOWS - CLEAR GLASS WITH LOW-E COATING
- 3 SPANDREL GLASS: 6MM CLEAR TEMPERED WHOLL COAT CERAMIC FRIEZE PAINTED COLOUR: FROSTED GREY
- 4 SPANDREL GLASS: 6MM CLEAR ANNEALED CW VITRUM 6MM CLEAR TEMPERED SURFACE COLOUR: LIGHT YELLOW
- 5 ARCHITECTURAL FINISH CONCRETE PAINTED COLOUR BENJAMIN MOORE: WHITE DIAMOND - 2121-60
- 6 ARCHITECTURAL FINISH CONCRETE PAINTED COLOUR BENJAMIN MOORE: PULGIR MAZE - 2133-50
- 7 SIMULATED WOOD AT UNDERSIDE OF THE OFFICE SOFFIT
- 8 NATURAL STONE: STONE TILE - LOIRE HONED, LIMESTONE, MOHIC
- 9 NATURAL STONE: STONE TILE - BLACK SHADOW HONED, MARBLE
- 10 ARCHITECTURAL LOUVERS
- 11 NATURAL STONE: VENEER SPIT FACE GREY (EAST WALL)
- 12 LANDSCAPED WALL

MIXED-USE DEVELOPMENT
1556 FINLAY ST., WHITE ROCK, BC

NORTH ELEVATION
SCALE: 1/16" = 1'

ISSUED FOR CITY REVIEW
January 25, 2017

OVIEDO DEVELOPMENTS

A303



CHRIS DIKEAKOS ARCHITECTS INC.

7.58 CD-58 COMPREHENSIVE DEVELOPMENT ZONE (1350 Johnston Road)

INTENT

The intent of this zone is to accommodate the development of a mixed-use development on a site of approximately 3,003.7 square metres (0.74 acres) in area.

1. Permitted Uses:

- (a) *multi-unit residential use*
- (b) *retail service group 1 use*
- (c) *licensed establishments, including liquor primary, food primary, agent store, u-brew and u-vin*
- (d) *medical or dental clinic*
- (e) *accessory home occupation use in accordance with the provisions of section 5.3 and that does not involve clients directly accessing the principal building*

2. Lot Coverage:

- (a) *lot coverage shall not exceed 89.5%*

3. Density:

Maximum *gross floor area* shall not exceed 14,409.81 square metres, with a minimum *commercial floor area* of 917.3 square metres, and the maximum number of *dwelling units* shall not exceed 97, comprised as follows:

- (a) **BASE DENSITY:** The maximum *gross floor area* shall not exceed 5,256.5 square metres, and the maximum number of *dwelling units* shall not exceed 35 units
- (b) **ADDITIONAL (BONUS) DENSITY:** Where a contribution of \$2,880,000 has been provided to the Community Amenity Reserve Fund to assist with the provision of the amenities in the following table, the maximum *gross floor area* shall not exceed 14,409.81 square metres, with a minimum of 917.3 square metres of *commercial floor area*, and the maximum number of *dwelling units* shall not exceed 97 units

#	Amenity
1	New public open space and walkways
2	Improvement of existing open space and walkways
3	Public art
4	Waterfront improvement, including civic parking facilities
5	Special needs or non-market affordable housing
6	People movement infrastructure to link Uptown to the Waterfront

The amenity must be provided in accordance with an amenity agreement and a section 219 covenant delivered by the owner of the subject real property to secure the amenity

4. Building Height:

- (a) The *principal building* shall not exceed 145.75 metres geodetic
- (b) The *principal building* shall not exceed 12 *storeys*.

5. Siting Requirements:

- (a) Minimum setbacks are as follows:
 - (i) Setback from front (west) lot line = 3.3 metres
 - (ii) Setback from rear (east) lot line = 0.0 metres
 - (iii) Setback from interior side (north) lot line = 0.0 metres
 - (iv) Setback from interior side (south) lot line = 0.0 metres
- (b) Notwithstanding the above, the required front (west) lot line setback may be reduced to 0.6 metres for balconies, attached and detached canopies, trellises, and overhangs

6. Ancillary Buildings and Structures:

- (a) One detached, unenclosed canopy structure with a maximum *height* of 3.5 metres is permitted in the front yard

7. Parking:

Parking shall be provided in accordance with Section 4.14, with the minimum total number of 247 spaces required as follows:

- (a) A minimum of 181 spaces shall be provided for the residential *dwelling units*
- (b) A minimum of 29 spaces shall be provided for visitors to the residential *dwelling units* and marked as 'visitor'
- (c) A minimum of 37 spaces shall be provided for the *retail service group 1 uses, licensed establishments and medical or dental clinic uses*
- (d) A minimum of 5 of the required 247 spaces shall be provided for disabled persons parking and shall be clearly marked in accordance with B.C. Building Code requirements

8. Bicycle Parking:

Bicycle parking shall be provided in accordance with Section 4.16, with the minimum number of spaces required as follows:

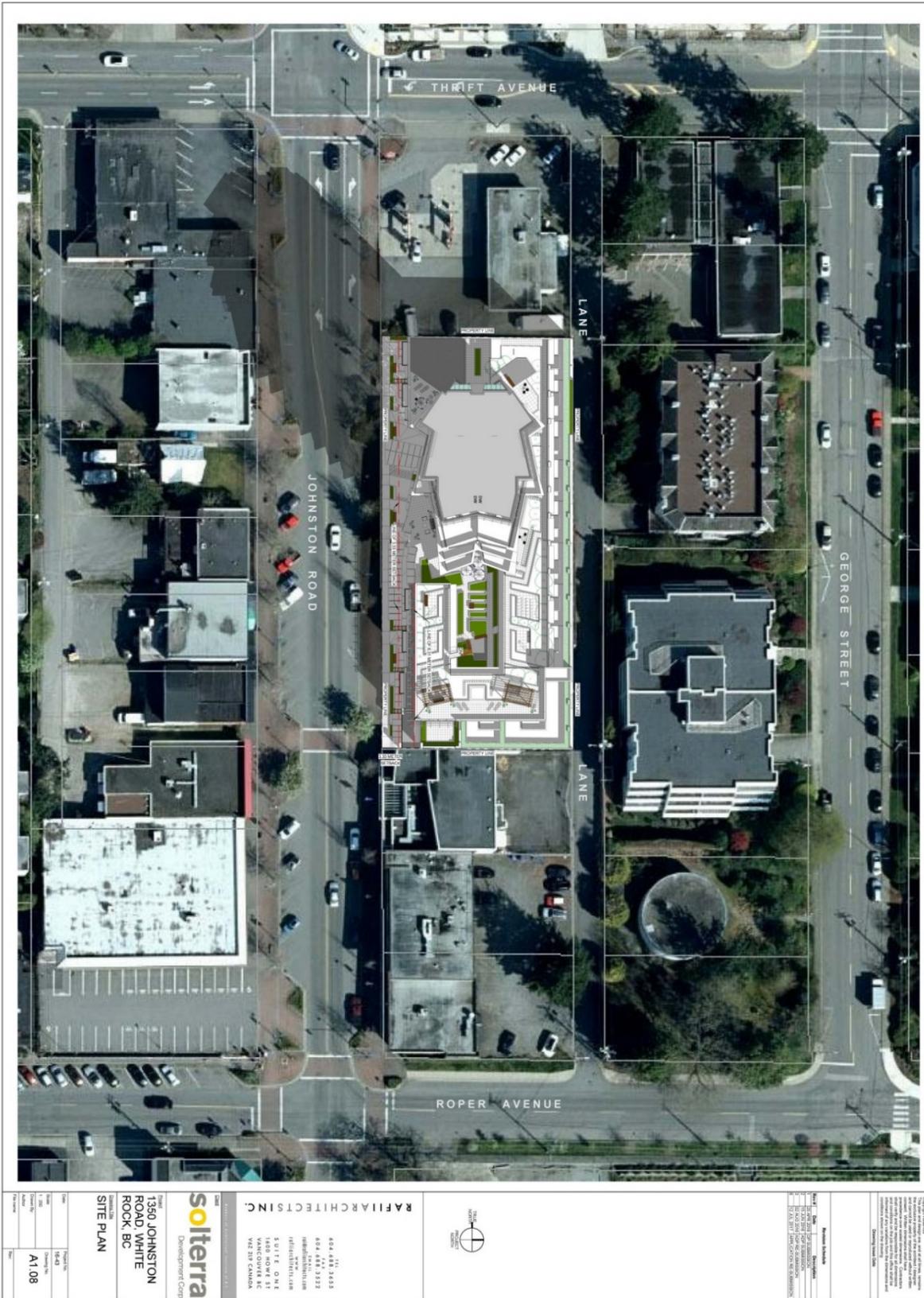
- (a) A minimum of 133 Class I spaces shall be provided
- (b) A minimum of 31 Class II spaces shall be provided

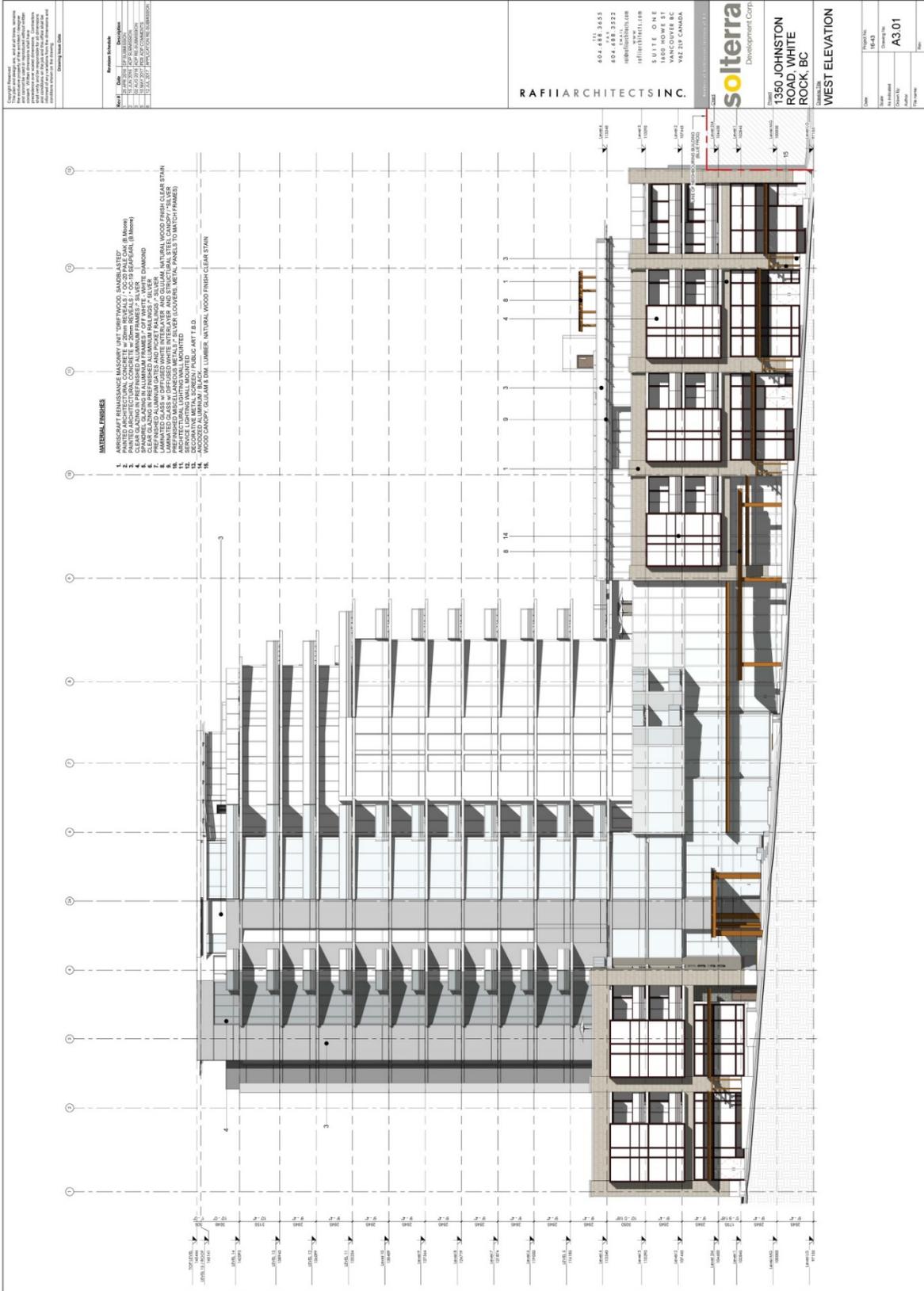
9. Loading:

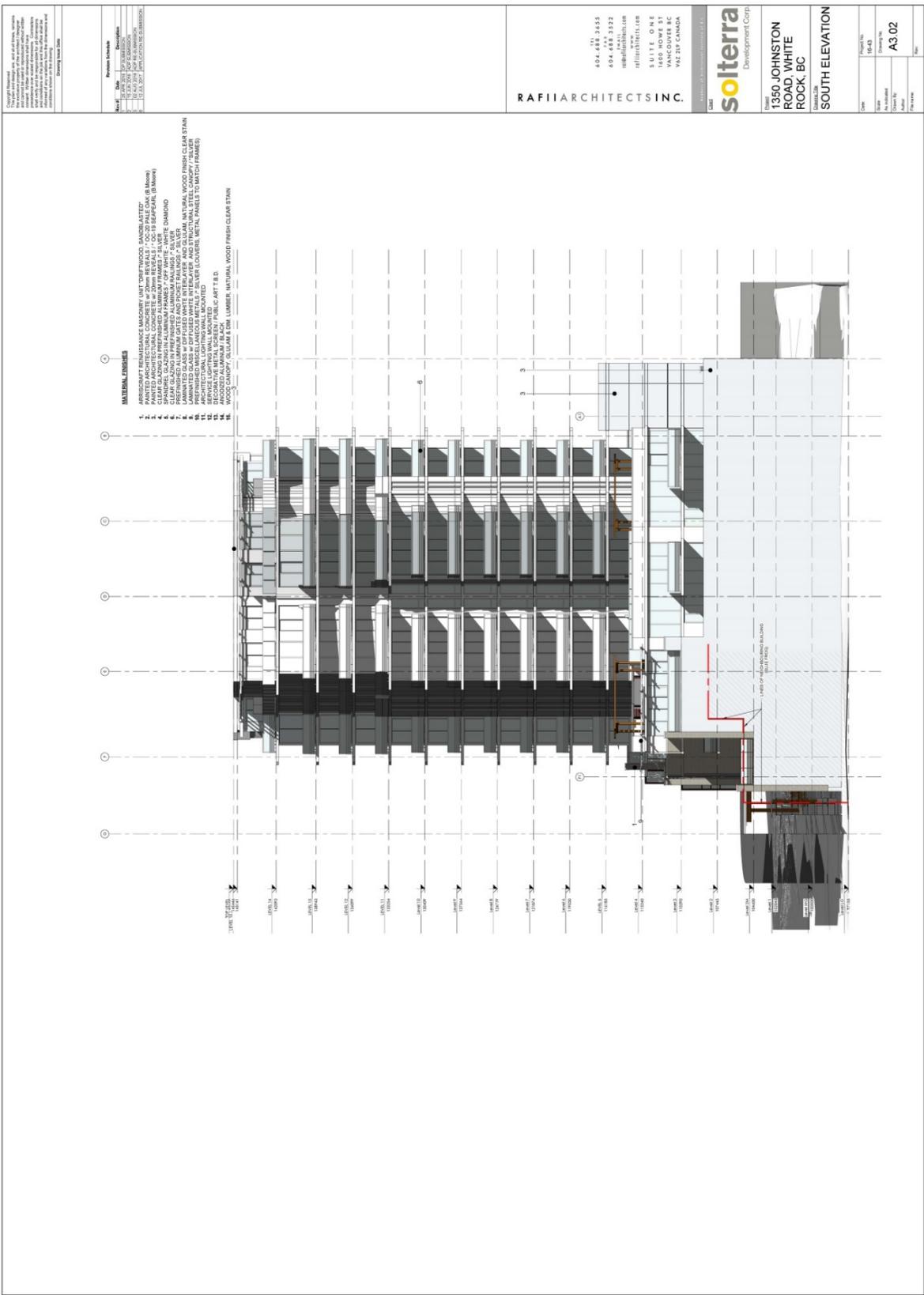
- (a) A total of 3 loading zones shall be provided for residential and commercial uses in accordance with Section 4.15

10. General:

- (a) Development in this zone that includes the additional (bonus) density referred to in Section 3 shall substantially conform to the Plans prepared by Rafii Architects Inc. dated July 12, 2017 that are attached hereto and on file at the City of White Rock
- (b) Notwithstanding (a), the building height of the principal building in this zone that includes the additional (bonus) density referred to in Section 3 shall be limited to the maximum geodetic height noted in section 4 (a) of this zone and as shown on the attached Plans, and the number of storeys in the principal building shall be limited to a maximum of 12.
- (c) A new Major Development Permit shall be required for development in this zone that does not include the additional (bonus) density referred to in Section 3.







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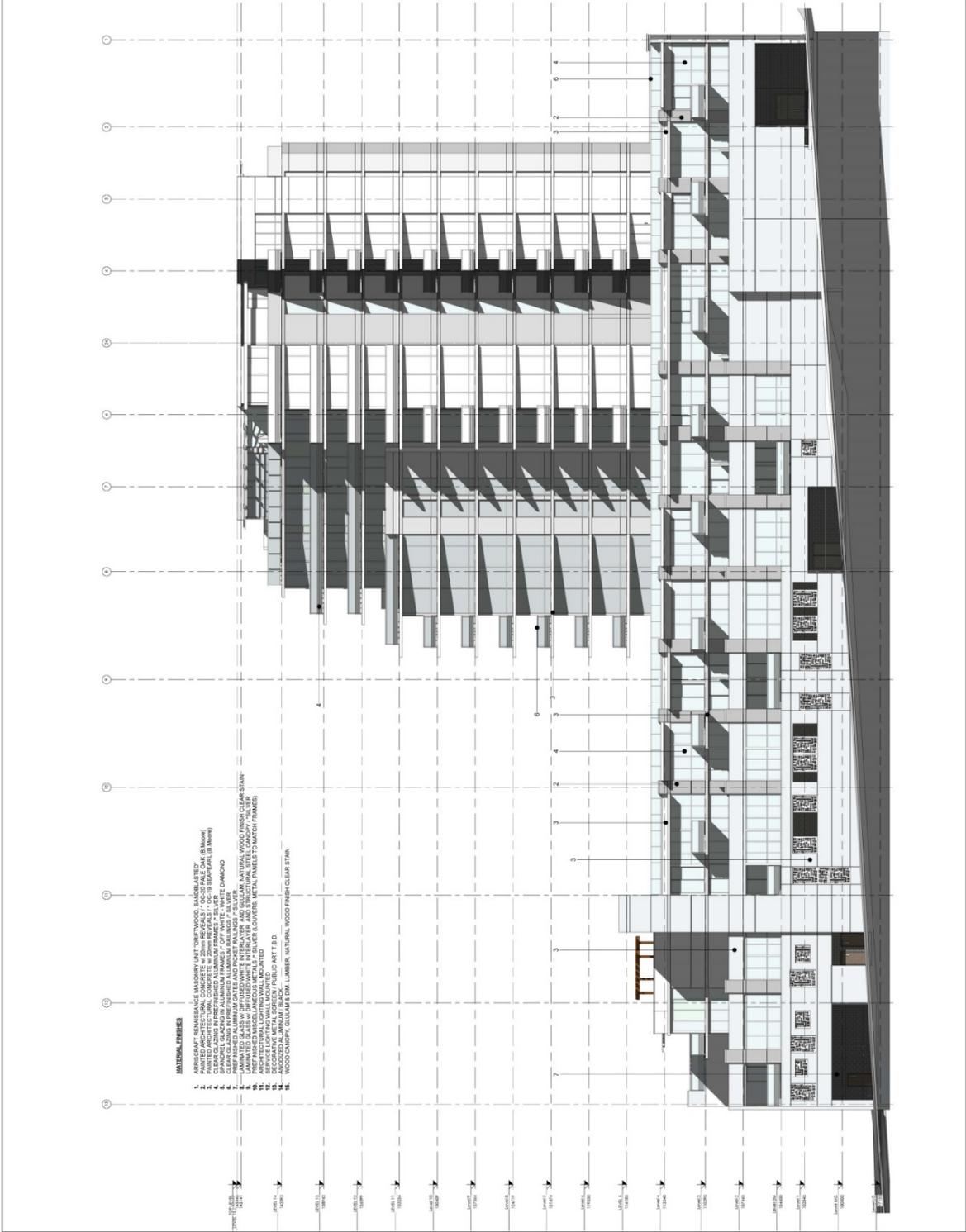
Project Details	
Project No.	2023-001
Client	SOITERRA DEVELOPMENT CORP.
Address	1350 JOHNSTON ROAD, WHITE ROCK, BC
Scale	1:100
Date	2023-08-15
Drawn By	J. RAFFI
Checked By	J. RAFFI
Approved By	J. RAFFI

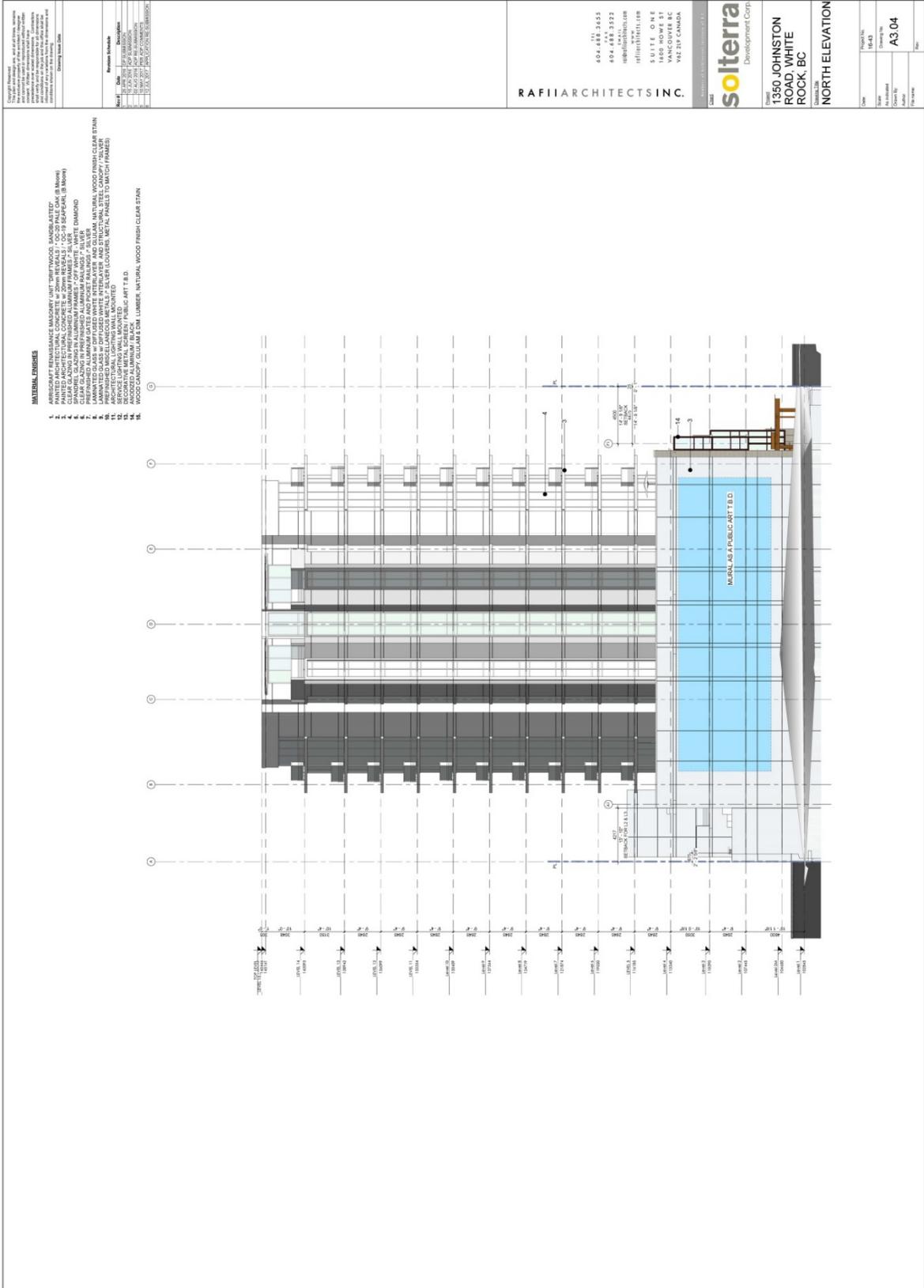
RAFFI ARCHITECTS INC.
 111
 604.688.3455
 604.688.3322
 info@raffiarchitects.com
 raffiarchitects.com
 SUITE 0101
 1180 BOWEN ST
 VANICUEN, BC V9A 2T9 CANADA

soiterra
 Development Corp.

1350 JOHNSTON ROAD, WHITE ROCK, BC
 EAST ELEVATION

Drawing Information	
Sheet No.	A3.03
Scale	1:100
Date	2023-08-15
Drawn By	J. RAFFI
Checked By	J. RAFFI
Approved By	J. RAFFI





7.59 CD-59 COMPREHENSIVE DEVELOPMENT ZONE (15241 Thrift Avenue)

INTENT

The intent of this zone is to accommodate the development of a multi-unit residential development on a site of approximately 2,451 square metres in area.

- 1. Permitted Uses:
 - (a) *multi-unit residential use*
 - (b) *accessory home occupation* use in accordance with the provisions of section 5.3 and that does not involve clients directly accessing the *principal building*

- 2. Lot Coverage:
 - (a) *lot coverage* shall not exceed 53%

- 3. Density:
 - (a) Maximum *gross floor area* shall not exceed 5.42 times the lot area, comprised as follows:
 - (i) **BASE DENSITY:** The maximum *gross floor area* shall not exceed 4.97 times the lot area
 - (ii) **ADDITIONAL (BONUS) DENSITY:** Where a contribution of \$352,038 has been provided to the Community Amenity Reserve Fund to assist with the provision of the amenities in the following table, the maximum *gross floor area* shall not exceed 5.42 times the lot area

#	Amenity
1	New public open space and walkways
2	Improvement of existing open space and walkways
3	Public art
4	Waterfront improvement, including civic parking facilities
5	Special needs or non-market affordable housing
6	People movement infrastructure to link Uptown to the Waterfront

The amenity must be provided in accordance with an amenity agreement and a section 219 covenant delivered by the owner of the subject real property to secure the amenity

- (b) The maximum number of *dwelling units* must not exceed 88

- 4. Building Height:
 - (a) The *principal building* shall not exceed a height of 154.85 metres geodetic

5. Siting Requirements:

- (a) Minimum setbacks are as follows:
 - (i) Setback from front (south) lot line = 3.12 metres
 - (ii) Setback from rear (north) lot line = 7.54 metres
 - (iii) Setback from exterior side (east) lot line = 2.48 metres
 - (iv) Setback from interior side (west) lot line = 6.36 metres
- (b) Notwithstanding the above, balconies may encroach by up to 1.60 metres into the required front (south) lot line setback, 1.57 metres into the required rear (north) lot line setback, 0.96 metres into the required exterior side (east) lot line setback, and 1.72 metres into the required interior side (west) lot line setback

6. Parking:

Parking shall be provided in accordance with Section 4.14, with the minimum number of spaces required as follows:

- (a) A minimum of 133 spaces shall be provided for the residential *dwelling units*
- (b) A minimum of 27 spaces shall be provided for visitors and marked as 'visitor'
- (c) A minimum of five (5) of the required 160 spaces (residential and visitor) shall be provided for disabled persons parking and shall be clearly marked in accordance with B.C. Building Code requirements

7. Bicycle Parking:

Bicycle parking shall be provided in accordance with Section 4.16, with the minimum number of spaces required as follows:

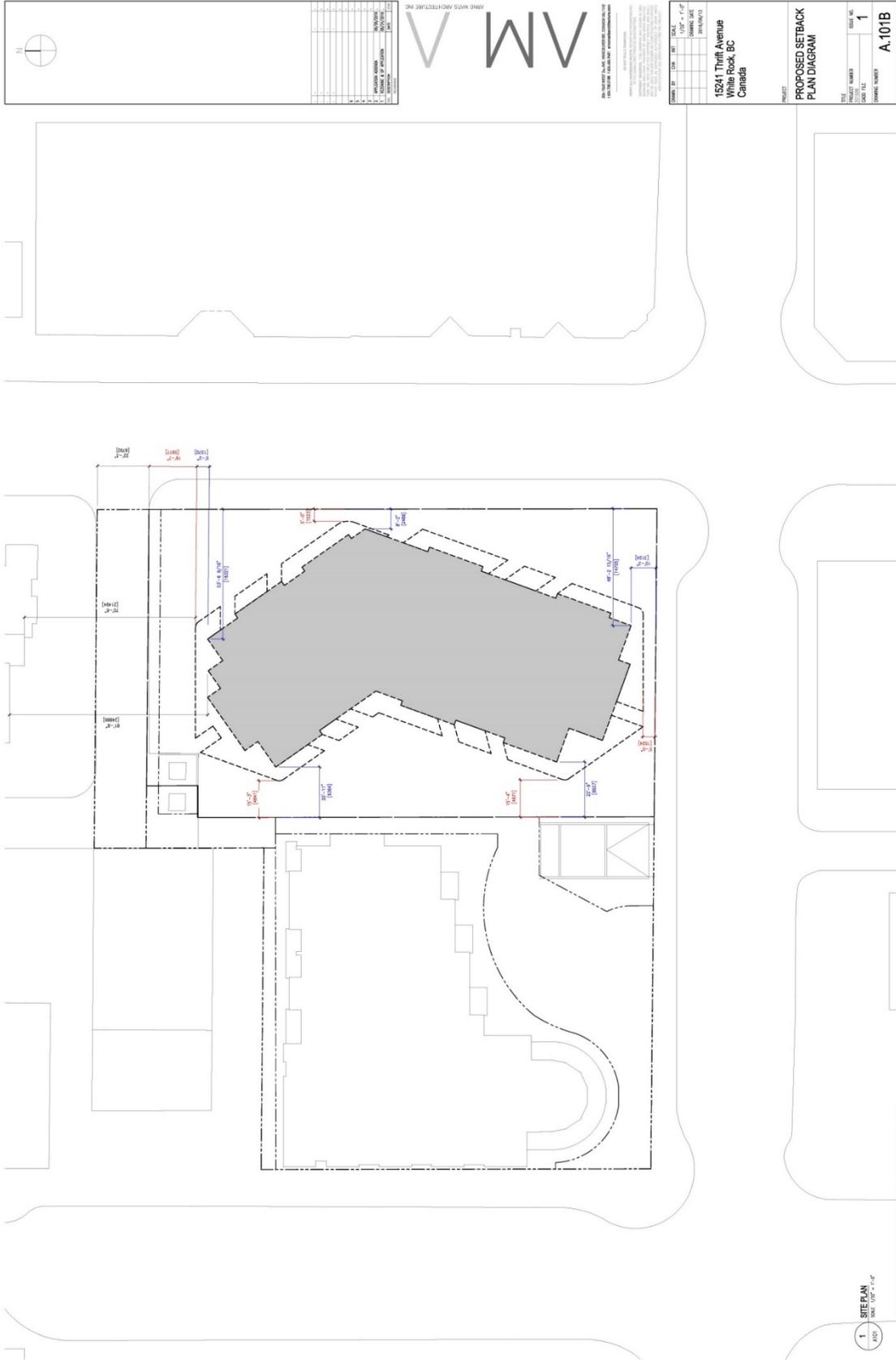
- (a) A minimum of 91 Class I spaces shall be provided
- (b) A minimum of 19 Class II spaces shall be provided

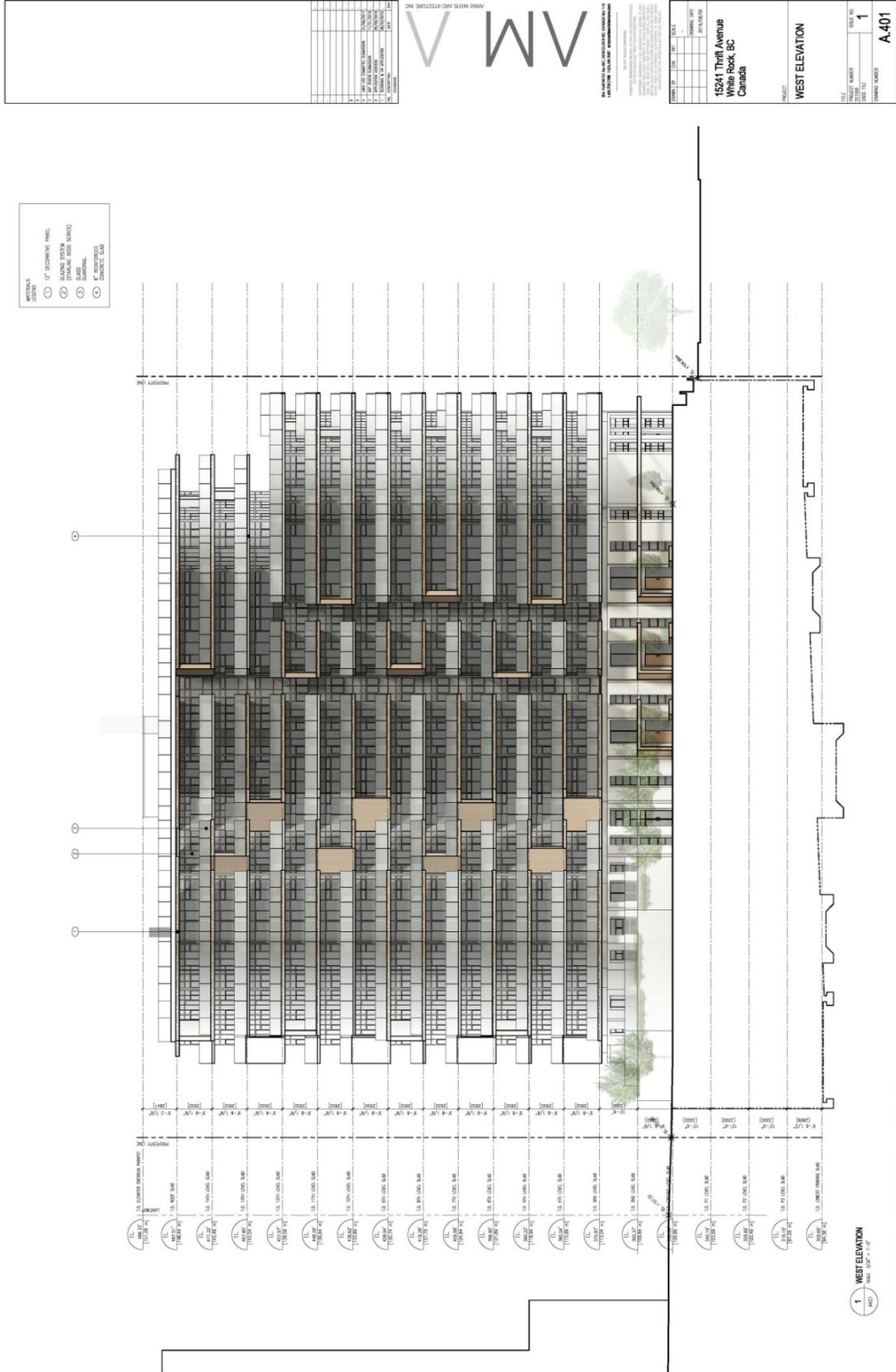
8. Loading:

- (a) One (1) loading zone shall be provided for residential use in accordance with Section 4.15

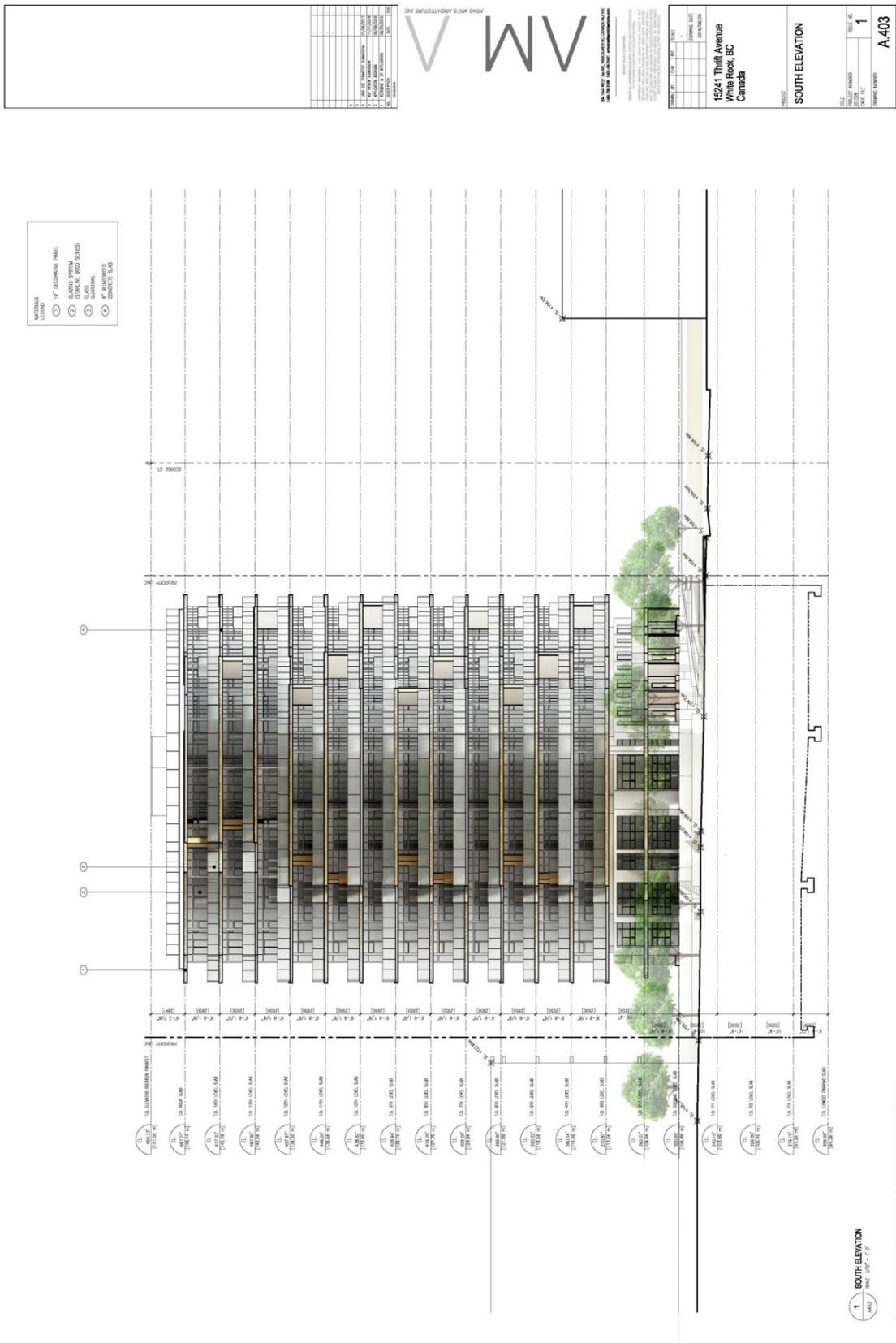
9. General:

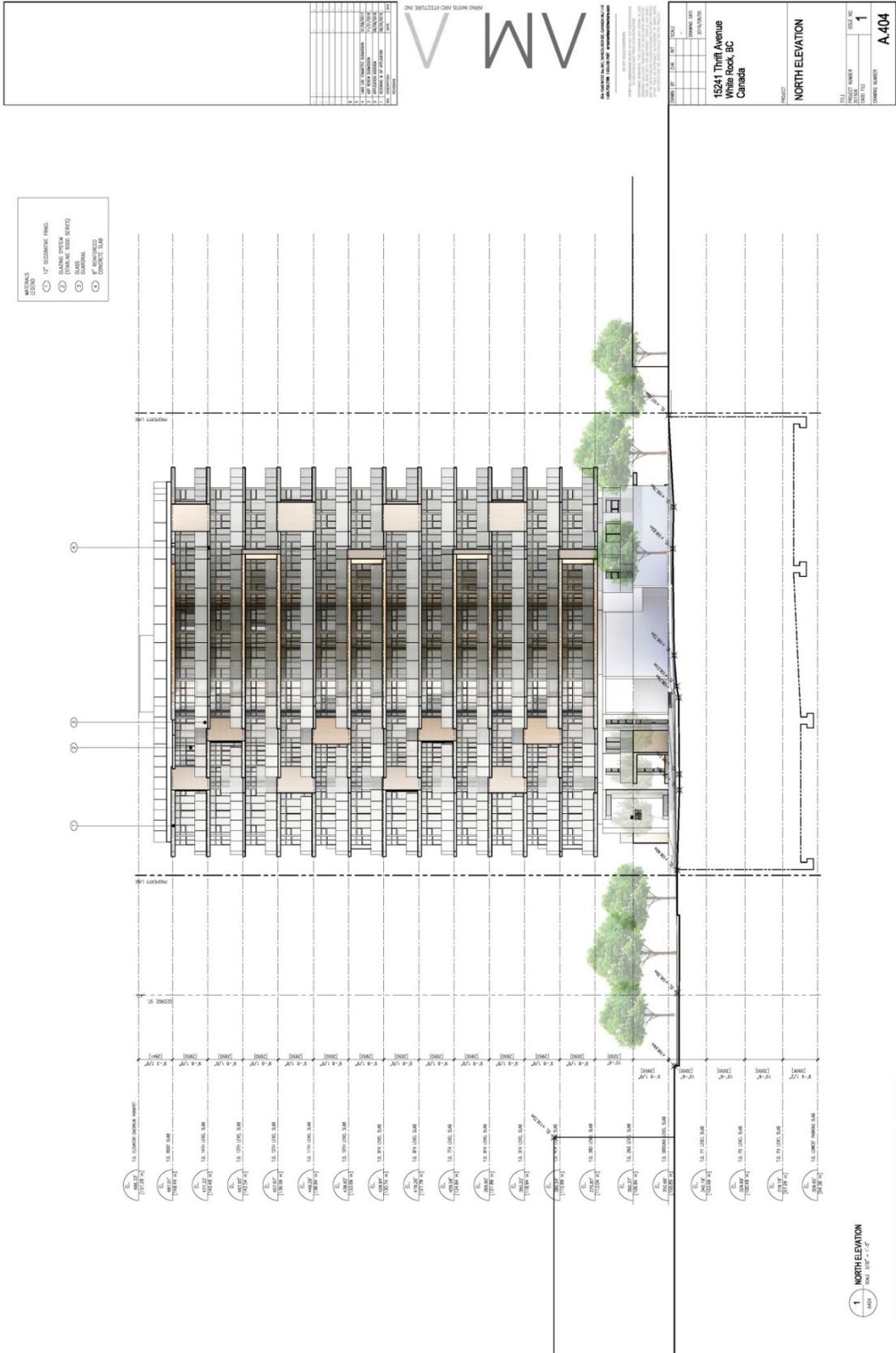
- (a) Development in this zone that includes the additional (bonus) density referred to in Section 3 shall substantially conform to the Plans prepared by Arno Matis Architecture Inc. dated January 6, 2017 that are attached hereto and on file at the City of White Rock
- (b) Development in this zone that does not include the additional (bonus) density referred to in Section 3 shall be required to obtain a new Major Development Permit











7.60 CD-60 COMPREHENSIVE DEVELOPMENT ZONE (1310 Johnston Road)

INTENT

The intent of this zone is to accommodate the development of a mixed-use development on a site of approximately 1,516.1 square metres (0.375 acres) in area.

1. Permitted Uses:
 - (a) *multi-unit residential use*
 - (b) *retail service group 1 use*
 - (c) *licensed establishments, including liquor primary, food primary, agent store, u-brew and u-vin*
 - (d) *medical or dental clinic*
 - (e) *accessory home occupation use in accordance with the provisions of section 5.3 and that does not involve clients directly accessing the principal building*

2. Lot Coverage:
 - (a) *lot coverage shall not exceed 86.8%*

3. Density:
 - (a) Maximum *gross floor area* shall not exceed 7,282.0 square metres, with a minimum *commercial floor area* of 431.5 square metres, and the maximum number of *dwelling units* shall not exceed 30, comprised as follows:
 - (i) **BASE DENSITY:** The maximum *gross floor area* shall not exceed 2,653.1 square metres, and the maximum number of dwelling units shall not exceed 11 units

 - (ii) **ADDITIONAL (BONUS) DENSITY:** Where a contribution of \$1,590,000 has been provided to the Community Amenity Reserve Fund to assist with the provision of the amenities in the following table, the maximum *gross floor area* shall not exceed 7,282.0 square metres, with a minimum of 431.5 square metres of *commercial floor area*, and the maximum number of dwelling units shall not exceed 30 units

#	Amenity
1	New public open space and walkways
2	Improvement of existing open space and walkways
3	Public art
4	Waterfront improvement, including civic parking facilities
5	Special needs or non-market affordable housing
6	People movement infrastructure to link Uptown to the Waterfront

The amenity must be provided in accordance with an amenity agreement and a section 219 covenant delivered by the owner of the subject real property to secure the amenity

4. Building Height:

- (a) The *principal building* shall not exceed 140.2 metres geodetic

5. Siting Requirements:

- (a) Minimum setbacks are as follows:
 - (i) Setback from front (south) lot line = 1.7 metres
 - (ii) Setback from rear (north) lot line = 0.0 metres
 - (iii) Setback from interior side (east) lot line = 0.0 metres
 - (iv) Setback from exterior side (west) lot line = 1.8 metres
- (b) Notwithstanding the above, deck cornices may encroach by up to 0.36 metres into the required front (south) and exterior side (west) lot line setbacks

6. Parking:

Parking shall be provided in accordance with Section 4.14, with the minimum total number of 105 spaces required as follows:

- (a) A minimum of 81 spaces shall be provided for the residential *dwelling units*
- (b) A minimum of 9 spaces shall be provided for visitors to the residential *dwelling units* and marked as 'visitor'
- (c) A minimum of 15 spaces shall be provided for the *retail service group 1 uses, licensed establishments and medical or dental clinic uses*
- (d) A minimum of two (2) of the required 105 spaces shall be provided for disabled persons parking and shall be clearly marked in accordance with B.C. Building Code requirements

7. Bicycle Parking:

Bicycle parking shall be provided in accordance with Section 4.16, with the minimum number of spaces required as follows:

- (a) A minimum of 48 Class I spaces shall be provided
- (b) A minimum of 2 Class II spaces shall be provided

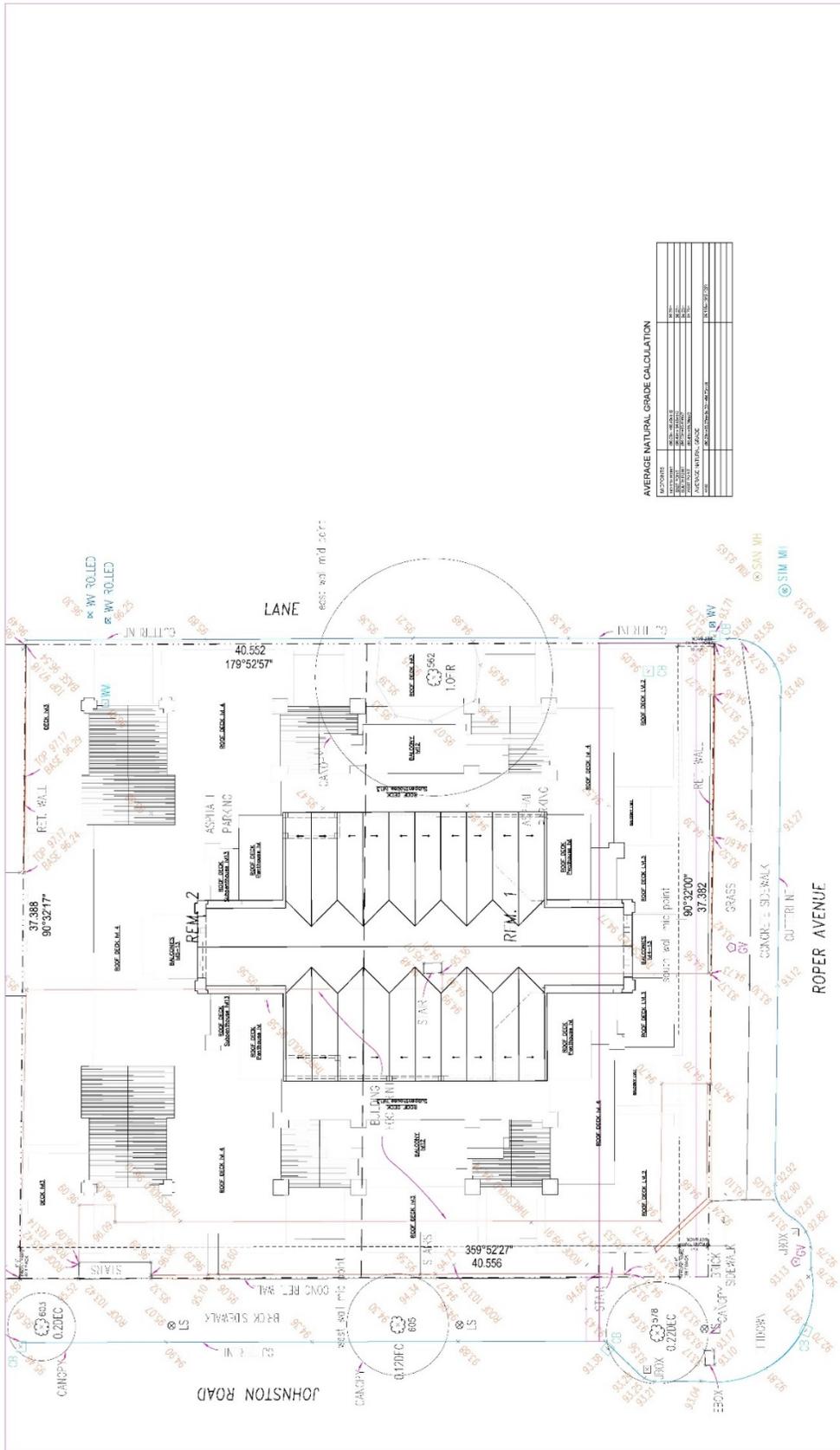
8. Loading:

- (a) One (1) off-street loading space shall be provided for the residential use and commercial use, and shall meet the loading space dimension requirements accordance with Section 4.15.3

9. General:

- (a) Development in this zone that includes the additional (bonus) density referred to in Section 3 shall substantially conform to the Plans prepared by Stantec Architecture dated July 13, 2017 that are attached hereto and on file at the City of White Rock

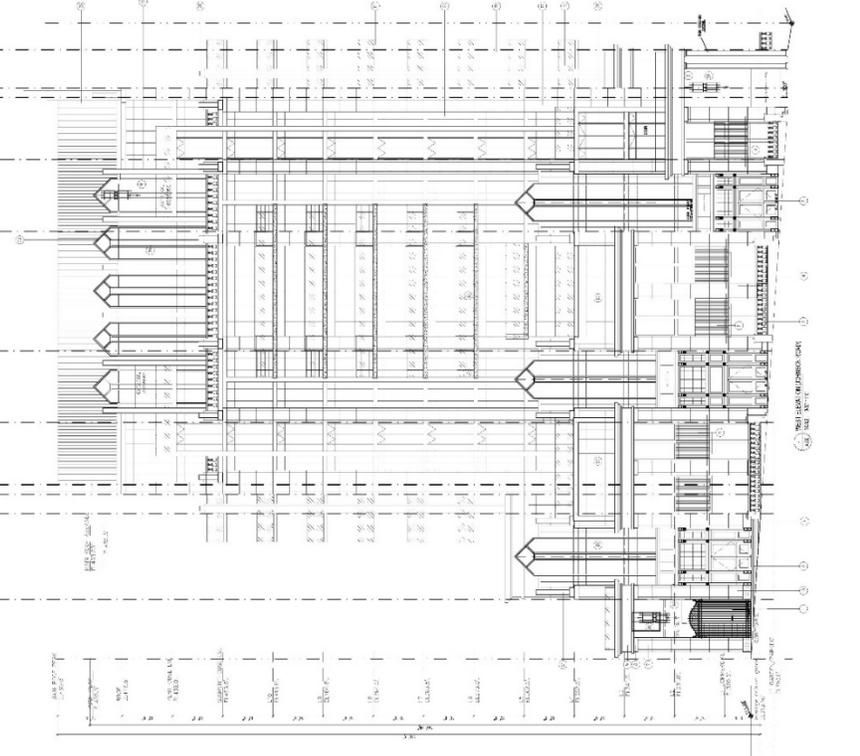
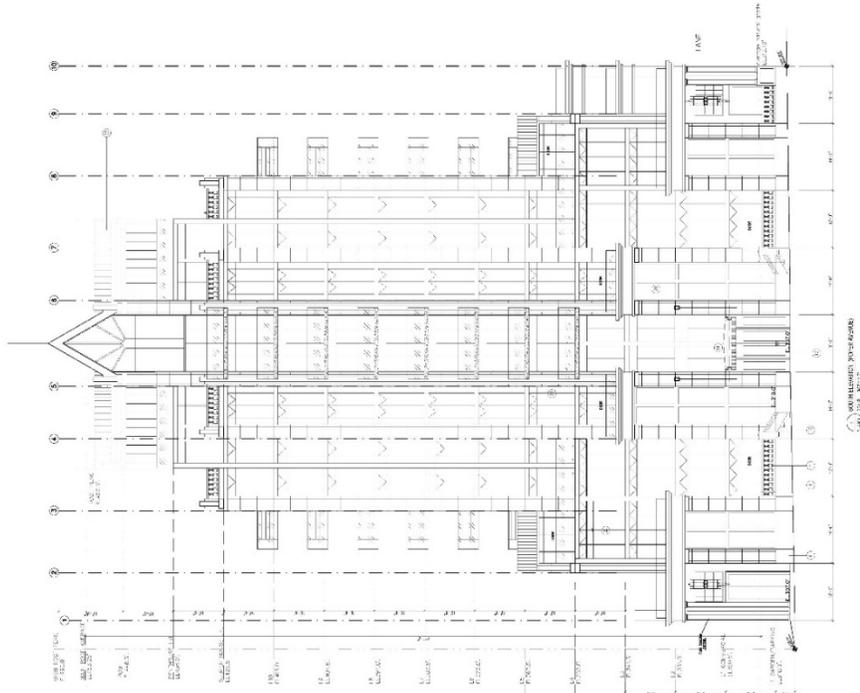
- (b) Development in this zone that does not include the additional (bonus) density referred to in Section 3 shall be required to obtain a new Major Development Permit



AVERAGE NATURAL GRADE CALCULATION

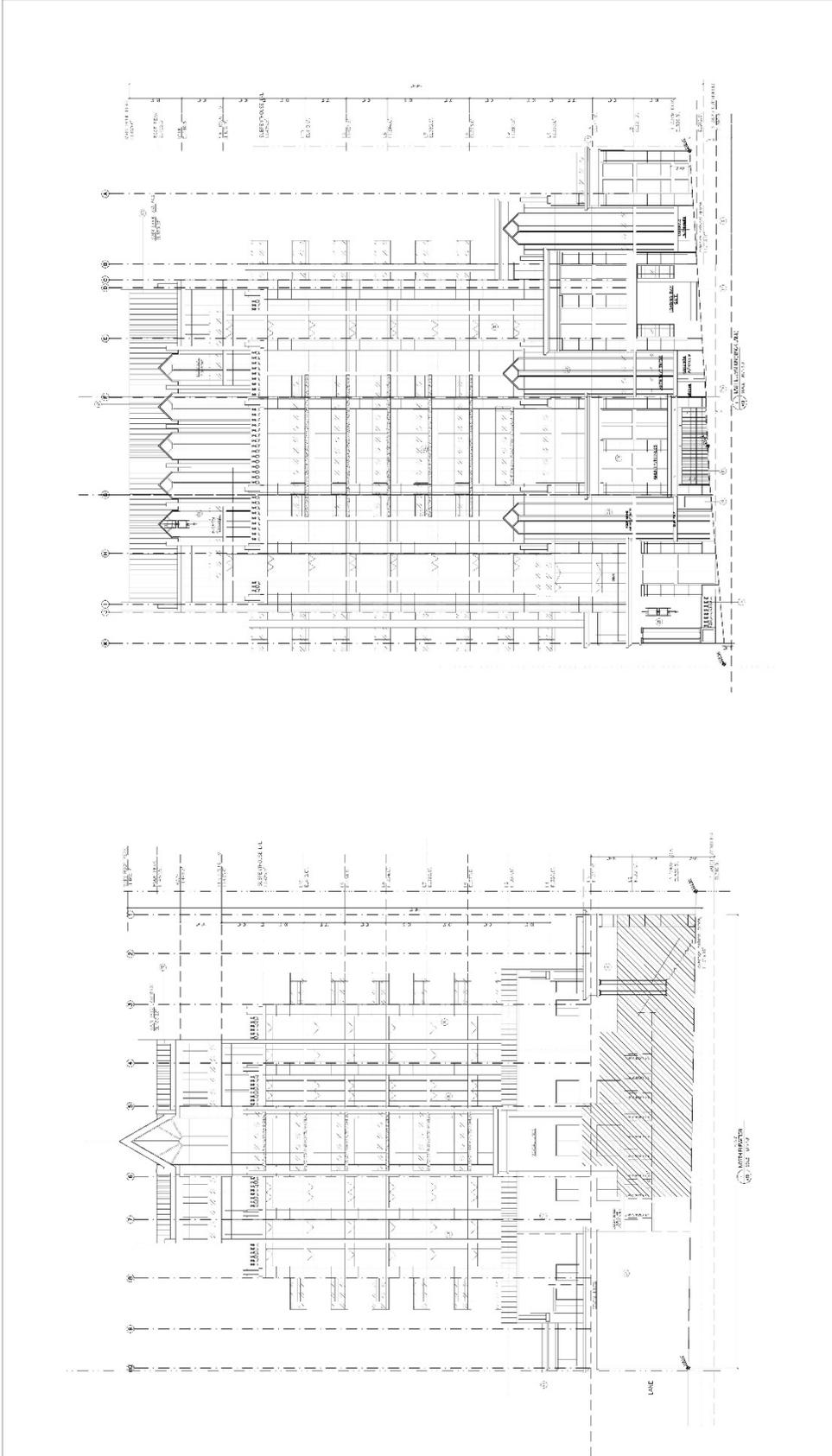
NO.	DESCRIPTION	AREA	ELEVATION
1	EXIST. NATURAL GRADE	10,000	100.00
2	PROPOSED GRADE	10,000	100.00
3	AVERAGE NATURAL GRADE	10,000	100.00
4	PROPOSED GRADE	10,000	100.00
5	AVERAGE NATURAL GRADE	10,000	100.00
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12	PROPOSED GRADE	10,000	100.00
13	AVERAGE NATURAL GRADE	10,000	100.00
14	PROPOSED GRADE	10,000	100.00
15	AVERAGE NATURAL GRADE	10,000	100.00
16	PROPOSED GRADE	10,000	100.00
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47	AVERAGE NATURAL GRADE	10,000	100.00
48	PROPOSED GRADE	10,000	100.00
49	AVERAGE NATURAL GRADE	10,000	100.00
50	PROPOSED GRADE	10,000	100.00

JS&A Habitable Art <small>1000 University Ave. Suite 1000 Durham, NC 27701 919.487.1000</small>	PAUL MERICK CONSULTING LTD. <small>1000 University Ave. Suite 1000 Durham, NC 27701 919.487.1000</small>	Stantec <small>1000 University Ave. Suite 1000 Durham, NC 27701 919.487.1000</small>	LADY ALEXANDRA <small>1000 University Ave. Suite 1000 Durham, NC 27701 919.487.1000</small>	SITE PLAN
				SHEET NO. A102



- 1. FINISHES
- 2. WALLS
- 3. FLOORS
- 4. ROOF
- 5. MECHANICAL
- 6. ELECTRICAL
- 7. PLUMBING
- 8. STRUCTURE
- 9. EXTERIOR
- 10. INTERIOR

<p>PROPOSED WEST AND SOUTH ELEVATIONS</p> <p>DATE: 11/11/11</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT: LADY ALEXANDRA</p> <p>NO. 1000 WEST 100TH AVENUE, S.W.</p> <p>PROJECT NO: A300</p> <p>17 OF 21</p>	
<p>STANTEC</p> <p>1000 WEST 100TH AVENUE, S.W. SUITE 1000</p> <p>EDMONTON, ALBERTA T6E 6P5</p> <p>TEL: 780.443.8200</p> <p>FAX: 780.443.8201</p> <p>WWW.STANTEC.COM</p>	
<p>PALLABERICK CONSULTING LTD.</p> <p>1000 WEST 100TH AVENUE, S.W. SUITE 1000</p> <p>EDMONTON, ALBERTA T6E 6P5</p> <p>TEL: 780.443.8200</p> <p>FAX: 780.443.8201</p> <p>WWW.PALLABERICK.COM</p>	
<p>1.000 WEST 100TH AVENUE, S.W. SUITE 1000</p> <p>EDMONTON, ALBERTA T6E 6P5</p> <p>TEL: 780.443.8200</p> <p>FAX: 780.443.8201</p> <p>WWW.STANTEC.COM</p>	



<p>NO. PROPOSED EAST AND NORTH ELEVATIONS</p> <p>DATE: 03/20/14</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT: A301</p>	<p>CLIENT: LADY ALEXANDRA</p> <p>100 CARLETON PLACE, SUITE 200</p>	<p>Stantec</p> <p>1000 WEST BROADWAY, SUITE 1000, CALGARY, ALBERTA T2M 0P4</p> <p>TEL: 403.243.1234</p> <p>FAX: 403.243.1235</p> <p>WWW.STANTEC.COM</p>	<p>PAUL MURPHY, P.Eng</p> <p>CONSULTING ENGINEER</p> <p>REGISTERED PROFESSIONAL ENGINEER (MECHANICAL)</p> <p>ALBERTA REGISTRATION NO. 40000</p> <p>PROFESSIONAL DESIGNER (MECHANICAL)</p> <p>REGISTERED PROFESSIONAL DESIGNER (MECHANICAL)</p> <p>ALBERTA REGISTRATION NO. 40000</p>	<p>DATE: 03/20/14</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>PROJECT: A301</p> <p>CLIENT: LADY ALEXANDRA</p>	<p>DATE: 03/20/14</p> <p>SCALE: 1/8" = 1'-0"</p> <p>PROJECT: A301</p> <p>CLIENT: LADY ALEXANDRA</p>
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