

June 19, 2019

FOI No: 2019-25

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has processed your request for access to the following records pursuant to the *Freedom of Information and Protection of Privacy Act (the Act)*:

- *All permitting and bylaw enforcement records respecting:*

14034 Marine Drive

PID: 001-763-440, Lot A, Plan NWP13312, Section 9, Township 1, New Westminster Land District

Access to these records is available. However, some of the records contain information that is excepted from disclosure under the Act. I have severed the excepted information so that I could disclose to you the remainder of the records as attached.

The severed information is excepted from disclosure under sections 22 and 15 of the Act. Severing under section 22 is necessary to avoid disclosing third-party personal information without permission. Severing under section 15 is necessary to protect the security of the subject property. All drawings showing interior floorplans have been withheld in their entirety. As a policy, the City will only disclose interior floorplans to a property owner or their agent.

Corporate Administration

P: 604.541.2212 | F: 604.541.9348

City of White Rock

15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "K Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

THE CITY OF WHITE ROCK

Plans to be approved by H.V.R.

Date June 11/58 1958 **PERMIT TO BUILD** Dev. Permit No. _____ Permit No. 204

Owner **Redacted S. 22**
 Address _____
 Architect _____
 Contractor _____
 Contractor's Address _____

Location 14054 Main
 Lot A of 177 Block _____ Sub. N 1/2 9 Sp. 13312
 District _____ Fire Zone _____ Group _____ Type _____
 Occupancy 2 fam. h.
 Name of Project Duplex

Description of Construction frame + stucco Lot Size 70.9 x 195.3 x 70.1 x 162.6
 Size 51.6 x 30.6 Storeys 2 Rooms 3 Min. Yards: Front 25' R. Side 7' L. Side 7' Rear 20'

Basement	Ext. Walls	Floors, Joists	Live Loads	Basemt.	1st	2nd	Roof
<u>None</u>				<u>None</u>	<u>2x6 @ 16"</u>	<u>2x10 @ 16"</u>	<u>Asph/Flt</u>
<u>None</u>							
<u>2x6 + 2x10 @ 16"</u>							
<u>2x6 + 2x10</u>							

Stairways	Gas Appliances	Elevators	Value - \$ <u>118,000</u> Permit Fee - \$ <u>14.75</u> Water Rates \$ _____ Numbers \$ _____ Total Fees \$ <u>14.75</u>
Int. Partitions	Plumbing Fixtures <u>10</u>	Fire Protection <u>✓</u>	
Int. Finish <u>plaster</u>	Heating <u>oil</u>	Chimney <u>1-2</u>	
Int. Lath <u>gyp</u>	Lighting <u>elec.</u>	Fire Place <u>2</u>	
Ceiling <u>plaster</u>	Ventilation <u>✓</u>	Plans Filed <u>✓</u>	

Owner or Authorized Agent **Redacted S. 22** Building Inspector N.V. Brown OVER

Remarks:

OCC FILE

INSPECTED	CONDITION	INSPECTED	CONDITION	INSPECTION REQUESTS
Front Yard	40' appears OK	Insulation	Rock Wool	1. June 27/58
R. Side Yard	7:2'	Rafters	2x4 @ 16oc	2. July 7/58
L. Side Yard	7:2' to sun nest	Roofing	Asphalt	3. Nails 30/58
Rear Yard	7:2' to sun nest	Chimney	Brick & J.	4. Aug 12/58
Excavation		Fireplace	Brick & J.	DATE OF INSPECTION
2 Footings	no new plans	Stucco Lath	mesh	1. June 27/58
1 Foundation Walls	8' 10" corr.	Plaster Lath	gypoc lath	2. July 7/58
Columns	2x6 bearing	Exterior Finish	siding + stucco	3. July 30/58
Beams		Plaster	fair	4. Aug 10/58
Floor Joist	2x10 @ 16oc	Stairs	OK	5. Sept. 25/58
Ceiling Joists	2x6 @ 16oc	Exits	OK	6.
Bridging		Ev. Tr. & Down Spout	OK	7.
Headers & Trimmers		Furnace Room		8.
Sub Floors	sheeps	Toilet Clearance	✓	Bldg. complete? ✓
Studding	2x4 @ 16oc	Attic Trap	✓	Occupied ✓
Bracing		Louvres	✓	
Sheathing	sheeps	Bathroom Vent	✓	
Fire Stop				

H. Aronson
Building Inspector

Over

BUILDING FACTORS

Roll No. 310

310
A of A 0.73 AC FT 9 T.1

30647E
13312

Date *Oct 27*
Aug 19

Address *14034 - MARINE DR.*

SIZE OF BUILDING _____ ft. x _____ ft. x _____ ft. = _____ Sq. Ft. || Cubic Ft. _____

Class *7-1-16* || Stories *1*

Type: Single family Duplex Row house
Conversion Apartment Other

Number of Rooms: Basement *4* Main floor *5*
Second floor _____ Third floor _____ Fourth floor _____
Number of suites *2 Bath*

Workmanship and Design _____

Irregularity Factor: Roof _____ Frame _____

Foundation: Wood posts, piers, or sills _____
Perimeter wall (Concrete Brick _____ Stone _____)

Exterior Wall: Stucco Shakes _____
Wood shingles _____ Asphalt shingles _____
Board and batten _____ Drop siding Painted _____
Tar-paper _____ Brick _____ Stone Concrete block _____
Cinder block _____ Brick veneer *Parate* _____ Stone veneer _____
Other _____

Roof: Gable Hip _____ Flat _____ Gambrel _____
Low pitch _____ Medium pitch High pitch _____
Number of dormers _____ Size _____ Quality _____

Roof Material: Tar-paper _____ Shakes _____
Wood shingles _____ Asphalt shingles Tar and gravel _____
Other _____

Chimney and (or) Fireplace: Two-flue
One-flue, wall-bracket _____ One-flue, ground
Inside fireplace *2* Outside chimney and fireplace _____
Other _____

Basement: Yes _____ No _____ Full Partial _____
Size: Concrete wall height *4* Frame wall height *4*
Floor (Dirt _____ Wood _____ Concrete Area _____)

Basement Rooms: Fully partitioned *3* *ways*
Rumpus room _____ Size _____ Bedroom _____ Size _____
Floor (Concrete Fir *hardwood & pine on sleepers* _____ Tile _____ Hardwood _____)

Floor: Cheap Board _____ Flat grain fir _____
Edge-grain fir _____ Hardwood Concrete slab _____
Linoleum _____ Tile (Asphalt _____ Rubber _____ Cork _____)

Interior Finish: Unfinished _____ Boards _____
Fibreboard _____ Plasterboard _____ Painted _____ Plaster
Plywood _____ Wall-papered _____ Wainscoting _____
Other _____

Interior Trim: Fir _____ Hardwood
Remarks _____

Insulation: Ceilings Walls Floors _____

Electrical: Nil _____ 110-volt _____ 220-volt

Heating: Type *auto Furnace* _____
Firing method *oil* _____
Remarks _____

Plumbing: No plumbing *Wong* Toilet *3* Basin *2*
Bath *2* Shower *1* Kitchen sink *2* H.W. tank
Laundry tubs Septic tank _____ Sewer Well _____
Main Well-pump (Hand _____ Motor _____)

Year assessed - *1958* || Assessed by - *ac*

Projections	A	B
Class		
Square ft.		

Porches	<input type="checkbox"/>
Type	Sq. Ft.
Open	<i>120</i>
Glassed-in	

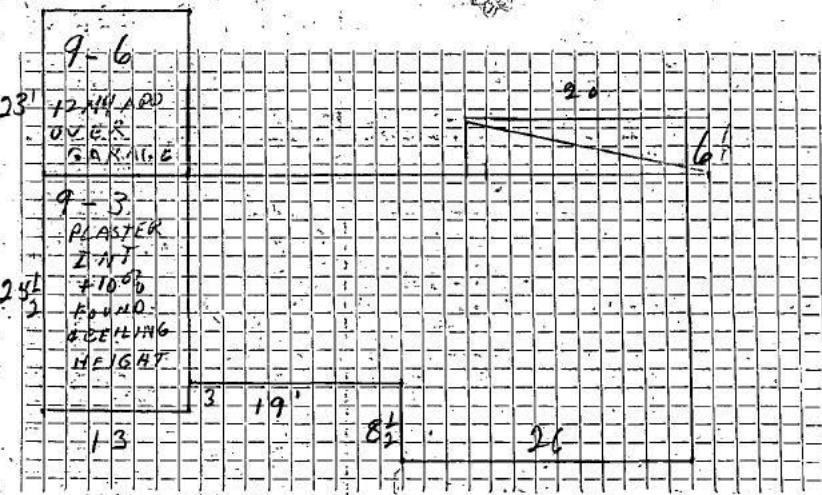
Attic or Half-story:	
Open	<input type="checkbox"/>
Closed	<input type="checkbox"/>
Stairway to	Sq. Ft.
Unfinished	
Finished	

Height of half-story stub wall _____
Percentage of ground floor _____

Other Additions
H.W. EXH 00

Calculations

See new



Depreciation & Obsolescence

Year Built 9/6/58 Building Permit No. 204
 Year Remodel _____ Permit Amount 18,000
 Effective Age _____ Water Connection _____

PHYSICAL	FUNCTIONAL	ECONOMIC
<u>10.5%</u>		

DEPRECIATED REPLACEMENT COST - \$ _____
 TOTAL DEPRECIATION & OBSOLESCENCE \$ 17,000

Sq. Ft. 1402
 Rate \$ 7.56
 Basic \$ 9898
 HEAT 600
 GARAGE 619
 e. PORT 150
 926 x 1.40
 BSM.T. 1296
 450 x 200
 PORCH 80
 PLUMB. 520

L.A.F. 12088
13168
 \$ 12378

COST APPROACH		INCOME APPROACH	MARKET APPROACH
Sq. Ft.	<u>1402</u>	NEW T.R.V. - \$ _____	C.M.V. \$ _____
Rate	\$ <u>7.56</u>	A.R.V. - \$ _____	A.M.V. \$ _____
Basic	\$ <u>9898</u>	G.I.M. - X	
HEAT	<u>600</u>	Cap. Value \$ _____	Less _____
GARAGE	<u>619</u>		
e. PORT	<u>150</u>	Less _____	Less _____
926 x 1.40			
BSM.T.	<u>1296</u>		
450 x 200			
PORCH	<u>80</u>		
PLUMB.	<u>520</u>	Less _____	Less _____
		Residue \$ _____	Residue \$ _____
		Adjuster % _____	Adjuster % _____
L.A.F.	<u>12088</u>		
	<u>13168</u>		
	\$ <u>12378</u>		\$ _____
	\$ <u>17,000</u>	+ % _____	+ % _____

C.A. \$ 11785 ± I.A. % _____ ± M.A. % _____ = ASSESSED VALUE \$ 11080

BUILDING FACTORS 310

 Roll No. 310

 Date 4/4/68

 Address 14034 Marine Dr. AHA 0.73AC P.L.N.
306.447E
NE 9-T-1 13312

SIZE OF BUILDING ft x ft = Sq. Ft || Cubic Ft

 Class 1-10 || Stories 1

 Type: Single family Duplex Row house
 Conversion Apartment Other

 Number of Rooms: Basement 4 Main floor 5
 Second floor _____ Third floor _____ Fourth floor _____
 Number of suites 2 Basement

 Workmanship and Design

Irregularity Factor: Roof _____ Frame _____

 Foundation: Wood posts, piers, or sills _____
 Perimeter wall (Concrete _____ Brick _____ Stone _____)

 Exterior Wall: Stucco Shakes
 Wood shingles _____ Asphalt shingles _____
 Board and batten _____ Drop siding _____ Painted _____
 Tar-paper _____ Brick _____ Stone _____ Concrete block _____
 Cinder block _____ Brick veneer _____ Stone veneer _____
 Other GRANITE 141d

 Roof: Gable _____ Hip Flat Gambrel _____
 Low pitch _____ Medium pitch _____ High pitch _____
 Number of dormers _____ Size _____ Quality _____

 Roof Material: Tar-paper _____ Shakes
 Wood shingles _____ Asphalt shingles _____ Tar and gravel _____
 Other _____

 Chimney and (or) Fireplace: Two-flue
 One-flue, wall-bracket _____ One-flue, ground _____
 Inside fireplace Outside chimney and fireplace _____
 Other _____

 Basement: Yes _____ No _____ Full Partial

 Size: Concrete wall height 4 Frame wall height _____
 Floor: (Dirt _____ Wood _____ Concrete Area _____)

 Basement Rooms: Fully partitioned 3 1/4 (car) good
 Rumpus room _____ Size _____ Bedroom _____ Size _____
 Floor (Concrete _____ Fir HARD & WIND ON SLOTTED _____ Tile _____ Hardwood _____)

 Floor: Cheap Board _____ Flat-grain fir _____
 Edge-grain fir _____ Hardwood _____ Concrete slab _____
 Linoleum _____ Tile (Asphalt _____ Rubber _____ Cork _____)

 Interior Finish: Unfinished _____ Boards _____
 Fibreboard _____ Plasterboard _____ Painted _____ Plaster
 Plywood _____ Wall-papered _____ Wainscoting _____
 Other _____

 Interior Trim: Fir _____ Hardwood

Remarks _____

 Insulation: Ceilings Walls Floors _____

 Electrical: Nil _____ 110-volt _____ 220-volt

 Heating: Type Auto F.H.H.

 Firing method oil
 Remarks _____

 Plumbing: No plumbing _____ Toilet 3 Basin 2
 Bath 2 Shower 0 Kitchen sink 2 H.W. tank _____
 Laundry tubs _____ Septic tank _____ Sewer Well _____
 Main Well-pump (Hand _____ Motor _____)

 Year assessed - 1968 || Assessed by - UP

Projections	A	B
Class		
Square ft.		

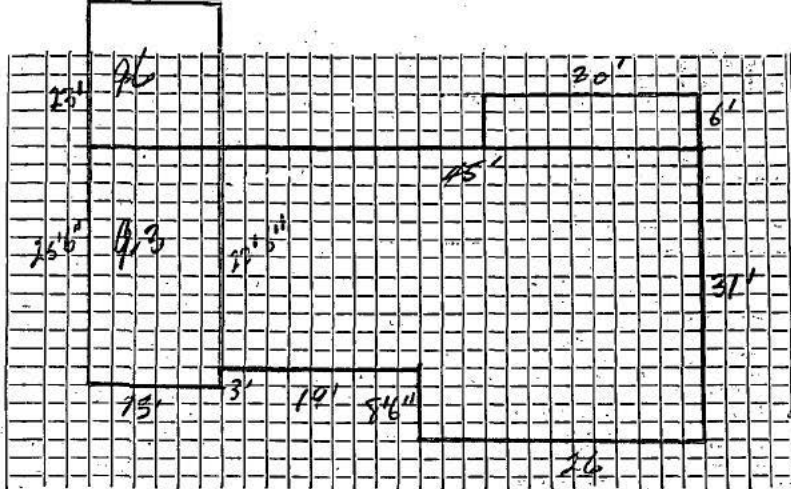
Porches	Type	Sq. Ft.
Open		
Glassed-in		<u>40 (EXTRA)</u>

Attic or Half-story:	Sq. Ft.
Open _____ Closed <input type="checkbox"/>	
Stairway to _____	
Unfinished _____	
Finished _____	

 Height of half-story stub wall _____
 Percentage of ground floor _____

 Other Additions
Granite 141d @ 3.00
1" plants 191 @ 9.00
fin base 926 @ 1.40
sunroom 40 @ 4.00
compost 141 @ 1.12
Base heat 601

Calculations



Depreciation & Obsolescence

Year Built 1958 Building Permit No. _____

Year Remodel _____ Permit Amount _____

Effective Age _____ Water Connection _____

PHYSICAL FUNCTIONAL ECONOMIC

15%

DEPRECIATED REPLACEMENT COST

TOTAL DEPRECIATION & OBSOLESCENCE

COST APPROACH		INCOME APPROACH		MARKET APPROACH	
Sq. Ft.	1732	NEW T.R.V.	- \$	C.M.V.	\$
Rate	\$ 11.86	A.R.V.	- \$	A.M.V.	\$
Basic	\$ 20541	G.I.M.	- X		
Carport	157	Cap. Value	\$	Less	
por limit	1296				
granit	423	Less		Less	
plaster	171				
porch	160				
plumbing	615	Less		Less	
	23363				
bus heat	601				
	23964				
Dep	20369	Residue	\$	Residue	\$
		Adjuster	%	Adjuster	%
L.A.F.					
	\$		\$		\$
	\$		+ %		+ %

C.A. \$ _____ + I.A. % _____ + M.A. % _____ = ASSESSED VALUE \$ 10750

(1150)

THE CITY OF WHITE ROCK

PERMIT TO BUILD

310

Date July 9/62 1962 Dev. Permit No. _____ Permit No. 1167

Owner **Redacted S. 22** Location 11034 Marine Drive
 Address 11034 Marine Drive, White Rock Lot _____ Block _____ Sec. _____ T _____ Map _____
 Architect _____ District _____ Fire Zone _____ Group _____ Type _____
 Contractor C. Campbell Occupancy Multi-fam.
 Contractor's Address 13962 - 18 Ave., W.R. Name of Project Addition

Description of Construction frame - stucco & siding, den Lot Size irreg.
 Size 12'x14' Storesys 1 Rooms 1 Min. Yards: Front 5 R. Side 1 L. Side 8 Rear 1
approx. 70x175'

	Basemt.	1st	2nd	Roof
Basement -				
Footings -	Ext. Walls	stucco & siding		duroid
Columns as	Floors, Joists	as per bldg.		code
Beams per code	Live Loads			
Stairways -				

Int. Partitions	Gas Appliances	Fire Protection <u>firesprings</u>	Value - \$ <u>1,500</u>
Int. Finish <u>drywall</u>	Plumbing Fixtures	Chimney	Permit Fee - \$ <u>8.00</u>
Int. Lath	Heating <u>gas</u>	Fire Place	Water Rates - \$
Ceiling <u>gypsum</u>	Ventilation <u>as per code</u>	Plans Filed	Numbers - \$
Insulation <u>3" batts</u>			Total Fees - \$ <u>8.00</u>

Owner, or Authorized Agent **Redacted S. 22** Building Inspector O.F. Small OVER

Remarks:

Passed Final Oct 19/62

FUE

INSPECTED	CONDITION	INSPECTED	CONDITION	DATE OF INSPECTION
Front Yard		Insulation		1. Aug 2/62
R. Side Yard		Rafters		2. Aug 15/62 Footing
L. Side Yard		Roofing		3. Oct 17/62 Form
Rear Yard		Chimney		4.
Excavation		Fireplace		
				DATE OF INSPECTION
Footings		Stucco Lath		1. Framing / Aug 3/62
Foundation Walls		Plaster Lath		2. Footings not complete 15/62
Columns		Exterior Finish		3.
Beams		Plaster		4.
Floor Joists		Stairs		5.
Ceiling Joists		Exits		6.
Bridging		Eav. Tr. & Down Spout		7.
Headers & Trimmers		Furnace Room		8.
Sub Floors		Toilet Clearance		Bldg. complete?
Studding		Attic Trap		Occupied
Bracing		Louvres		
Sheathing		Bathroom Vent		
Fire Stop				

Building Inspector

OVER

Colin Atchison

From: Colin Atchison
Sent: Friday, July 16, 2004 1:36 PM
To: s. 22
Subject: suite status 14034 Marine Dr roll # 310

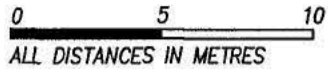
s. 22

Further to our conversation, the property at 14034 Marine Dr should be recorded as having a two sewer uses (2x sew 1). It was built originally as a duplex and that use still exists.

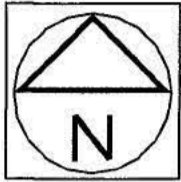
Thanks Colin

B.C. LAND SURVEYOR'S FORMS LOCATION CERTIFICATE OF:
 LOT A, SECTION 9, TOWNSHIP 1, NEW WESTMINSTER DISTRICT, PLAN 13312

(P.I.D. 001-763-440)

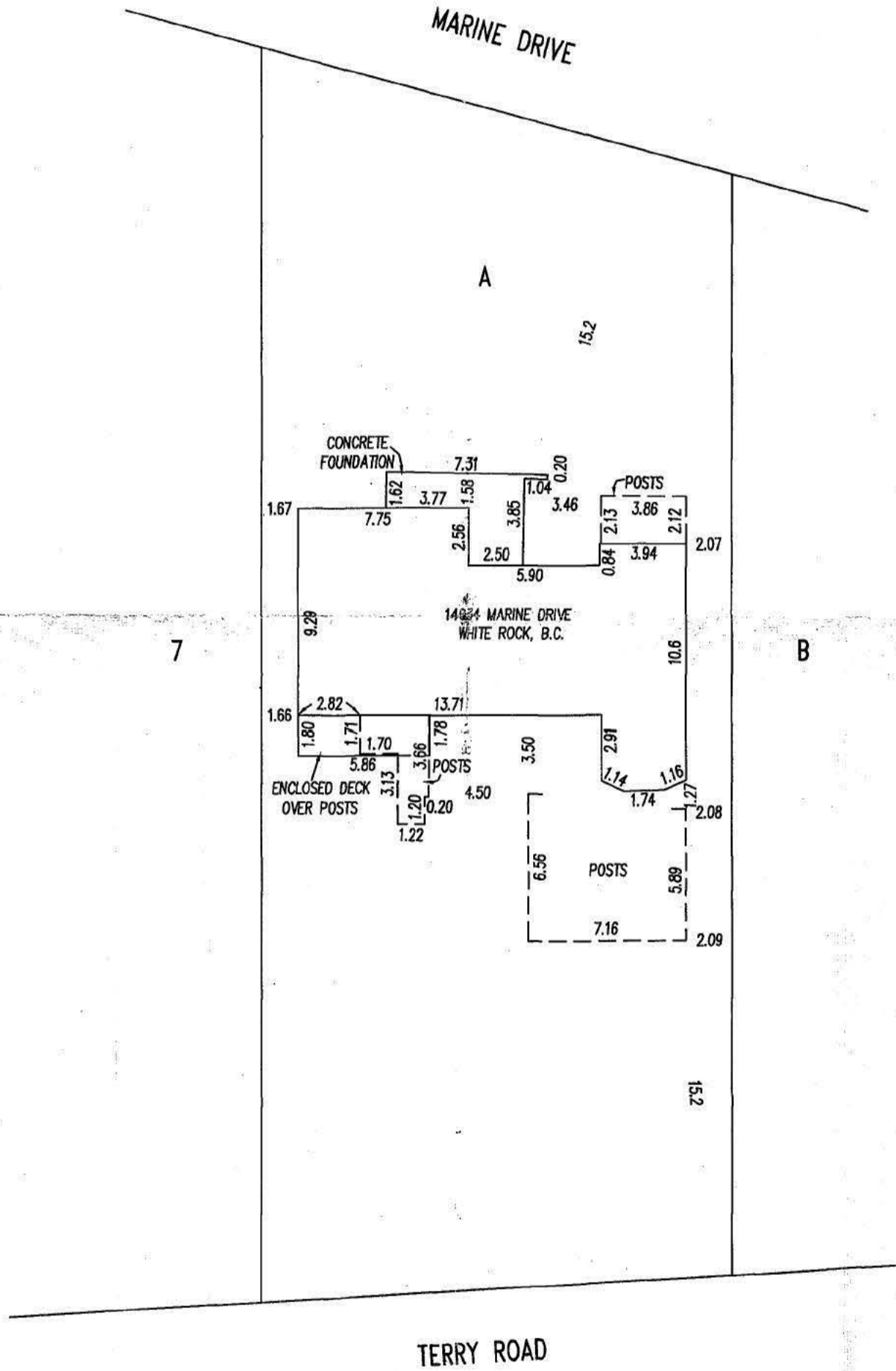


SCALE-1:250



This document shows the relative location of the structures and features with respect to the boundaries of the parcel described above. It shall not be used to define property lines or property corners, and should be used in conjunction with a current title search to determine any charges which may affect land use.

LOT DIMENSIONS ARE FROM GROUND SURVEY BY MYSELF



This plan was prepared for municipal purposes and is for the exclusive use of our client. All rights reserved. No person may copy, reproduce, transmit or alter this document in whole or in part without the consent of the signatory. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

G.A. Rowbotham
 CERTIFIED CORRECT

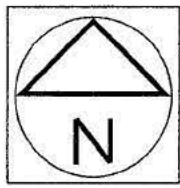
Dated this 21st day of NOVEMBER, 2008
 THIS DOCUMENT IS NOT VALID UNLESS
 ORIGINALLY SIGNED AND SEALED. ©

TOPOGRAPHIC PLAN OF LOT A, SECTION 9, TOWNSHIP 1, NEW WESTMINSTER DISTRICT, PLAN 13312

(P.I.D. 001-763-440)

0 5 10
ALL DISTANCES IN METRES

SCALE-1:250

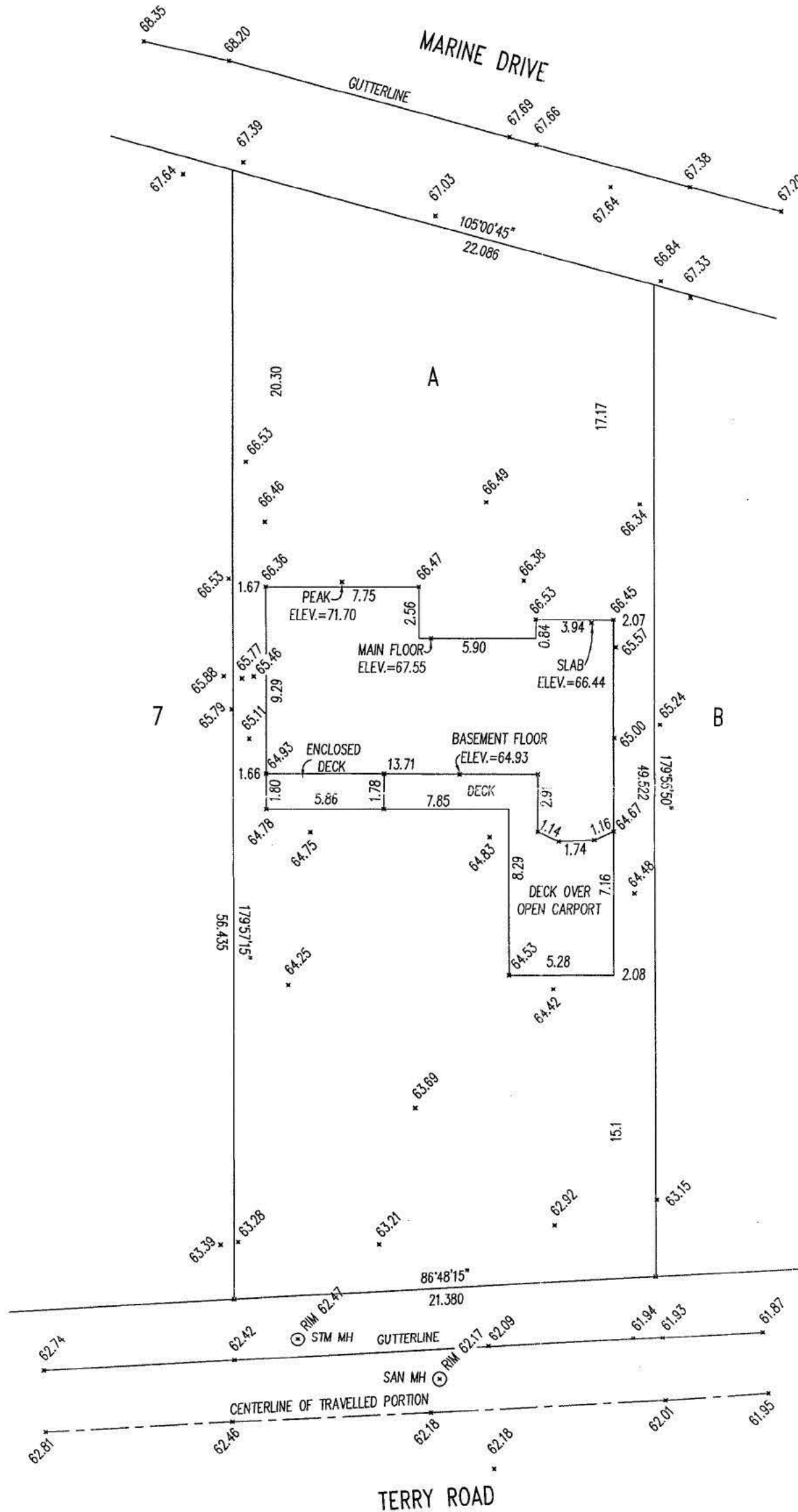


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LOT DIMENSIONS ARE FROM GROUND SURVEY BY MYSELF

GROUND ELEVATIONS ON THIS PLAN ARE DEEMED TO BE NATURAL GRADE.

THIS PLAN DOES NOT CONSTITUTE A RESURVEY OF THE LEGAL BOUNDARIES OF THE TITLED LOT OR LOTS, IT IS COMPILED FROM FIELD TIES AND LAND TITLE OFFICE RECORDS.



LEGEND

- ⊙ STM MH * STORM MANHOLE
- ⊙ SAN MH * SANITARY MANHOLE

NOTE - GROUND ELEVATIONS ON THIS PLAN ARE NOT TO BE USED FOR CONSTRUCTION BENCHMARK PURPOSES. A BENCHMARK MAY BE OBTAINED FROM THIS OFFICE.

THIS PLAN WAS PREPARED FOR MUNICIPAL PURPOSES AND IS FOR THE EXCLUSIVE USE OF OUR CLIENT. ALL RIGHTS RESERVED. NO PERSON MAY COPY, REPRODUCE, TRANSMIT OR ALTER THIS DOCUMENT IN WHOLE OR IN PART WITHOUT THE CONSENT OF THE SIGNATORY. THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

* 63.33 INDICATES LOCATION AND ELEVATION OF GROUND SHOT.

ELEVATIONS ON THIS PLAN ARE DERIVED FROM CITY OF WHITE ROCK BENCHMARK #88H3898 LOCATED AT 140th ST. AND MARINE DRIVE.

GARowbotham

CERTIFIED CORRECT B. C. L. S.

Dated this 10th day of SEPT., 2008

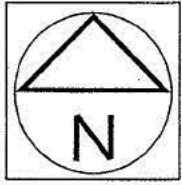
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

TOPOGRAPHIC PLAN OF LOT A, SECTION 9, TOWNSHIP 1, NEW WESTMINSTER DISTRICT, PLAN 13312

(P.I.D. 001-763-440)

0 5 10
ALL DISTANCES IN METRES

SCALE-1:250



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LOT DIMENSIONS ARE FROM GROUND SURVEY BY MYSELF

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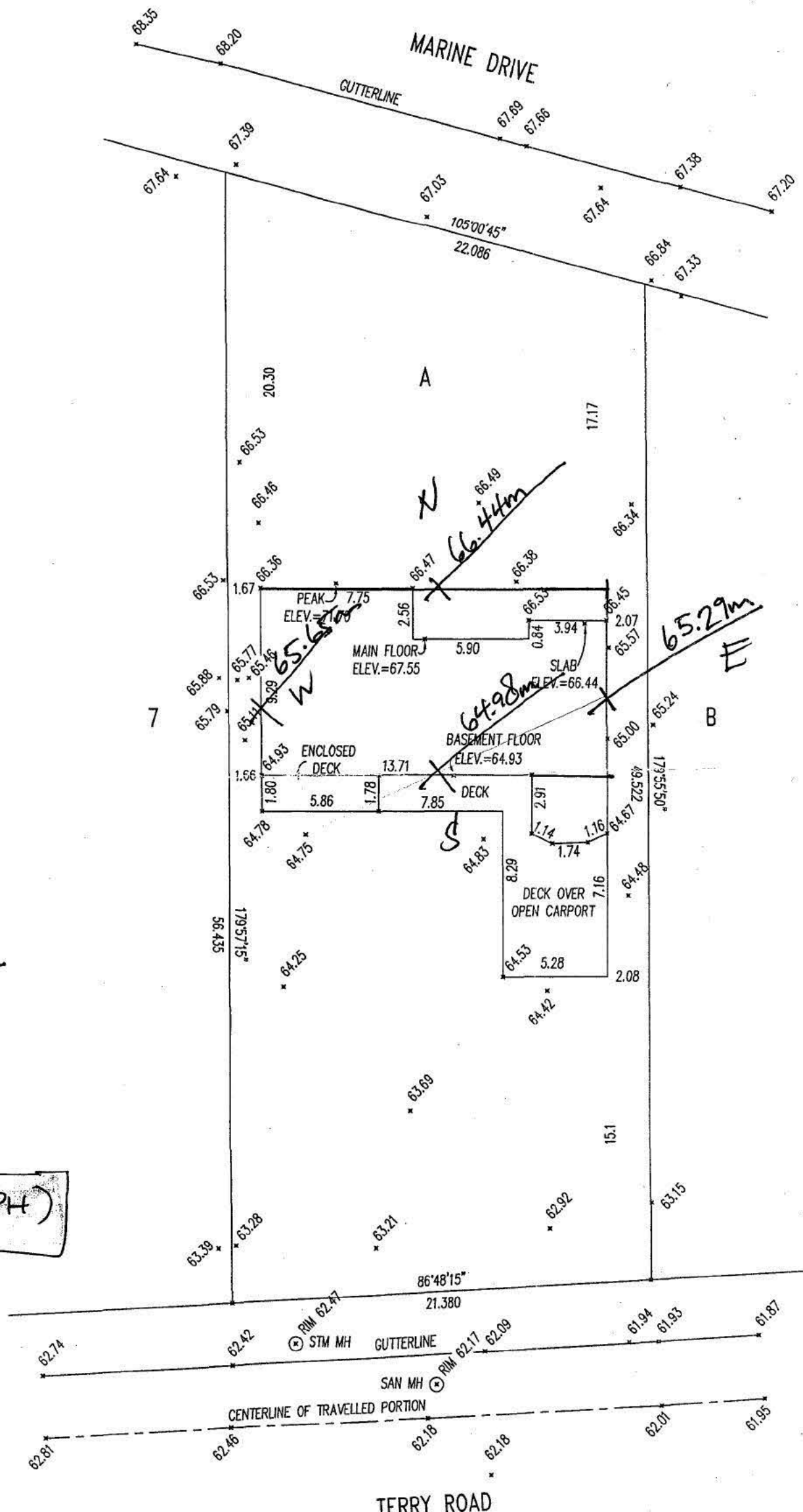
THIS PLAN DOES NOT CONSTITUTE A RESURVEY OF THE LEGAL BOUNDARIES OF THE TITLED LOT OR LOTS, IT IS COMPILED FROM FIELD TIES AND LAND TITLE OFFICE RECORDS.

MAX. PERM. HT:

N - 66.44
S - 64.98
E - 65.29
W - 65.65

262.36
÷ 4
65.59 Avg
+ 7.7

73.29m (MPH)



LEGEND

- ⊙ STM MH " STORM MANHOLE
- ⊙ SAN MH " SANITARY MANHOLE

NOTE - GROUND ELEVATIONS ON THIS PLAN ARE NOT TO BE USED FOR CONSTRUCTION BENCHMARK PURPOSES. A BENCHMARK MAY BE OBTAINED FROM THIS OFFICE.

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INDICATES LOCATION AND ELEVATION OF GROUND SHOT.

ELEVATIONS ON THIS PLAN ARE DERIVED FROM CITY OF WHITE ROCK BENCHMARK #88H3898 LOCATED AT 140th ST. AND MARINE DRIVE.

GARowbotham

CERTIFIED CORRECT

B. C. L. S.

Dated this 10th day of SEPT., 2008

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

THE CORPORATION OF THE CITY OF WHITE ROCK
BUILDING PERMIT



DATE OF ISSUANCE: X NOV 07 2008

BUILDING PERMIT No: 08-126
ROLL No: 310.000

PROJECT ADDRESS:
LEGAL DESCRIPTION:
ZONE:
OCCUPANCY:
REGISTERED SUITE:

14034 Marine Drive
Lot A, Sec 9, TP1, NWD, Plan 13312
RS-4
Residential
N/A

DESCRIPTION OF PROJECT:

700 S.F. second floor addition c/w decks and carport

OWNER:

Redacted S. 22

OWNER'S ADDRESS:

AUTHORIZED AGENT:

BUILDER:

Owner/Builder

ARCHITECT ON RECORD:

ENGINEER ON RECORD:

J.E. Silva Gutierrez (Structural & Geotechnical)

X **Redacted S. 22**

Owner or Authorized Agent

Carly...
Building Official

B.C.B.C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

THE CORPORATION OF THE CITY OF WHITE ROCK
INSPECTION INFORMATION

MAX. PERMITTED HEIGHT: **73.29m (MPH)** ANGLE OF CONTAINMENT: **N/A**

ACTUAL HEIGHT: ACTUAL ANGLE:

BOARD OF VARIANCE APPROVED:	YES <input type="checkbox"/>	NO <input type="checkbox"/>
TREE PROTECTION AREA:	YES <input type="checkbox"/>	NO <input type="checkbox"/>
STRUCTURAL ENGINEER ON PROJECT:	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
GEOTECHNICAL ENGINEER ON PROJECT:	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
FORM SURVEY PLAN RECEIVED:	YES <input type="checkbox"/>	NO <input type="checkbox"/>
REGISTERED SUITE APPROVED:	YES <input type="checkbox"/>	NO <input type="checkbox"/>

Project Value:	Permit Fee:	Microfiche Fee:	Inspection fee:	Building Size:	Total:
\$300,000	\$2,788.25	\$50.00	-	700 s.f. addition	\$2,838.25

REMARKS:

2006 BCBC

OCCUPANCY / FINAL GRANTED: *Approved* Date: *Aug 6/09*

THE CORPORATION OF THE CITY OF WHITE ROCK

BUILDING PERMIT



DATE OF ISSUANCE: NOV 07 2008

BUILDING PERMIT No: 08-126
ROLL No: 310.000

PROJECT ADDRESS:
LEGAL DESCRIPTION:
ZONE:
OCCUPANCY:
REGISTERED SUITE:

14034 Marine Drive
Lot A, Sec 9, TP1, NWD, Plan 13312
RS-4
Residential
N/A

DESCRIPTION OF PROJECT:
700 S.F. second floor addition c/w decks and carport

OWNER:
OWNER'S ADDRESS:
AUTHORIZED AGENT:
BUILDER:
ARCHITECT ON RECORD:
ENGINEER ON RECORD:

Redacted S. 22

Owner/Builder

J.E. Silva Gutierrez (Structural & Geotechnical)

Redacted S. 22

Owner or Authorized Agent

[Signature]
Building Official

B.C.B.C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

THE CORPORATION OF THE CITY OF WHITE ROCK
INSPECTION INFORMATION

MAX. PERMITTED HEIGHT: **73.29m (MPH)** **ANGLE OF CONTAINMENT:** **N/A**

ACTUAL HEIGHT: **ACTUAL ANGLE:**

BOARD OF VARIANCE APPROVED:	YES <input type="checkbox"/>	NO <input type="checkbox"/>
TREE PROTECTION AREA:	YES <input type="checkbox"/>	NO <input type="checkbox"/>
STRUCTURAL ENGINEER ON PROJECT:	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
GEOTECHNICAL ENGINEER ON PROJECT:	YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>
FORM SURVEY PLAN RECEIVED:	YES <input type="checkbox"/>	NO <input type="checkbox"/>
REGISTERED SUITE APPROVED:	YES <input type="checkbox"/>	NO <input type="checkbox"/>

Project Value:	Permit Fee:	Microfiche Fee:	Inspection fee:	Building Size:	Total:
\$300,000	\$2,788.25	\$50.00	-	700 s.f. addition	\$2,838.25

REMARKS:

2006 BCBC

OCCUPANCY / FINAL GRANTED:.....

Date:.....



THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

NAME: Redacted S. 22 PERMIT No.: 08-126
ADDRESS: 14034 Marine Dr. SHEET No.: _____
TYPE OF INSPECTION: _____ DATE: Aug 6/09
AREA OF INSPECTION: Final

Building Final + Occupancy Approved

SIGNATURE: _____ INSPECTOR: 
DATE: _____

Please sign this form when the work is completed and return to the above department.



TOLL FREE NUMBER:
1.866.566.SAFE (7233)
www.safetyauthority.ca

Lower Mainland North Regional Office:
Unit 24 - 2773 Barnet Highway
Coquitlam, BC V3B 1C2
Lower Mainland South Regional Office:
101 - 22259-48th Avenue
Langley, BC V3A 8T1

Vancouver Island Regional Office:
3rd Floor, 4243 Glanford Avenue
Victoria, BC V8Z 4B9
Northern Interior Regional Office:
3235 Westwood Drive
Prince George, BC V2N 1S4

Southern Interior Regional Office:
1913 Kent Road
Kelowna, BC V1Y 7S6
Head Office:
88 - 6th Street, Suite 400
New Westminster, BC V3L 5B3

ELECTRICAL CONTRACTOR AUTHORIZATION AND DECLARATION OF COMPLIANCE ELECTRICAL INSPECTION REQUEST

Note: The information on this form is collected to administer the provisions of the BC Safety Standards Act. If you have questions about the collection, use or disclosure of this information, contact the Records/FOIPP Coordinator for the BC Safety Authority at telephone 604.660.6286.

A. Installation (If faxing this document, please PRINT clearly):

Permit Number: <u>3935507</u>			
Installation name: <u>Redacted S. 22</u>		Location of Work Site:	
Suite no.:	Civic no.: <u>14034</u>	Street name: <u>MAINE</u>	Street type: <u>DRIVE</u> NSEW:
City: <u>WHITE ROCK</u>			

B. Licensed Electrical Contractor:

Licensed Electrical Contractor (EC) name (please print): <u>LOWE ELECTRIC LTD</u>		
License No.: <u>21977</u>	Telephone: (<u>604</u>) <u>626 5867</u>	Fax: (<u>604</u>) <u>852 6889</u>
City: <u>ABBOTSFORD</u>		

C. Declaration (to the electrical inspection office/and supply authority):

Field Safety Representative No. (FSR): <u>17175</u>	FSR Classes: <u>RC</u>
---	------------------------

"I, AGUED LOWE a field safety representative for the above licensed contractor, hereby declare that the electrical installation authorized under the above mentioned permit has been installed to comply with the Safety Standards Act and Regulations of British Columbia."

Field Safety Representative (FSR) Signature:	Date: YYYY MM DD <u>2009 05 25</u>
--	---

Work in Progress All work is Complete Installation Safe

<input type="checkbox"/> Rough Wiring Inspection Required	Rough Wiring Cover Date: YYYY MM DD
Rough Wiring Progress: <input type="checkbox"/> Partial <input type="checkbox"/> Slab <input type="checkbox"/> UFER Ground <input type="checkbox"/> Under Ground	
<input type="checkbox"/> Complete	Partial Rough Wiring Area: _____

Electrical Installation Ready
 New Service Temporary Construction Service Service Repair
 Service Change From: _____ To: _____

Type of grounding electrode: <input type="checkbox"/> Rod <input type="checkbox"/> Ufer <input type="checkbox"/> Plate <input type="checkbox"/> Other-describe:			
Voltage (line to line) <u>120/240</u> V	AMPS <u>200</u> A	Phase <u>1 Ø</u>	Electric Heat _____ kw
YYYY MM DD			

Non Compliance Corrected Non Compliance of Corrected Date: _____

Remarks: _____

**RE-INSPECTION FEES MAY BE ASSESSED WHEN AN INSPECTION OF A PREVIOUS
NON-COMPLIANCE IS PERFORMED (MIN. 1 HOUR WILL BE CHARGED).**



THE CORPORATION OF THE CITY OF WHITE ROCK

DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

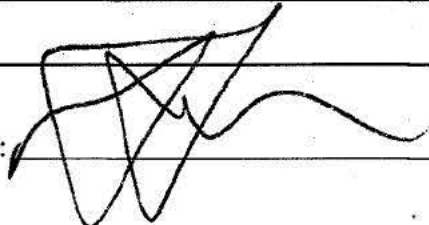
Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

NAME: Redacted S. 22 PERMIT No.: 08.126
ADDRESS: 14034 Marine Dr. SHEET No.: _____
TYPE OF INSPECTION: plumbing DATE: May 27/09
AREA OF INSPECTION: Final

- 1) Make clean out accessible at main floor powder room
- 2) Seismic strap required on hot water tank.

Plumbing Approved subject to above

SIGNATURE: _____ INSPECTOR: 
DATE: _____

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

Redacted S. 22

NAME: _____

PERMIT No.: 08.126

ADDRESS: 12034 Marine

SHEET No.: _____

TYPE OF INSPECTION: _____

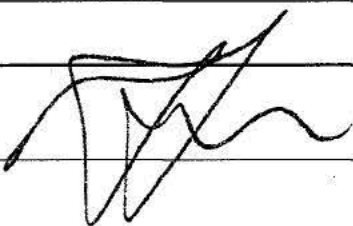
DATE: April 21/09

AREA OF INSPECTION: Insulation (Garage) + Backflow device

Garage insulation Approved.

Backflow device Approved (Double check)

SIGNATURE: _____

INSPECTOR: 

DATE: _____

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK
 15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
 Telephone: (604) 541-2136 Fax: (604) 541-2153

Permit Number: 5526
 Date: April 20/09

APPLICATION FOR PLUMBING PERMIT

Location of Work: 14034 MARINE DR. Occupancy: Residential Type of Work: New Existing Additional
 Owner: NOVA DEVELOPMENTS Phone: _____ T.Q. Number: _____
 Contractor: CALIBER WATER SERV. Phone: 604-729-3055 Business Licence: Yes: No: _____ Applied For: _____

I wish to apply to the Plumbing Inspector for a permit to install the following fixtures:

Floor	Water Heater	Water Closets	Wash Basins	Bath Tubs	Showers	Kitchen Sink	Wash Tubs	Automatic Washer	Floor Drains	Urinals	Dish Washer	Hose Bibs	Sprinklers	Other Fixtures
Basement														
Main														1
Second														
Third														
Fourth														
Fifth														
Sixth														
TOTAL														
Fixture Units														

50.00
 50.00
 20/
 APR/2009 LORI
 R-107076 / 8:2009042002 / 11-21-09

Water Service Size: 1" Total Fixture Units: _____ Total No. of Fixtures: 1 PERMIT FEE: \$ 50.00
 Signature (Applicant): [Signature] Signature (Inspector): [Signature]

COMMENTS: _____



THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

NAME: Redacted S. 22 PERMIT No.: 08-126
ADDRESS: 14034 Marine SHEET No.: _____
TYPE OF INSPECTION: _____ DATE: April 17/09
AREA OF INSPECTION: Garage (Frame)

1) Complete ventilation holes as discussed

2) Insulation in ceiling to not be thicker than
6" inches re: ventilation

SIGNATURE: _____ INSPECTOR: 
DATE: _____

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

NAME: Redacted S. 22 PERMIT No.: 03.126
ADDRESS: 14034 Marine Dr. SHEET No.: _____
TYPE OF INSPECTION: Plumbing DATE: April 3/09
AREA OF INSPECTION: Master Ensuite tub trap

tub trap tested + Approved.

* Permit required for pergola

SIGNATURE: _____ INSPECTOR: 
DATE: _____

Please sign this form when the work is completed and return to the above department.



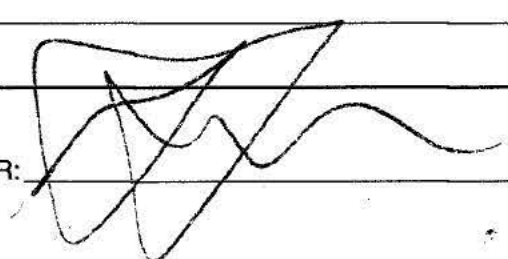
THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
 15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
 Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

NAME: Redacted S. 22 PERMIT No.: 08-126
 ADDRESS: 14034 Marine SHEET No.: _____
 TYPE OF INSPECTION: _____ DATE: Feb 26/09
 AREA OF INSPECTION: Frame

garage
 1) Cravata roof ventilation as discussed
(2" vent strip at each end)
 * High density R 23 required under deck

Recall

SIGNATURE: _____ INSPECTOR: 
 DATE: _____

Please sign this form when the work is completed and return to the above department.



CORNERSTONE

GEO-STRUCTURAL ENGINEERING LTD

CONSULTING SERVICES MATERIAL TESTING

Address: Unit 100-12099 237 St.
Maple Ridge, BC, V4R 2C3

Cell: 778.928.7589

Phone: 778.785.7729

RECEIVED FEB 11 2009

To:	Nova Developments		Date:	06	02	2009
From:	Jorge Silva, P. Eng					
Site:	14034 Marine Dr, White Rock (Garage enclosure)					
Subject:	Excavation Inspection	<input type="checkbox"/>	Footing Inspection	<input checked="" type="checkbox"/>	Other: _____	
	Compaction Inspection	<input type="checkbox"/>	Framing Inspection	<input type="checkbox"/>	_____	

Cornerstone Engineering conducted a footing inspection for garage @ 14034 Marine Dr, White Rock.

Forms & steel bars are in place, and as per Cornerstone Eng requirements. According to our inspection, it's OK to proceed.

SCHEDULE C-B

Forming Part of Subsection 2.2.7, Division C of the British Columbia Building Code

Building Permit No.

ASSURANCE OF PROFESSIONAL FIELD REVIEW AND COMPLIANCE

- Notes: (i) This letter must be submitted after completion of the project but prior to final inspection by the authority having jurisdiction. A separate letter must be submitted by each registered professional. (ii) This letter is endorsed by: Architectural Institute of BC, Association of Professional Engineers and Geoscientists of BC, Building Officials' Association of BC, and Union of BC Municipalities. (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The authority having jurisdiction City of white Rock

Name of Jurisdiction (Print)

Re: Structural & Geotechnical

Discipline (e.g. Architectural, etc.) (Print)

Proposed house addition

Name of Project (Print)

14034 Marine Dr

Address of Project (Print)

Lot A, LD 36, Sec 9, TWP1, NWD NE1/4, Plan 13312

Legal Description of Project (Print)

(Each registered professional shall complete the following:)

Jorge Silva

Name (Print)

#100 12099 237th St

Address (Print)

Maple Ridge BC V4R 2C3

(778) 928-7589

Phone No



(Professional's Seal and Signature)

01/14/2009

Date

I hereby give assurance that

- (a) I have fulfilled my obligations for field review as outlined in Subsection 2.2.7, Division C of the British Columbia Building Code and in the previously submitted Schedule B-1, "ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW," and Schedule B-2, "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS," and (b) those components of the project opposite my initials in Schedule B-2 substantially comply in all material respects with (i) the applicable requirements of the BC Building Code and other applicable enactments respecting safety, not including construction safety aspects, and (ii) the plans and supporting documents submitted in support of the application for the building permit, (c) I am a registered professional as defined in the British Columbia Building Code.

(If the registered professional is a member of a firm, complete the following:)

Cornerstone Geo-Structural Engineering Limited

I am a member of the firm

and I sign this letter on behalf of the firm.

(Print name of firm)

Note: The above letter must be signed by a registered professional. The British Columbia Building Code defines a registered professional to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

CRP's Initials



THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

NAME: Redacted S. 22 PERMIT No.: 08-126
ADDRESS: 14034 Marine Dr. SHEET No.: _____
TYPE OF INSPECTION: _____ DATE: Feb 6/09
AREA OF INSPECTION: Insulation / Frame

Frame Approved (house only)
Recall for garage
Insulation

1) Caulk bottom plates in dining room area

Insulation Approved subject to above

SIGNATURE: _____ INSPECTOR: 
DATE: _____

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

Redacted S. 22

NAME: _____ PERMIT No.: 08-126

ADDRESS: 14034 Marine Dr. SHEET No.: _____

TYPE OF INSPECTION: plumbing DATE: Feb 3/09

AREA OF INSPECTION: tub + shower traps

1) master ensuite tub to be tested.

Tub/shower trap approved

Recall for above

SIGNATURE: _____ INSPECTOR: 

DATE: _____

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

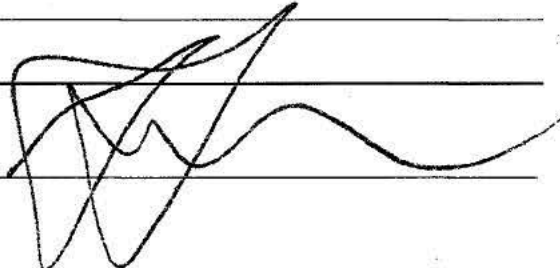
NAME: Redacted S. 22 PERMIT No.: 03-126
ADDRESS: 14034 Marine Dr. SHEET No.: _____
TYPE OF INSPECTION: plumbing DATE: Jan 30/09
AREA OF INSPECTION: DWV + waterlines

* Semi outfall tested.
200 psi test witnessed.

1) Add clips on waterlines as discussed.

Waterlines approved subject to above
DWV Approved.

Recall for trap test

SIGNATURE: _____ INSPECTOR: 
DATE: _____

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

Redacted S. 22

NAME: _____

PERMIT No.: 08-126

ADDRESS: 14034 Marine Dr.

SHEET No.: _____

TYPE OF INSPECTION: _____

DATE: Jan 29/09

AREA OF INSPECTION: Frame

- ✓ 1) All plumbing inspections to be completed.
- 2) "C" letter from Structural Engineer
- ✓ 3) Fire Stop ~~at~~ pipe chase at (in) closet
- ✓ 4) Enlarge crawlspace access as discuss
- ✓ 5) Fire Stop back walls in basement
- ✓ 6) Fire Stop plumbing chase in basement SW corner

Recall

SIGNATURE: _____

INSPECTOR: 

DATE: _____

Please sign this form when the work is completed and return to the above department.



PHOENIX

VINYL SUNDECKS LTD.

January 26, 2009

To Whom It May Concern:

Job Site: 14043 Marine Drive White Rock

Product: 60ml – 3ply Reinforced Mist Vinyl

This is to confirm that Phoenix Vinyl Sundecks Ltd installed Deck Rite 60ml Reinforced Vinyl – Mist color the three decks at the above mentioned Job Site address.

If you have any questions, please feel free to call the office.

Sincerely,

Kelly LaPlante
Administration
Phoenix Vinyl Sundecks Ltd

Unit 106 - 9295 198th Street, Langley V1M 3J9

Phone: 270-4845 or 888-2438 • Fax: 888-4823

Email: sales@sundecks.com • Website: www.sundecks.com



INTRODUCTION

At the request of Phoenix Vinyl Sundecks, Ltd., the Coquitlam, British Columbia facility of Intertek Testing Services NA Ltd. (Intertek), has conducted product evaluation testing on a PVC Sheet-Applied Waterproof Decking Membrane. The testing was conducted in accordance with CAN/CGSB 37.54-95 Polyvinyl Chloride Roofing and Waterproofing Membrane.

In addition, the following tests, typical to walking surfaces, were conducted:

- 1) Abrasion resistance in accordance with ASTM D 1242
- 2) Slip resistance in accordance with CAN/CGSB 75.1

The material tested was independently sampled and selected at Phoenix's Langley facility on May 12, 2003 by Geri Nishio, an authorized representative of Intertek Testing Services NA Ltd.

PRODUCT DESCRIPTION 1

Product Name: Deck Rite 60 mil 3 ply/Reinforced
General Description: Sheet vinyl waterproofing membrane with embedded reinforcement
Thickness: 60 mil
Application: HB Fuller Contact Cement

PRODUCT DESCRIPTION 2

Product Name: Deck Rite 60 mil Fleece Backed
General Description: Sheet vinyl-waterproofing membrane with non-woven polyester backing
Thickness: 60 mil
Application: HB Fuller Contact Cement

TESTING CONDUCTED

CAN/CGSB 37.54 p. 7.3.1	Overall Thickness
CAN/CGSB 37.54 p.7.3.2	Coating Thickness
CAN/CGSB 37.54 p.7.3.4	Breaking Strength and Elongation
CAN/CGSB 37.54 p.7.3.5	Lap Joint Strength
CAN/CGSB 37.54 p.7.3.6 (ASTM D1790)	Low Temperature Impact
CAN/CGSB 37.54 p.7.3.7	Resistance to Heat Aging
CAN/CGSB 37.54 p.7.3.8	Low Temperature Flexibility
CAN/CGSB 37.54 p.7.3.9	Resistance to Accelerated Aging.
CAN/CGSB 37.54 p.7.3.10	Water Vapour Transmission
CAN/CGSB 37.54 p.7.3.11	Water Absorption
CAN/CGSB 37.54 p.7.3.12	Dimensional Change After Stress Relaxation (Without Loading)
CAN/CGSB 37.54 p.7.3.13	Dimensional Change After Stress Relaxation (With Loading)
CAN/CGSB 37.54 p.7.3.14	Cone Penetration
CAN/CGSB 75.1	Slip Resistance
ASTM D 1242	Abrasion Resistance


CONCLUSION

The two membranes, 60 mil - Reinforced and 60 mil - Fleece Backed, as tested and reported herein, have both met all requirements prescribed in CAN/CGSB-37.54-95. In addition, the two products tested have met the following "pedestrian traffic" deck requirements:

- 1) Abrasion Resistance testing as required by ICBO-ES, AC39 Acceptance Criteria for Walking Decks, and as historically accepted by CCMC for PVC Sheet-Applied Waterproof Decking Membrane (Exposed to Light Pedestrian Traffic)
- 2) Slip Resistance testing historically accepted by CCMC for PVC Sheet-Applied Waterproof Decking Membrane (Exposed to Light Pedestrian Traffic)


INTERTEK TESTING SERVICES NA LTD.

Reported by:



Geri Nishio
Technician, Construction Products

Reviewed by:



Cam Robinson, P.Eng.
Manager, Construction Products

GN/ahvs

B

Mechanical Ventilation Checklist B—Distributed

Previously Checklist C (per former 1998 BCBC)

This Checklist is for use with forced air heating systems where the heating duct system distributes ventilation air.

Civic Address <u>14034 Marine Dr</u>	Permit No. <u>08-126</u>
Number of Bedrooms 4 (A)	A bedroom is a room with an openable window (minimum dimensions apply), a closet and a closing interior door. Volume must include joist space. Exhaust appliances exceeding .5 ACH may require make-up air.
Total Interior Volume of Dwelling 33300 ft³	
.5 ACH (air changes/hr) = Volume x 0.5 ÷ 60 = 277.5 cfm (B)	

1. Principal Fan

a) **Exhaust Rate:** Use the bedroom count from Box (A) above and Table 9.32.3.3.A. to determine Minimum Rate. (Maximum Rate of 110 cfm if NAFFVA/Radon present.)

The Principal Exhaust Fan will be controlled automatically with an interval timer OR run continuously.

Minimum required rate: **Interval Timer**

75 cfm (C)

Continuous

cfm (D)

b) **Principal Fan CFM & Sone Rating:**

Make Braan Model 5800

cfm (E)

Sones: Interval 1 Continuous _____
 Maximum allowed: Interval timer 1.5 sones Continuous 1 sone

Box E Maximum allowed is 110 cfm if Make-up Air Required in Step 4.

Fan Location: Powder

c) **Principal Fan Duct Size:** Use actual fan cfm in Box E above and Table 9.32.3.9 for Duct.

Fan Duct size: 5 inches. Duct type: Smooth Flex

2. Required Kitchen and Bathroom Exhaust Fans:

Room	Fan Make & Model	Fan CFM		Duct Diameter (in)	
		Code Req'd Min. @ 27°C. per Table 9.32.3.3.B	Actual Fan CFM @ 27°C. per Manuf. Rating	Table 9.32.3.9*	
				Smooth	Flex
KIT	Braan GP124ALN	80	190	6	
Powder	Braan 5800	50	80		5
ensuite	Braan "	50	80		5
Main	Braan "	50	80		5
Bsmth	Braan "	50	80		5

* For fan capacities exceeding Table 9.32.3.9, follow manufacturer's installation instructions or use good engineering practice to size duct. See Ventilation Guidelines Appendix page 24-A.

Checklist B1

3. NAFFVA (Naturally Aspirated Fuel Fired Ventured Appliance) and/or Radon Gas present in dwelling unit?

Yes, Proceed to Step 4 & 5

No, Omit Steps 4 to 8.

4. Active Make-Up Air Duct for Principal Fan: Per Sec 9.32.3.8. (2) (b) (ii & iii) Install a 4"Ø outdoor air duct into the furnace return air plenum not more than 15ft (unless a flow control device is used) or less than 10ft from the furnace cabinet. In locations with winter design temperature less than -10° C, this duct must have a motorized damper interconnected with principal ventilation air fan.

Damper make _____ Voltage _____

5. Exhaust Appliance present which exceeds Box B 0.5 ACH:

Yes, Proceed to Step 6.

No such appliance. Omit Steps 6 to 8.

6. No radon risk and only NAFFVA present is solid fuel burning (e.g. wood, pellet):

Yes, Omit Steps 7 & 8

No, Proceed to Step 7 or 8

7. Use Passive Make-up Air for Exhaust Appliance with actual installed exhaust rate of 126 cfm or less:

Appliance Cfm _____ Passive Make-up Air Duct Sized to Table 9.32.3.8: _____ inches

8. Use Active Make-up Air for Exhaust Appliance with actual installed exhaust rate of more than 126 cfm.

Make-up Air Fan required:

Fan Make _____ Model _____

*Exhaust Appliance Cfm _____

Duct diameter _____ inches

Fan Cfm _____

*must equal actual installed exhaust rate of appliance.

Fan Location _____ Fan ducted to _____

a) Active Make-up Air delivered to an Unoccupied Area (not directly to room containing the appliance).

i) Tempering Required per 9.32.4.1.(4)(a):

Show calculation & describe how make-up air will be tempered to at least 34°F (1°C) before entering unoccupied area.

ii) Transfer Grill Required: Size to Table 9.32.3.8 (or 1 sq in of gross area per 2 cfm):

Transfer grill size _____ sq. in. Location _____

iii) Additional Tempering Required per 9.32.4.1.(4)(b) before transfer to occupied area: Show calculation and describe how make-up air will be further tempered to at least 54°F (12°C).

OR b) Active Make-up Air delivered to an Occupied Area: Tempering Required. Show calculation and describe how make-up air will be tempered to at least 54°F (12°C).

Installer Certification:

I hereby certify that the design and installation of the ventilation system complies with the 2006 B.C. Building Code.

Date _____

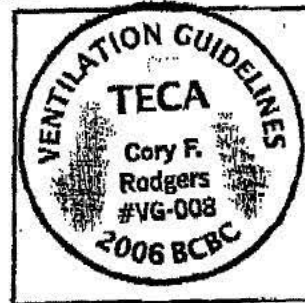
Print Name CORY RODGERS

2006 TECA Ventilation Certification Stamp

Signature [Signature]

Company ALPHA HOME ENERGY

Phone 604 8521212

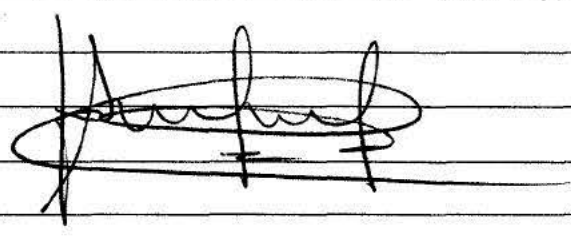


Checklist B2

To: Nova Developments	Date: 14 / 01 / 2009
From: Jorge Silva, P. Eng	
Site: 14034 Marine Dr, Surrey	
Subject: Excavation Inspection <input type="checkbox"/>	Footing Inspection <input type="checkbox"/> Other: _____
Compaction Inspection <input type="checkbox"/>	Framing Inspection <input checked="" type="checkbox"/>

Cornerstone Engineering conducted a framing & sheathing inspection @ 14034 Marine Dr. Trusses, girders, beams & built-up columns were inspected.

All the structural members are in place, and as per Cornerstone Engineering requirements. Sheathing as per BCBC 2006. According to our inspection, it's ok to proceed.



McRAE'S SEPTIC TANK SERVICE

(FRASER VALLEY LTD.)

MODERN TANK TRUCKS

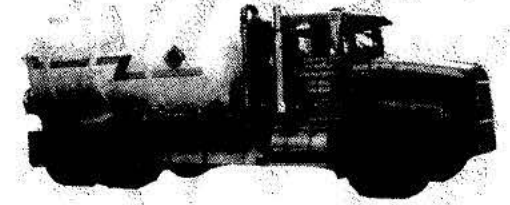
BOX 78, 28944 DOWNES RD., ALDERGROVE, B.C. V4W 2T7
 PHONE: 604-856-8344, 604-534-2833, 604-826-7934, 604-792-3600

1-888-894-4411

FAX: 604-856-0763

Website: www.mcraeseptic.com

24 HOUR EMERGENCY SERVICE
 FAMILY OWNED & OPERATED SINCE 1951



DATE: Jan. 15 2009

M Nova group developments

PHONE # _____

POSTAL CODE: _____

RE: 14034 Marvie Dr Sey JOB NO. _____ P.O. NO. _____

<input type="checkbox"/> SEPTIC TANK	<input checked="" type="checkbox"/> CLEAN LINES	<input type="checkbox"/> ENZYMES		
<input type="checkbox"/> GREASE TRAP	<input type="checkbox"/> C.B.'s / SUMPS	<input type="checkbox"/> HOLDING TANK		
<input type="checkbox"/> PUMP CHAMBER	<input type="checkbox"/> HYDRO DIGGING	<input type="checkbox"/> FIELD FLUSH		
<input type="checkbox"/> LOCATE/EXPOSE TANK	<input type="checkbox"/> SPECIAL WASTE			
UNIT # <u>14</u>	RATE: <u>Flat</u>	HOURS @ <u>Rate</u>	PER HOUR	<u>740</u>
DISPOSAL FEE:	<u>N/A</u>	LOADS @ _____	PER LOAD	<u>60</u>
COMMENTS: <u>FLUSH existing Perimeter (99% Full) on drainage north side, west side & south side. All clear. could not clear east side (front) due to corners not exposed. Tiles had minimum debris & are in good condition.</u>				<u>60</u>
SIGNATURE: <u>AS PER Angela 604-308-6261</u>			SUB TOTAL	<u>806</u>
<input checked="" type="checkbox"/> CHARGE	2% INTEREST ON BALANCE OVER 30 DAYS.		DRIVER INITIAL: <u>Switt</u>	G.S.T.
<input type="checkbox"/> CASH	<input type="checkbox"/> CHEQUE	<input type="checkbox"/> VISA	<u>DMK</u>	TOTAL

G.S.T. NO. R103607008

WHITE - CUSTOMER COPY
 YELLOW - OFFICE COPY

DRIVER SLIP NO. **59457**



THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
 15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
 Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

Redacted S. 22

NAME: _____ PERMIT No.: 03.126

ADDRESS: 14034 Marine SHEET No.: _____

TYPE OF INSPECTION: _____ DATE: Jan 27/09

AREA OF INSPECTION: Crawlspace Insulation (partial)

carport area approved

SIGNATURE: _____ INSPECTOR: 

DATE: _____

Please sign this form when the work is completed and return to the above department.



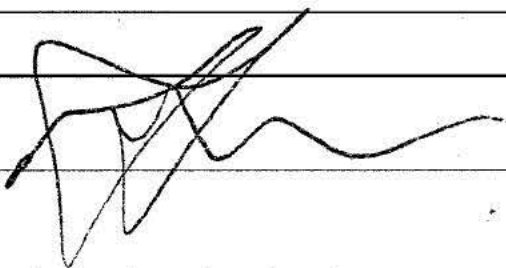
THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

NAME: Redacted S. 22 PERMIT No.: 08. 126
ADDRESS: 14034 Marine Dr. SHEET No.: _____
TYPE OF INSPECTION: _____ DATE: Jan 23/09
AREA OF INSPECTION: Ext Frame

- 1) Metal brackets required on all post to beam connections
- 2) Declaration letter required from vinyl deck installer

Recall

SIGNATURE: _____ INSPECTOR: 
DATE: _____

Please sign this form when the work is completed and return to the above department.

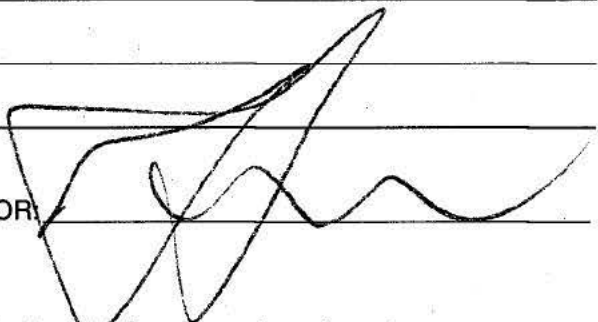


THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

NAME: Redacted S. 22, PERMIT No.: 08.126
ADDRESS: 14034 Marine Dr. SHEET No.: _____
TYPE OF INSPECTION: plumbing DATE: Jan 19/09
AREA OF INSPECTION: below Slab DWV

Below Slab Appraise

SIGNATURE: _____ INSPECTOR: 
DATE: _____

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK
 15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
 Telephone: (604) 541-2136 Fax: (604) 541-2153

Permit Number: **5495**
 Date: Jan 16/09

APPLICATION FOR PLUMBING PERMIT

Location of Work: 14034 MARINE DR. Occupancy: SFO Type of Work: New , Existing , Additional
 Owner: Redacted S. 22 Phone: _____ T.Q. Number: 0219 PL96
 Contractor: JOA MECHANICAL Phone: 778-908-3585 Business Licence: Yes: _____ No: _____ Applied For:

I wish to apply to the Plumbing Inspector for a permit to install the following fixtures:

Floor	Water Heater	Water Closets	Wash Basins	Bath Tubs	Showers	Kitchen Sink	Wash Tubs	Automatic Washer	Floor Drains	Urinals	Dish Washer	Hose Bibs	Sprinklers	Other Fixtures
Basement	1	1	1	1		3		1	1			2		1 BAR
Main		2	2	1		1					1			
Second		1	2	1	1									
Third														
Fourth														
Fifth														
Sixth														
TOTAL	1	4	5	3	1	1	-	1	1	-	1	2	-	
Fixture Units														

Water Service Size: 1" Total Fixture Units: 21 Total No. of Fixtures: 21 PERMIT FEE: \$ 450

[Signature]
 Signature (Applicant)

[Signature]
 Signature (Inspector)

COMMENTS: _____



THE CORPORATION OF THE CITY OF WHITE ROCK

DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

Redacted S. 22

NAME: _____ PERMIT No.: 08-126

ADDRESS: 14034 Marine Dr SHEET No.: _____

TYPE OF INSPECTION: _____ DATE: Dec 5/08

AREA OF INSPECTION: Height check

Maximum Permitted height 73.29 m

71.70

1.59 m

(62 1/2 inches)

old ridge to peak 602 1/2

0" inches below maximum permitted height

SIGNATURE: _____ INSPECTOR: 

DATE: _____

Please sign this form when the work is completed and return to the above department.

Water Pipe sizing for Single family Dwellings and Duplexes

1/2 inch	11 fixt. units
3/4 inch	40 fixt. units
<u>1 inch</u>	<u>90 fixt. units</u>
1 1/4 inch	225 fixt. units

14034 Maine Av
RS. 4
08-126

		Base	Main	UPPER	=	total
Toilet	=3	1	1	1		3
Basin	=1	1	1	2		4
Bath tub	=2	—	1	1		4
Shower head	=2	1	1	1		6
2 Head Shower	=3	—	—	—		—
Kitchen Sink	=2	—	1	—		2
Dish washer	=3	—	1	—		3
Clothes washer	=3	1	—	—		3
Wash tub	=2	1	—	—		2
Hose bib	=7	—	1	1		14
Bar sink	=2	1	—	—		2

1" min. required -

43



THE CORPORATION OF THE CITY OF WHITE ROCK
DEVELOPMENT SERVICES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
Phone: (604) 541-2136 • Fax: (604) 541-2153

Inspection Report

NAME: Redacted S. 22 PERMIT No.: 08.126
ADDRESS: 14034 Marine Dr. SHEET No.: _____
TYPE OF INSPECTION: _____ DATE: Nov 27/08
AREA OF INSPECTION: Foundation

Engineers letters & Survey received

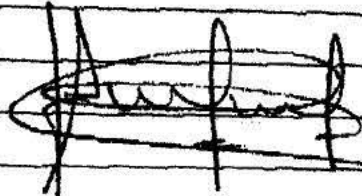
Approved pour

SIGNATURE: _____ INSPECTOR: 
DATE: _____

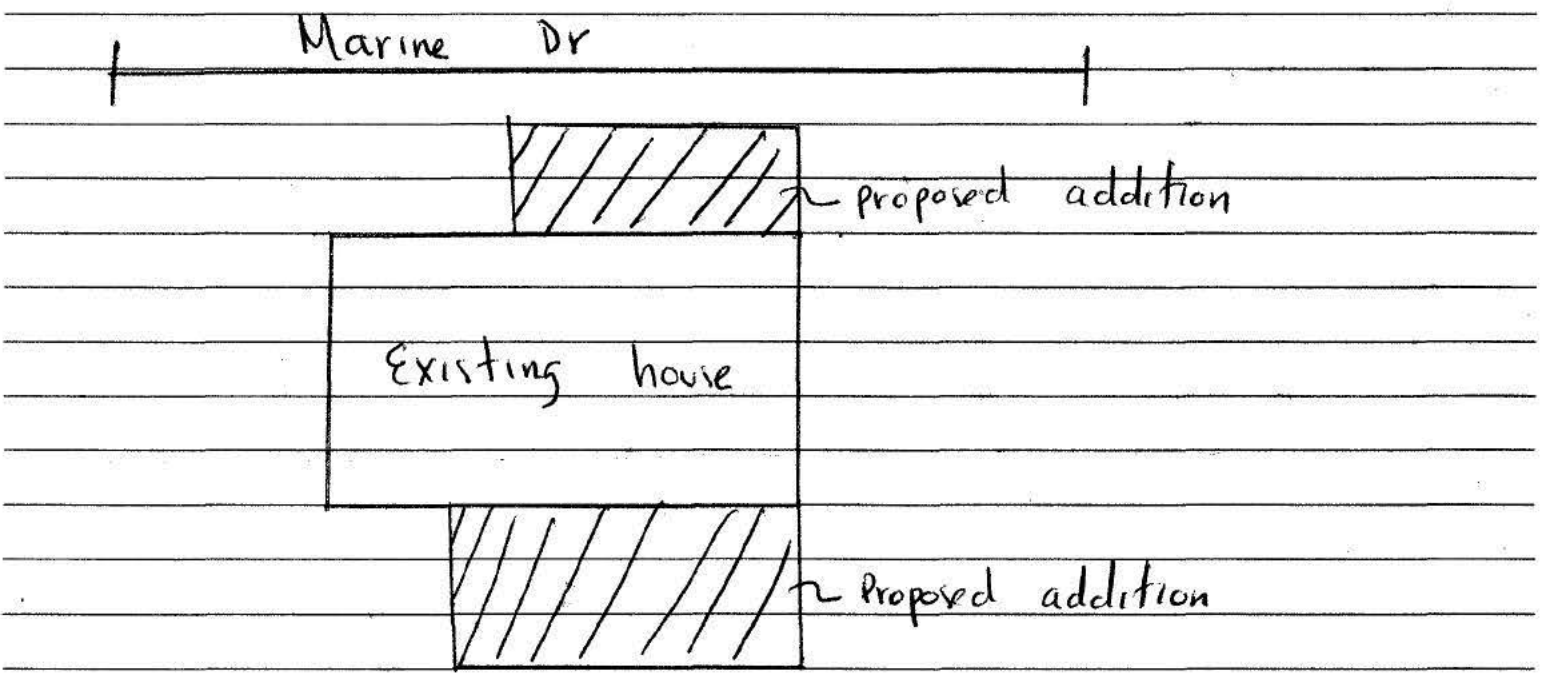
Please sign this form when the work is completed and return to the above department.


To: Nova Developments Date: 18 11 2008
 From: Jorge Silva, P. Eng
 Site: 14034 Marine Dr, Surrey
 Subject: Excavation Inspection Footing Inspection Other: _____
 Compaction Inspection Framing Inspection

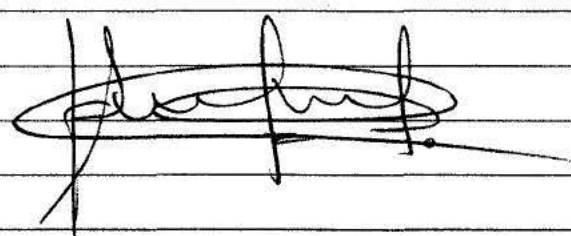
Cornerstone Engineering Ltd conducted a footing inspection @ 14034 Marine Dr, Surrey. Forms & steel bars are in place, and as per our structural specifications. According to our inspection, it's approved to proceed.



To: Nova Developments	Date: 017 / 11 / 2008
From: Jorge Silva, P-Eng	
Site: 14039 Marine Dr, Surrey	
Subject: Excavation Inspection <input checked="" type="checkbox"/>	Footing Inspection <input type="checkbox"/>
Compaction Inspection <input type="checkbox"/>	Framing Inspection <input type="checkbox"/>
	Other: _____

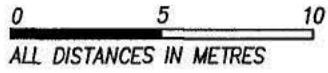


Area indicated  has been excavated into medium dense gravelly sand. Material adequate for design soil bearing pressure of 1500 psf. OK to proceed with foundation work.

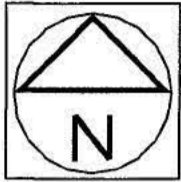


B.C. LAND SURVEYOR'S FORMS LOCATION CERTIFICATE OF:
 LOT A, SECTION 9, TOWNSHIP 1, NEW WESTMINSTER DISTRICT, PLAN 13312

(P.I.D. 001-763-440)

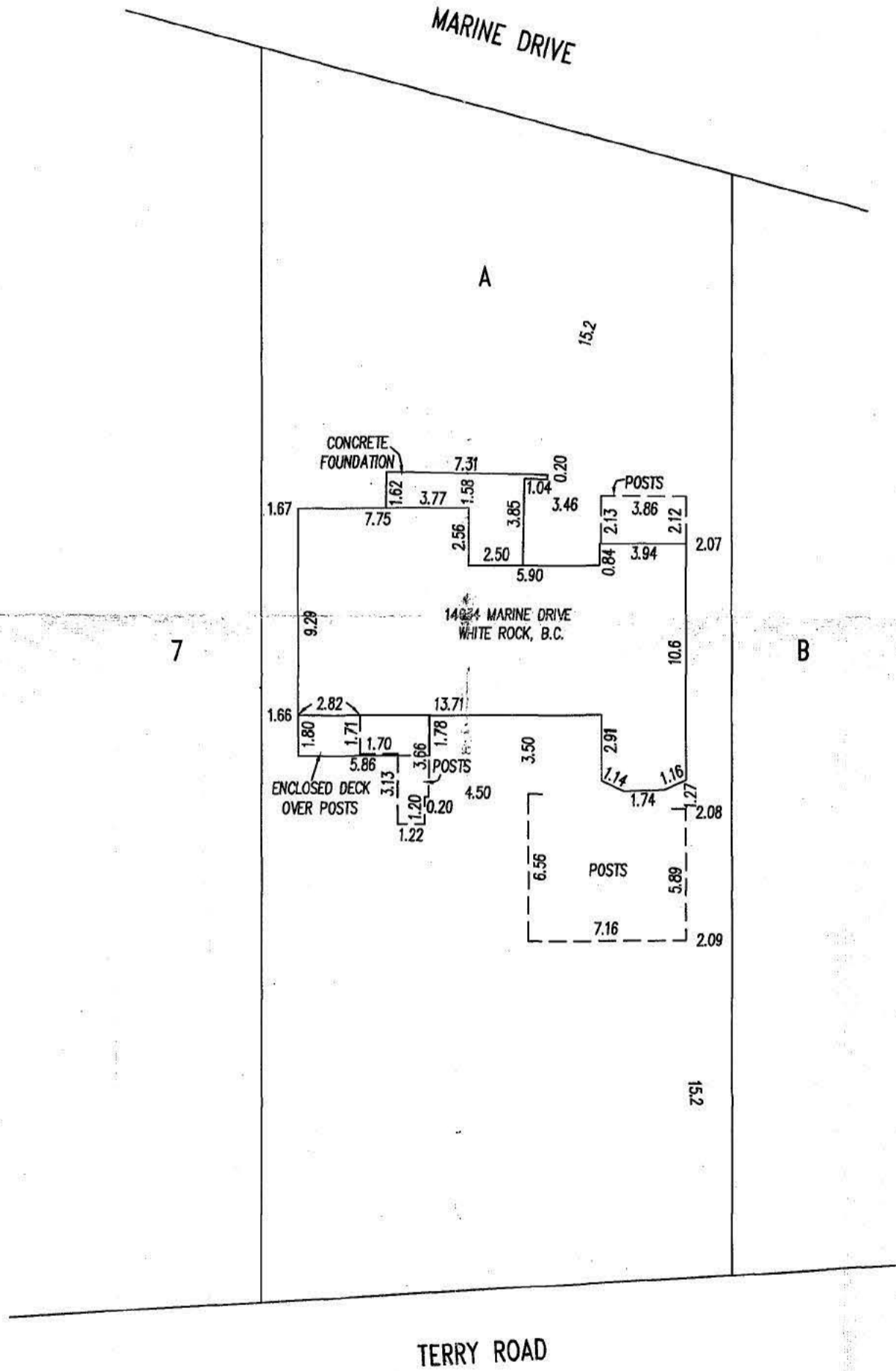


SCALE-1:250



This document shows the relative location of the structures and features with respect to the boundaries of the parcel described above. It shall not be used to define property lines or property corners, and should be used in conjunction with a current title search to determine any charges which may affect land use.

LOT DIMENSIONS ARE FROM GROUND SURVEY BY MYSELF



This plan was prepared for municipal purposes and is for the exclusive use of our client. All rights reserved. No person may copy, reproduce, transmit or alter this document in whole or in part without the consent of the signatory. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

G.A. Rowbotham
 CERTIFIED CORRECT

Dated this 21st day of NOVEMBER, 2008
 THIS DOCUMENT IS NOT VALID UNLESS
 ORIGINALLY SIGNED AND SEALED. ©



RECEIPT REPORT

1. Name of who paid bond: Redacted S. 22 Address: 14034 MARINE DR., N.R.
 2. Site Address: Redacted S. 22 Phone: Redacted S. 22
 3. Date Paid: DEC 04/08 Clerk's Initial CB. Receipt # 100837

<input type="checkbox"/>	BLDGP	Building & Other Permits*	\$ _____	# _____
<input type="checkbox"/>	BONDLAN	Landscaping Bond	\$ _____	
<input type="checkbox"/>	BONDMIS	Miscellaneous Bond	\$ _____	
<input type="checkbox"/>	BONDOCC	Occupancy Bond	\$ _____	
<input type="checkbox"/>	BONDRD	Road & Right of Way Bond	\$ _____	
<input type="checkbox"/>	BONDSID	Sidewalk Café Bond	\$ _____	
<input type="checkbox"/>	DCCGVSD	DCC's GVS & DD	\$ _____	
<input type="checkbox"/>	DCCHWY	DCC's Highways & Roads	\$ _____	
<input type="checkbox"/>	DCCPARK	DCC's Parkland	\$ _____	
<input type="checkbox"/>	DCCSANIT	DCC's Sanitary Sewer	\$ _____	
<input type="checkbox"/>	DCCSCHO	DCC's Surrey School District	\$ _____	
<input type="checkbox"/>	DCCSTOR	DCC's Storm Drainage	\$ _____	
<input type="checkbox"/>	DEMOPMT	Demolition Permit	\$ _____	# _____
<input type="checkbox"/>	DEVPERMI	Rezoning/Development Permit	\$ _____	# _____
<input type="checkbox"/>	DEVWKS	Development Works Reserve	\$ _____	
<input type="checkbox"/>	PLUMBPE	Plumbing Permit	\$ _____	# _____
<input type="checkbox"/>	RESTRICT	Restrictive Covenant	\$ _____	
<input type="checkbox"/>	REZONIN	Rezon./Dev. Permit Adv. Revenue	\$ _____	# _____
<input type="checkbox"/>	RDRWINSP	Road & Right of Way Permit	\$ _____	# _____
<input type="checkbox"/>	SANITCAP	Sanitary Sewer Cap Fee	\$ _____	
<input checked="" type="checkbox"/>	SANITCF	Sanitary Sewer Connection Fee	\$ <u>1,250</u>	
<input type="checkbox"/>	SECSUITE	Registration Fee	\$ _____	
<input type="checkbox"/>	SERVAGRE	Service Agmt Admin. Fee	\$ _____	
<input type="checkbox"/>	SIGNPER	Sign Permit	\$ _____	# _____
<input type="checkbox"/>	STORMCA	Storm Sewer Cap Fee	\$ _____	
<input checked="" type="checkbox"/>	STORMCF	Storm Sewer Connection Fee	\$ <u>350</u>	
<input type="checkbox"/>	SUBDIVIS	Subdivision Appl. Fee	\$ _____	
<input type="checkbox"/>	COPIES	Miscellaneous Copies (Fiche)	\$ _____	
<input type="checkbox"/>	Misc. (need account nbr)		\$ _____	

Total \$ 1,600

*Includes Hoarding & Shoring fees

total : 1600.00
 VISA
 R100837 / B:2008120402 / B:2034
 Dec/2008 LORI
 1600.00
 04/

MS SANITCF 1250.00
 MS SANITCF 350.00

Sub-T

✓ Engineering
✓ Jenure

RECEIPT REPORT

1. Name of who paid bond: Redacted S. 22 Address: 14034 Marine Dr.
2. Site Address: 14034 MARINE DR. Phone: _____
3. Date Paid: NOV 7/08 Clerk's Initial BA Receipt # _____

<input type="checkbox"/>	BLDGPER	Building & Other Permits*	\$ _____	<u>100340</u>
<input type="checkbox"/>	BONDLAN	Landscaping Bond	\$ _____	
<input type="checkbox"/>	BONDMIS	Miscellaneous Bond	\$ _____	
<input type="checkbox"/>	BONDOCC	Occupancy Bond	\$ _____	
<input checked="" type="checkbox"/>	BONDRD	Road & Right of Way Bond	\$ <u>2,500</u>	
<input type="checkbox"/>	BONDSID	Sidewalk Café Bond	\$ _____	
<input type="checkbox"/>	DCCGVSD	DCC's GVS & DD	\$ _____	
<input type="checkbox"/>	DCCHWY	DCC's Highways & Roads	\$ _____	
<input type="checkbox"/>	DCCPARK	DCC's Parkland	\$ _____	
<input type="checkbox"/>	DCCSANIT	DCC's Sanitary Sewer	\$ _____	
<input type="checkbox"/>	DCCSCHO	DCC's Surrey School District	\$ _____	
<input type="checkbox"/>	DCCSTOR	DCC's Storm Drainage	\$ _____	
<input type="checkbox"/>	DEMOPMT	Demolition Permit	\$ _____	# _____
<input type="checkbox"/>	DEVPERMI	Rezoning/Development Permit	\$ _____	# _____
<input type="checkbox"/>	DEVWKS	Development Works Reserve	\$ _____	
<input type="checkbox"/>	PLUMBPE	Plumbing Permit	\$ _____	# _____
<input type="checkbox"/>	RESTRICT	Restrictive Covenant	\$ _____	
<input type="checkbox"/>	REZONIN	Rezon./Dev. Permit Adv. Revenue	\$ _____	# _____
<input checked="" type="checkbox"/>	RDRWINSP	Road & Right of Way Permit	\$ <u>50</u>	# _____
<input type="checkbox"/>	SANITCAP	Sanitary Sewer Cap Fee	\$ _____	
<input type="checkbox"/>	SANITCF	Sanitary Sewer Connection Fee	\$ _____	
<input type="checkbox"/>	SECSUITE	Registration Fee	\$ _____	
<input type="checkbox"/>	SERVAGRE	Service Agmt Admin. Fee	\$ _____	
<input type="checkbox"/>	SIGNPER	Sign Permit	\$ _____	# _____
<input type="checkbox"/>	STORMCA	Storm Sewer Cap Fee	\$ _____	
<input type="checkbox"/>	STORMCF	Storm Sewer Connection Fee	\$ _____	
<input type="checkbox"/>	SUBDIVIS	Subdivision Appl. Fee	\$ _____	
<input type="checkbox"/>	Misc. (need account nbr) (_____)		\$ _____	
			Total \$	<u>2,550</u>

*Includes Hoarding & Shoring fees

Lines 1. & 3. to be filled in by person entering transaction into till.
Line 2. by Plan Checker or Planner.

NS BONDRO 2500.00
NS RDRWINSP 50.00

Sub-T

total : 2550.00
CK 2500.00
VISA 50.00

Total: 2550.00

R:100340 / B:2008110701 / D:2016 07/
Nov/2008 CARMEL



THE CORPORATION OF THE
CITY OF WHITE ROCK
 15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6

DEVELOPMENT SERVICES DEPARTMENT TEL: (604)541-2136 FAX: (604)541-2153

BUILDING PERMIT INFORMATION SHEET

Civic Address: 14034 MARINE DRIVE Zoning: RS4

Legal Description: LOTA, LD 36, SEC. 9, TWP 1, NWD NE 1/4, PLAN 13312

Site Statistics:

Lot Area: 12167 Square Feet

Lot Coverage: Permitted: 5475.4 Proposed: 3034
 (Building footprint Including Percentage: 45 % Percentage 25 %
 Any detached Structure)

Setbacks: Permitted: North 7.5 South 7.5 East 1.5 West 1.5
 Proposed: North 13.95 South 15.2 East 2.07 West 1.68

Building Statistics:

Basement Floor	<u>1217</u>	Square Feet	
Main Floor	<u>1774</u>	Square Feet	
Upper Floor	<u>787</u>	Square Feet	(new addition) = 23.6% ✓
Registered suite	<u> </u>	Square Feet	
Garage	<u> </u>	Square Feet	
Other/Additions	<u> </u>	Square Feet	

Residential Gross Floor Area: Permitted: 6088.5 Proposed: 2481
 Percentage: 50 % Percentage 20 %

Driveway Slope: Permitted: 15% Proposed: EXISTING %

Owner Builder Declaration & Disclosure Notice Yes No

Third Party Home Warranty Provider: Yes No

- Name of Provider: _____

Builder's Business License Number: _____

Board of Variance granted: Yes No

Spatial Calculation included: Yes No

Property Adjacent to Water Course or Ravine: Yes No

Property falls within the Tree Management By-Law: Yes No

I, _____ certify this information to be correct.

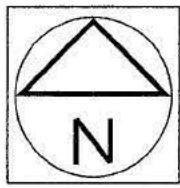
Signature: _____ Date: _____

TOPOGRAPHIC PLAN OF LOT A, SECTION 9, TOWNSHIP 1, NEW WESTMINSTER DISTRICT, PLAN 13312

(P.I.D. 001-763-440)

0 5 10
ALL DISTANCES IN METRES

SCALE-1:250

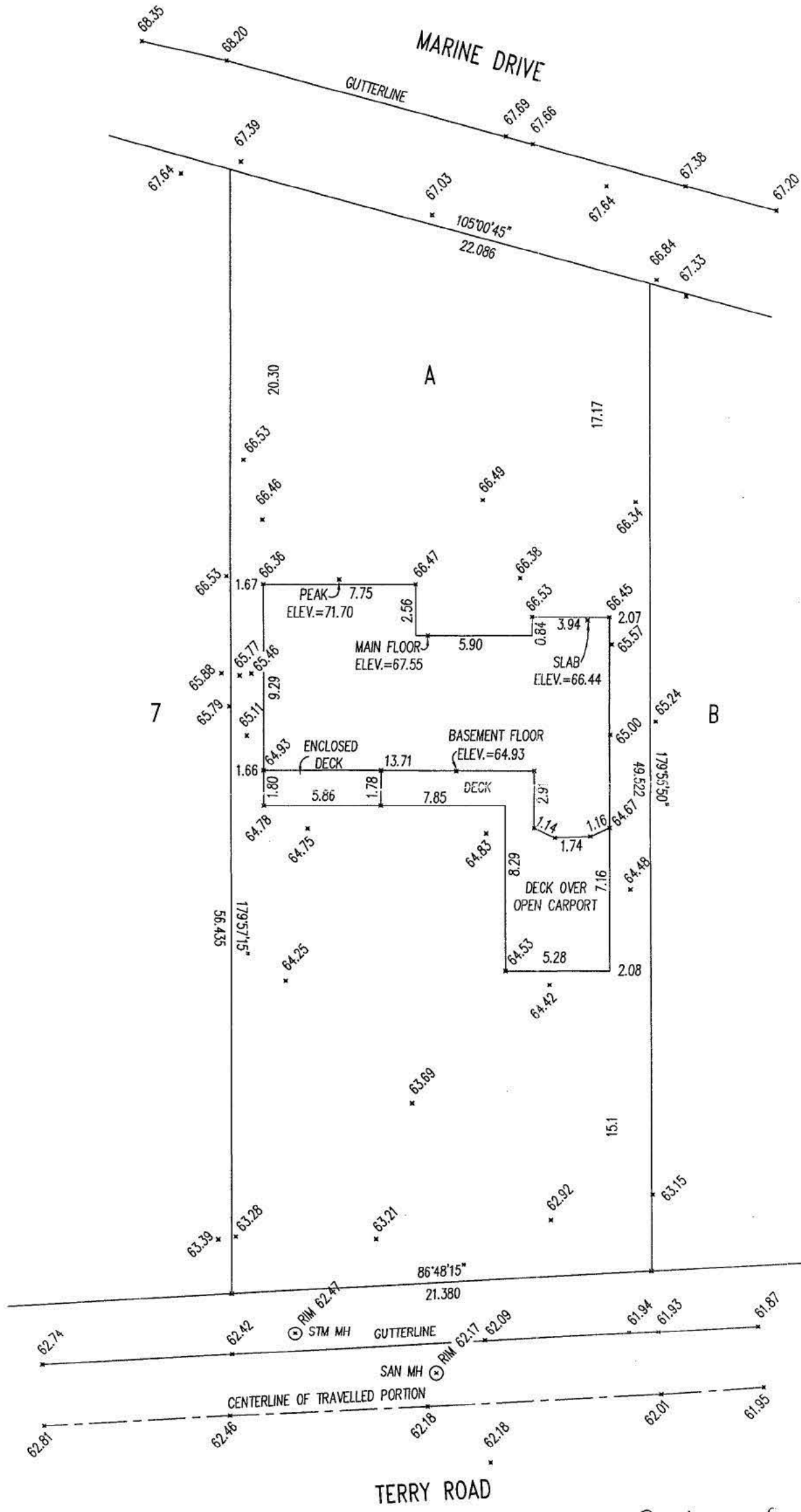


This document shows the relative location of the structures and features with respect to the boundaries of the parcel described above. It shall not be used to define property lines or property corners, and should be used in conjunction with a current title search to determine any charges which may affect land use.

LOT DIMENSIONS ARE FROM GROUND SURVEY BY MYSELF

GROUND ELEVATIONS ON THIS PLAN ARE DEEMED TO BE NATURAL GRADE.

THIS PLAN DOES NOT CONSTITUTE A RESURVEY OF THE LEGAL BOUNDARIES OF THE TITLED LOT OR LOTS, IT IS COMPILED FROM FIELD TIES AND LAND TITLE OFFICE RECORDS.



LEGEND

- ⊙ STM MH - STORM MANHOLE
- ⊙ SAN MH - SANITARY MANHOLE

NOTE - GROUND ELEVATIONS ON THIS PLAN ARE NOT TO BE USED FOR CONSTRUCTION BENCHMARK PURPOSES. A BENCHMARK MAY BE OBTAINED FROM THIS OFFICE.

THIS PLAN WAS PREPARED FOR MUNICIPAL PURPOSES AND IS FOR THE EXCLUSIVE USE OF OUR CLIENT. ALL RIGHTS RESERVED. NO PERSON MAY COPY, REPRODUCE, TRANSMIT OR ALTER THIS DOCUMENT IN WHOLE OR IN PART WITHOUT THE CONSENT OF THE SIGNATORY. THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

* 63.33 INDICATES LOCATION AND ELEVATION OF GROUND SHOT.

ELEVATIONS ON THIS PLAN ARE DERIVED FROM CITY OF WHITE ROCK BENCHMARK #88H3898 LOCATED AT 140th ST. AND MARINE DRIVE.

GARowbotham

CERTIFIED CORRECT B. C. L. S.

Dated this 10th day of SEPT., 2008

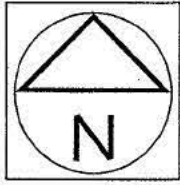
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

TOPOGRAPHIC PLAN OF LOT A, SECTION 9, TOWNSHIP 1, NEW WESTMINSTER DISTRICT, PLAN 13312

(P.I.D. 001-763-440)

0 5 10
ALL DISTANCES IN METRES

SCALE-1:250



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LOT DIMENSIONS ARE FROM GROUND SURVEY BY MYSELF

GROUND ELEVATIONS ON THIS PLAN ARE DEEMED TO BE NATURAL GRADE.

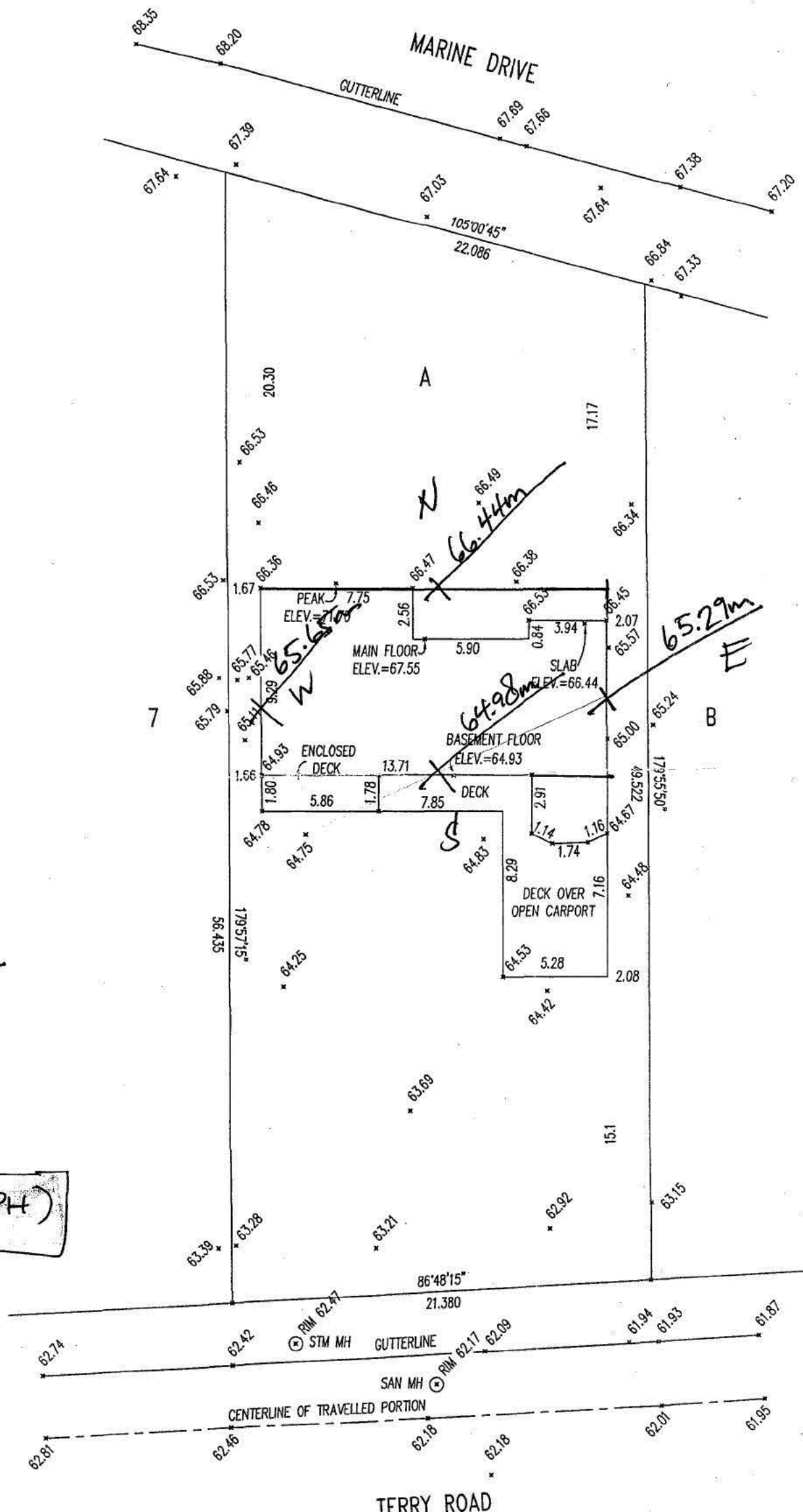
THIS PLAN DOES NOT CONSTITUTE A RESURVEY OF THE LEGAL BOUNDARIES OF THE TITLED LOT OR LOTS, IT IS COMPILED FROM FIELD TIES AND LAND TITLE OFFICE RECORDS.

MAX. PERM. HT.:

N - 66.44
S - 64.98
E - 65.29
W - 65.65

262.36
÷ 4
65.59 Avg
+ 7.7

73.29m (MPH)



LEGEND

- ⊙ STM MH " STORM MANHOLE
- ⊙ SAN MH " SANITARY MANHOLE

NOTE - GROUND ELEVATIONS ON THIS PLAN ARE NOT TO BE USED FOR CONSTRUCTION BENCHMARK PURPOSES. A BENCHMARK MAY BE OBTAINED FROM THIS OFFICE.

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INDICATES LOCATION AND ELEVATION OF GROUND SHOT.

ELEVATIONS ON THIS PLAN ARE DERIVED FROM CITY OF WHITE ROCK BENCHMARK #88H3898 LOCATED AT 140th ST. AND MARINE DRIVE.

GARowbotham
CERTIFIED CORRECT B. C. L. S.

Dated this 10th day of SEPT., 2008

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.



THE CORPORATION OF THE
CITY OF WHITE ROCK
 15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6
 Phone: 604-541-2136 Fax: 604-541-2153

APPLICATION FOR BUILDING PERMIT

Date: OCT. 27 / 08.

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following: RENO. / ADDITION W/ NEW DECKS.

(Copy of Plans of Proposed Building or Alteration to Accompany this Application)

Zoning: RS-4. Development Permit # _____

Legal Description: LOT A, SEC 9, TPL, NWD, PLAN 13312

Project Civic Address: 14034 MARINE DR.

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? YES.

What are they, and what are they used for? PRINCIPAL RESIDENCE.

Entire value, when completed \$ 300,000

Name and address of owner Redacted S. 22

Redacted S. 22 Phone: Redacted S. 22

Name and address of builder OWNER / BUILDER.

SAME AS ABOVE. Phone: _____

Name of project architect / engineer (if any) _____

Roll No. 310.000 Signature of Applicant Redacted S. 22

Building Permit Fee: 2,838²⁵. And I agree to conform to all requirements of said By-Law.

Permit No: 08126

2,393²⁵
395
2,788²⁵
50 mins

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

MS BLDGPER 2788.25
MS COPIES 50.00

otal : 2838.25 Sub-T
VISA 2838.25
R:100081 / B:2008102701 / D:2007 27/
Oct/2008 LORI



THE CORPORATION OF THE
CITY OF WHITE ROCK
 15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6

DEVELOPMENT SERVICES DEPARTMENT TEL: (604)541-2136 FAX: (604)541-2153

FORM 'B'

PROOF OF PROFESSIONAL LIABILITY INSURANCE

RE: Address: 14034 Marine Drive, White Rock

Building Permit Application No.: _____

The undersigned hereby gives assurance that:

- a) I have fulfilled my obligation to obtain a subsisting policy of professional liability or errors and omissions insurance as outlined in section 16.3 of Building Bylaw No. 1782
- b) I have enclosed a copy of my certificate of insurance indicating the particulars of such coverage.
- c) I am a registered professional as defined under Section 1.1.3.2. of the British Columbia Building Code.
- d) I will notify the Building Official immediately if this insurance coverage is reduced, expired or terminated at any time during construction.

Signed this 27 day of October.

Jorge Silva G
 Print Name of Registered Professional

[Signature]
 Signature of Registered Professional

structural & Geotechnical
 Professional's Discipline

Professional's seal



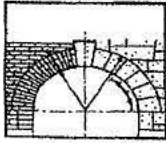
Signed this 27 day of October.

Redacted S. 22

witness signature



ENCON Group Inc.
500 - 1400 Blair Place
Ottawa, Ontario K1J 9B8
Telephone 613-786-2000
Facsimile 613-786-2001
Toll Free 800-267-6684
www.encon.ca



Binder

Architects & Engineers
Professional Liability Insurance

23 July 2008

PARK INSURANCE AGENCY LTD.
420-4400 DOMINION ST
BURNABY, BC
V5G 4G3

Attention: CATHY MCRAE

Re: CORNERSTONE GEO-STRUCTURAL
ENGINEERING LTD.
Customer No. 246843
New Certificate No. ENG345704

As requested, we have bound coverage effective 22 July 2008
to 22 July 2009. Limits are as follows:

LIMIT	AGGREGATE LIMIT	DEDUCTIBLE	PREMIUM
\$500,000	\$1,000,000	\$2,000	\$4,185

SCHEDULE OF INSURERS:	Subscribing Insurer(s)	Percentage
	Continental Casualty Company (CNA)	37.0 %
	XL Reinsurance America Inc.	25.0 %
	Temple Insurance Company	23.0 %
	Aviva Insurance Company of Canada	7.5 %
	Certain Underwriters at Lloyd's under Agreement No. ENC108-09	7.5 %

We are binding based on the terms and conditions set out in our quote letter
of 24 June 2008. The documents will follow shortly.

SCHEDULE B-1

Forming Part of Subsection 2.2.7, Div. C of the
British Columbia Building Code

Building Permit No. ¹

**ASSURANCE OF PROFESSIONAL DESIGN AND
COMMITMENT FOR FIELD REVIEW**

- Notes: (i) This letter must be submitted along with Schedule B-2 before issuance of a *building permit*. A separate letter must be submitted by each *registered professional*.
- (ii) This letter is endorsed by: Architectural Institute of BC, Association of Professional Engineers and Geoscientists of BC, Building Officials' Association of BC, and Union of BC Municipalities.
- (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: *The authority having jurisdiction*

City of White Rock

Name of Jurisdiction (Print)

Re: Proposed house addition-review existing house

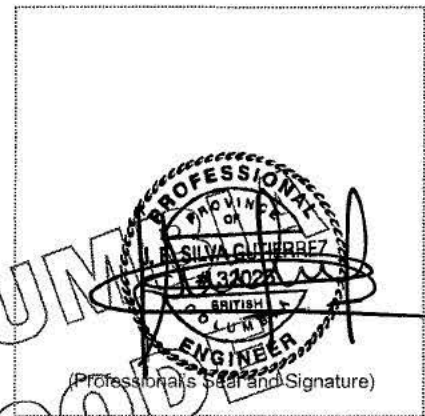
Name of Project (Print)

14034 Marine Dr

Address of Project (Print)

Lot A, LD36, Sec9, TWP1, NWD NE1/4, Plan 13312

Legal Description of Project (Print)



The undersigned hereby gives assurance that the design of the
(Initial those of the items listed below that apply to this *registered professional*.
All the disciplines will not necessarily be employed on every project.)

- ARCHITECTURAL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- FIRE SUPPRESSION SYSTEMS
- ELECTRICAL
- GEOTECHNICAL — temporary
- GEOTECHNICAL — permanent

10/22/2008

Date

components of the plans and supporting documents prepared by this *registered professional* in support of the application for the *building permit* as outlined on the attached Schedule B-2 substantially comply with the BC Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction as indicated on the attached "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" (SCHEDULE B-2).

CRP's Initials

¹ For authority having jurisdiction's use only



THE CORPORATION OF THE
CITY OF WHITE ROCK
15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6

DEVELOPMENT SERVICES DEPARTMENT TEL: (604)541-2136 FAX: (604)541-2153

BUILDING PERMIT APPLICATION REQUIREMENTS FOR SINGLE FAMILY DWELLINGS

- Home Owner's Protection Form – For new homes only** (Contact Homeowners Protection Office (HPO) at 604.646.7050)
- Authorization Form** (if applicant is not owner)
- Title Search – dated within the last thirty (30) days** (see reverse for more information on how to obtain)
- Topographical Survey** (Original drawing signed and sealed by a BC Land Surveyor)
- Underpinning/Shotcrete Legal Agreement** (from adjacent property owners – Notarized by Notary Public or Lawyer)
- Form A – “Owner’s Acknowledgement of Responsibility & Undertakings”** (Original Form A signed by owner)
- Form B – “Proof of Professional Liability Insurance** (Original Form B signed and sealed required from all engineers)
- Building Permit Information Sheet** (completed by designer)
- Two (2) Sets of Drawings** (To Scale: 1/4"=1'-0") (Drawing requirements can be found on-line in our Building By-laws #1782 – City website www.city.whiterock.bc.ca)
- Driveway Section Detail** (Site plan to show proposed driveway slope percentage (%) – Max. permitted slope is 15%)
- Structural & Geotechnical Engineered Drawings and Schedules B1 & B2** (Originals signed and sealed required)
- Building Envelope Engineer- Details & Schedules B1 & B2** (2 sets of Original details signed and sealed required)
- Two (2) sets of Engineered Sprinkler Drawings and Hydraulic calculations c/w original Schedules B1 & B2*** (By sprinkler engineer) * As of January, 2003
- EPCOR White Rock Water Serviceability Form – Original signed copy required** (form completed by homeowner and signed by EPCOR White Rock Water – See back for contact info.)
- Owner is required to confirm depth of sewer services.** Contact Engineering Dept. at (604) 541-2181 to find out if a storm sewer pump will be required.

already pumping

To obtain a Title Search for your property, you can:

- **Go to Land Title Office located at #300 – 88 6th Street, New Westminster, BC, V3L 5B3 (Tel: 604.660.8141) and bring with you the Legal Description of the property in question or the PID number. The cost is \$9.50**
- **Mail the information, including payment and a copy will be sent to you by mail.**
- **Have your Lawyer or Notary obtain a copy on your behalf or**
- **Have an Agent for Lawyer obtain a copy.**

Additional Contact Information:

EPCOR White Rock Water:

Unit 102 – 1440 George Street
White Rock, B.C., V4B 4A3
604.536.6112

BC Assessment Authority:

#208 – 5460 152nd Street
Surrey, BC, V3S 5J9
604.576.4700

Homeowner Protection Office:

PO Box 11132 Royal Avenue
Suite 2270 – 1055 W. Georgia St.
Vancouver, BC, V6E 3P3
604.646.7050

Enquiry BC:

Vancouver
604.660.7867

Schedule B-1 - Continued

Building Permit No.¹

14034 Marine Dr

Project Address

Geotechnical & Structural

Discipline

The undersigned also undertakes to notify the authority having jurisdiction in writing as soon as possible if the undersigned's contract for field review is terminated at any time during construction.

I certify that I am a registered professional as defined in the British Columbia Building Code.

Jorge Silva

Registered Professional's Name (Print)

#100 12099 237th St

Address (Print)

Maple Ridge, BC, V4R 2C3

(778) 928-7589

Phone No.



(Professional Engineer's Signature)

10/22/2008

Date

(If the Registered Professional is a member of a firm, complete the following.)

I am a member of the firm Cornerstone Geo-Structural Engineering Limited and I sign this letter on behalf of the firm. (Print name of firm)

Note: The above letter must be signed by a registered professional. The British Columbia Building Code defines a registered professional to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

CRP's Initials

¹ For authority having jurisdiction's use only

SCHEDULE B-2

Forming Part of Subsection 2.2.7, Division C of the
British Columbia Building Code

Building Permit No.

SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

- Notes :
- (i) This letter must be submitted along with Schedule B-1 before issuance of a *building permit*.
 - (ii) This letter is endorsed by: Architectural Institute of BC, Association of Professional Engineers and Geoscientists of BC, Building Officials' Association of BC, and Union of BC Municipalities.
 - (iii) In this letter the words in *italics* have the same meaning as in the British Columbia Building Code.

Registered Professional's Name (Print) Jorge Silva

Name of Project (Print) Proposed house addition-review existing house

Address of Project (Print) 14034 Marine Dr

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

ARCHITECTURAL

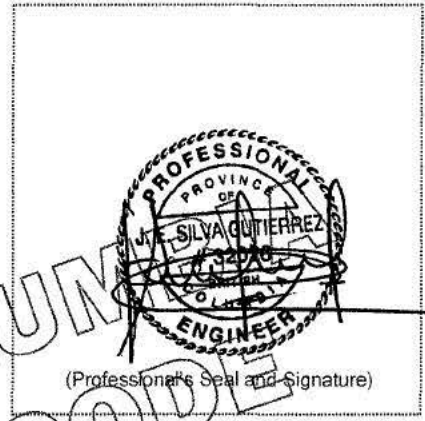
- ~~1.1 Fire resisting assemblies~~
- ~~1.2 Fire separations and their continuity~~
- ~~1.3 Closures, including tightness and operation~~
- ~~1.4 Egress systems, including access to exit within suites and floor areas~~
- ~~1.5 Performance and physical safety features (guardrails, handrails, etc.)~~
- ~~1.6 Structural capacity of architectural components, including anchorage and seismic restraint~~
- ~~1.7 Sound control~~
- ~~1.8 Landscaping, screening and site grading~~
- ~~1.9 Provisions for fire fighting access~~
- ~~1.10 Access requirements for persons with disabilities~~
- ~~1.11 Elevating devices~~
- ~~1.12 Functional testing of architecturally related fire emergency systems and devices~~
- ~~1.13 Development Permit and conditions therein~~
- ~~1.14 Interior signage, including acceptable materials, dimensions and locations~~
- ~~1.15 Review of all applicable shop drawings~~
- ~~1.16 Interior and exterior finishes~~
- ~~1.17 Dampproofing and/or waterproofing of walls and slabs below grade~~
- ~~1.18 Roofing and flashings~~
- ~~1.19 Wall cladding systems~~
- ~~1.20 Thermal insulation systems, including condensation control and cavity ventilation~~
- ~~1.21 Exterior glazing~~
- ~~1.22 Integration of building envelope components~~
- ~~1.23 Environmental separation requirements (Part 5)~~

STRUCTURAL

- ~~2.1 Structural capacity of structural components of the building, including anchorage and seismic restraint~~
- ~~2.2 Structural aspects of deep foundations~~
- ~~2.3 Review of all applicable shop drawings~~
- ~~2.4 Structural aspects of unbonded post-tensioned concrete design and construction~~

MECHANICAL

- ~~3.1 HVAC systems and devices, including high building requirements where applicable~~
- ~~3.2 Fire dampers at required fire separations~~
- ~~3.3 Continuity of fire separations at HVAC penetrations~~
- ~~3.4 Functional testing of mechanically related fire emergency systems and devices~~
- ~~3.5 Maintenance manuals for mechanical systems~~
- ~~3.6 Structural capacity of mechanical components, including anchorage and seismic restraint~~
- ~~3.7 Review of all applicable shop drawings~~



10/22/2008

Date

¹ For authority having jurisdiction's use only

CRP's Initials

Schedule B-2 - Continued

Building Permit No. ¹

Address of Project (Print) 14034 Marine Dr

Registered Professional's Name (Print) Jorge Silva

PLUMBING

- 4.1 Roof drainage systems
- 4.2 Site and foundation drainage systems
- 4.3 Plumbing systems and devices
- 4.4 Continuity of fire separations at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for plumbing systems
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of occupancy
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Functional testing of fire suppression systems and devices

ELECTRICAL

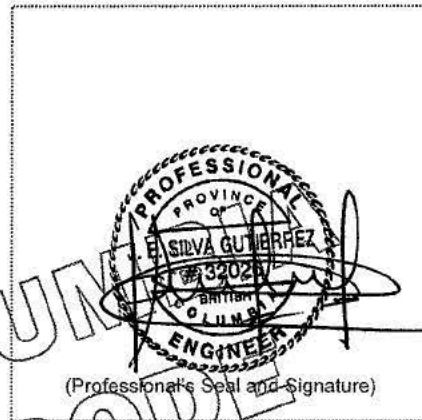
- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of fire separations at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from buildings of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings

GEOTECHNICAL — Temporary

- 7.1 Excavation
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep foundations
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



(Professional's Seal and Signature)

10/22/2008

Date

¹ For authority having jurisdiction's use only

CRP's Initials



THE CORPORATION OF THE
CITY OF WHITE ROCK
15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6

DEVELOPMENT SERVICES DEPARTMENT TEL: (604)541-2136 FAX: (604)541-2153

FORM 'A'

OWNERS ACKNOWLEDGEMENT OF RESPONSIBILITY AND UNDERTAKINGS

RE: Address: 14034 Marine Drive

Building Permit Application No.: _____

1. I am the owner of the land and premises located at 14034 Marine Drive WHITE ROCK BC.
2. I understand and acknowledge that I am fully responsible for carrying out the work or having the work carried out, in accordance with the requirements of the **British Columbia Building Code**, the **Building Bylaw No. 1782** and all other bylaws of the City of White Rock.
3. I will comply with, or cause those whom I employ to comply with the **British Columbia Building Code** and all bylaws of the City of White Rock and other statutes and regulations relating to the development, work, undertaking or permission in respect of which this application is made.
4. I understand and acknowledge that neither the issuance of a permit under **Building Bylaw No. 1782**, the review of plans and supporting documents, nor inspections by a building official shall, in any way, constitute a representation, warranty, or statement that the **British Columbia Building Code**, **Building Bylaw No. 1782**, or any other bylaw of the City of White Rock has been complied with.
5. If the material submitted in support of the application for this Building Permit included certification provided by Registered Professionals in the form of Schedules B-1 and B-2 referred in section 2.6 of Part 2 of the **British Columbia Building Code**, I understand and acknowledge that the City of White Rock and its building officials have relied on those letters of assurance as certification that the design and plans to which they relate comply with the **British Columbia Building Code** and other applicable enactments relating to safety.
6. In particular, I understand and acknowledge that the City of White Rock has relied on the letters of "Assurance of Professional Design and Commitment for Field Review" provided by:

* Insert the name of the Registered Professionals where applicable below:

Architectural: _____

Building Envelope: _____

Structural: Jorge Silva G

Mechanical: _____

Plumbing: _____

Fire Suppression Systems: _____

Electrical: _____

Geotechnical: Jorge Silva G

In reviewing the plans and supporting documentation submitted with this application for a Building Permit.

7. I am authorized to make this acknowledgement of responsibility and give these undertakings to the City of White Rock.
8. I understand that it would be prudent for me to seek independent legal advice with respect to the responsibilities I am assuming upon the granting of a Building Permit by the City of White Rock pursuant to this application and in respect of the execution of this acknowledgement.

Signed this 27 day of October/08.

Redacted S. 22

Print Name

Redacted S. 22

Signature of owner

(or signing officer if the owner is a corporation)

Signed this 27 day of October/08.

Witness

Developer
Occupation



**City of White Rock - Public Works Department
Storm & Sanitary Sewer Connection Sheet**



Address: **14034 Marine Drive** Contractor:
 Legal Description: **Lot A, Plan 13312, Part NE1/4, Section 9, Township 1, New Westminster Land District**
 Owner's Name: **Redacted S. 22** Phone #: **Redacted S. 22**
 Date Filed: Date Paid:
 Date Installed: **Resident to meet with PW Foreman to schedule installation.**

Sanitary Sewer Service

*Depth and Location are approximate and to be used as a guide only

Proposed Location: **100mm PVC service to be installed (w/IC) off the South end of the property. Foreman to discuss location with resident. Resident will achieve grade with tie-in to the Terry Road main.**

Approximate Depth: **To be determined.**

Main Extension Required: Yes No

Remarks: **Resident will need to cap existing connection at Marine Drive main (Foreman to discuss with resident). This fee will range from \$0.00 - \$1,250.00 depending on the material of the connection.**

Cap-Off Fee	(\$25.00 if not collected at time of Demo Permit)	\$0.00
Connection Fee	(\$1,200.00)	\$1,200.00
Inspection Fee	(\$50.00)	\$50.00
Cap-Off at Main (Marine Drive)	(To be determined during cap-off/installation)	TBD
	Can be paid at a later date.	

Total Cost for Sanitary Connection **\$1,250.00+**

Storm Sewer Service

*Depth and Location are approximate and to be used as a guide only

Existing Location: **10' East of Southwest corner of the property.**

Approximate Depth: **2'**

Main Extension Required: Yes No

Remarks: **IC installation required for this property.**

Cap-Off Fee	(\$25.00 if not collected at time of Demo Permit)	\$0.00
I/C Installation Fee	(\$350.00)	\$350.00
Inspection Fee	(\$50.00)	\$50.00
Total Cost for Storm Connection		\$350.00

Total Cost For Storm & Sanitary Services **\$1,600.00+**

Driveway Access

*Owner or Contractor must complete a "City Road & ROW Permit" for City Engineer's approval of all proposed works that cross City Boulevard.

Maximum Allowable Driveway Grade: **15%**

Proposed Driveway Grade:

Remarks:

General Requirements

- IF THE ABOVE LOCATION OF THE NEW SERVICE IS NOT WHERE THE OWNER / BUILDER WOULD LIKE THEY MUST REQUEST A NEW LOCATION THROUGH PUBLIC WORKS AND AN ADDITIONAL FEE WILL BE REQUIRED
- Owner / Builder must expose existing sanitary service at the property line for Cap-Off by Public Works Foreman. Failure to do so will result in denial for request of a Building Permit.
- All work must conform to the City of White Rock Standards and Specifications
- All inspections on private property to be carried out by the City's Building Department
- The owner / builder is responsible for maintaining and lowering the Inspection Chamber to no lower than finished grade. Any replacement / repairs to the Inspection Chamber must be done by the City and the costs will be charged to the owner.
- All services will be installed at the lowest possible elevation, however, the City is not responsible for providing a gravity service. It is the owner's / builder's responsibility to connect at that elevation at property line whether by gravity or sump pump
- Notify Public Works Foreman (541-2181) **two weeks** prior to service installation to allow for scheduling of work

Date: **DEC 04 2008**

Applicant's Signature: **Redacted S. 22**

SCHEDULE 'C'
City Road and Right of Way Use Permit

BUILDING PERMIT NO. 08-543

Effective: November 07, 2008
Expiry: November 07, 2009

OWNER
Redacted S. 22
Address: 14034 Marine Drive
Telephone Numbers: s. 22

BUILDER
Name:
Address:
Telephone Numbers:
Redacted S. 22

LOCATION OF WORK: 14034 Marine Drive
PERMISSION IS HEREBY GRANTED TO:

Protection of City Boulevard During Renovation Construction:

Boulevard restoration must be completed to meet the following requirements prior to the refund of the \$2,500 Security Bond:

- Driveway access through the City Boulevard must be restored according to the current City of White Rock Street and traffic Bylaw.
- Driveway access to be asphalt or brick pavers from property line to road edge.
- Driveway access must slope up at 2% from road edge to property line before sloping to garage slab at maximum 15%.
- Backfill under driveway within the City Boulevard must be structural fill (3" minus free draining granular material).
- Remaining City Boulevard (property line to road edge) must be restored with a minimum 150mm of topsoil and sod or landscaping ground cover approved by the Parks Manager (604-541-2181).
- No "landscape rock" is permitted on the City Boulevard.

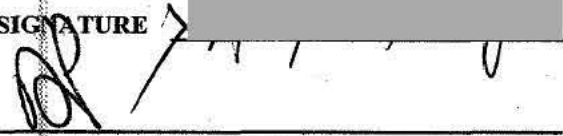
All works shall be completed in accordance with all current City of White Rock construction specifications and standard drawings. The applicant shall not employ a contractor not skilled in the work assigned. An as-built drawing may be required with the attached specifications prior to release of security deposit. The following City inspections are required to satisfy the terms of this permit:

Road and Boulevard

To schedule an inspection, please call the Municipal Operations Department at 604-541-2181. Please note that a charge of \$50.00 shall be paid by the owner for each additional inspection made not mentioned above.

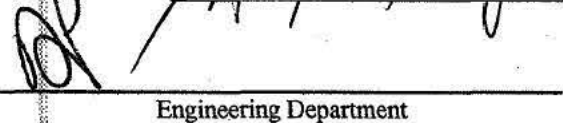
I hereby agree to all the terms of the Highways Use By-law which pertain to this permit and deposit wherewith the some to guarantee the fulfillment of the terms of and within the time specified for the permit. A refund of the security deposit will be issued upon successful completion of this work and if required a submission and acceptance of an as-built drawing (and after all City inspections are passed) minus any additional cost incurred by the City of White Rock. I further agree to indemnify and save the City harmless against any and all claims, actions or expenses whatsoever or by whomsoever brought against the City by reason of the City granting me this City Road and Right of Way Use Permit or by reason of the construction of the above referred

APPLICANTS SIGNATURE



DATE Nov. 7/08

ISSUED BY:


Engineering Department

NOV 07 2008

FEEES	
ROW Security Bond	\$2,500.00
Permit	\$50.00
TOTAL	\$2,550.00
DEPOSIT RECEIPT NO.	

14034 M.D.

Carolyn Leveille

From: Paul Stanton
Sent: Monday, April 06, 2009 10:56 AM
To: Alan Markovic
Cc: David Pollock; Carolyn Leveille; Guy Gareau
Subject: RE: Request for action [REDACTED] 14034 MARINE DR

I meant to discuss this item at our meeting last Thursday, but it slipped my mind at the time. I did review our Building Bylaw as well as our Street and Traffic Bylaw, then discussed the issue with Peggy. Peggy and I both shared the concern that an existing property that already has the two entrances is protected by section 911 of the Local Government Act. Even though the building permit is resulting in the complete retro fit plus addition to the existing dwelling, it is still not intensifying the use i.e. it will still be a single family dwelling when complete. This property already has the two entrances, which is different from the situation a couple of doors down where they only have the one entrance, and the Street and Traffic Bylaw prevents the 2nd entrance only because Terry Road is wider than a lane (even though it's narrower than a normal sized road ROW as a 40 foot wide ROW).

From: amarkovic@city.whiterock.bc.ca [mailto:amarkovic@city.whiterock.bc.ca]
Sent: Friday, March 27, 2009 1:35 PM
To: Paul Stanton
Subject: Request for action - 14034 MARINE DR

Hi: Paul

s. 22 at 14034 MARINE DR called on 2009-03-27

Telephone Number: Redacted S. 22
Cellphone Number: Redacted S. 22
Inquiry Type: Road Allowances
Action Requested: History

Comments:

Hello s. 22 As discussed yesterday, a ROW permit will be required at this property to address the concerns of 1. Two driveway accesses which are not permitted under the Street and Traffic Bylaw, although prior to the renovation two did exist along with two letdowns off of Terry Road and Marine Drive, 2. One access should be removed, presumably off of Marine as the garage is located off of Terry, 3. A plan which will show the proposed access off of Terry road with widths and slopes in conformance with the Street and Traffic Bylaw, 4. The type of materials proposed for re-instating one of these driveways. I have attached the original permit submitted by the Operations Department when this project was deemed a reno less than 50%, as well as the boulevard improvement application submitted to remove the juniper/cottoneaster hedge on City property. From inspection performed at this point, it was noted that both d/w accesses were in the process of being re-done without permit. Attached is also a quote from Paul to remove the Marine Driveway letdown and the placement of a barrier curb and sidewalk. Also attached is comments from our Arborist as to the planting plan submitted for permit and the ROW permit drafted for this purpose. AM

Additional Notes:

** Click on the ADDRESS link to bring up the map.
Click here to enter the COMPLETION DATE after the job is done.



PYRAMID TRUSS

33771 MOREY AVE. ABBOTSFORD B.C. V2S 2W5
 BUS: (604) 854-6626 FAX: (604) 854-6614

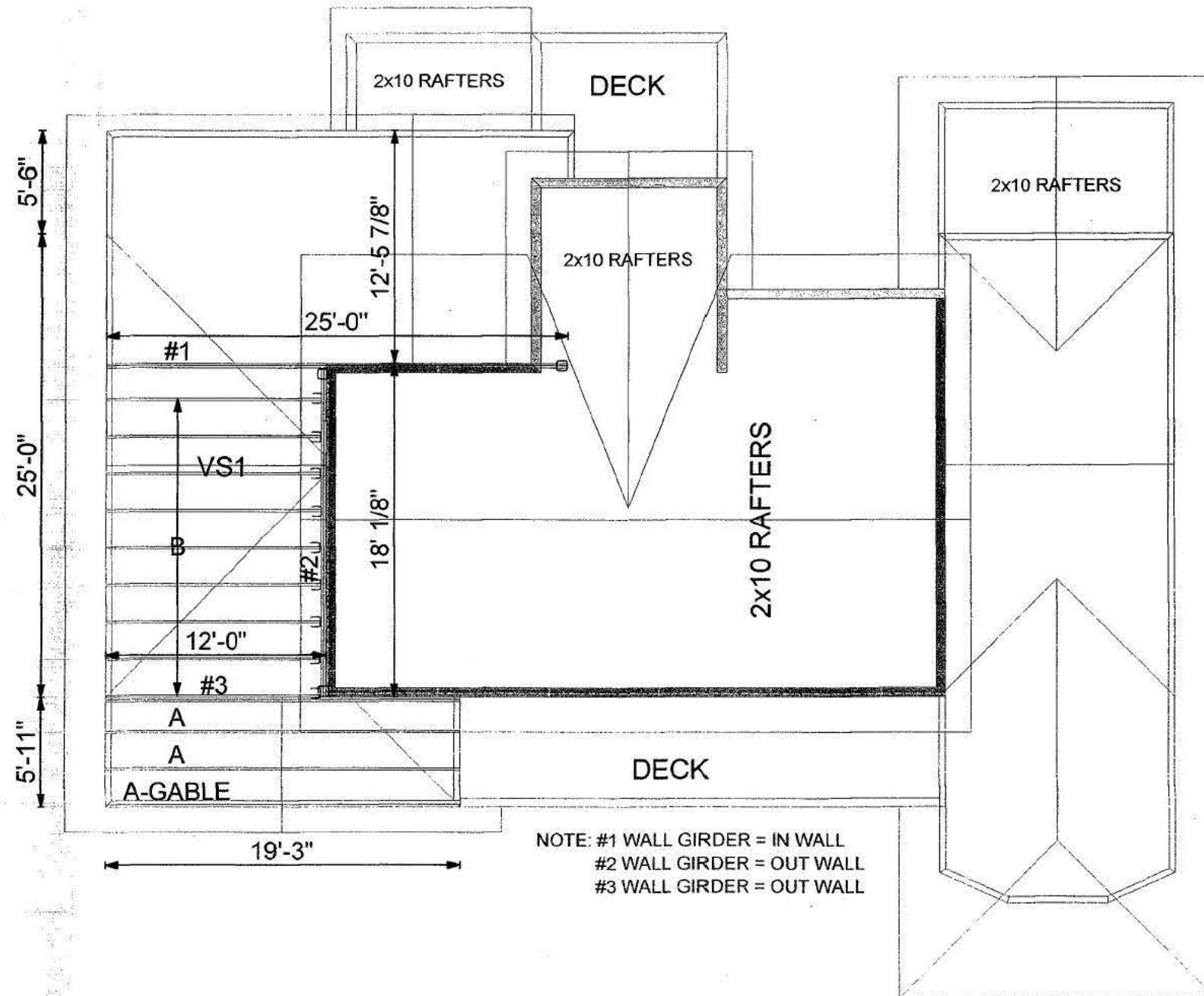
WORK # 2020

PAGE 1 OF 1

CUSTOMER		NOVA GROUP		DELIVERED TO		14034 MARINE DR. WHITE ROCK							
BUS / RES				DELIVERY DATE				TRUCK REQUIRED					
CELL		604-308-6261		TRS		NOV. 21/08		TRS		PYRAMID			
FAX				WG				WG					
DATE QUOTED				SNOWLOAD		48		RAIN LOAD		4.2		BLDG CODE	
QUOTED TO		s. 22		SPACING		24"		PITCH		5/12		PART9 X	
REFERENCE		Redacted S. 22 ADDITION		EXT WALLS		2X4		VAULT PITCH		-----		PART4	
DATE ORDERED				WEBS		2X3		END CUT		P/C		FARM	
PREPARED BY		MATT		ROOFING		DUROID		HEEL CUT		0-2-120/A		FLOOR	
QTY	TYPE	DESCRIPTION		SPAN	L	OVERHANG	R	L	CANTILEVER	R	L	STUB	R2
1	#1	IN WALL GIRDER		25-0-0	NIL	NIL							
1	#2	OUT WALL GIRDER		18-0-2	NIL	NIL							
1	#3	OUT WALL GIRDER		19-3-0	NIL	NIL							
1	A	GABLE		19-3-0	2-2-8	NIL							
2	A	COMMONS		19-3-0	2-2-8	NIL							
9	B	MONOS		11-9-0+-	2-2-8	NIL							
1	VS1	VALLEY SET 5 ON 5		24-9-0	6 PCS.								
QTY		HANGER TYPE		QTY		CRUSH PLATE TYPE							
		LU24L			CP1.4		SUB TOTAL						
24	LJS 26 DS	6 FOR W.G.			CP2.4		CARTAGE						
	HGUS 26				CP3.4		ENGINEERING						
3	HGUS 28-2				CP1.6		GST						
	SPECIAL				CP2.6		PST						
	H-1				CP3.6		TOTAL						

P Y R A M I D T R U S S L A Y O U T S H E E T

SNOW LD	RAIN LD	SPACING	PITCH	WALLS	WEBS	ROOFING	END CUT	HEEL CUT	BLDCODE	CUSTOMER NAME	NOVA GROUP	WORK NO
48	4.2	24"	5/12	2x4	2x3	DUROID	P/C	0-2-12 0/A	PART 9	DELIVERY ADDRESS	14034 MARINE DR. WHITE ROCK	2020
HANGARS SIMPSON		LU24L - A	LJS 26 DS - n		HGUS 26 - O	HGUS 28-2 - □	HGUS 28-4 - ■	HGUS 48 - OO	HGUS 210 - □□	SPECIAL - II	CRUSH PLATE - ●	



NOTE: #1 WALL GIRDER = IN WALL
 #2 WALL GIRDER = OUT WALL
 #3 WALL GIRDER = OUT WALL

P Y R A M I D T R U S S L A Y O U T S H E E T

SNOW LD	RAIN LD	SPACING	PITCH	WALLS	WEBS	ROOFING	END CUT	HEEL CUT	BLDCODE	CUSTOMER NAME	NOVA GROUP	WORK NO
48	4.2	24"	5/12	2x4	2x3	DUROID	P/C	0-2-12 0/A	PART 9	DELIVERY ADDRESS	14034 MARINE DR. WHITE ROCK	2020
HANGARS SIMPSON		LU24L - A	LJS 26 DS - n	HGUS 26 - O	HGUS 28-2 - □	HGUS 28-4 - ■	HGUS 48 - OO	HGUS 210- □□	SPECIAL -	CRUSH PLATE - ●		

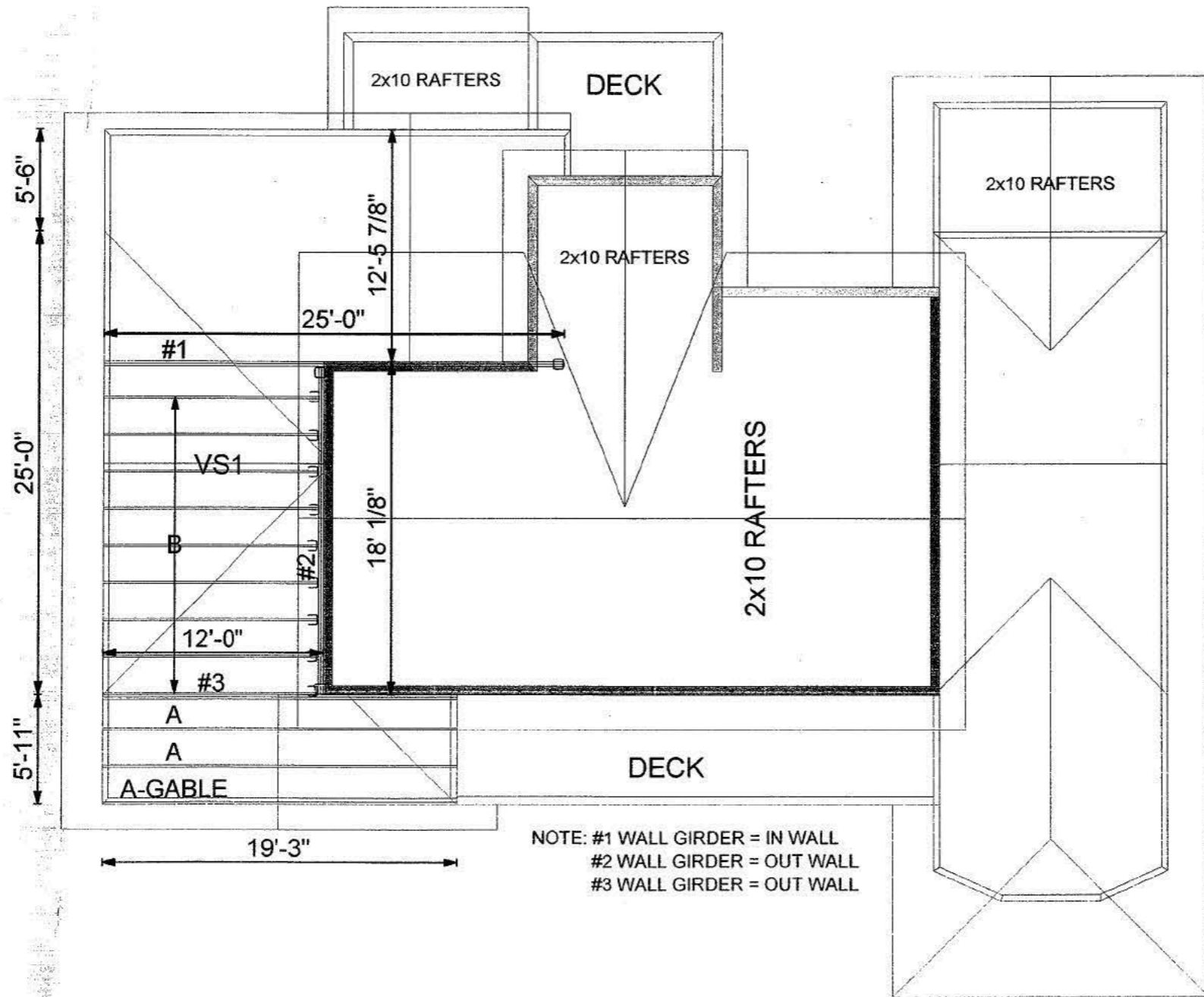
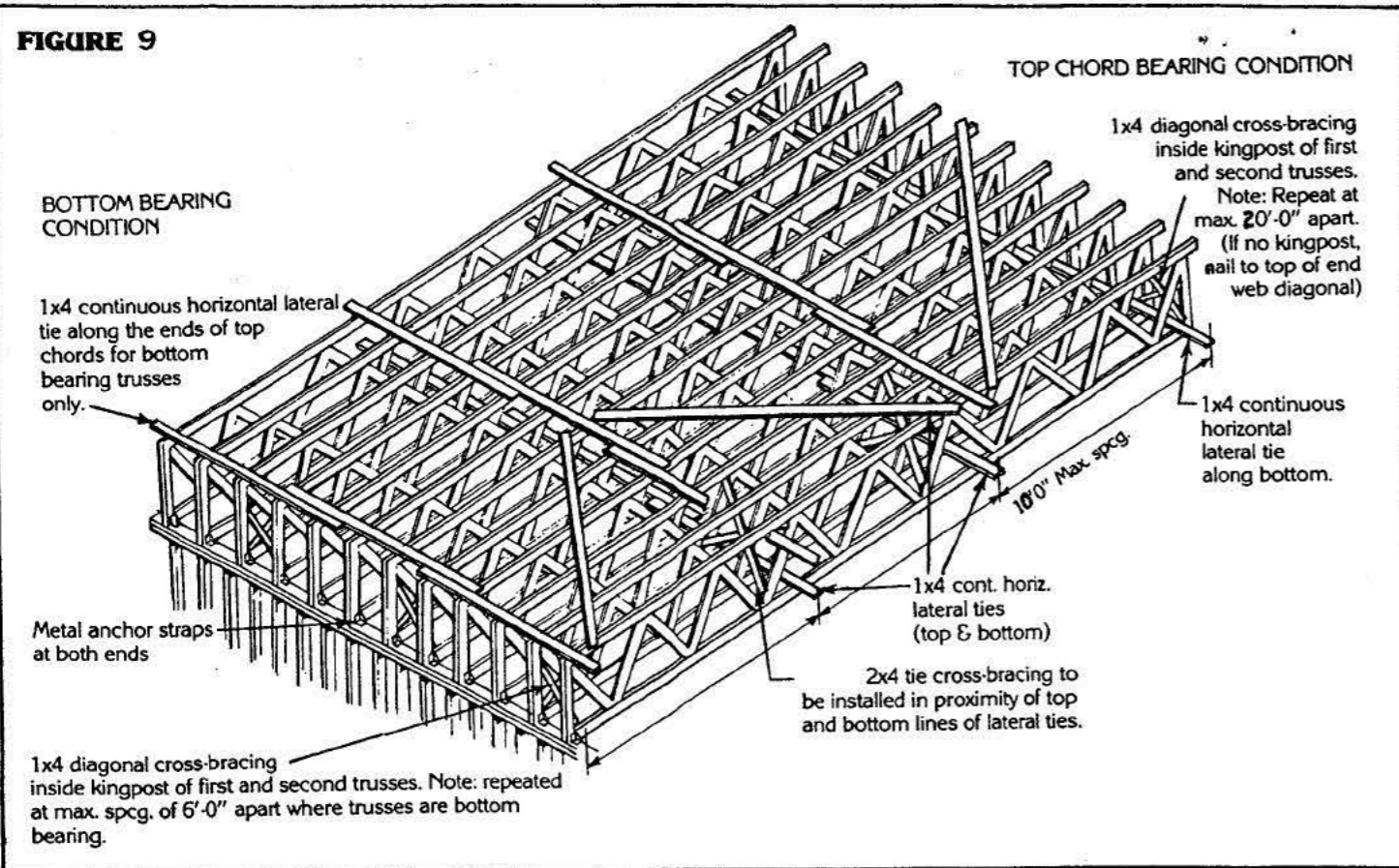


FIGURE 9



PERMANENT BUILDING BRACING
By building designer

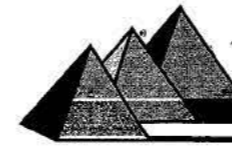
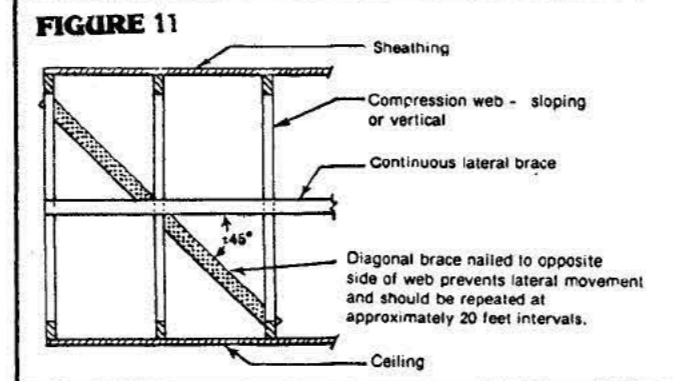
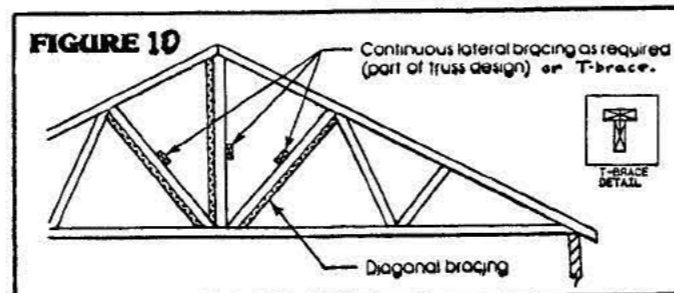
Permanent bracing is designed and specified for the structural safety of the overall building. It is the responsibility of the building designer or authority other than the truss designer to indicate size, location and attachments for all permanent bracing. The bracing is required to maintain the proper spacing, to distribute unequal loading to adjacent trusses and to spread lateral forces to diaphragms or shear walls. Some minimum suggestions are as follows:

1. On the bottom chord, lateral and diagonal braces as specified in "Temporary Bracing" can be left in place.
2. Lateral top chord bracing may not be required where strapping or sheathing is applied directly to the chord. If purlins are used, braces as specified for installation can be nailed to the underside of the top chord.
3. Install diagonal web bracing as specified for installation and shown in Figure 4.

PERMANENT LATERAL BRACING
By truss designer

1. This type of bracing is normally used on chords and/or webs to prevent buckling. If not installed, the truss will not be able to support the loads it was designed for.
2. Refer to each individual truss design for the size, location and nailing of continuous lateral braces (usually 1x4 with 2 - 2 1/2 inch nails in each member). Part 9 of The B.C. Building Code specifies that compression webs over 6 feet require braces.

3. If you have a single truss that requires bracing, use a T-brace, a 2x4 board nailed to the top of the web along it's full length forming a "T", as shown in Figure 10.
4. Permanent lateral bracing must be anchored at each end of the building. It is the responsibility of the building designer to specify a type of anchor. Figure 11 shows a possible method. Note that cross-braces to form bulkheads might serve a dual purpose if applied to the laterally braced webs.



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Fax: (604) 854-6614

PYRAMID TRUSS

RECOMMENDED HANDLING, INSTALLING AND BRACING OF WOOD TRUSSES

INTRODUCTION

Individual trusses are long slender members with very little lateral strength or resistance to twisting. It is because of this that accidents involving truss collapse occur during truss installation. Most of these accidents can be prevented if correct procedures are followed for the handling, positioning and bracing of trusses at the work site.

While these recommendations for handling, installation and bracing are technically sound, it is not intended that they be considered the only method for installing and bracing a roof system. Neither should these recommendations be preferred in lieu of an architect's or engineer's design for installation and bracing a particular roof system or in lieu of W.C.B. regulations.

Due to the nature of the responsibilities involved, these recommendations must be presented only as a guide for the use of a qualified building designer, builder or contractor. Thus, the Western Wood Truss Association expressly disclaims any responsibility for damages arising from the use, application, or reliance on the recommendations and information contained herein.

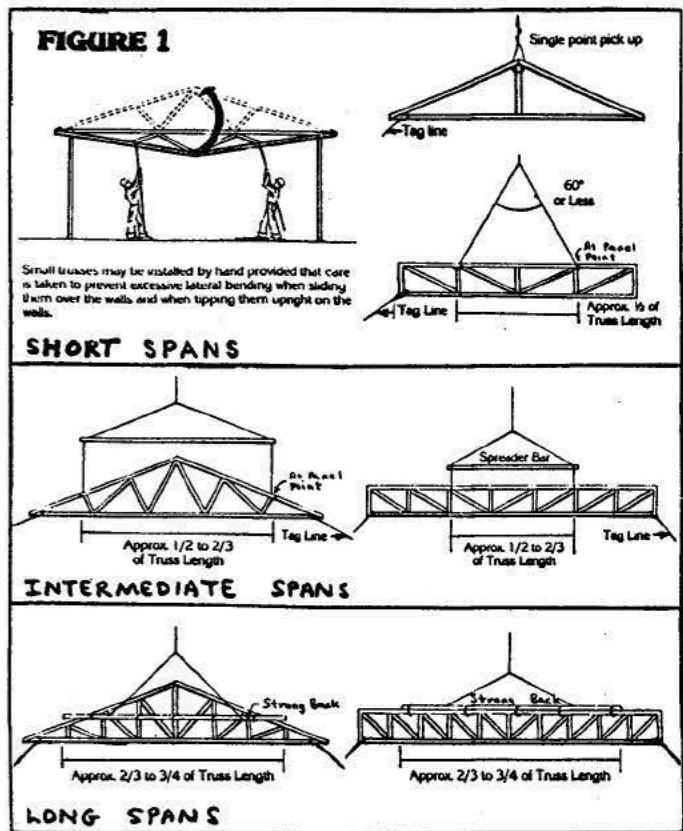
BEFORE THE TRUCK ARRIVES
Preparing the site

1. Provide clear, solid access for the delivery vehicle to safely reach a level unloading location. Confirm that workers will be on site to direct and assist truck driver.
2. Make certain no overhead power lines will prevent safe unloading of trusses. (Consult W.C.B. regulations Section 24). If power lines are not to be de-energized, then provide alternate location where trusses can be unloaded onto the ground.
3. If trusses are to be stored on site, leave trusses strapped together. Store where they will not be damaged during construction and where they are adequately supported to prevent bending or twisting.

HOISTING TRUSSES TO THE ROOF
Safe crane procedure

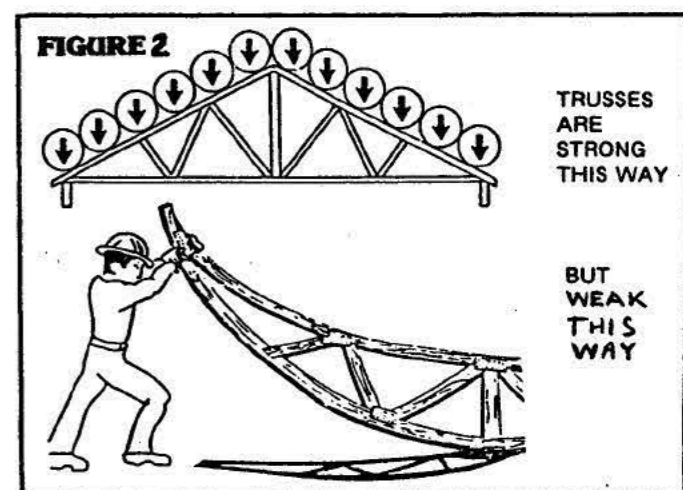
1. Make certain that walls or the structural building frame are properly aligned and adequately braced.
2. Only workers directly involved with this work should be in the area where the trusses are being handled.
3. Hoist all trusses to the roof level, taking care not to bend or twist the trusses. To prevent damage, trusses must always be handled in an upright or vertical position.
4. Always attach slings at panel points, not to the middle of a truss member. For long trusses, a spreader bar or strong back may be required.

FIGURE 1



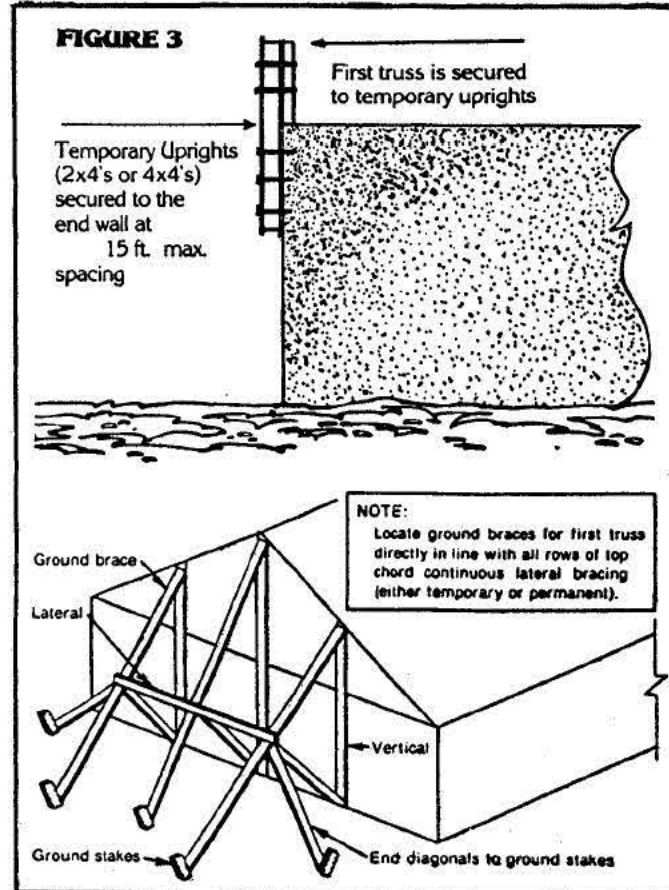
5. Typical rigging arrangements for hoisting trusses are shown in Figure 1.
6. If interior walls are available, trusses may be laid flat at roof level.
7. If no partitions exist, trusses may be inverted and hung from the bearing plates until they can be swung into position.
8. Make sure each package of trusses is stabilized before the bands are cut, to prevent damage or worker injury.

FIGURE 2

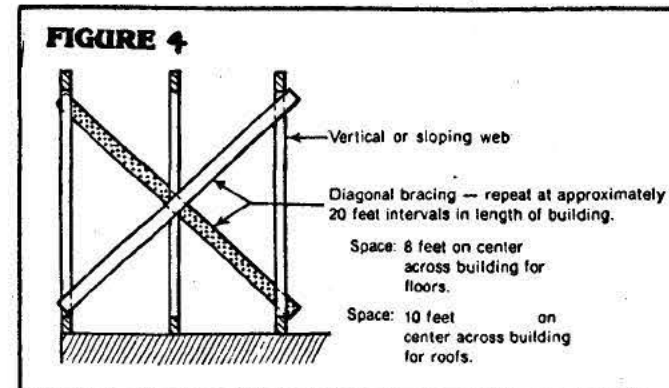


BRACING THE FIRST TRUSS Getting a good start

1. The first truss must be set at one end of the structure and fully laterally braced before erecting additional trusses. Figure 3 shows two options for bracing the first truss where the truss system itself does not provide sufficient bracing (by the jacks on a hip roof, for example). The ground brace method applies for single storey structures without the stability provided by interior walls.



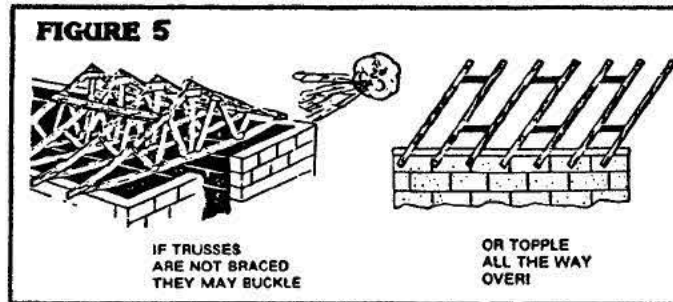
2. The next two trusses must be placed, one at a time, adjacent to the first truss, plumb, and braced to the first truss every 10 feet along the top and bottom chord.
3. After the first 3 trusses are positioned install cross bracing at least every 10 feet along the length the trusses. Secure bridging from the top chord of the first truss to the bottom chord of the third truss and from the bottom of the first to the top of the third. Subsequent trusses can be braced to this "bulkhead". See Figure 4.



4. A clever option is to assemble the trusses on the ground in groups of 3 or 4, and brace as outlined. Using a larger crane, these groups can then be hoisted directly onto the walls, positioned and tied to the previous group.

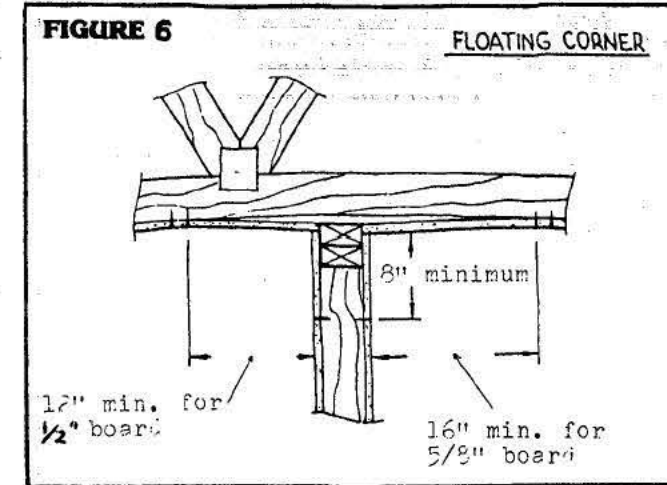
INSTALLATION OF TRUSSES Hints and procedures

1. Have installation and bracing instructions available at the work site. Only workers instructed in the proper procedures should be in the area under the supervision of a competent person.
2. Always refer to framing plans for proper location of trusses. Do not simply install them "as they come off the pile". Refer to individual truss drawings for proper location of cantilevers, interior bearings and point loads.
3. Erect trusses using a string line to locate the heel. Ensure that truss is plumb and properly spaced before securing to the bearing plate using toe-nails or metal brackets.
4. A truss with broken members or damaged plates must be replaced or repaired in accordance with instructions from the truss manufacturer or a professional engineer. If possible, repair before installing truss.
5. Never alter any part of any truss for any reason without professional advice. Cutting, drilling or notching any part (except the overhang) will void any expressed or implied warranty. (B.C. Code article 9.23.5.5)



6. Girders are trusses which carry other trusses, relatively large areas of framing or point loads from beams or other girders. If there is any doubt about whether a girder is needed, consult your fabricator.
7. Make sure multiple member girders are properly laminated (nailed and sometimes bolted) as per engineering designs before loads are applied. Also refer to designs for proper location of point loads, so truss is not installed reversed.
8. Ensure that the loads from girders are carried to the foundation and that the width of the bearing is adequate. Headers may need to be increased in size if supporting girders.
9. Avoid placing heavy construction loads (such as stacks of plywood or roofing) on trusses, especially before they are fully braced.
10. Make sure that proper temporary bracing is installed as each truss is set. Never leave a job without proper bracing in place.
11. Trusses which do not meet interior bearing walls should be shimmed. Do not pull trusses down, they will tend to return to original camber in a few days or weeks causing drywall problems.
12. If trusses do not rest on outside walls properly, make sure that interior walls are not too high. (If flat trusses, make sure they are right side up). Correct with shims or by lowering high bearings.

13. Uplift is the seasonal up and down motion of the bottom chord that occurs on some installations. To avoid potential drywall problems, use floating corners at interior walls as shown in Figure 6. Reduce stress on corner joints by holding the ceiling drywall to the top plate with drywall clips, metal angles, wood blocks or wider top plates and strapping.



14. Install all necessary wind, cross-bracing and ceiling ties. Insure that all lateral bracing and T-bracing is installed as specified on each truss design drawing.
15. Make sure all hangers have been used in their correct location, especially where heavy hangers are supplied to carry beams or girders.
16. If in doubt for any reason, call your fabricator first! The effort to get to a phone will likely save time and money in the long run. Don't expect your fabricator to spend his time and money to fix what might have been corrected in minutes if you had just called first.

TEMPORARY BRACING Don't let them fall

1. As each truss is installed it must be securely braced back to a previously braced truss (see "Bracing the First Truss"). This bracing should include continuous ties, diagonals and cross-

bracing as described below and shown in Figures 7, 8 and 9.

2. Continuous lateral ties should be at maximum 10 foot on center across top and bottom chords, placed close to a panel point. Ties should be a minimum of 8 feet long and should lap over at least 2 trusses.
3. Install diagonals at about a 45 degree angle between lateral ties on top and bottom chords. Diagonals should be at each end and at maximum 20 foot spacing along the building.
4. Approximately every 20 feet install a bulkhead like the one between the first 3 trusses (see Figure 4). These cross-braces should be as near as possible to the lines of lateral braces and may be applied to vertical or sloping webs.
5. For trusses up to 24 inch spacing, use 1x4 braces fastened with 2 - 2 1/2 inch common nails at each member. Over 24 inches to 48 inches on center, use 2x3 or 2x4 with 2 - 3 1/2 inch nails.
6. The bracing shown applies to pitched or flat trusses, but refer to Figure 9 for notes on top or bottom chord bearing flat trusses.
7. If it becomes necessary to correct the alignment or plumbness of a truss make sure only the minimum amount of bracing is disconnected.
8. Remember that you, not the truss supplier, are responsible for all bracing, temporary or left in place.

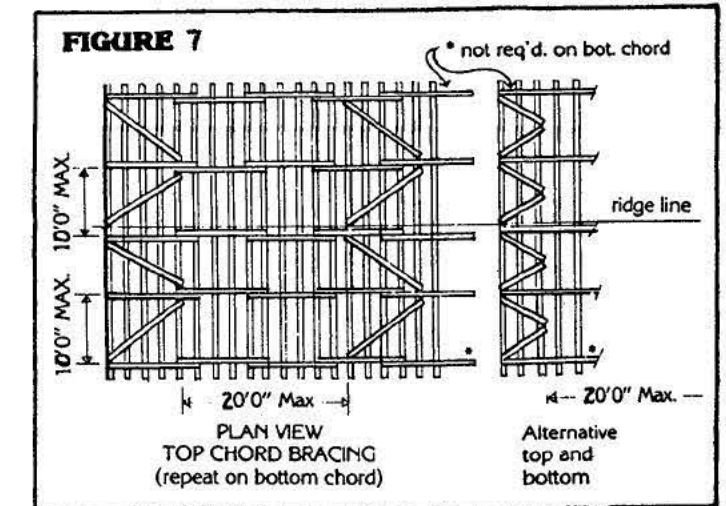
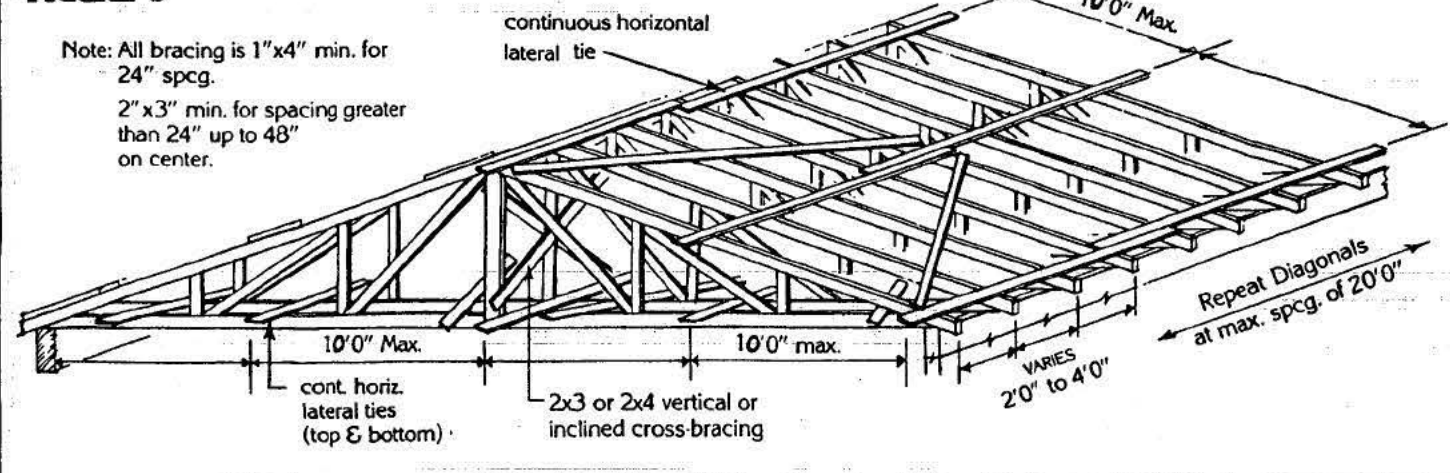


FIGURE 8

Note: All bracing is 1"x4" min. for 24" spcg.
2"x3" min. for spacing greater than 24" up to 48" on center.



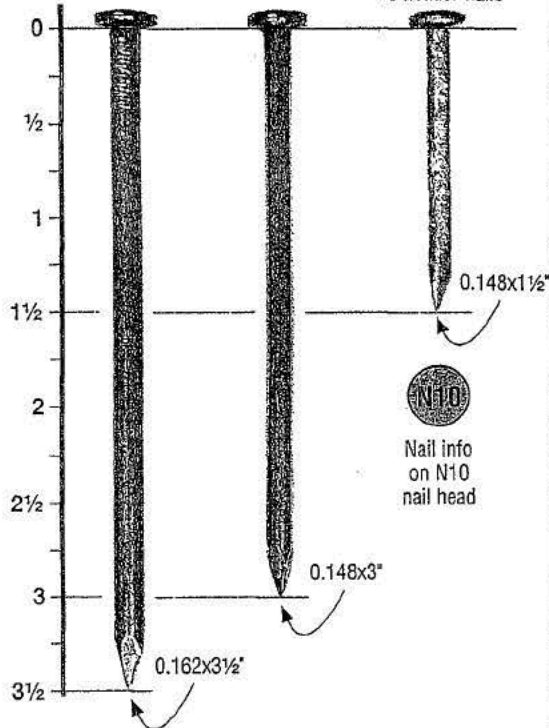
General Plated Truss Hanger Installer's Guide

SIMPSON
Strong-Tie

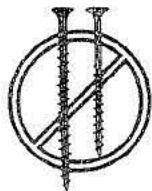
16d Common Straps, heavy hangers, plated truss and SCL connectors

10d Common Straps, hangers, header fastening

N10 or 10dx1½" 2x Joist nailing (except double shear)
Caution: Load reduction if used as header nails

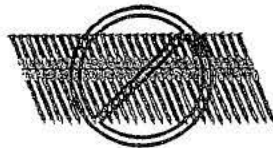


Screws may not be used to replace nails in connectors

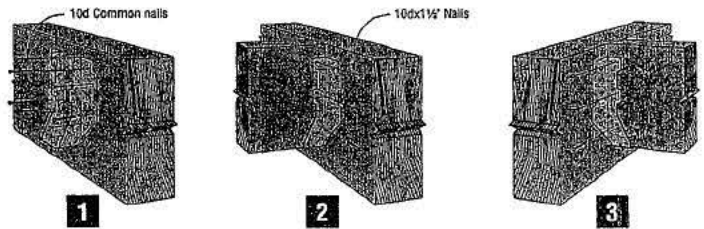


No framing nail-gun nails unless:
1. Correct diameter and length
2. Driven with a hole-locating tool (finds the hole) or by hand

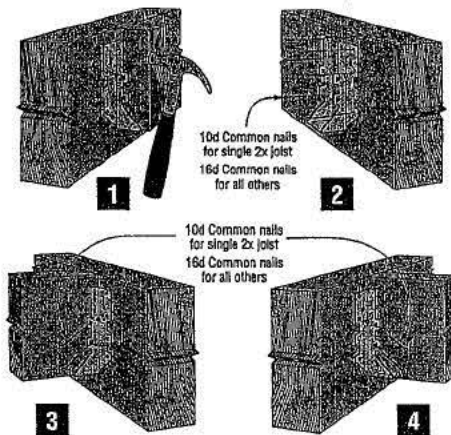
DO NOT OVERDRIVE OR SHOOT THROUGH CONNECTORS



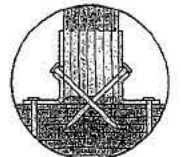
LU/LUL



LUS



DOUBLE-SHEAR NAILING

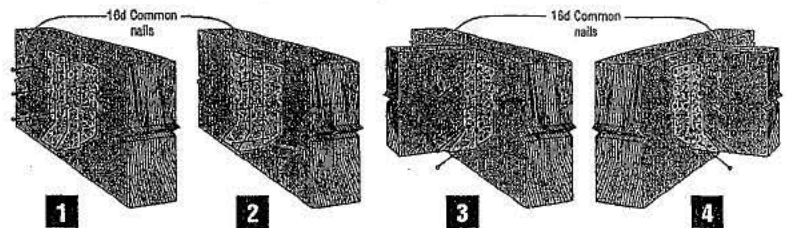


Double-shear nailing shall use full length common nails



Shorter nails may not be used as double-shear nails

LJS26DS/HUS/HHUS/HGUS



Refer to the current *Wood Construction Connectors Canadian Limit States Design* catalogue for general notes, limited warranty and additional installation information. Hangers pictured are a pictorial representation and may not reflect each individual hanger design.

This filler is effective until June 30, 2010, and reflects information available as of March 1, 2008. This information is updated periodically and should not be relied upon after June 30, 2010; contact Simpson Strong-Tie for current information and limited warranty or see www.strongtie.com.

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800-999-5099
www.strongtie.com

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1. CAN-US-SHG08-3.08 exp 6/10



MiTek Canada, Inc.

100 Industrial Road
Bradford, ON, Canada L3Z 3G7
Phone (905) 952-2900
Toll Free (800) 268-3434
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November 20,2008

Re: 2020-NOVA

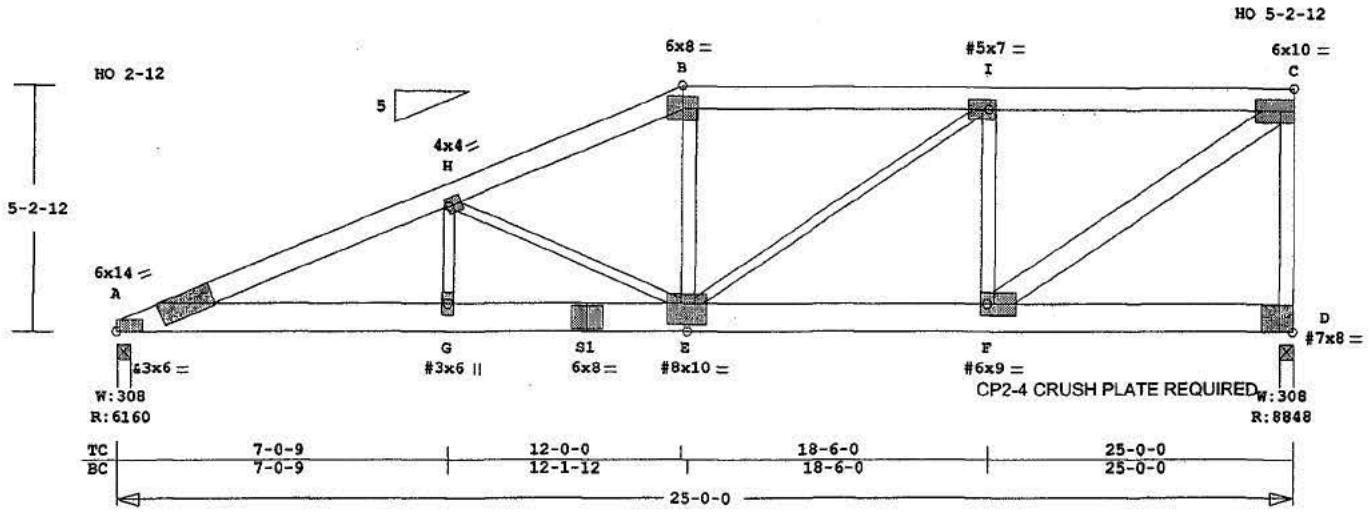
The truss drawing(s) referenced below have been prepared by or for MiTek Canada, Inc. based on the data provided by Pyramid Truss(Can-J).

Pages or sheets enclosed: J1022680 thru J1022684

The seal on these drawings indicates acceptance of professional engineering responsibility solely for the truss components shown. The suitability and use of this component for any particular building is the responsibility of the building designer. Engineering Services provided by KNH Inc

Job 2020-NOVA	Mark I	Quan 1*2P	Type MHPA	Span 250000	P1-H1 5	Left OH 0	Right OH 0	Engineering J1022680
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2020 NOVA GROUP / 14034 MARINE DR. WHITE ROCK



ALL PLATES ARE MT2020, # = PLATE SELECTED IN PLATE MONITOR

Scale: 0.254" = 1'

Online Plus -- Version 23.0.017
 RUN DATE: 19-NOV-08

* 2-Ply Truss *

CSI	Size	Lumber
TC	0.94 2x 6	1650S1.5
BC	0.76 2x 8	1950S1.7
WB	0.95 2x 4	1650S1.5
	0.61 2x 3	SPF-#2B
G-H	H-E E-I	
	0.51 2x 6	1650S1.5
F	C	

Importance Category : Normal
 Condition at Manufacture : Dry
 Treatment : Untreated
 Service Condition : Dry

Brace truss as follows:

O.C.	From	To
TC Cont.	0-0-0	25-0-0
BC	120.0"	0-0-0 25-0-0

psf-Ld	Dead	Live	Snow
TC	3.0	0.0	30.6
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	30.6
Total	40.6		Spacing 12.0"

Lumber Duration Factor 1.00
 Plate Duration Factor 1.00
 TC Fb=1.00 Fc=1.00 Ft=1.00
 BC Fb=1.00 Fc=1.00 Ft=1.00

Unfactored Reactions (Lbs)

Jt	-DL-	-LL-	-SL-
A	1759D	843D	2360D
D	2709D	1345D	3193D

TL Factored Reactions (Lbs)

Jt	Down	Uplift	Horiz-
A	6160		
D	8849		

Jt	Brg	Size	Required
A		3.5"	3.3"
D		3.5"	1.5"

Maximum Downward Loadcase
 LC# 1 NonStandard Loading
 Dur Fctrs - Lbr 1.00 Plt 1.00

Plf	TC	Beg	End	From	To
Dist Dead	3	3	0.0	25.0	
Dist Snow	31	31	0.0	25.0	
Dist Dead	80	80	12.0	25.0	
Dist Dead	55	55	12.0	25.0	
Dist Snow	168	168	12.0	25.0	
Dist Dead	3	3	0.0	12.0	
Dist Snow	31	31	0.0	12.0	
Plf	BC	Beg	End	From	To
Dist Dead	7	7	0.0	25.0	
Dist Dead	53	53	13.0	16.0	
Dist Live	140	140	13.0	16.0	
Dist Dead	30	30	16.0	25.0	

Robbins Engineering, Inc./Online Plus™ APPROX. TRUSS WEIGHT: 230.7 LBS
 Dist Live 80 80 16.0 25.0
 Dist Dead 7 7 0.0 12.0

Membr	CSI	F Lbs	Ax1	CSI	Bnd
-----Top Chords-----					
A-H	0.70	16684	C	0.42	0.28
H-B	0.42	15032	C	0.37	0.06
B-I	0.94	13989	C	0.36	0.57
I-C	0.83	10026	C	0.26	0.57
-----Bottom Chords-----					
A-G	0.76	15484	T	0.35	0.41
G-S1	0.40	15484	T	0.35	0.05
S1-E	0.41	15484	T	0.35	0.06
E-F	0.32	10026	T	0.23	0.09
F-D	0.26	0	T	0.00	0.26
-----Webs-----					
G-H	0.09	699	T		
H-E	0.50	1832	C		
E-B	0.28	4388	T		
E-I	0.61	4928	T		
F-I	0.58	6635	C		
F-C	0.51	12469	T		
D-C	0.95	8624	C		

TL Defl	in	G-E	L/746
TL Panel	-0.10"		
(Note - TL = 1.33LL + DL)			
LL Defl	-0.25"		
Shear // Grain			0.62

Plates for each ply each face.
 PLATING CONFORMS TO TPIC AND
 CSA STANDARD 086.1-94, ENG.
 DESIGN IN WOOD, LATEST EDITION
 GRIP VALUES BASED ON NET AREA
 PLATES MANUFACTURED BY
 MITEK CANADA.

Plate	MT20	20 Ga,	Net Area
Plate	MT8H	20 Ga,	Net Area
Plate	MT16	20 Ga,	Net Area

Jt Type	Plt Size	X	Y	JSI
A	MT20	6.0x14.0	Ctr-0.3	0.97
H	MT20	4.0x 4.0	Ctr Ctr	0.55
B	MT20	6.0x 8.0	Ctr Ctr	0.75
I	MT20	5.0x 7.0	Ctr Ctr	0.87
C	MT20	6.0x10.0-1.5	Ctr	0.89
G	MT20	3.0x 6.0	Ctr Ctr	0.13
S1	MT20	6.0x 8.0	Ctr Ctr	0.94
E	MT20	8.0x10.0-0.1-1.4	0.95	
F	MT20	6.0x 9.0	1.0 Ctr	0.89
D	MT20	7.0x 8.0-0.6-0.1	0.80	

= Plate Monitor used
 Placement Tolerance Used 0.25 in.

NOTES:
 Trusses Manufactured by:
 PYRAMID TRUSS
 Analysis Conforms To:
 TPIC-RES , Standard Formula
 NBCC2005
 2 COMPLETE TRUSSES REQUIRED.
 ----- Nailing (3" CW) -----

TC	2x 6	#Rows	Spacing (in)
BC	2x 8	2	12
WB	2x 3	1	6
	2x 4	1	6
	2x 6	2	6

"Standard Term" loading
 dur. fac. used in table with
 seasoned, untreated lumber.
 When 3" power driven nails
 are used, reduce nail spacing
 to 69% of original spacing.
 NOTE: USER MODIFIED PLATES
 This design may have plates
 selected through a plate
 monitor.

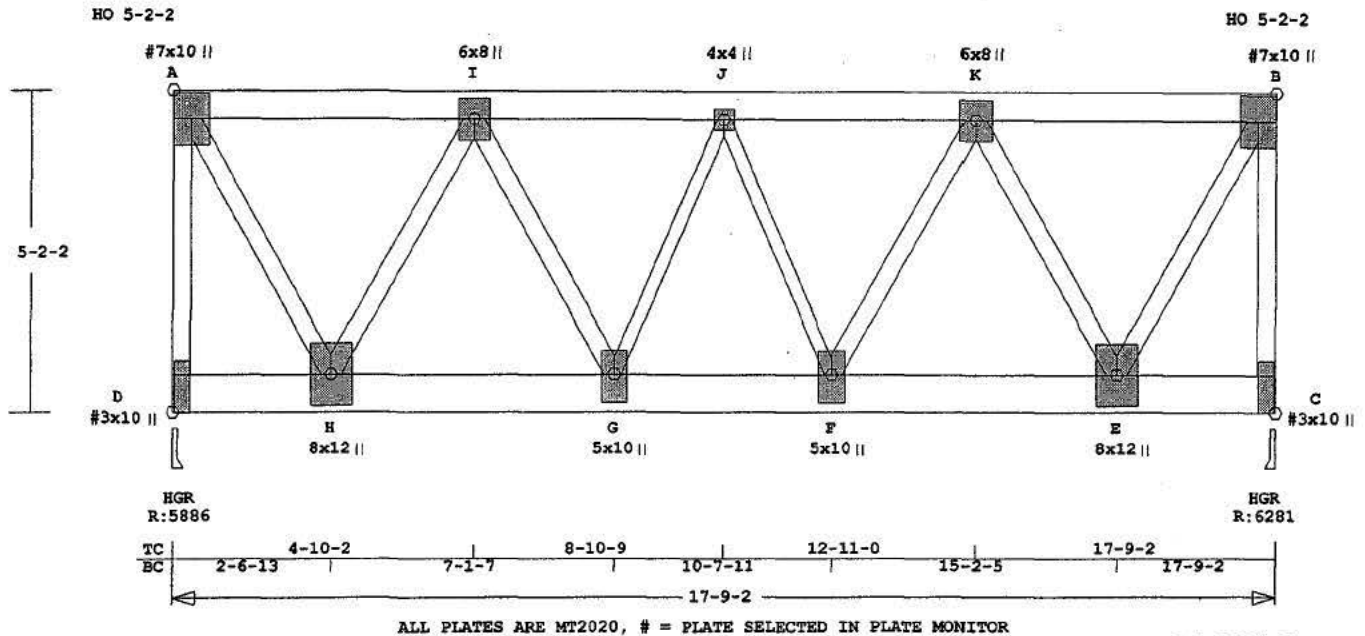
Design Roof Snow Load Use:
 Ground Snow Load = 48.0 psf
 Rain Load = 4.2 psf
 Non-slippery Roof
 Importance Factor 1.00
 Exposed to Wind Factor 1.00
 Balanced Load Factor 0.55
 Unbalanced Load Factor 0.00

- FABRICATOR NOTES:
1. MITEK CANADA INC. IS RESPONSIBLE ONLY FOR THE STRUCTURAL ADEQUACY OF THIS COMPONENT BASED ON DESIGN CRITERIA AND LOADS SHOWN. IT IS THE RESPONSIBILITY OF OTHERS TO VERIFY COMPONENT SUITABILITY AND DIMENSIONS.
 2. MITEK ENGINEERING REFERENCE SHEET, MII-7473C FORMS AN INTEGRAL PART OF THIS DESIGN.
 3. DESIGN CONFORMS TO PART 9 OBC, ABC AND BCBC LATEST EDITION.



Job 2020-NOVA	Mark 2	Quan 1	Type FLAT	Span 170902	P1-H1 50202	Left OH 0	Right OH 0	Engineering J1022681
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2020 NOVA GROUP / 14034 MARINE DR. WHITE ROCK



Robbins Engineering, Inc./Online Plus™ APPROX. TRUSS WEIGHT: 198.9 LBS

Online Plus -- Version 23.0.017
RUN DATE: 19-NOV-08

CSI	Size	Lumber
TC	0.39 2x 6	1650S1.5
BC	0.62 2x 8	DPL-SS
WB	0.89 2x 4	1650S1.5
--	0.84 2x 4	2100S1.8
D -A	C -B	
--	0.33 2x 3	SPF-#2B
G -J	J -F	

Importance Category : Normal
Condition at Manufacture : Dry
Treatment : Untreated
Service Condition : Dry

Brace truss as follows:
O.C. From To
TC Cont. 0-0-0 17-9-2
BC 120.0" 0-0-0 17-9-2

pcf-Ld	Dead	Live	Snow
TC	3.0	0.0	30.6
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	30.6
Total	40.6	Spacing	12.0"
Lumber Duration Factor 1.00			
Plate Duration Factor 1.00			
TC Fb=1.00	Fc=1.00	Ft=1.00	
BC Fb=1.00	Fc=1.00	Ft=1.00	

Unfactored Reactions (Lbs)		
Jt	-DL-	-LL-
D	1797D	914D
C	1921D	1060D

TL Factored Reactions (Lbs)		
Jt	Down	Uplift Horiz-
D	5886	
C	6281	

Jt	Brg Size	Required
D	3.5"	4.8" **
C	3.5"	5.2" **

Maximum Downward Loadcase					
LC# 1 NonStandard Loading					
Dur Fctrs - Lbr 1.00 Plt 1.00					
Plf	TC	Beg	End	From	To
Dist Dead	3	3	0.0	17.8	
Dist Snow	31	31	0.0	17.8	
Plf BC	Beg	End	From	To	
Dist Dead	7	7	0.0	17.8	
Dist Dead	15	15	0.0	17.8	
Dist Live	40	40	0.0	17.8	
Dist Dead	80	80	0.0	17.8	
Dist Dead	10	10	0.0	17.8	
Dist Live	31	31	0.0	17.8	
Dist Dead	60	60	0.0	17.8	
Dist Snow	184	184	0.0	17.8	

Membr	CSI	P Lbs	Ax1	CSI-Bnd
-----Top Chords-----				
A-I	0.19	2693	C	0.14 0.06
I-J	0.35	5804	C	0.29 0.06
J-K	0.39	6338	C	0.32 0.07
K-B	0.21	2902	C	0.15 0.07
-----Bottom Chords-----				
D-H	0.17	0	T	0.00 0.17
H-G	0.56	4314	T	0.24 0.32
G-F	0.56	6100	T	0.34 0.22
F-E	0.62	4682	T	0.26 0.36
E-C	0.19	0	T	0.00 0.19
-----Webs-----				
D-A	0.78	5282	C	
A-H	0.75	5827	T	
H-I	0.81	3682	C	
I-G	0.43	3396	T	
G-J	0.33	840	C	
J-F	0.20	792	T	
F-K	0.48	3776	T	
K-E	0.89	4045	C	
E-B	0.80	6278	T	
C-B	0.84	5689	C	

TL Defl -0.19" in F-E L/999
TL Panel -0.01" in K-B L/999
(Note - TL = 1.33LL + DL)
LL Defl -0.12" in F-E L/999
Shear // Grain in H-G 0.59

Plates for each ply each face.
PLATING CONFORMS TO TPIC AND
CSA STANDARD 086.1-94, ENG.
DESIGN IN WOOD, LATEST EDITION
GRIP VALUES BASED ON NET AREA
PLATES MANUFACTURED BY
MITEK CANADA.

Plate	MT20	20 Ga, Net Area		
Plate	MT9H	20 Ga, Net Area		
Plate	MT16	20 Ga, Net Area		
Jt Type	Plt Size	X	Y	JSI
A#	MT20	7.0x10.0	Ctr-0.1	0.91
I	MT20	6.0x 8.0	Ctr Ctr	0.83
J	MT20	4.0x 4.0	Ctr Ctr	0.69
K	MT20	6.0x 8.0	Ctr Ctr	0.83
B#	MT20	7.0x10.0	Ctr Ctr	1.00
D#	MT20	3.0x10.0	0.1-2.3	0.74
H	MT20	8.0x12.0	Ctr Ctr	0.84
G	MT20	5.0x10.0	Ctr-0.4	0.83
F	MT20	5.0x10.0	Ctr-0.4	0.83
E	MT20	8.0x12.0	Ctr Ctr	0.84
C#	MT20	3.0x10.0	Ctr-2.2	0.74

= Plate Monitor used
Placement Tolerance Used 0.25 in.

NOTES:
Trusses Manufactured by:
PYRAMID TRUSS
Analysis Conforms To:

TPIC-RES , Standard Formula
NBC2005

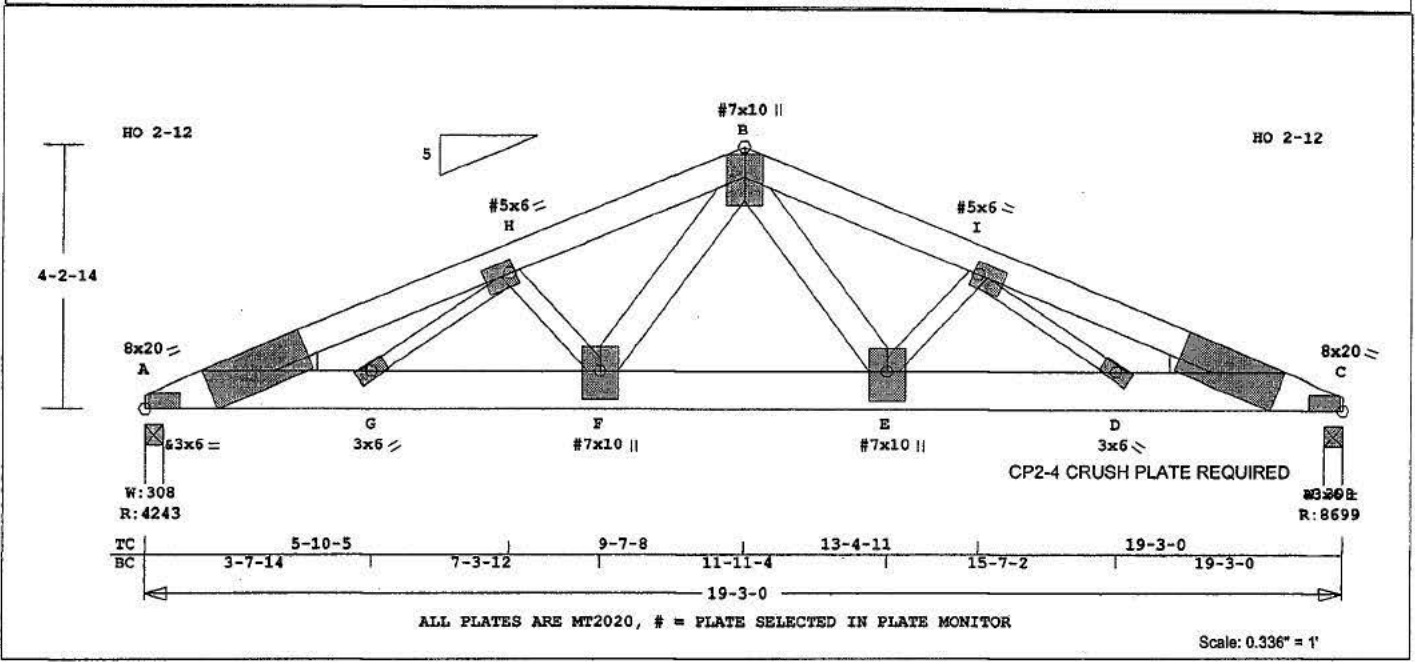
Provide drainage to prevent
water ponding.
This truss must be installed
as shown. It cannot be
installed upside-down.
NOTE: USER MODIFIED PLATES
This design may have plates
selected through a plate
monitor.

Design Roof Snow Load Use:
Ground Snow Load = 48.0 paf
Rain Load = 4.2 paf
Non-slippery Roof
Importance Factor 1.00
Exposed to Wind Factor 1.00
Balanced Load Factor 0.55
Unbalanced Load Factor 0.00

- FABRICATOR NOTES:
- MITEK CANADA INC. IS RESPONSIBLE ONLY FOR THE STRUCTURAL ADEQUACY OF THIS COMPONENT BASED ON DESIGN CRITERIA AND LOADS SHOWN. IT IS THE RESPONSIBILITY OF OTHERS TO VERIFY COMPONENT SUITABILITY AND DIMENSIONS.
 - MITEK ENGINEERING REFERENCE SHEET, MII-7473C FORMS AN INTEGRAL PART OF THIS DESIGN.
 - DESIGN CONFORMS TO PART 9 OBC, ABC AND BCBC LATEST EDITION.



Job 2020-NOVA	Mark 3	Quan 1*2P	Type 4.5	Span 190300	Pl-H1 5	Left OH 0	Right OH 0	Engineering J1022682
2020 NOVA GROUP / 14034 MARINE DR. WHITE ROCK								



ALL PLATES ARE MT2020, # = PLATE SELECTED IN PLATE MONITOR

Scale: 0.336" = 1'

Robbins Engineering, Inc./Online Plus™ APPROX. TRUSS WEIGHT: 167.1 LBS

Online Plus -- Version 23.0.017
 RUF DATE: 19-NOV-08

 * 2-Fly Truss *

	CSI	Size	Lumber
TC	0.98	2x 6	1650S1.5
BC	0.97	2x 8	1950S1.7
WB	0.72	2x 6	SPF-#2B
--	0.49	2x 3	SPF-#2B
G - H	I - D		
--	0.11	2x 4	SPF-#2B
H - F	E - I		
PB	---	2x 4	SPF-#2B

Importance Category : Normal
 Condition at Manufacture : Dry
 Treatment : Untreated
 Service Condition : Dry

Brace truss as follows:

TC	O.C.	From	To
TC Cont.	0-0	0-19	3-0
BC	120.0"	0-0	0-19-3-0

psf-Ld	Dead	Live	Snow
TC	3.0	0.0	30.6
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	30.6
Total 40.6 Spacing 12.0"			
Lumber Duration Factor 1.00			
Plate Duration Factor 1.00			
TC Fb=1.00	Fc=1.00	Ft=1.00	
BC Fb=1.00	Fc=1.00	Ft=1.00	

Unfactored Reactions (Lbs)

Jt	-DL-	-LL-	-SL-
A	1161D	572D	1671D
C	2588D	1717D	3071D

TL Factored Reactions (Lbs)

Jt	Down	Uplift	Horiz-
A	4244		
C	8700		

Jt	Brg Size	Required
A	3.5"	2.3"
C	3.5"	4.7" **

Maximum Downward Loadcase
 LC# 1 NonStandard Loading

Dur	Pctrs	Lbr	1.00	Plt	1.00
Plf	TC	Bag	End	From	To
Dist	Dead	3	3	0.0	19.2
Dist	Snow	31	31	0.0	19.2
Dist	Dead	3	3	0.0	9.6
Dist	Snow	31	31	0.0	9.6
Dist	Dead	3	3	9.6	12.0
Dist	Snow	31	31	9.6	12.0
Plf	BC	Bag	End	From	To
Dist	Dead	7	7	0.0	19.2
Dist	Dead	83	83	13.0	19.2
Dist	Live	220	220	13.0	19.2
Dist	Dead	80	80	12.0	19.2

Membr	CSI	P	Lbs	Ax1	CSI-Bnd
-----Top Chords-----					
A-H	0.47	11415	C	0.27	0.20
H-B	0.29	11021	C	0.25	0.04
B-I	0.43	16743	C	0.38	0.05
I-C	0.98	21051	C	0.49	0.49
-----Bottom Chords-----					
A-G	0.51	10608	T	0.24	0.27
G-F	0.43	10522	T	0.24	0.19
F-E	0.27	9639	T	0.22	0.05
E-D	0.75	16475	T	0.38	0.37
D-C	0.97	19585	T	0.45	0.53
-----Webs-----					
G-H	0.02	132	T		
H-F	0.04	616	C		
F-B	0.07	1007	T		
B-E	0.72	11116	T		
E-I	0.11	1747	C		
I-D	0.49	3981	T		

TL Defl	-0.42"	in E-D	L/538
TL Panel	-0.07"	in I-D	L/804
(Note - TL = 1.33LL + DL)			
LL Defl	-0.27"	in E-D	L/831
Shear // Grain		in E-D	0.59

Plates for each ply each face.
 PLATING CONFORMS TO TPIC AND
 CSA STANDARD 086.1-94, ENG.
 DESIGN IN WOOD, LATEST EDITION
 GRIP VALUES BASED ON NET AREA
 PLATES MANUFACTURED BY
 MITEK CANADA.

Plate	MT20	20 Ga,	Net Area		
Plate - MT20	20 Ga,	Net Area			
Plate - MT16	20 Ga,	Net Area			
Jt Type	Plt Size	X	Y	JSI	
A	MT20	8.0x20.0	3.9	0.3	0.88
H	MT20	5.0x 6.0-1.8	0.8	0.12	
B	MT20	7.0x10.0	Ctr	0.5	0.84
I	MT20	5.0x 6.0	1.8-0.8	0.63	
C	MT20	8.0x20.0-3.9	0.3	0.88	
G	MT20	3.0x 6.0	Ctr	0.81	
F	MT20	7.0x10.0	Ctr	0.4	0.08
E	MT20	7.0x10.0	Ctr	0.6	0.85
D	MT20	3.0x 6.0	Ctr	0.81	

= Plate Monitor used
 Placement Tolerance Used 0.25 in.

NOTES:
 Trusses Manufactured by:
 PYRAMID TRUSS
 Analysis Conforms To:
 TPIC-RES , Standard Formula
 NBCC2005
 2 COMPLETE TRUSSES REQUIRED.
 -----Nailing (3" CW)-----
 #Rows Spacing (in)

TC	2x 6	2	12
BC	2x 8	3	12
WB	2x 3	1	6
	2x 4	1	6
	2x 6	2	6

"Standard Term" loading
 dur. fac. used in table with
 seasoned, untreated lumber.
 When 3" power driven nails
 are used, reduce nail spacing
 to 69% of original spacing.
 NOTE: USER MODIFIED PLATES
 This design may have plates
 selected through a plate
 monitor.

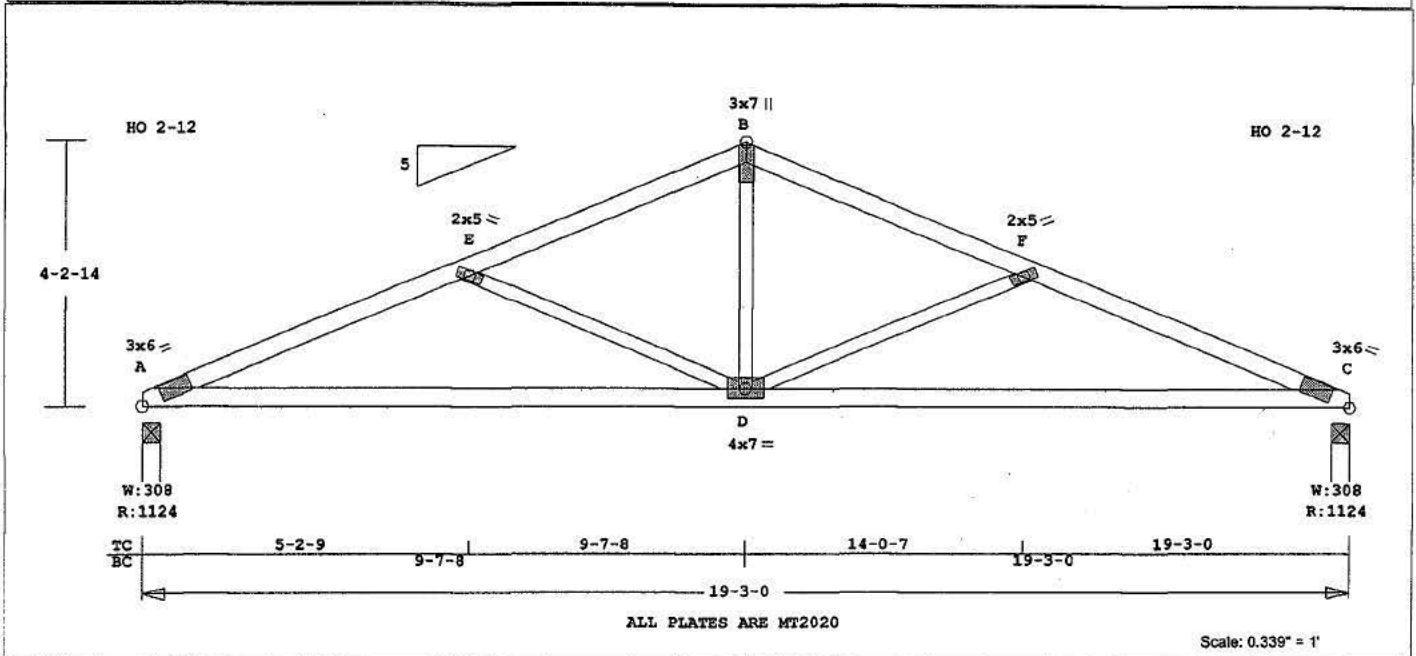
Design Roof Snow Load Use:
 Ground Snow Load = 48.0 psf
 Rain Load = 4.2 psf
 Non-slippery Roof
 Importance Factor 1.00
 Exposed to Wind Factor 1.00
 Balanced Load Factor 0.55
 Unbalanced Load Factor 0.00

- FABRICATOR NOTES:
- MITEK CANADA INC. IS RESPONSIBLE ONLY FOR THE STRUCTURAL ADEQUACY OF THIS COMPONENT BASED ON DESIGN CRITERIA AND LOADS SHOWN. IT IS THE RESPONSIBILITY OF OTHERS TO VERIFY COMPONENT SUITABILITY AND DIMENSIONS.
 - MITEK ENGINEERING REFERENCE SHEET, MII-7473C FORMS AN INTEGRAL PART OF THIS DESIGN.
 - DESIGN CONFORMS TO PART 9 OBC, ABC AND BCSC LATEST EDITION.



Job 2020-NOVA	Mark A	Quan 3	Type 4.2	Span 190300	Pl-H1 5	Left OH 0	Right OH 0	Engineering J1022683
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2020 NOVA GROUP / 14034 MARINE DR. WHITE ROCK



ALL PLATES ARE MT2020

Scale: 0.339" = 1'

Robbins Engineering, Inc./Online Plus™ APPROX. TRUSS WEIGHT: 93.8 LBS
 Online Plus -- Version 23.0.017
 RUN DATE: 19-NOV-08

CSI -Size- ----Lumber----
 TC 0.38 2x 4 SPF-#2B
 BC 0.63 2x 4 SPF-#2B
 WB 0.33 2x 3 SPF-#2B

Importance Category : Normal
 Condition at Manufacture : Dry
 Treatment : Untreated
 Service Condition : Dry

Brace truss as follows:
 O.C. From To
 TC Cont. 0- 0- 0 19- 3- 0
 BC 120.0" 0- 0- 0 19- 3- 0

psf-Ld Dead Live Snow
 TC 3.0 0.0 30.6
 BC 7.0 0.0 0.0
 TC+BC 10.0 0.0 30.6
 Total 40.6 Spacing 24.0"
 Lumber Duration Factor 1.00
 Plate Duration Factor 1.00
 TC Fb=1.10 Fc=1.10 Ft=1.10
 BC Fb=1.10 Fc=1.10 Ft=1.10

Unfactored Reactions (Lbs)
 Jt -DL- -LL- -SL-
 A 193D 0U 589D
 C 192D 0U 589D

TL Factored Reactions (Lbs)
 Jt Down Uplift Horiz-
 A 1124
 C 1124

Jt Brg Size Required
 A 3.5" 1.5"
 C 3.5" 1.5"

Maximum Downward Loadcase
 LC# 1 Snow Loading
 Dur Fctrs - Lbr 1.00 Plt 1.00
 Plf TC Beg End From To
 Dist Dead 6 6 0.0 19.2

Dist Snow 61 61 0.0 19.2
 Plf BC Beg End From To
 Dist Dead 14 14 0.0 19.2

Membr CSI P Lbs Axl-CSI-Bnd
 -----Top Chords-----
 A -E 0.38 2272 C 0.07 0.32
 E -B 0.31 1569 C 0.03 0.27
 B -F 0.31 1569 C 0.03 0.27
 F -C 0.38 2272 C 0.07 0.32
 -----Bottom Chords-----
 A -D 0.63 2133 T 0.34 0.29
 D -C 0.63 2133 T 0.34 0.29
 -----Webs-----
 E -D 0.33 769 C
 D -B 0.19 847 T
 D -F 0.33 769 C

TL Defl -0.32" in A -D L/695
 TL Panel -0.09" in F -C L/625
 (Note - TL = 1.33LL + DL)
 LL Defl -0.19" in A -D L/999
 Shear // Grain in A -E 0.22

Plates for each ply each face.
 PLATING CONFORMS TO TPIC AND
 CSA STANDARD O86.1-94, ENG.
 DESIGN IN WOOD, LATEST EDITION
 GRIP VALUES BASED ON NET AREA
 PLATES MANUFACTURED BY
 MITEK CANADA.

Plate - MT20 20 Ga, Net Area
 Plate - MT8H 18 Ga, Net Area
 Plate - MT16 16 Ga, Net Area
 Jt Type Plt Size X Y JSI
 A MT20 3.0x 6.0 Ctr Ctr 0.89
 E MT20 2.0x 5.0 Ctr Ctr 0.37
 B MT20 3.0x 7.0 Ctr-0.3 0.68
 F MT20 2.0x 5.0 Ctr Ctr 0.37
 C MT20 3.0x 6.0 Ctr Ctr 0.89
 D MT20 4.0x 7.0 Ctr Ctr 0.72

Placement Tolerance Used 0.25 in.

NOTES:
 Trusses Manufactured by:

PYRAMID TRUSS

Analysis Conforms To:
 TPIC-RES , Modified Formula
 NBCC2005

Design Roof Snow Load Use:
 Ground Snow Load = 48.0 psf
 Rain Load = 4.2 psf
 Non-slippery Roof
 Importance Factor 1.00
 Exposed to Wind Factor 1.00
 Balanced Load Factor 0.55
 Unbalanced Load Factor 0.00

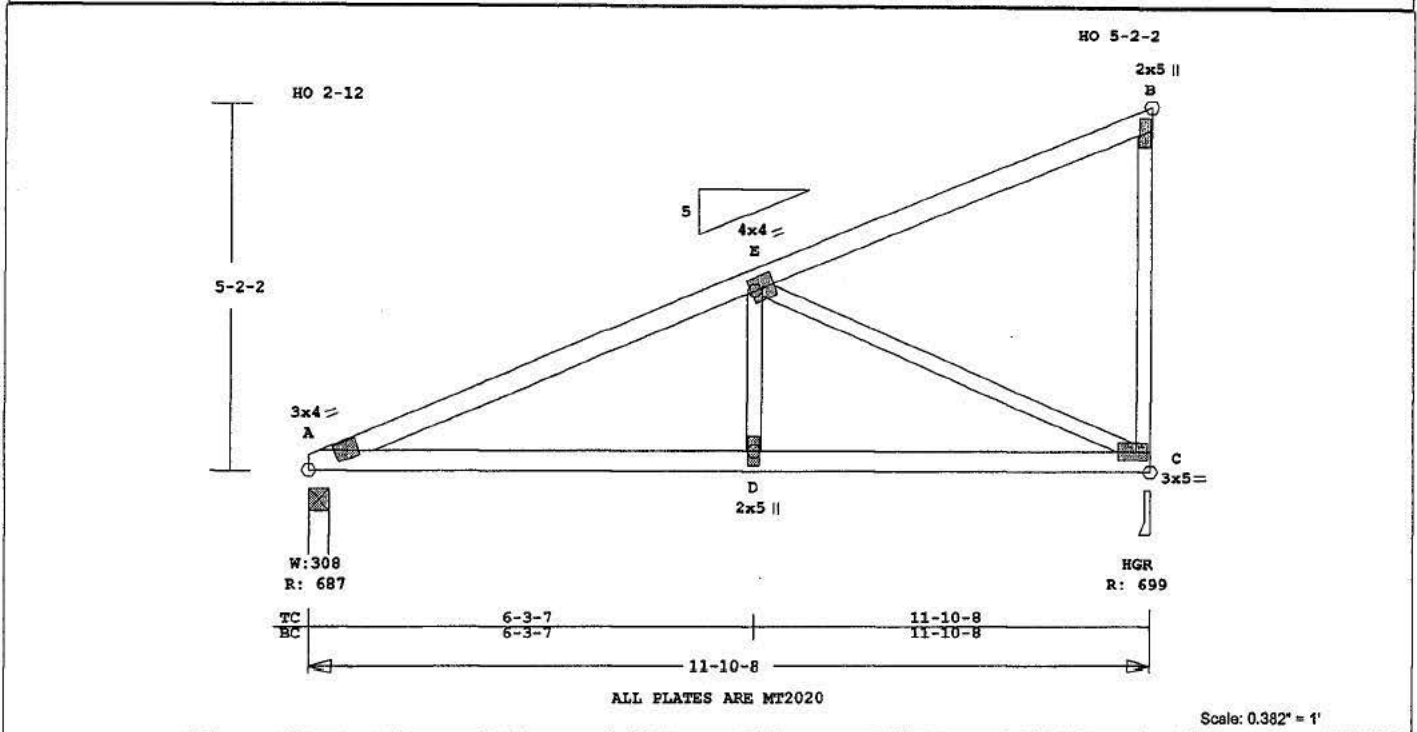
FABRICATOR NOTES:

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- MITEK ENGINEERING REFERENCE SHEET, MII-7473C FORMS AN INTEGRAL PART OF THIS DESIGN.
- DESIGN CONFORMS TO PART 9 OBC, ABC AND BCBC LATEST EDITION.



Job 2020-NOVA	Mark B	Quan 9	Type MONO	Span 111008	P1-H1 5	Left OH 0	Right OH 0	Engineering J1022684
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2020 NOVA GROUP / 14034 MARINE DR. WHITE ROCK



Robbins Engineering, Inc./Online Plus™ APPROX. TRUSS WEIGHT: 64.3 LBS

Online Plus -- Version 23.0.017
RUN DATE: 19-NOV-08

CSI	-Size-	----Lumber----
TC	0.41	2x 4 SPF-#2B
BC	0.43	2x 4 SPF-#2B
WB	0.70	2x 3 SPF-#2B

Importance Category : Normal
Condition at Manufacture : Dry
Treatment : Untreated
Service Condition : Dry

Brace truss as follows:

TC	O.C.	From	To
TC	Cont.	0- 0-	0 11-10- 8
BC	120.0"	0- 0-	0 11-10- 8

psf-Ld	Dead	Live	Snow
TC	3.0	0.0	30.6
BC	7.0	0.0	0.0
TC+BC	10.0	0.0	30.6
Total	40.6	Spacing	24.0"
Lumber Duration Factor	1.00		
Plate Duration Factor	1.00		
TC Fb=1.10	Fc=1.10	Ft=1.10	
BC Fb=1.10	Fc=1.10	Ft=1.10	

Unfactored Reactions (Lbs)

Jt	-DL-	-LL-	-SL-
A	118D	0U	360D
C	120D	0U	367D

TL Factored Reactions (Lbs)

Jt	Down	Uplift	Horiz-
A	687		
C	700		

Jt	Brg Size	Required
A	3.5"	1.5"
C	3.5"	1.5"

Maximum Downward Loadcase
LC# 1 Snow Loading

Dur	Fctrs	- Lbr	1.00	Plt	1.00
Dist	Dead	6	6	0.0	11.9
Dist	Snow	61	61	0.0	11.9

Membr	CSI	P	Lbs	Axl	-CSI-	Bnd
-----Top Chords-----						
A - E	0.41	1033	C	0.02	0.39	
E - B	0.39	26	C	0.00	0.39	
-----Bottom Chords-----						
A - D	0.43	980	T	0.16	0.28	
D - C	0.30	980	T	0.16	0.14	
-----Webs-----						
D - E	0.04	170	T			
E - C	0.70	1080	C			
C - B	0.08	214	C			

TL Defl -0.15" in A -D L/892
TL Panel -0.15" in A -E L/488
(Note - TL = 1.33LL + DL)
LL Defl -0.11" in A -D L/999
Shear // Grain in A -E 0.25

Plates for each ply each face.
PLATING CONFORMS TO TPIC AND
CSA STANDARD O86.1-94, ENG.
DESIGN IN WOOD, LATEST EDITION
GRIP VALUES BASED ON NET AREA
PLATES MANUFACTURED BY
MITEK CANADA.
Plate - MT20 20 Ga, Net Area
Plate - MT8H 18 Ga, Net Area
Plate - MT16 16 Ga, Net Area
Jt Type Plt Size X Y JSI
A MT20 3.0x 4.0 Ctr Ctr 0.61
E MT20 4.0x 4.0 Ctr Ctr 0.65
B MT20 2.0x 5.0 Ctr Ctr 0.13
D MT20 2.0x 5.0 Ctr Ctr 0.12
C MT20 3.0x 5.0-0.5 Ctr 0.67

Placement Tolerance Used 0.25 in.

NOTES:
Trusses Manufactured by:
PYRAMID TRUSS
Analysis Conforms To:
TPIC-RES , Modified Formula
NBCC2005
Design Roof Snow Load Use:

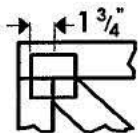
Ground Snow Load = 48.0 psf
Rain Load = 4.2 psf
Non-slippery Roof
Importance Factor 1.00
Exposed to Wind Factor 1.00
Balanced Load Factor 0.55
Unbalanced Load Factor 0.00

- FABRICATOR NOTES:
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 - DESIGN CONFORMS TO PART 9 OBC, ABC AND BCBC LATEST EDITION.

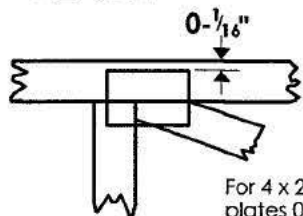


Symbols

PLATE LOCATION AND ORIENTATION



Center plate on joint unless x, y offsets are indicated. Dimensions are in ft-in-sixteenths or mm. Apply plates to both sides of truss and fully embed teeth.



For 4 x 2 orientation, locate plates 0-1/16" from outside edge of truss.



This symbol indicates the required direction of slots in connector plates.

*Plate location details available in MiTek software or upon request.

PLATE SIZE

4 x 4

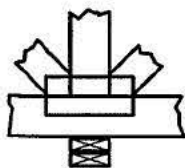
The first dimension is the plate width measured perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING LOCATION



Indicated by symbol shown and/or by text in the bracing section of the output. Use T, I or Eliminator bracing if indicated.

BEARING

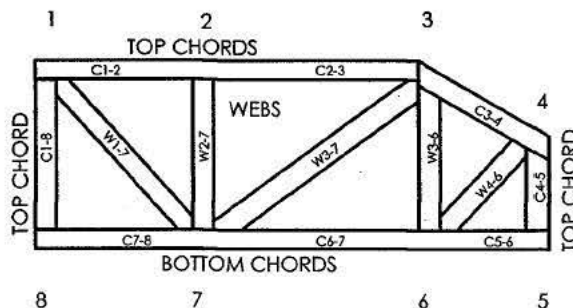


Indicates location where bearings (supports) occur. Icons vary but reaction section indicates joint number where bearings occur.

Industry Standards:

- TPIC: Truss Design Procedures and Specifications for Light Metal Plate Connected Wood Trusses
- DSB-89: Design Standard for Bracing.
- BCS11: Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

Numbering System



JOINTS ARE GENERALLY NUMBERED/LETTERED CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO THE LEFT.

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

PRODUCT CODE APPROVALS

CCMC Reports:

11996-L, 10319-L, 13270-L, 12691-R

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MiTek
POWER TO PERFORM.™

MiTek Engineering Reference Sheet: MII-7473C

General Safety Notes

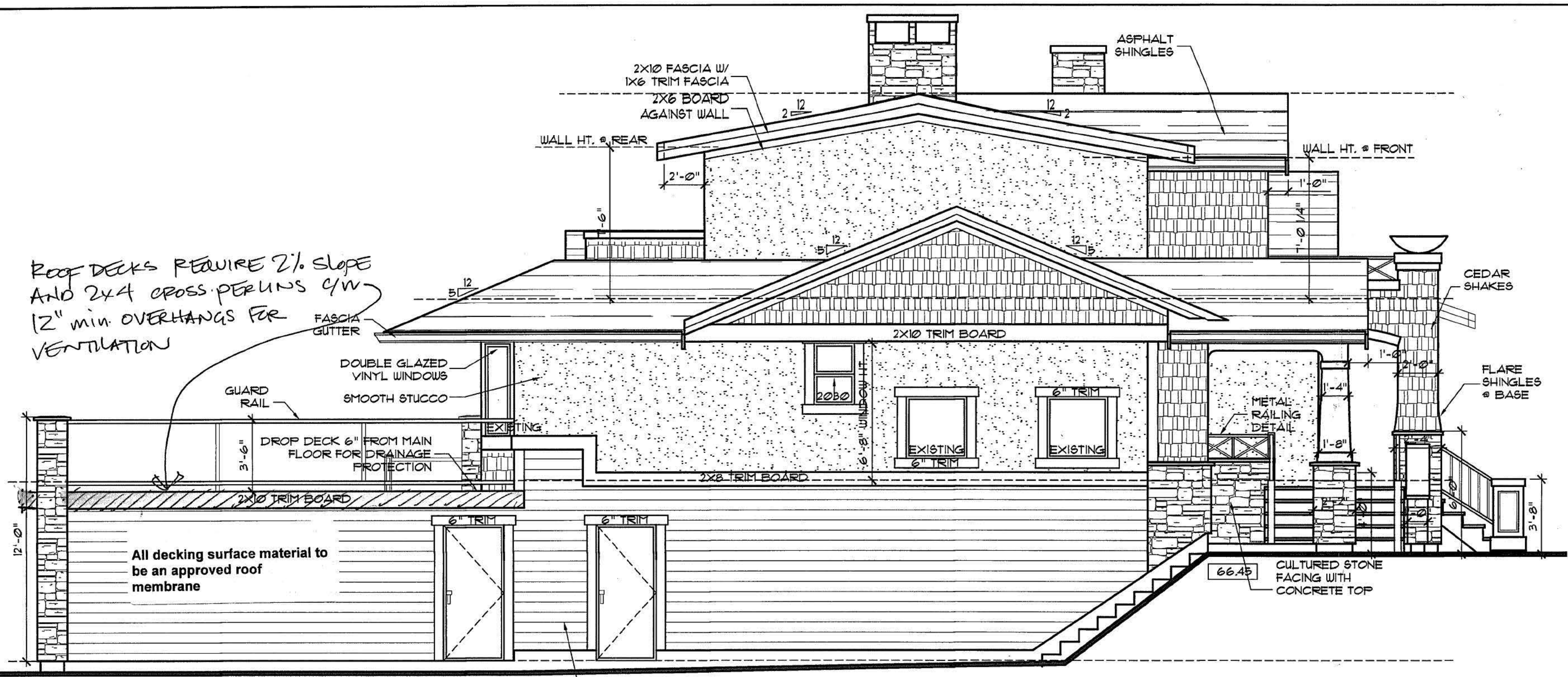
Failure to Follow Could Cause Property Damage or Personal Injury

1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCS11.
2. Truss bracing must be designed by an engineer. For wide truss spacing, individual lateral braces themselves may require bracing, or alternative T, I, or Eliminator bracing should be considered.
3. Never exceed the design loading shown and never slack materials on inadequately braced trusses.
4. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
5. Cut members to bear tightly against each other.
6. Place plates on each face of truss at each joint and embed fully. Knots and wane at joint locations are regulated by TPIC.
7. Design assumes trusses will be suitably protected from the environment in accord with TPIC.
8. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
9. Unless expressly noted, this design is not applicable for use with fire retardant, preservative treated, or green lumber.
10. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
11. Plate type, size, orientation and location dimensions indicated are minimum plating requirements.
12. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.
13. Top chords must be sheathed or purlins provided at spacing indicated on design.
14. Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
15. Connections not shown are the responsibility of others.
16. Do not cut or alter truss member or plate without prior approval of an engineer.
17. Install and load vertically unless indicated otherwise.
18. Use of green or treated lumber may pose unacceptable environmental, health or performance risks. Consult with project engineer before use.
19. Review all portions of this design (front, back, words and pictures) before use. Reviewing pictures alone is not sufficient.
20. Design assumes manufacture in accordance with TPIC Quality Criteria.

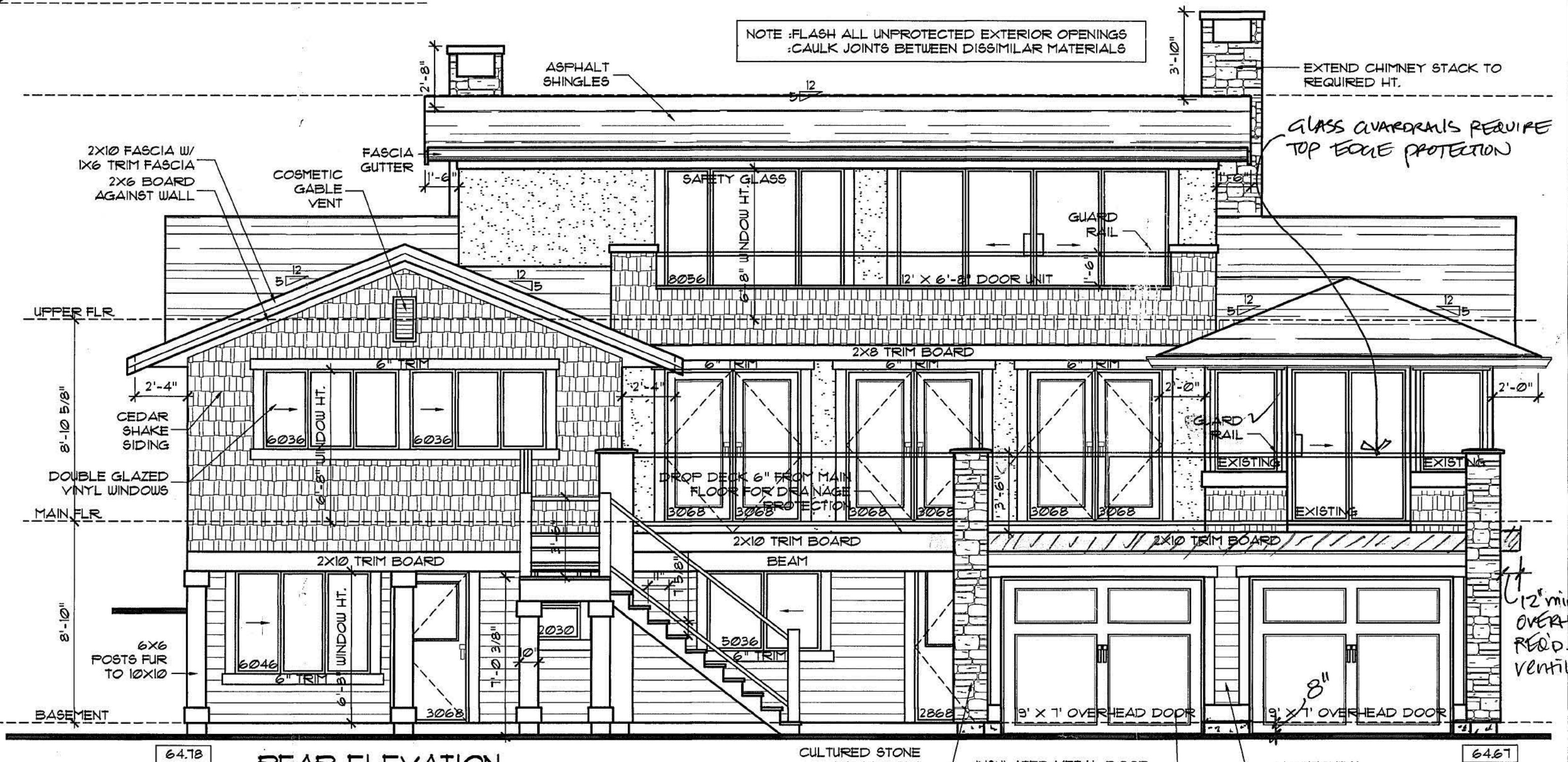
FEB 16 2009



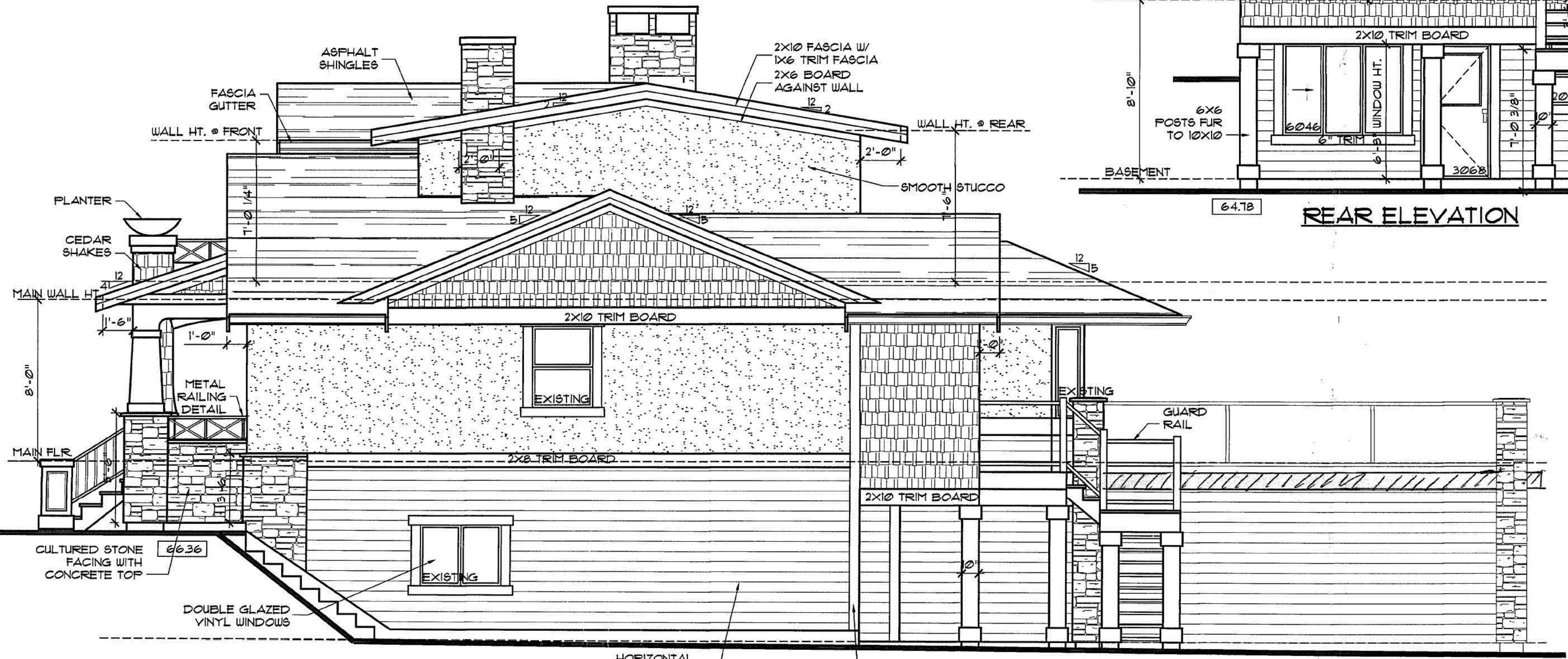
The review of these plans shall not, in any way, relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all applicable by-laws of the Corporation of the City of White Rock.



LEFT SIDE ELEVATION



REAR ELEVATION

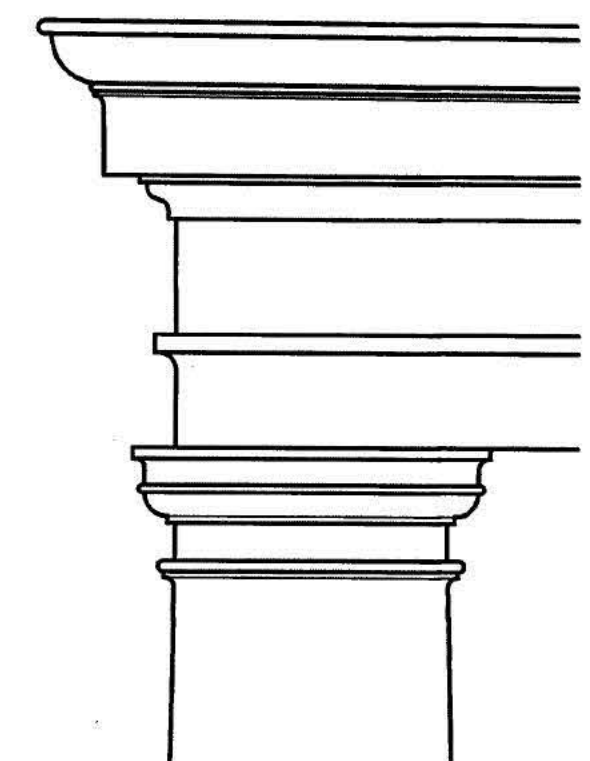


RIGHT SIDE ELEVATION

REVISED DRAWING
Please refer to corresponding attached drawing for all building permit related comments

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REVISIONS			
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1	FEB. 4, 2009	ISSUE FOR PERMIT GARAGE ENCLOSURE	APF



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Fax (604) 854-4303

MARINE DR. RESIDENCE
GARAGE ENCLOSURE
WHITE ROCK, B.C.

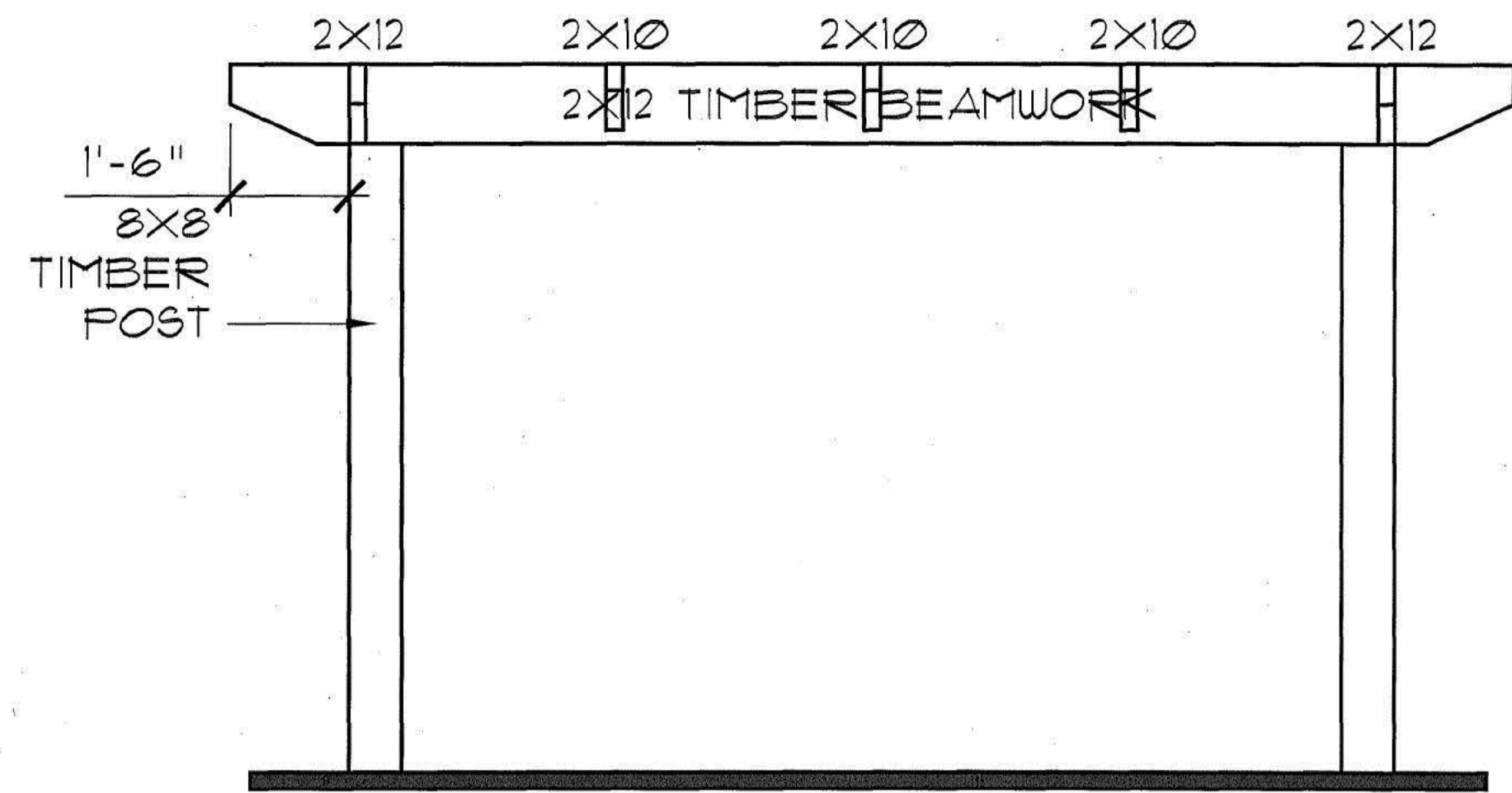
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1/4" = 1'-0" UNO.
date
FEB. 4, 2009
drawn
APF
job no.
0857

sheet no. **A2**

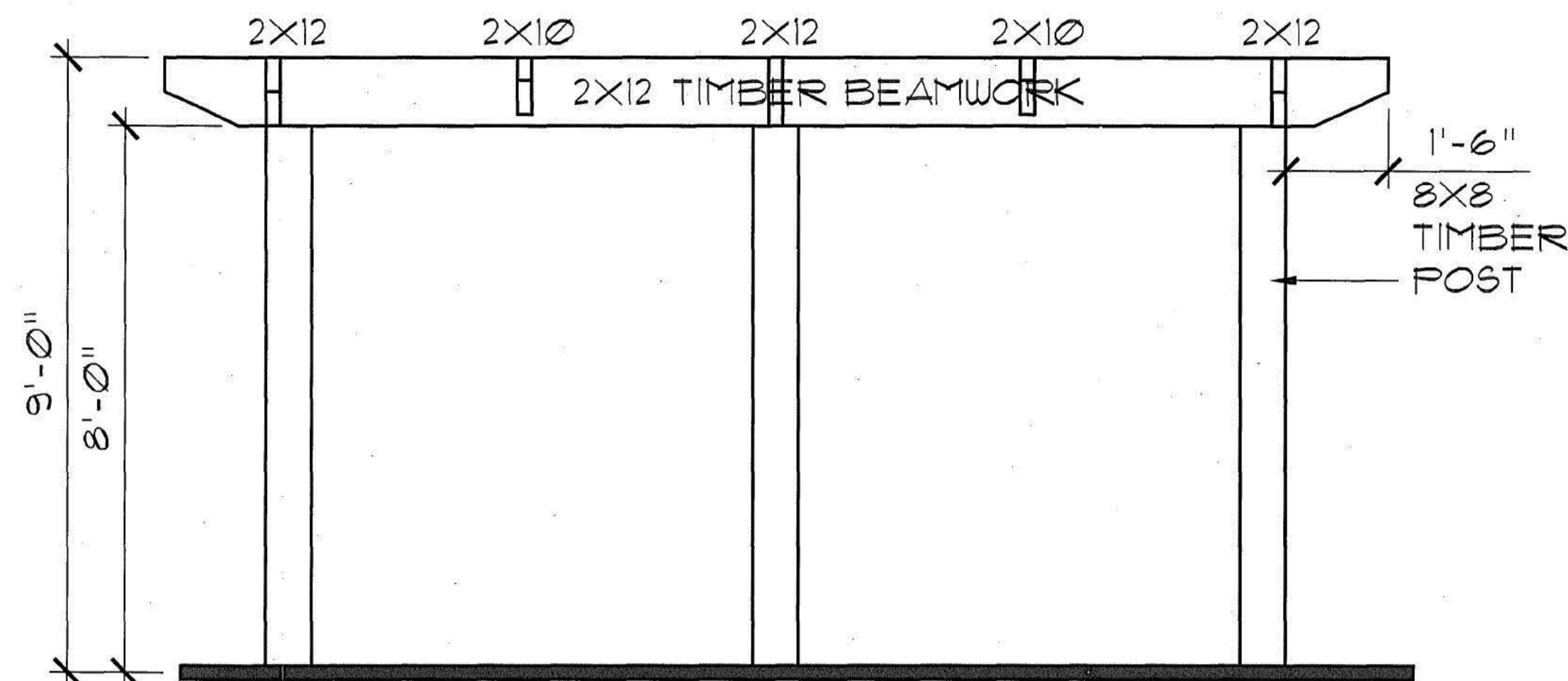
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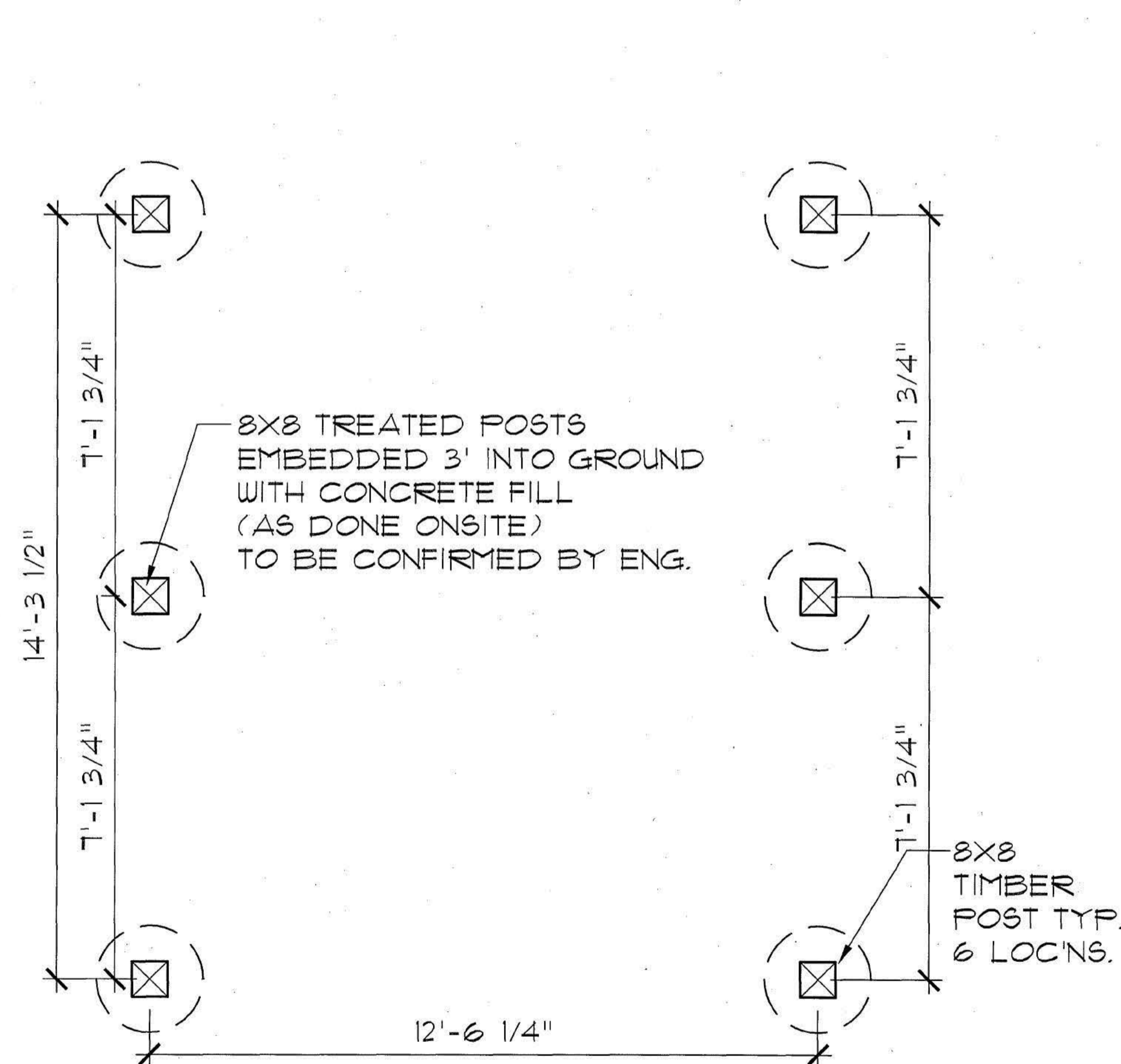
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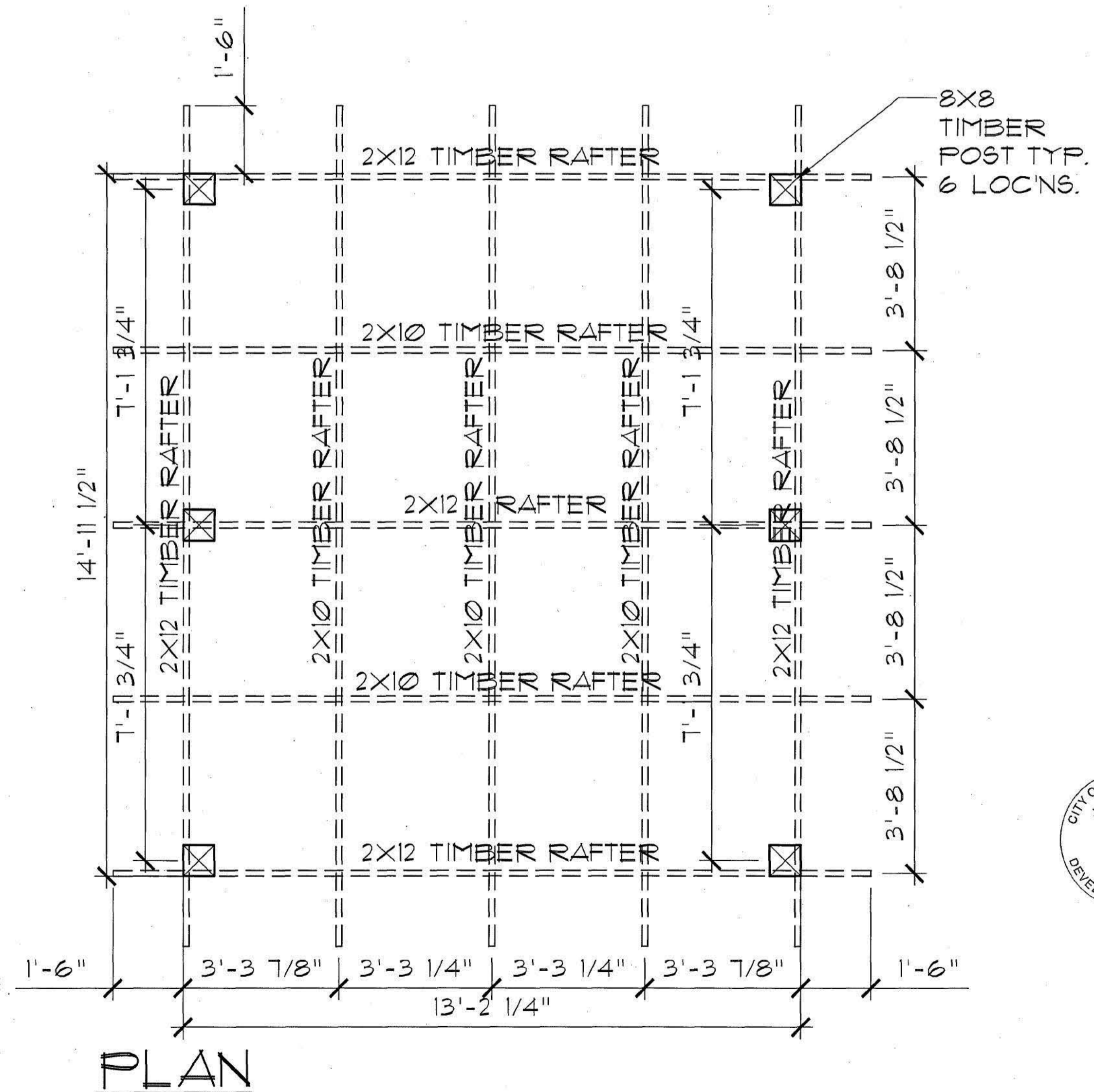
FRONT/REAR ELEV.



SIDE ELEV.



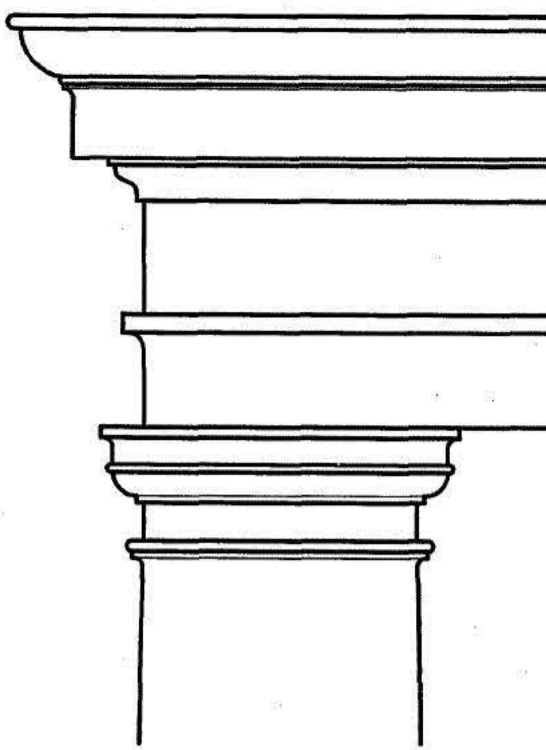
FOUNDATION PLAN



PLAN



REVISIONS			
NO.	DATE	DESCRIPTION	BY
	OCT. 20, 2008	ISSUE FOR PERMIT	APF
1	APR. 21, 2009	PERGOLA ADDITION	APF



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MARINE DR. RESIDENCE
WHITE ROCK, B.C.

title
PERGOLA
scale
1/2" = 1'-0" UNO.
date
OCT. 20, 2008
drawn
APF
job no.
0857

sheet no. A7a

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MARINE DR. RESIDENCE
WHITE ROCK, B.C.

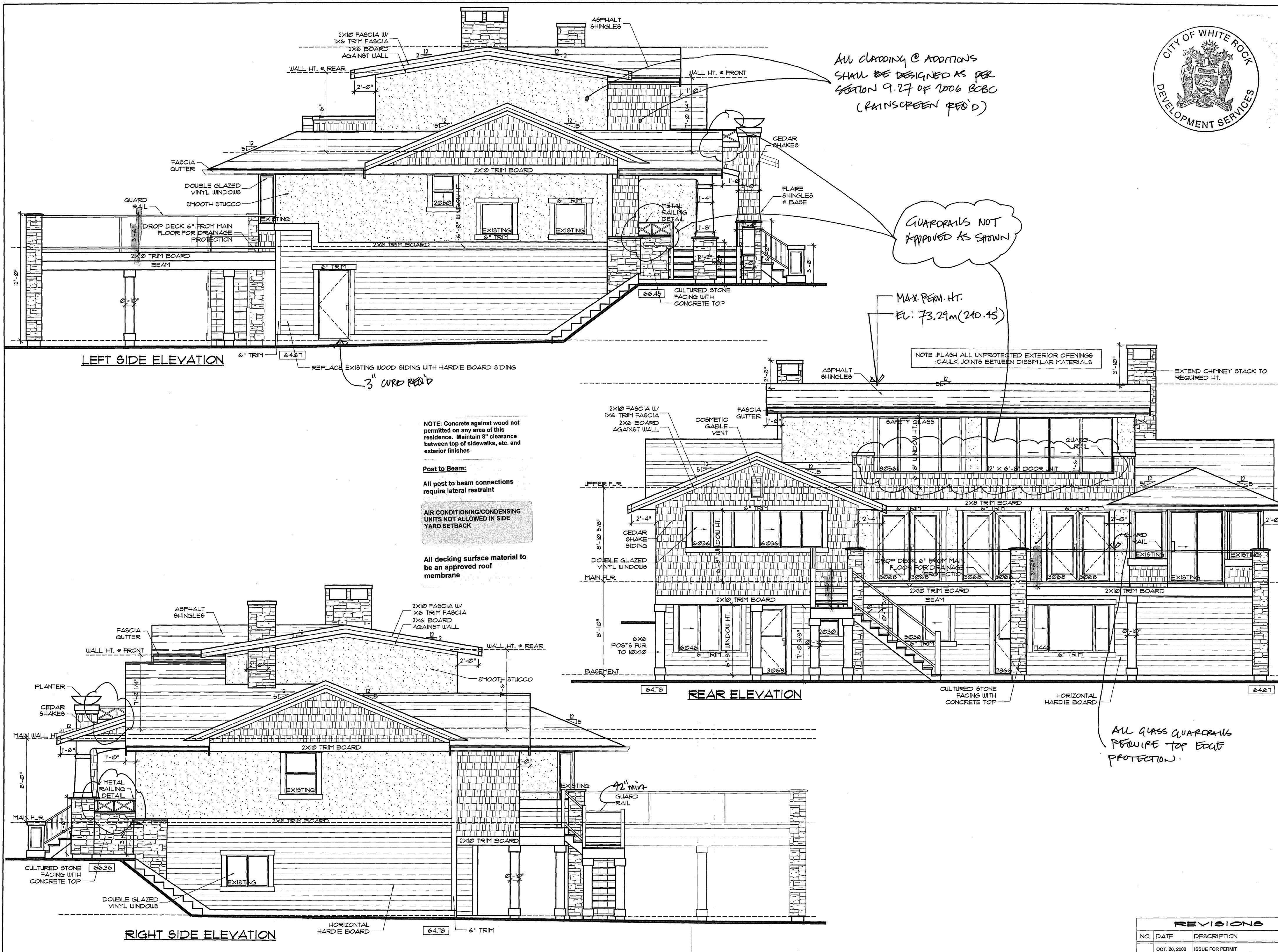
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date
OCT. 20, 2008
drawn
APF
job no.
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sheet no. **A4**

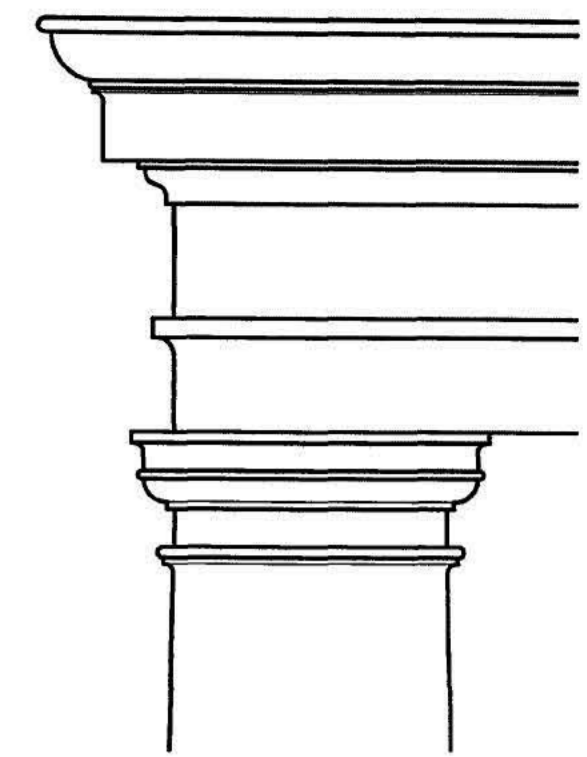
Drawings to be read in conjunction with each other, any discrepancies on drawings are to be reported to the designer before initiating work.

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TYPICAL STONE DETAILS

title
DETAILS

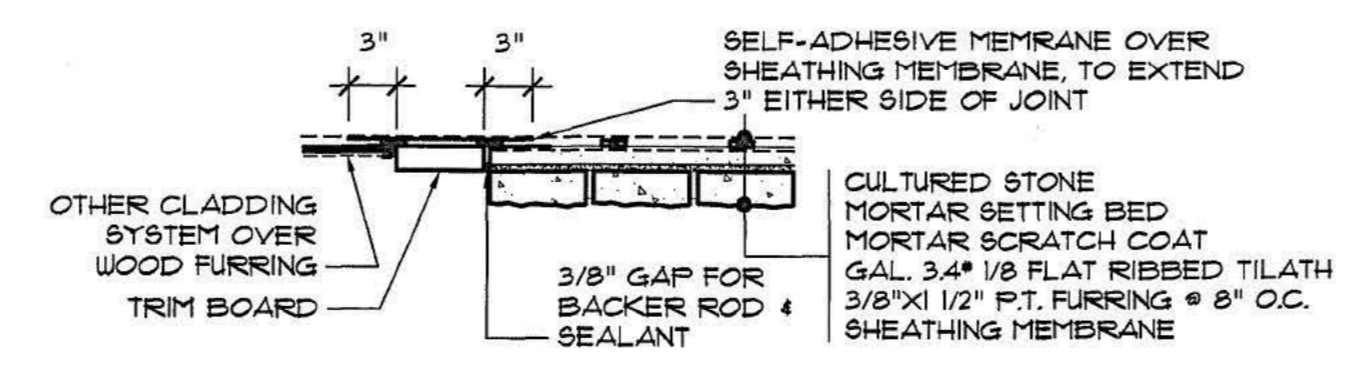
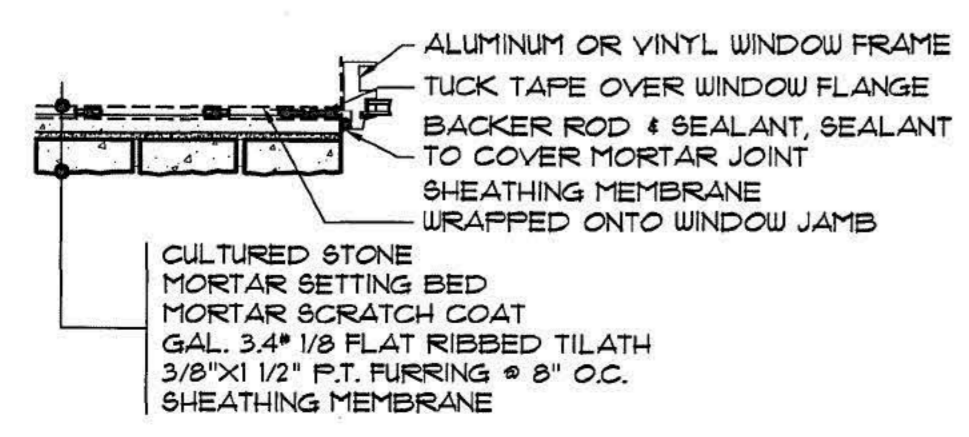
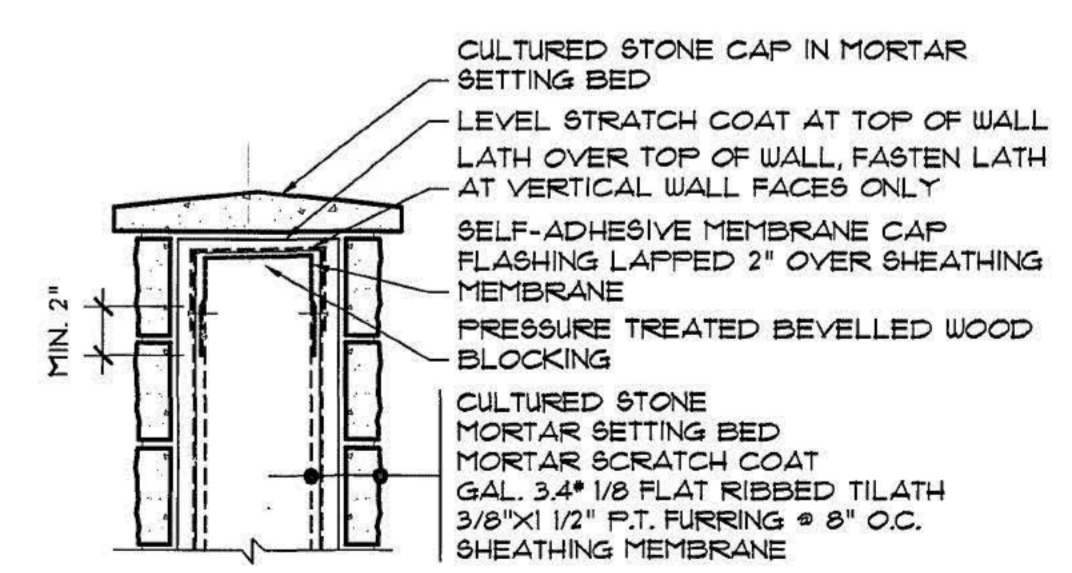
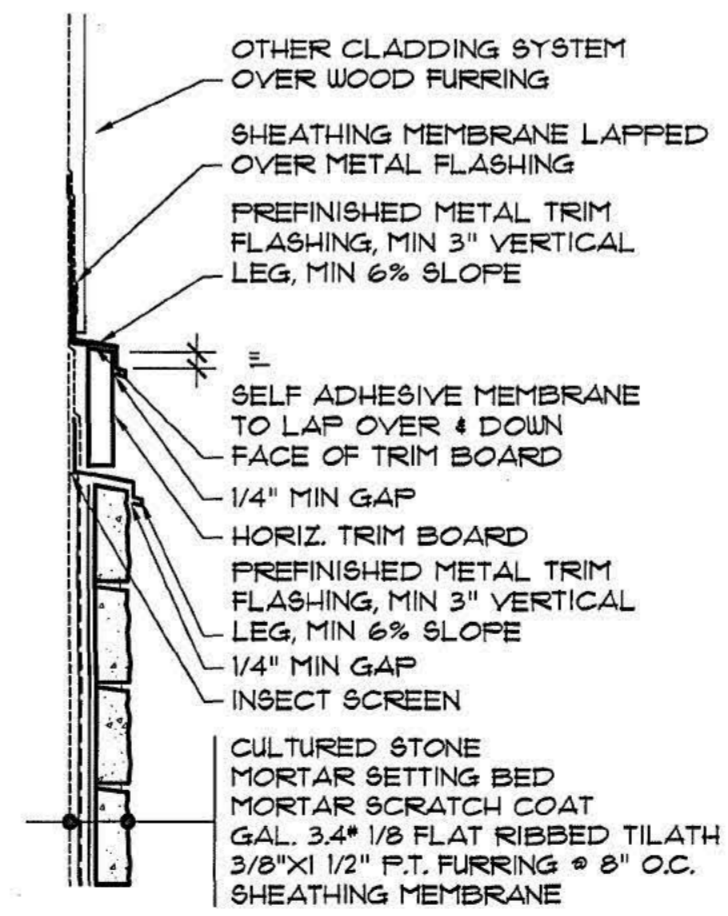
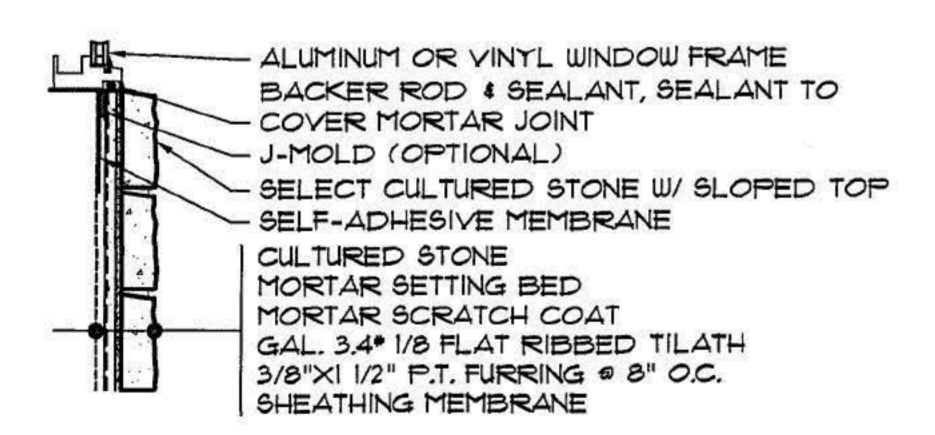
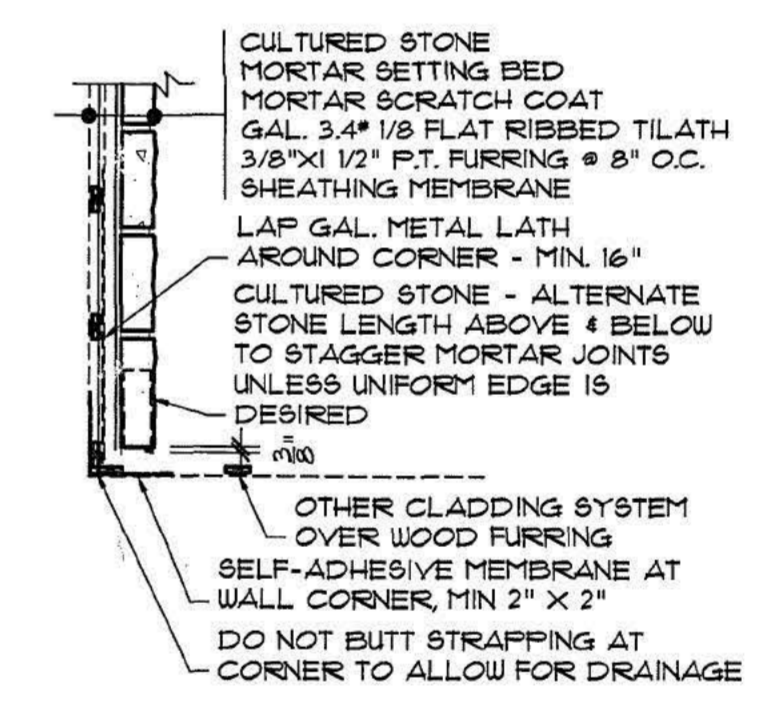
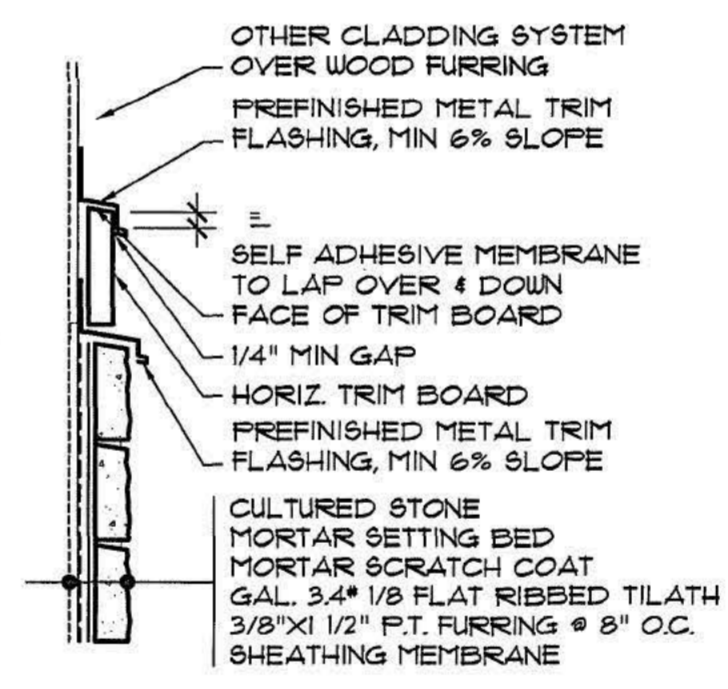
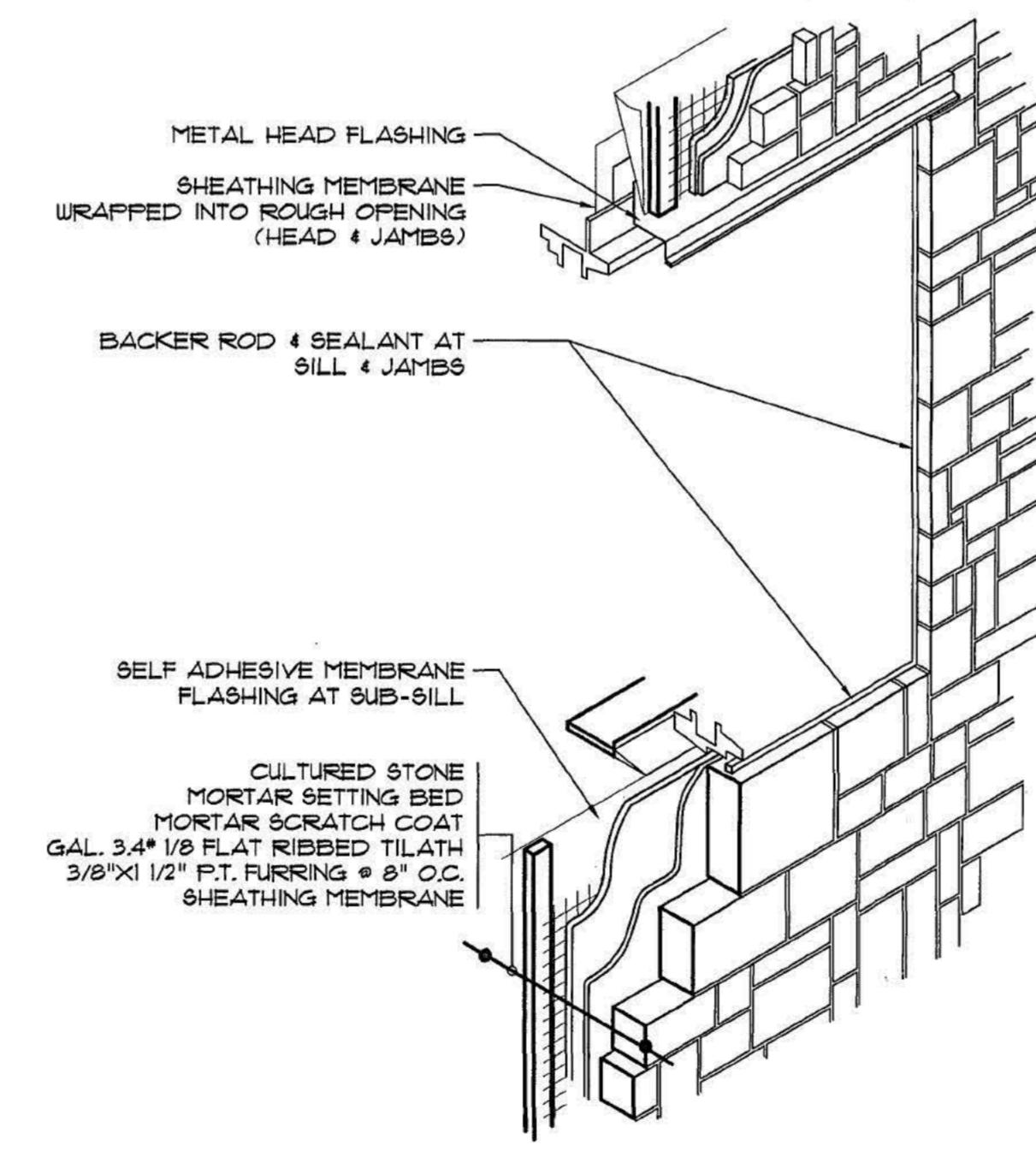
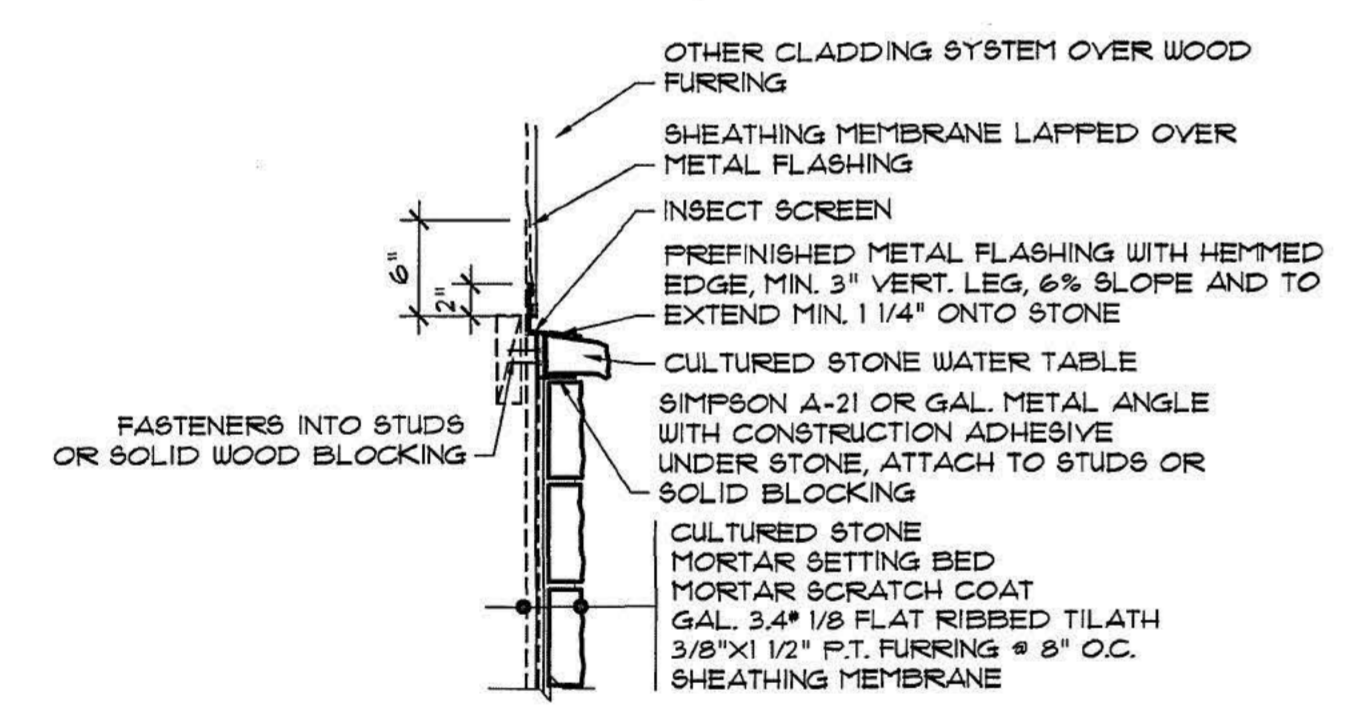
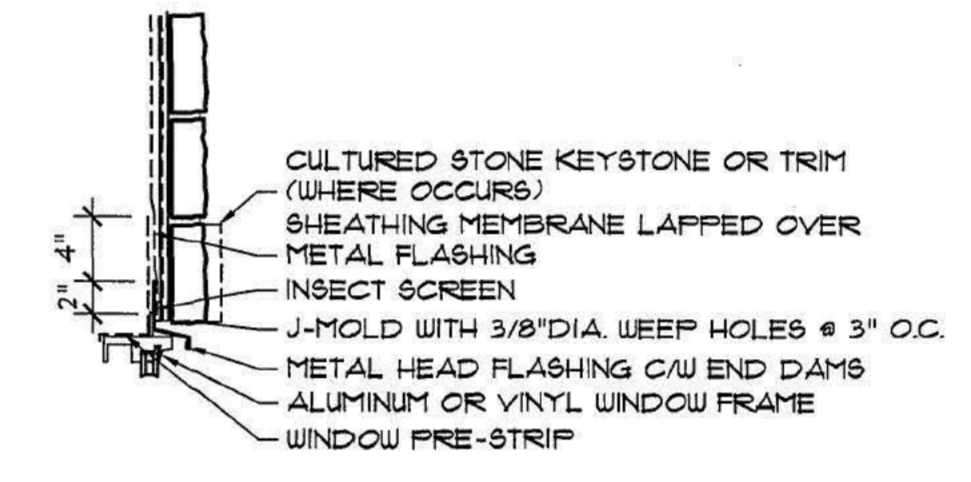
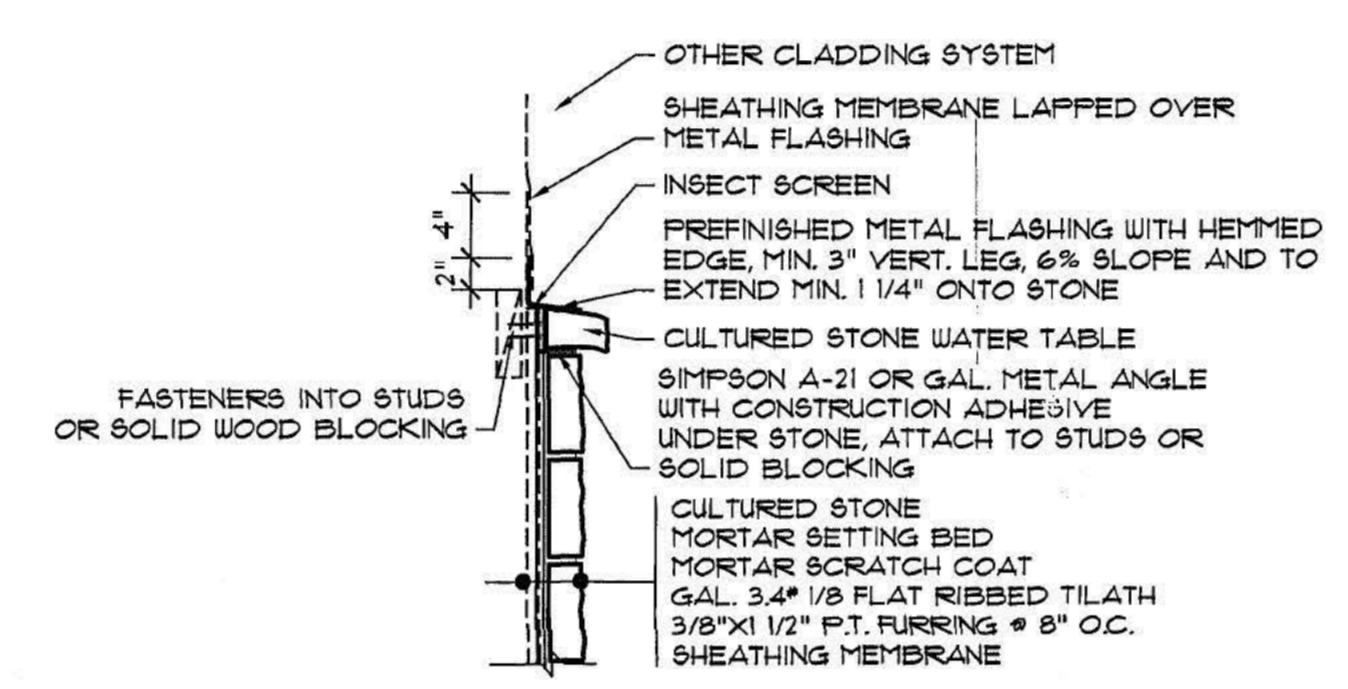
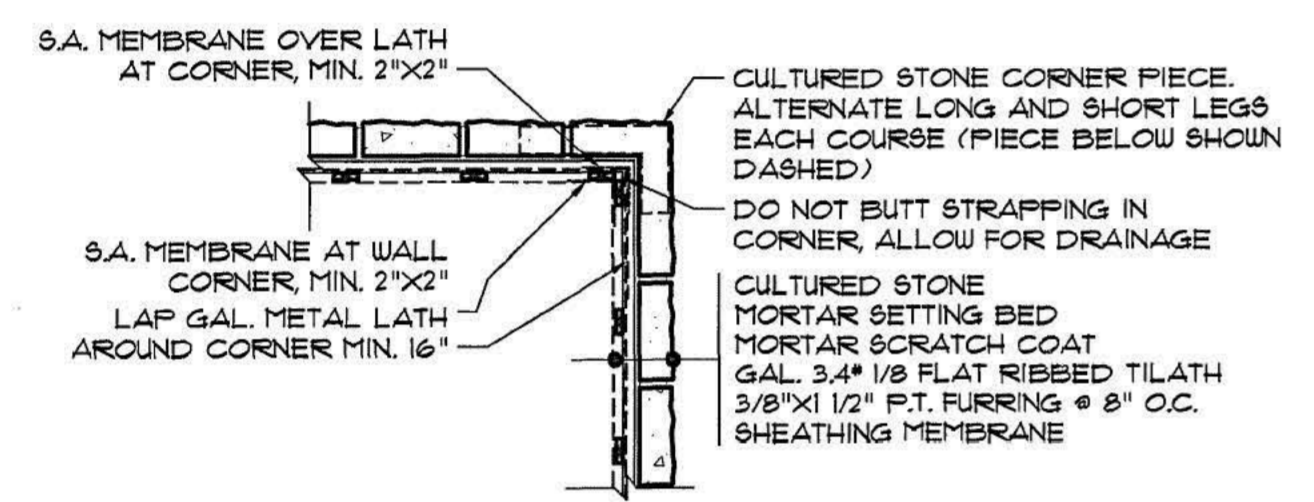
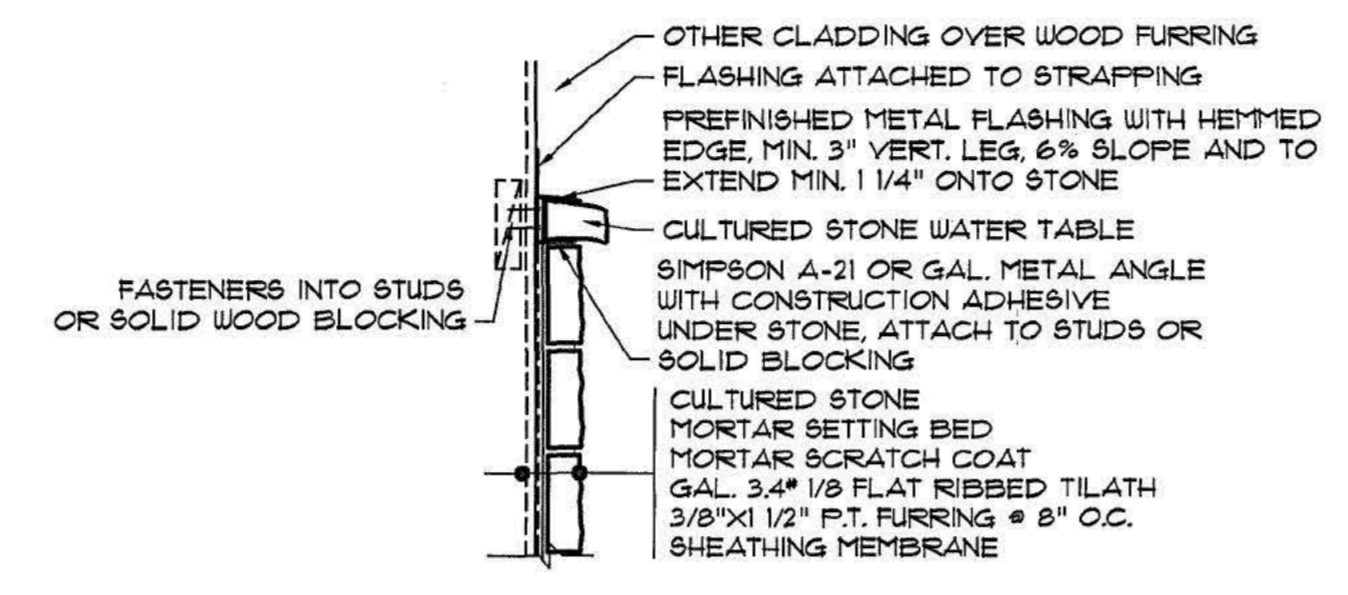
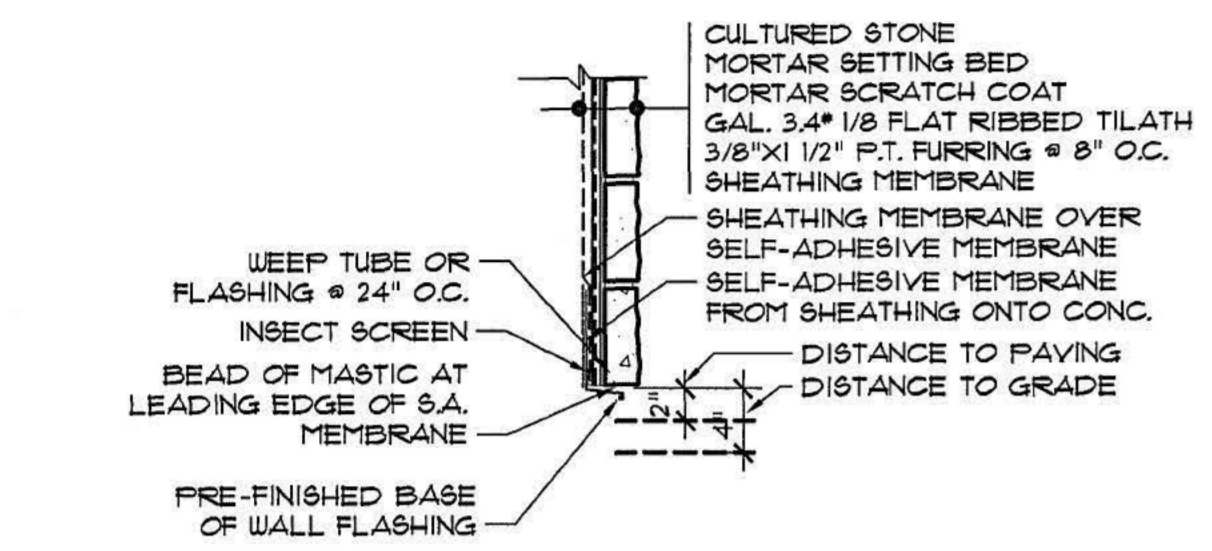
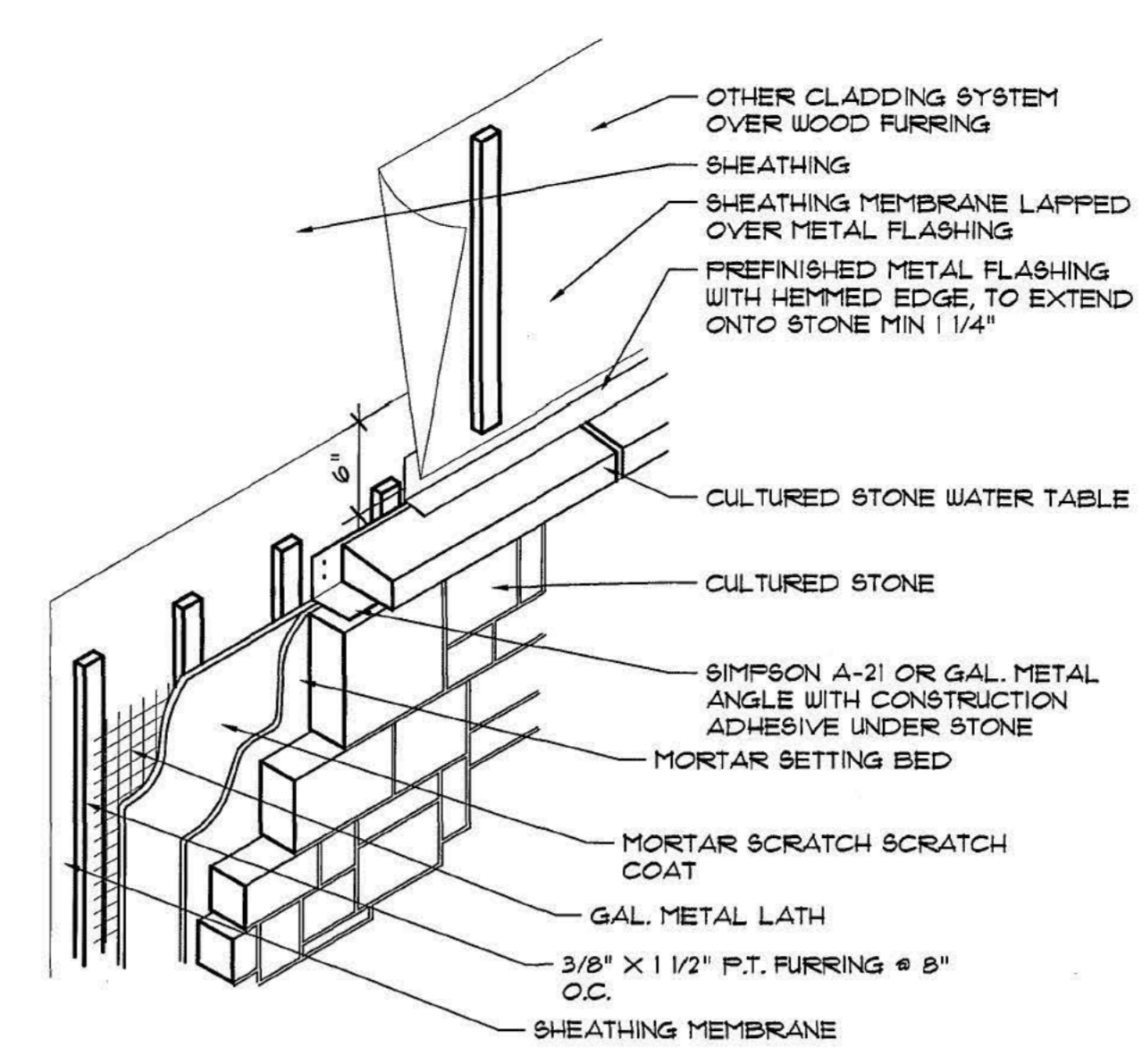
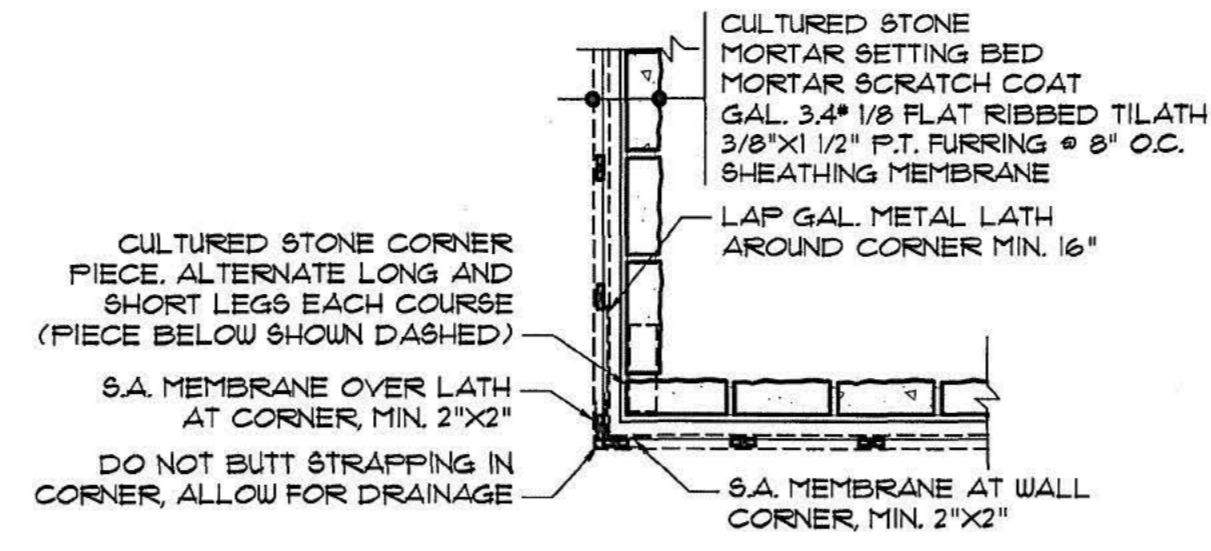
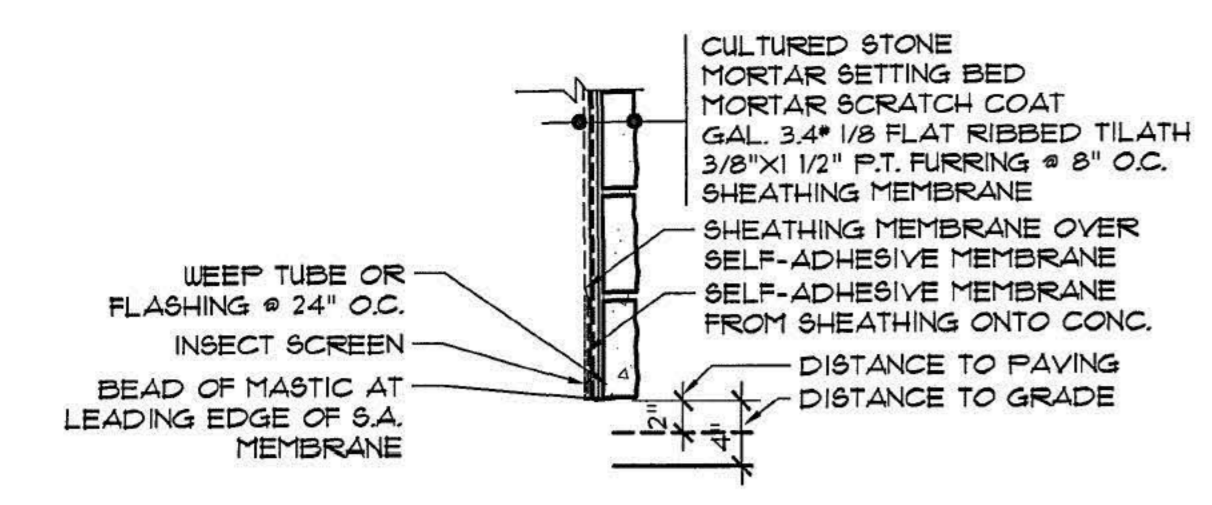
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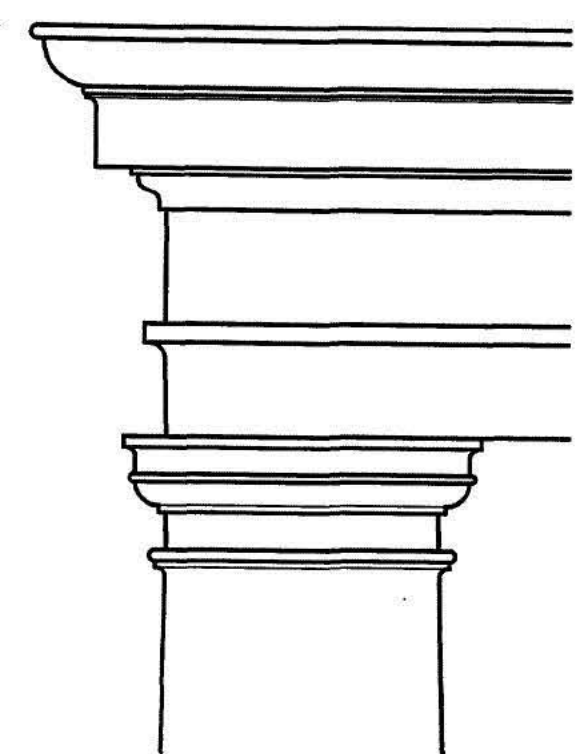
drawn
APF

job no.

sheet no. **A7**



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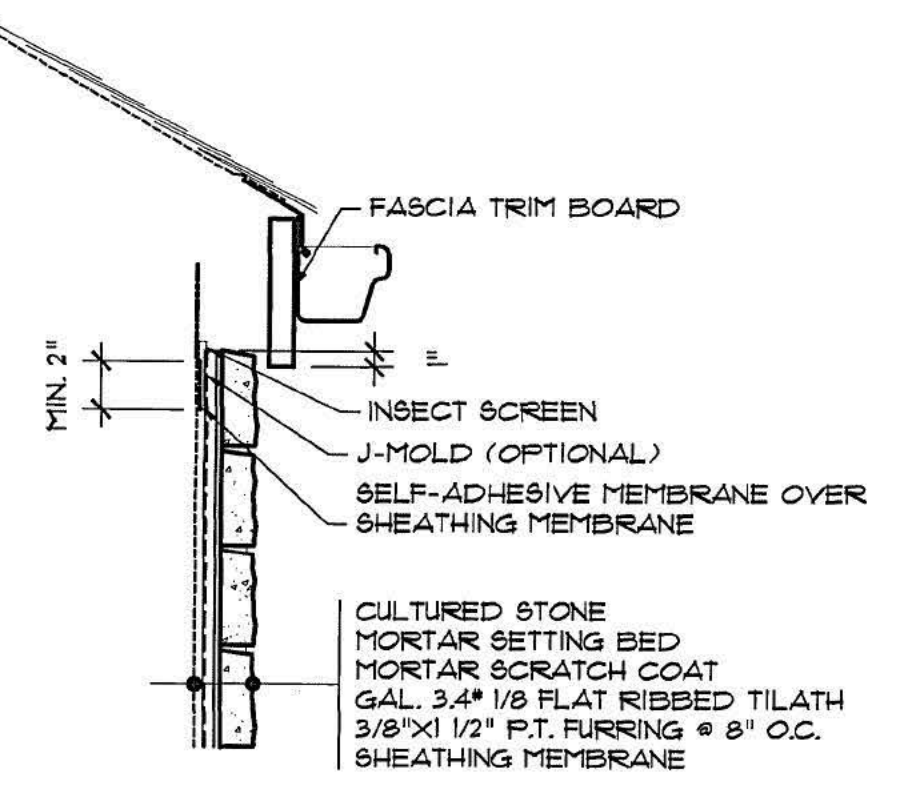
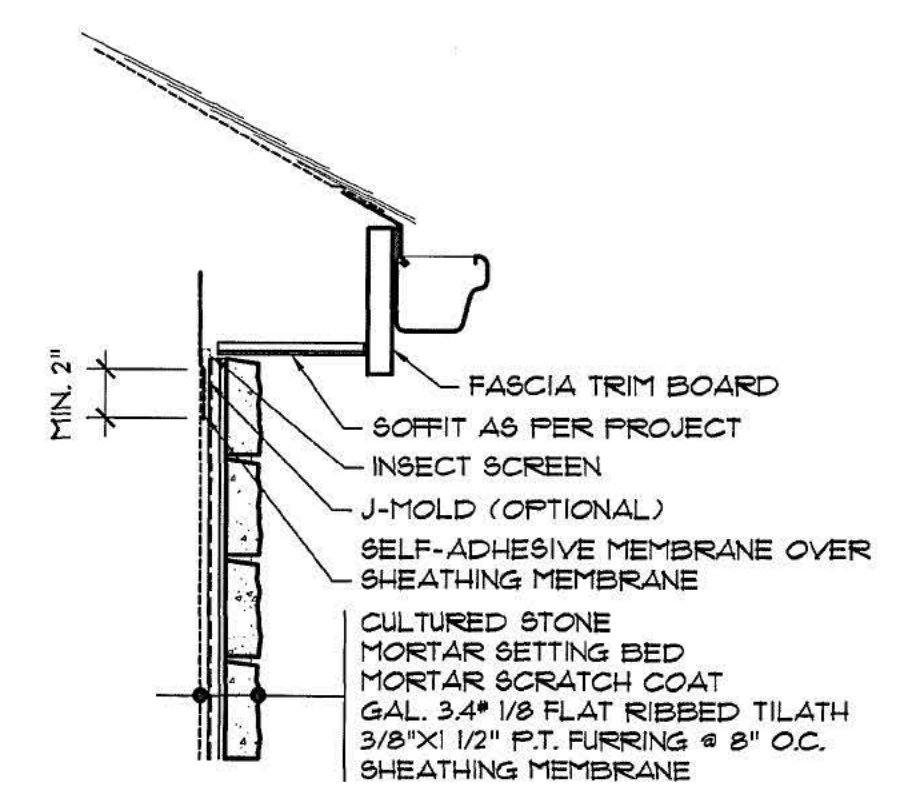
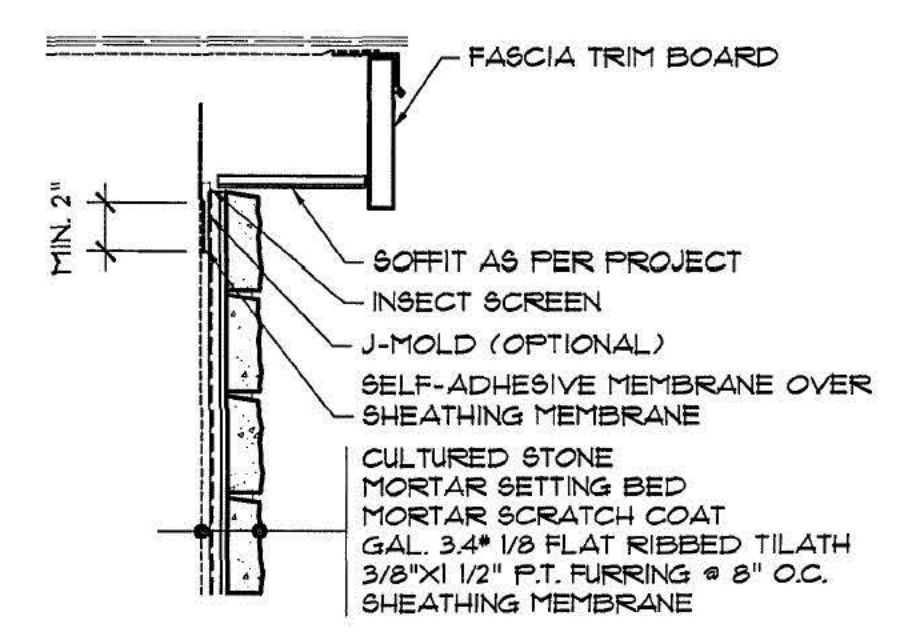
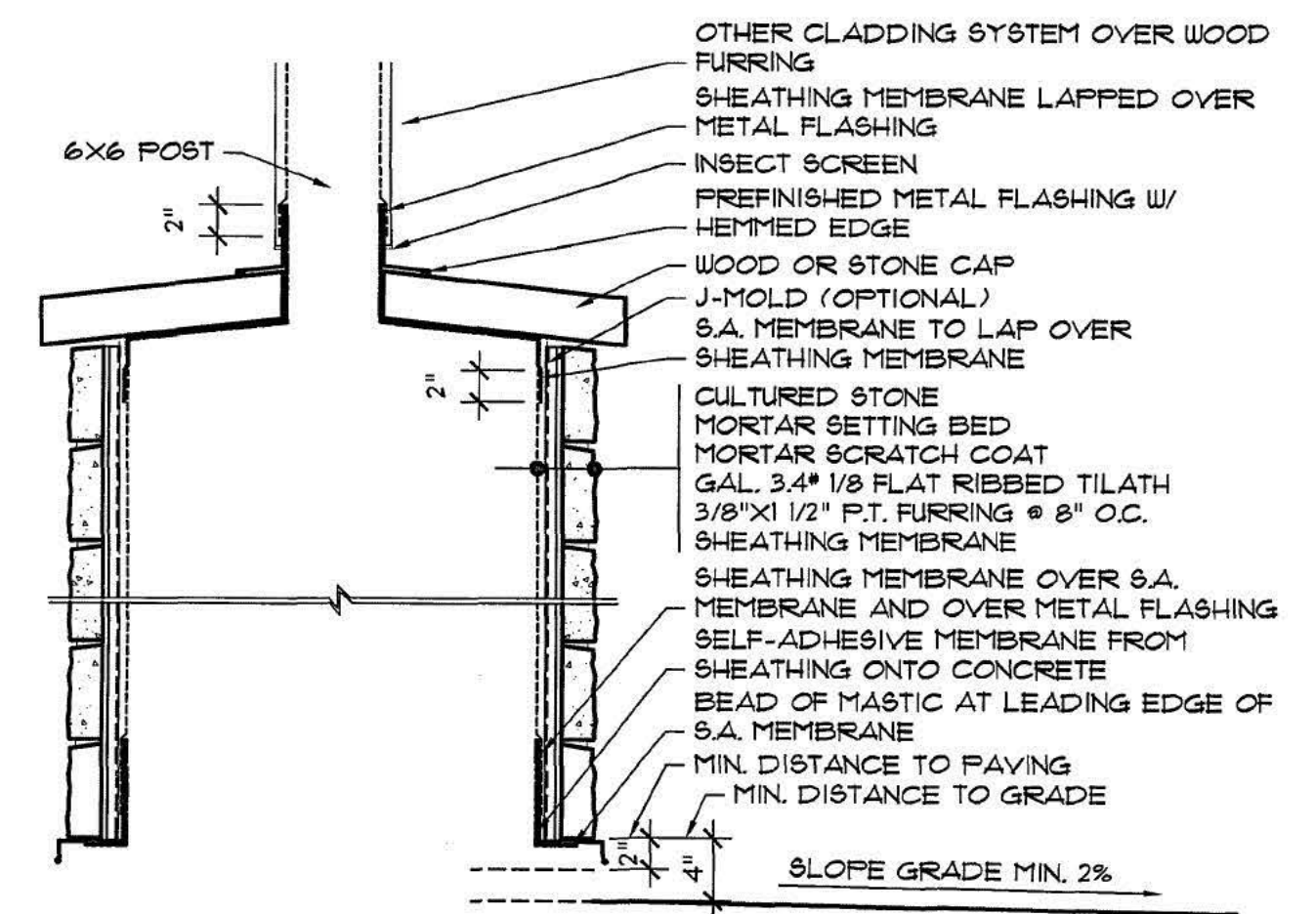
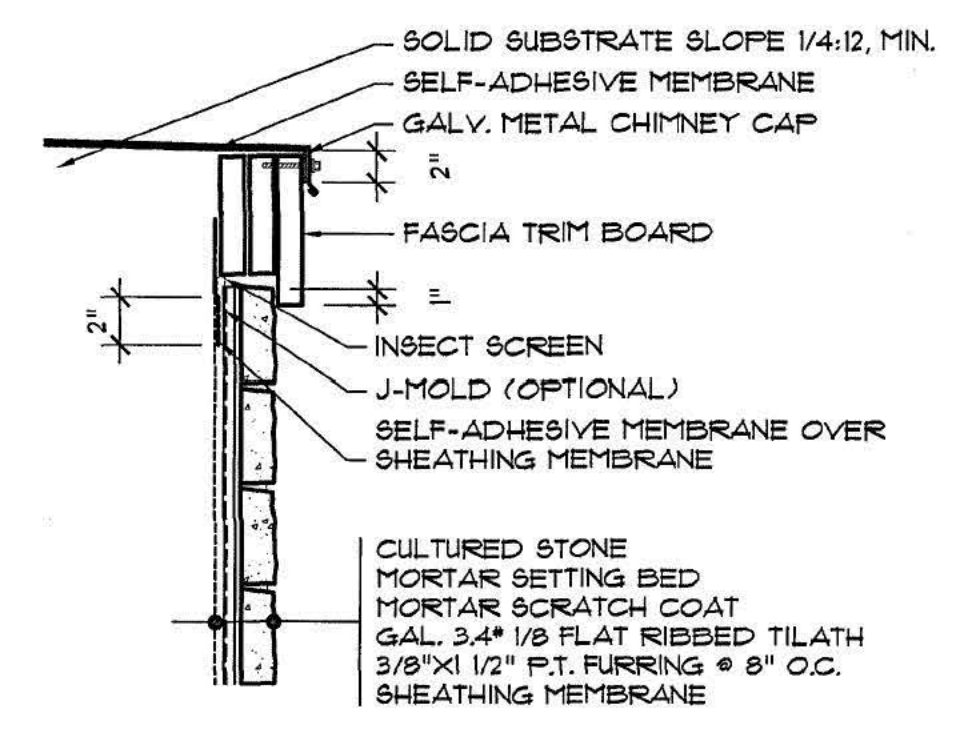
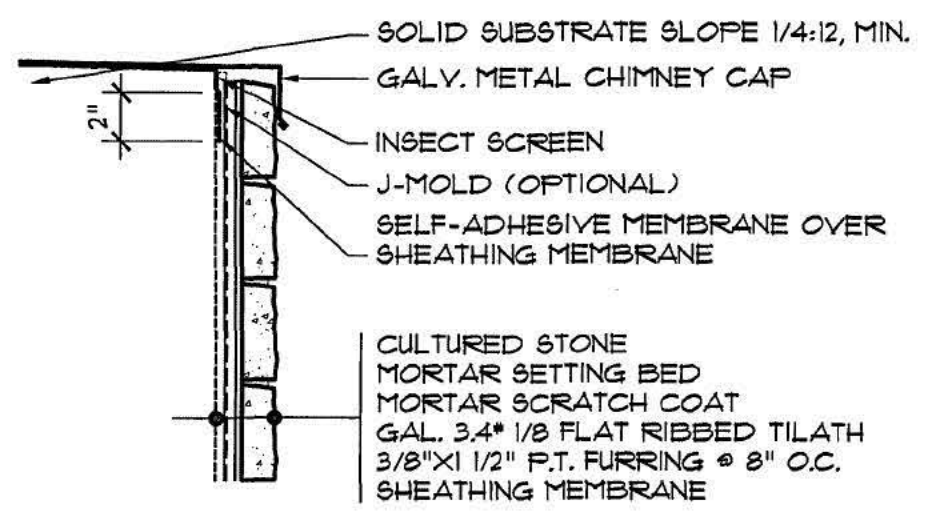
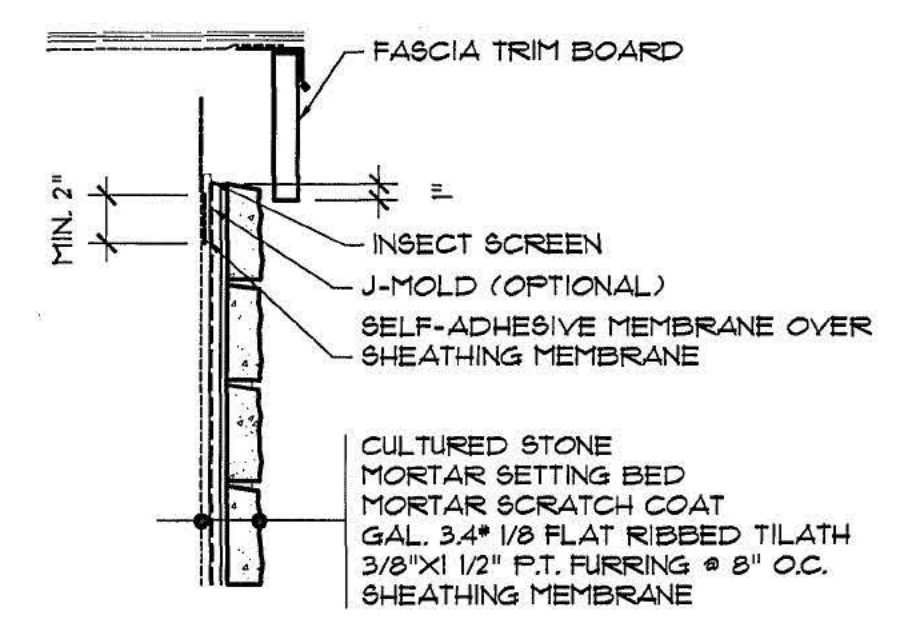
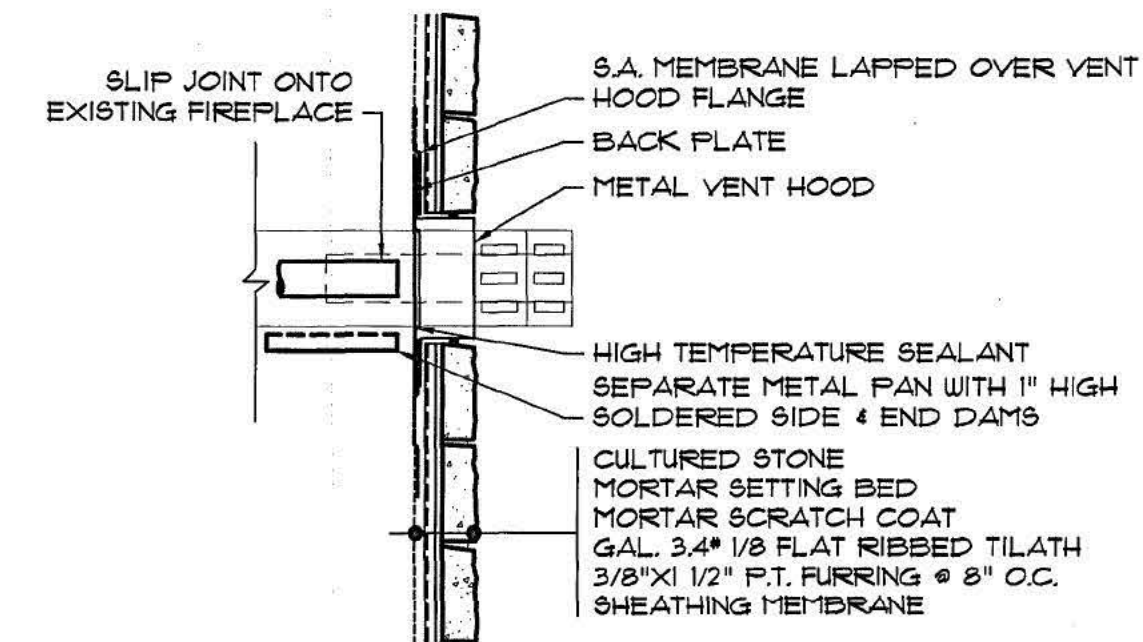
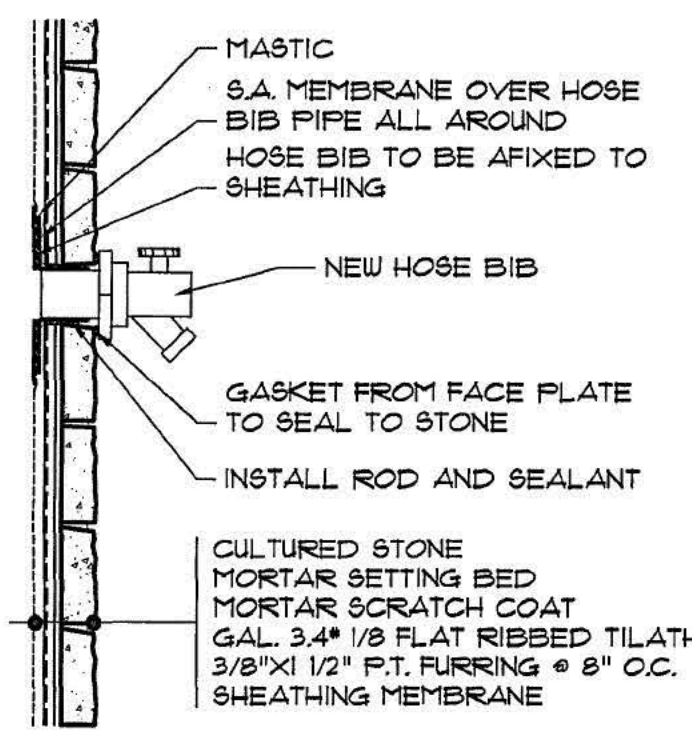
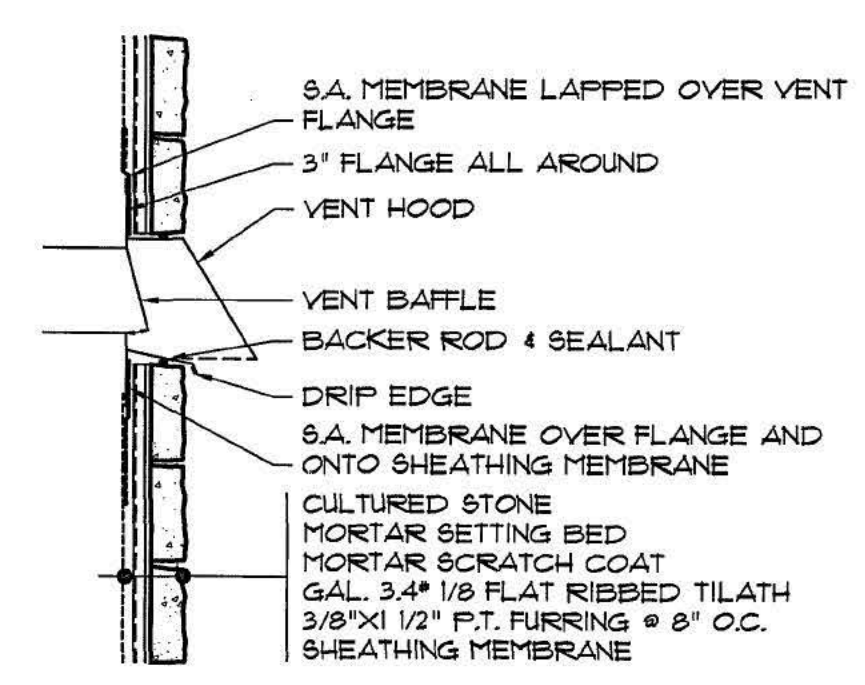
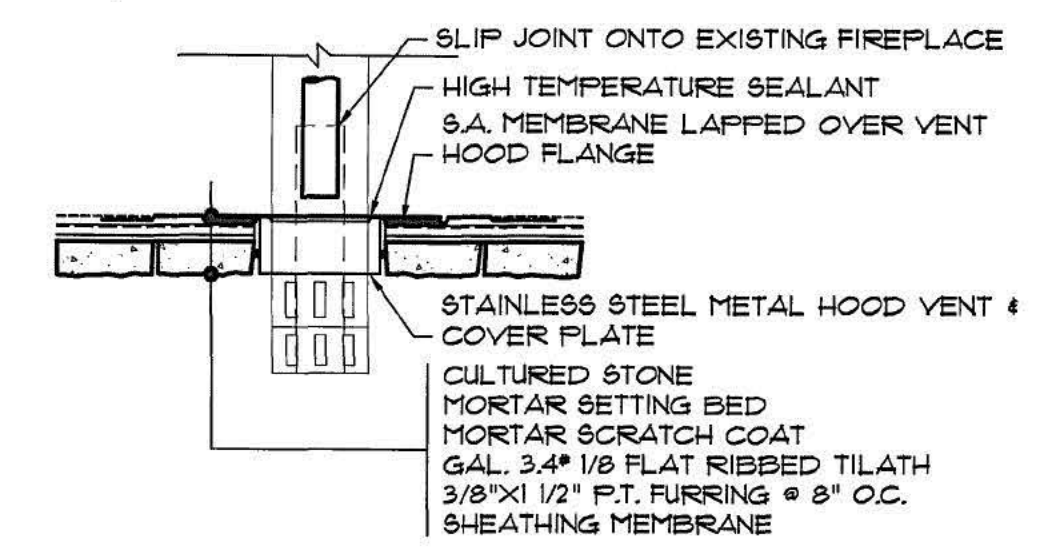
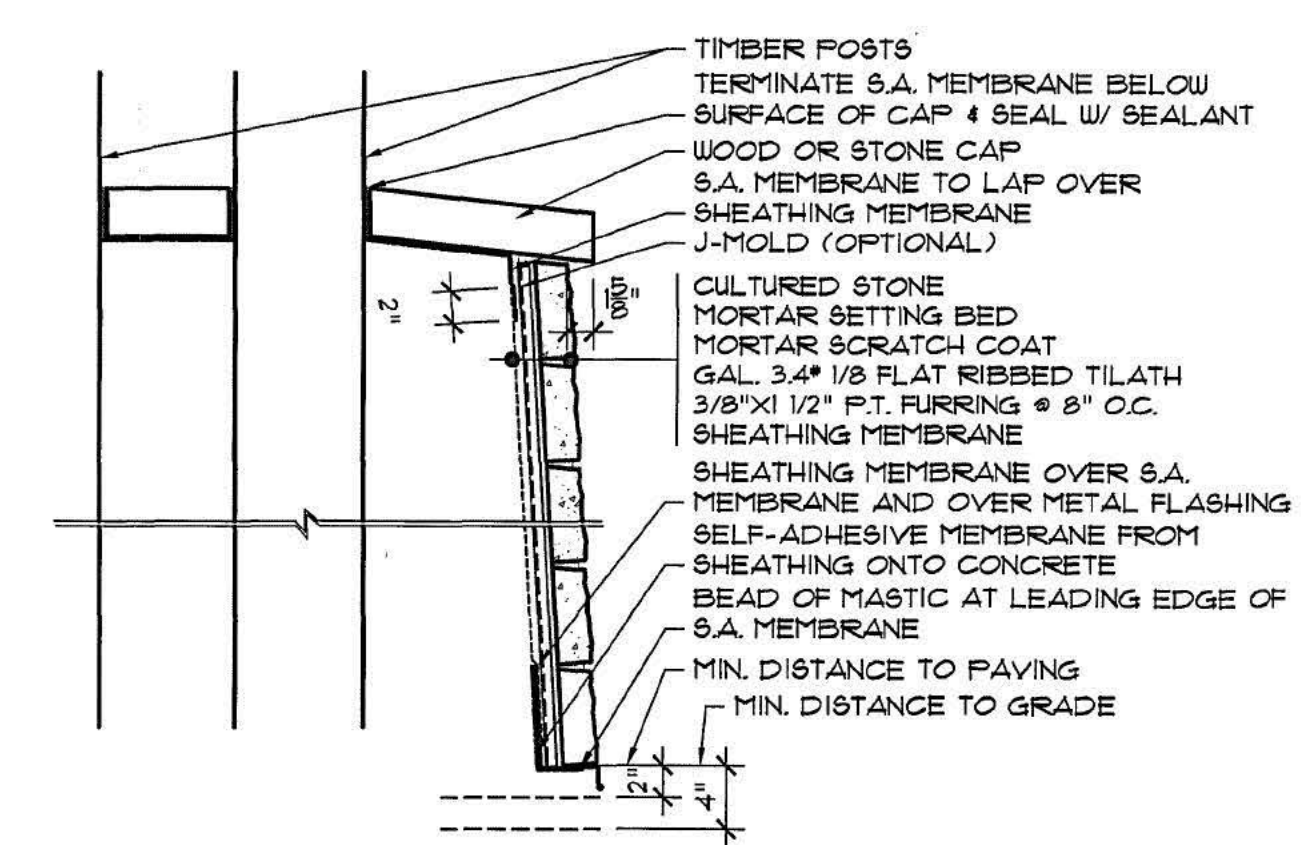
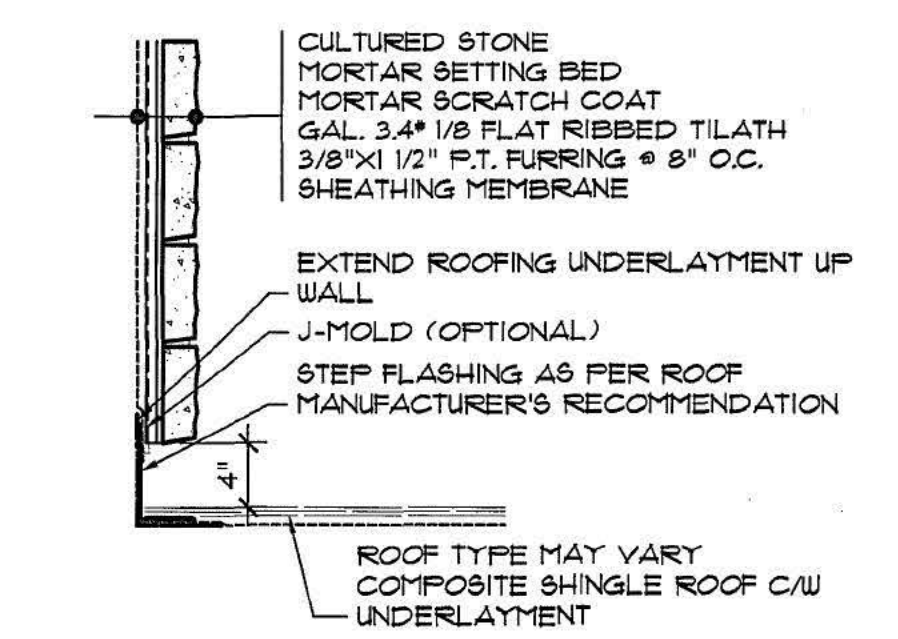
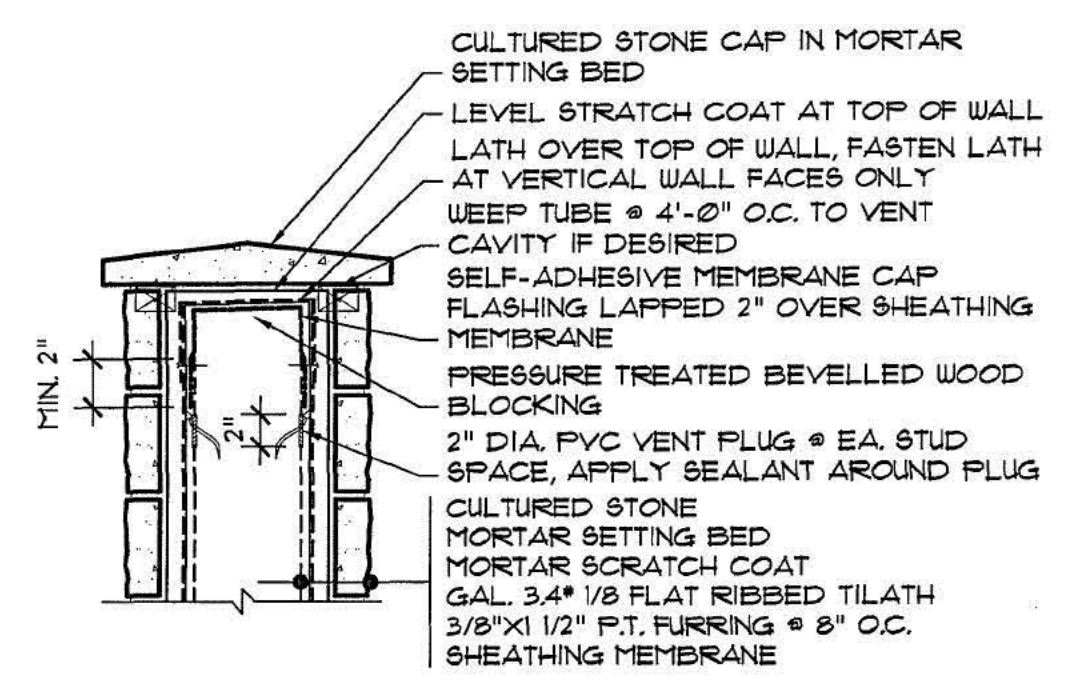
30111 downes road
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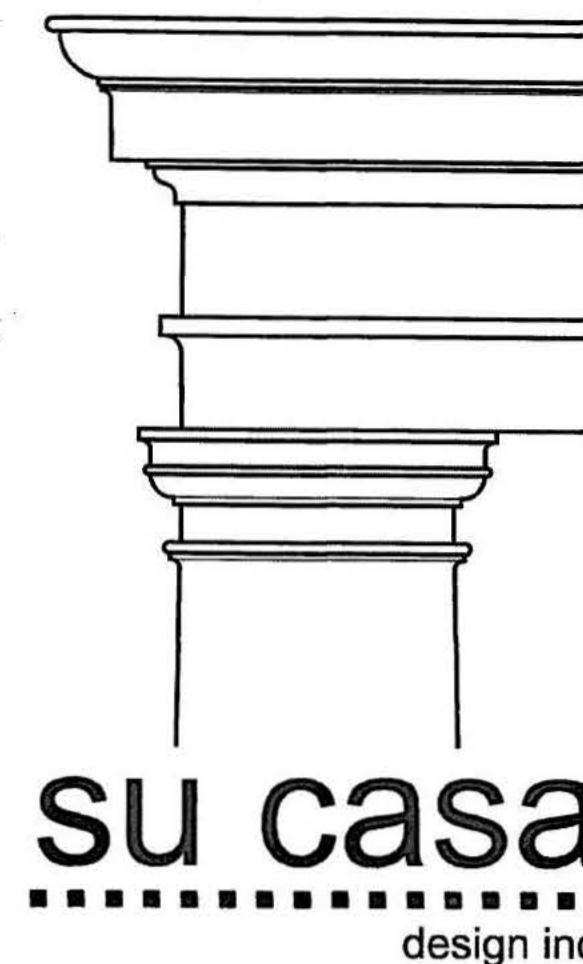
TYPICAL STONE DETAILS

title
DETAILS
scale
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date
drawn
APF
job no.

sheet no. A8

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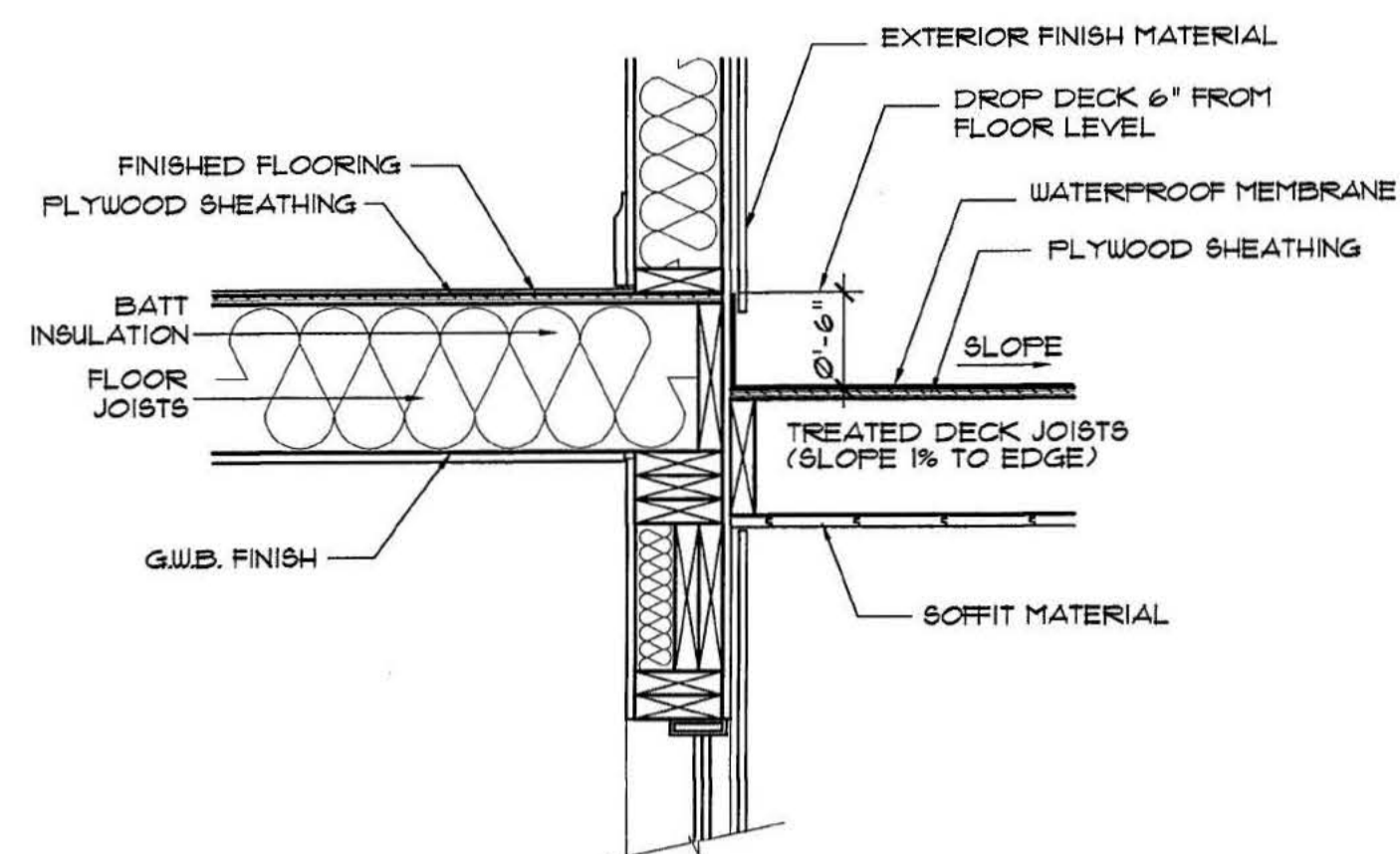
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TYPICAL STUCCO DETAILS

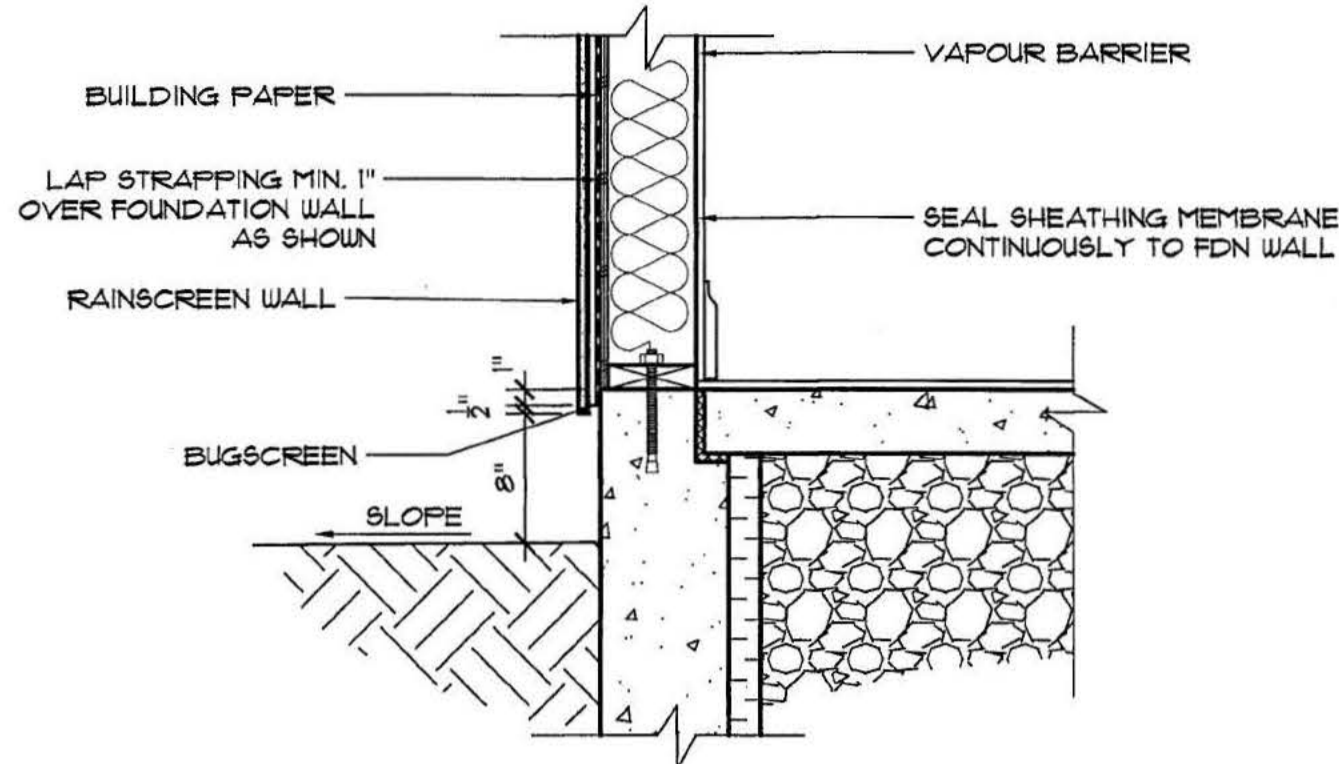
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APF
job no.

sheet no. **A9**

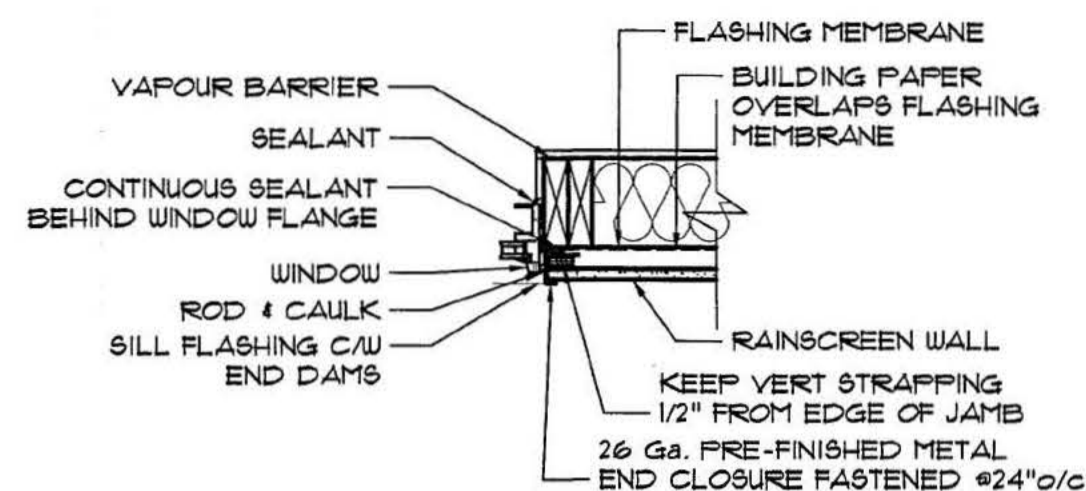
Drawings to be read in conjunction with each other, any discrepancies on drawings are to be reported to the designer before initiating work.
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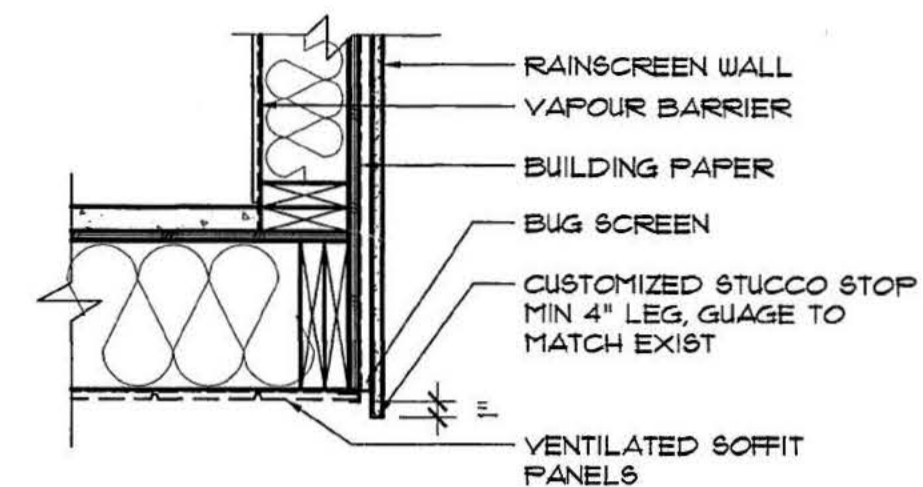
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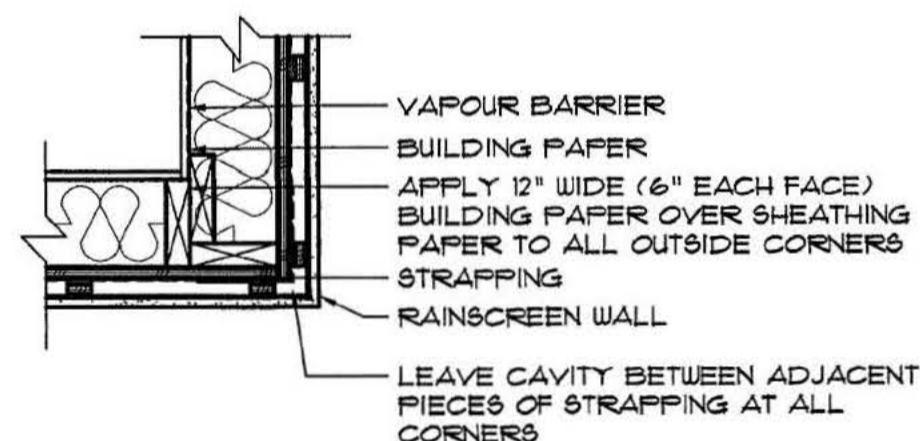
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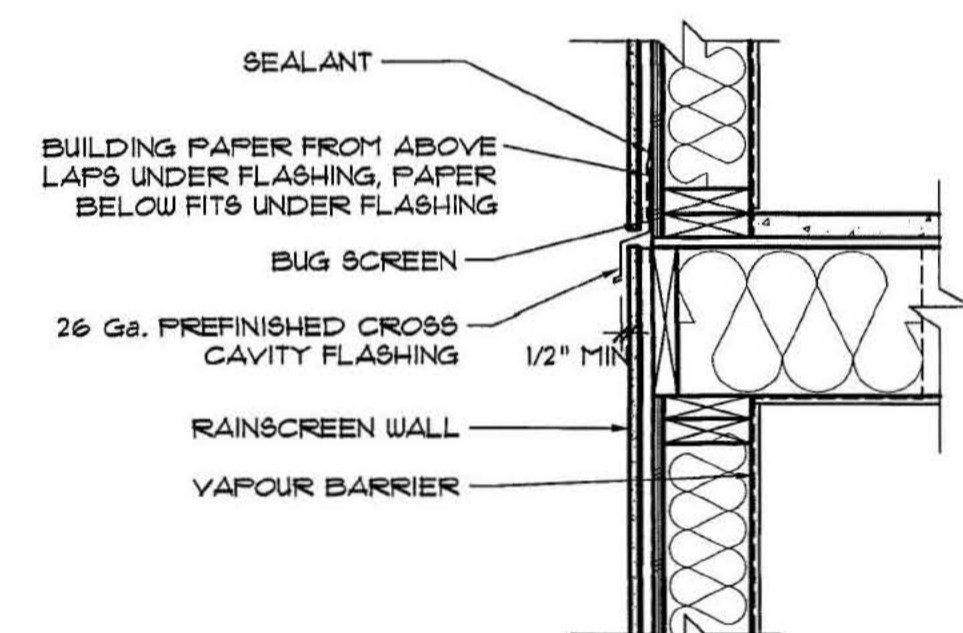
WINDOW JAMB
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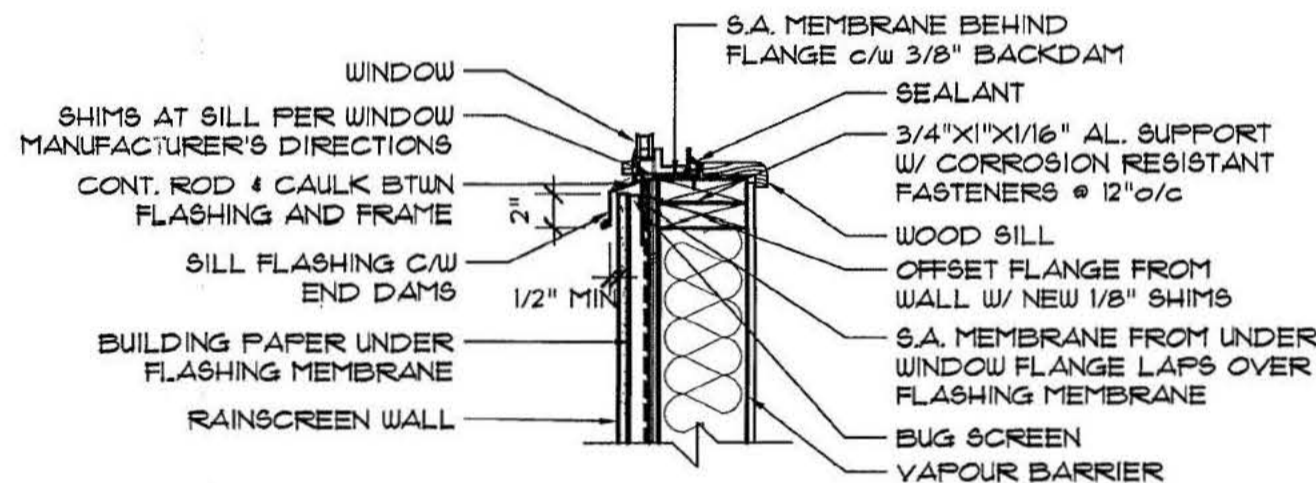
VENTED SOFFIT @ OVERHANG
SCALE: 1"=1'-0"



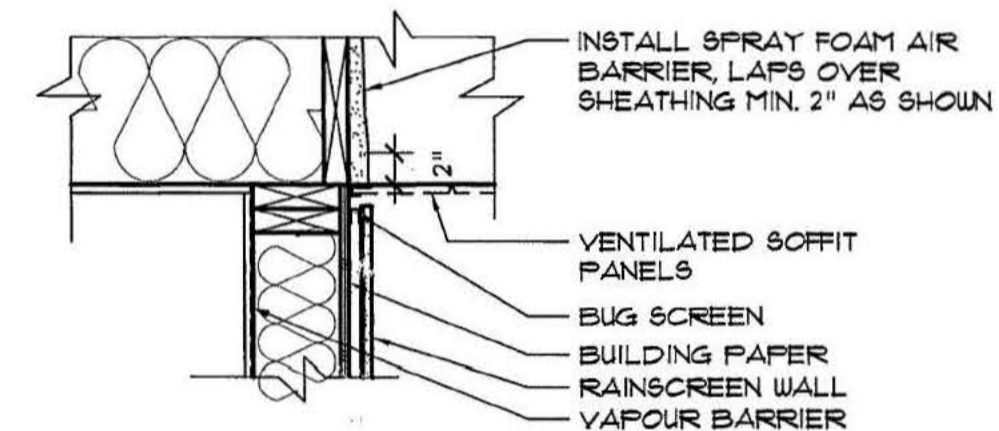
TYP. OUTSIDE CORNER
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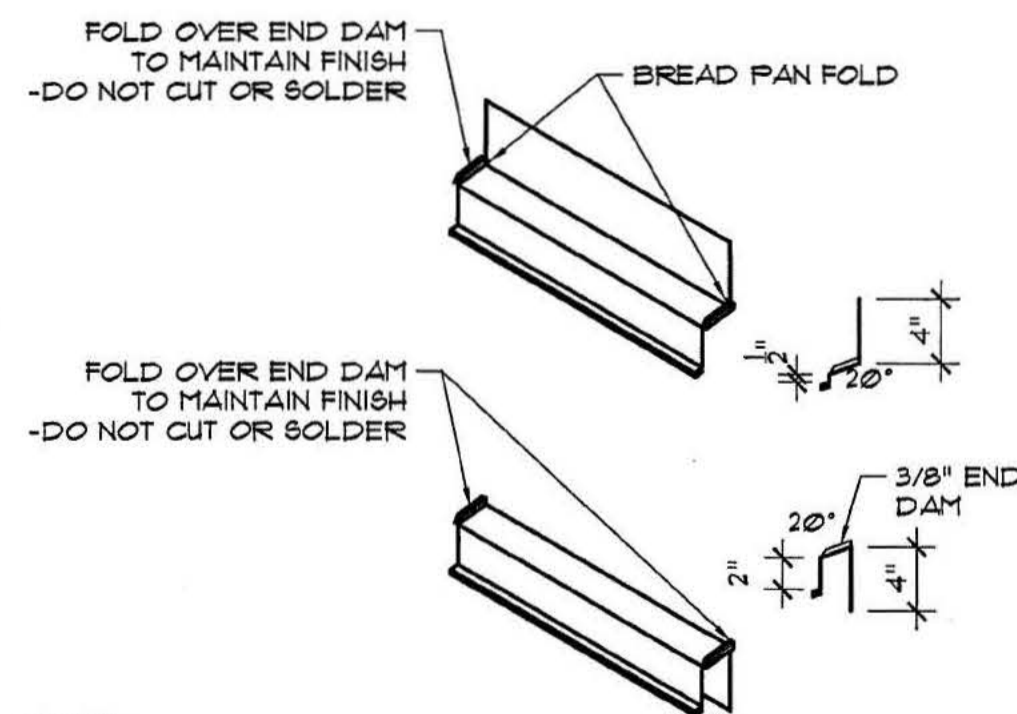
NOTE: PROVIDE MIN 1/2" CLEARANCE BTWN FLASHING AND STUCCO
CROSS CAVITY FLASHING
SCALE: 1"=1'-0"



WINDOW SILL
SCALE: 1"=1'-0"

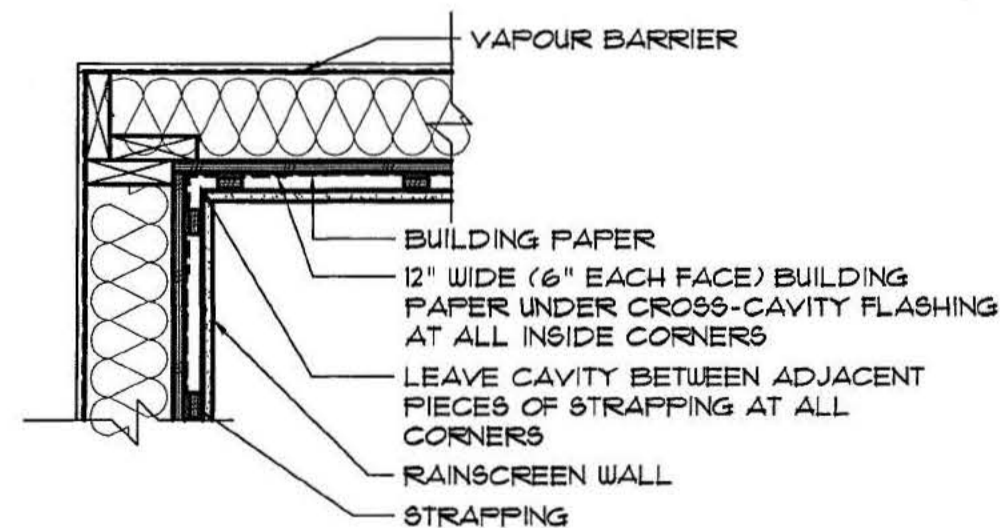


SOFFIT @ WALL
SCALE: 1"=1'-0"

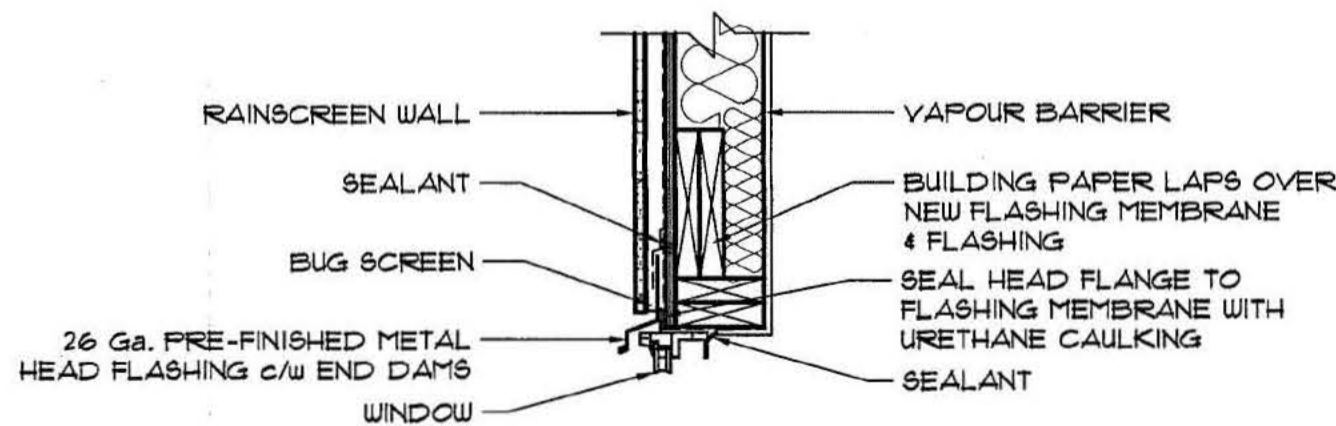


NOTES:
-PROVIDE MIN 1/2" CLEARANCE BTWN FLASHING CLADDING
-FLASHING DIMENSIONS ARE SUBJECT TO VERIFICATION OF SPECIFIC SITE CONDITIONS. REFER TO SPECIFIC DETAILS WHERE SHOWN ON DETAILS
-NO FIELD SOLDERED JOINTS
-DOUBLE BACK HEAD FLASHINGS AT WINDOWS & DOORS
-ANY EXPOSED UNDERSIDE OF FLASHING OR TRIMS AT WINDOW/DOOR HEADS TO BE PAINTED

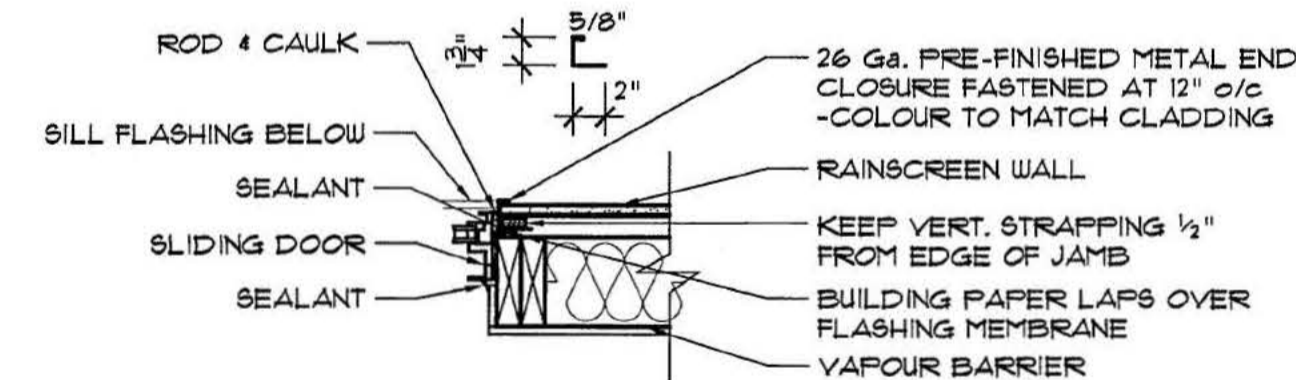
HEAD & SILL FLASHINGS
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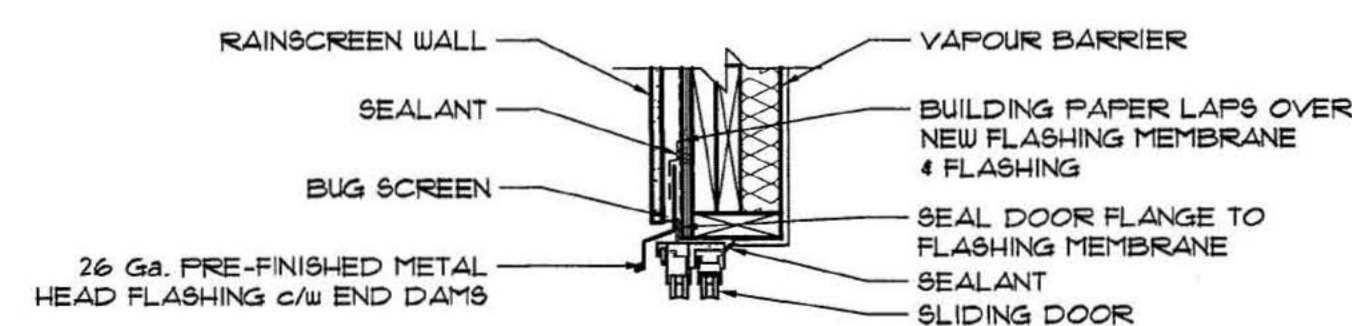
TYP. INSIDE CORNER
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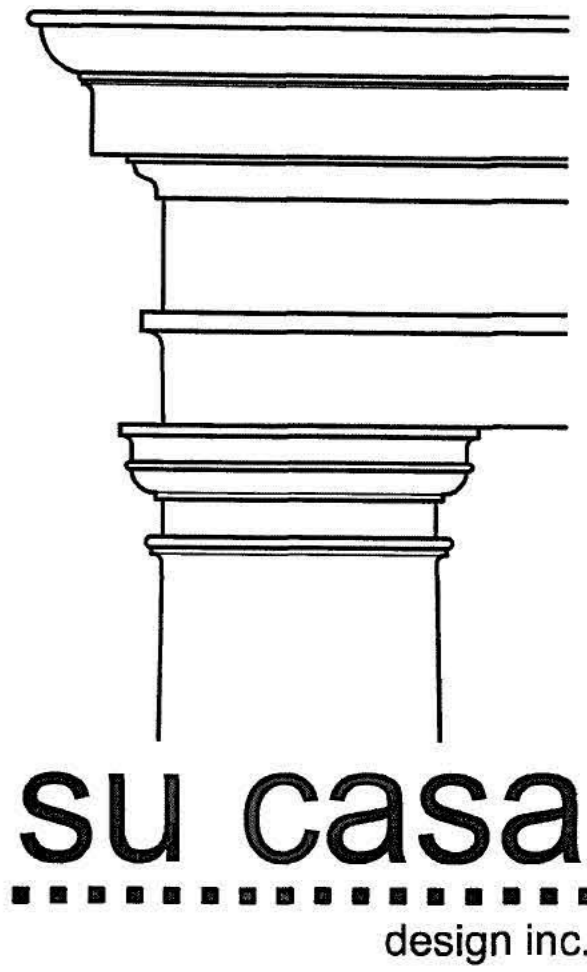
WINDOW HEAD
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SLIDING DOOR JAMB
SCALE: 1"=1'-0"



SLIDING DOOR HEAD
SCALE: 1"=1'-0"



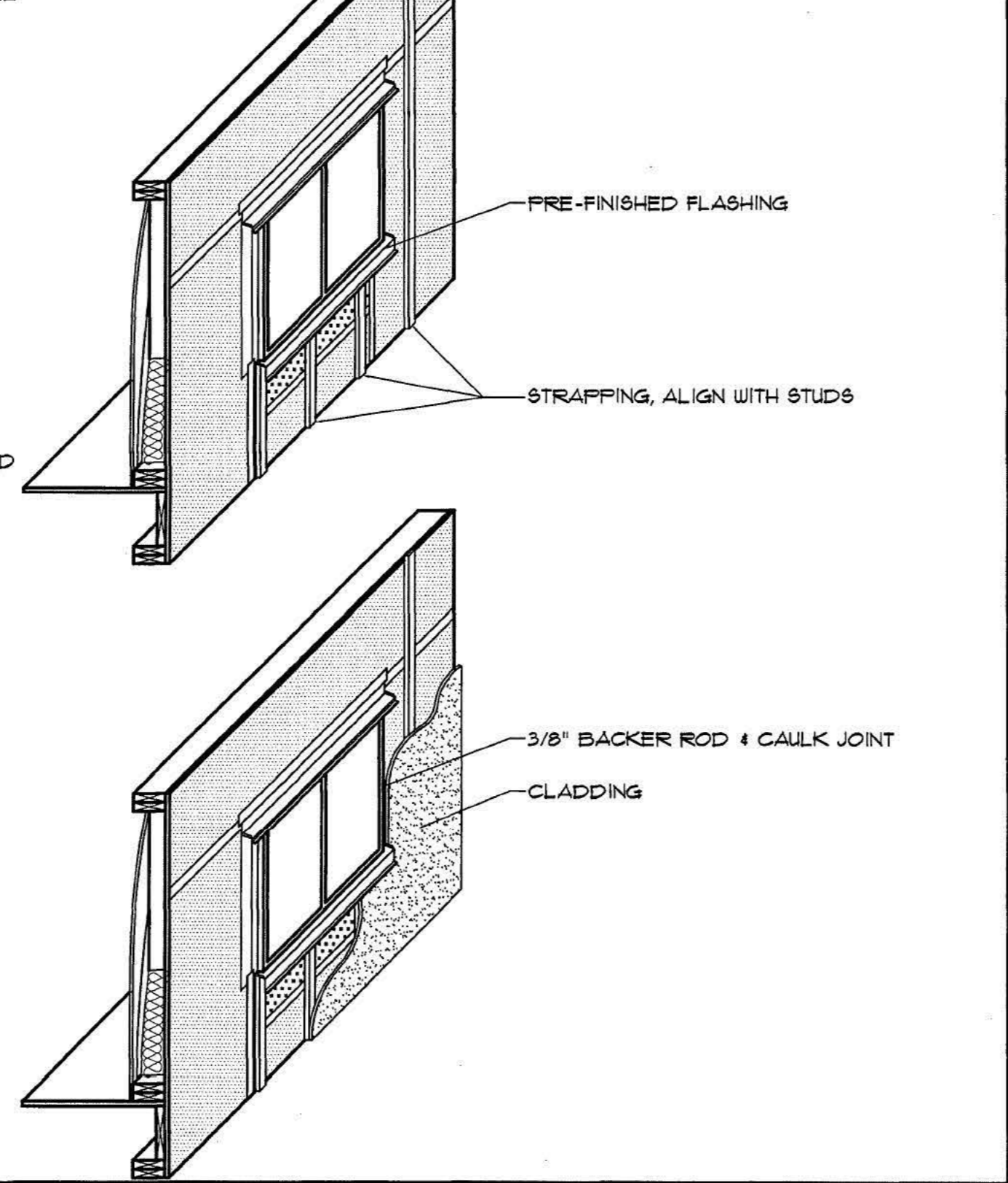
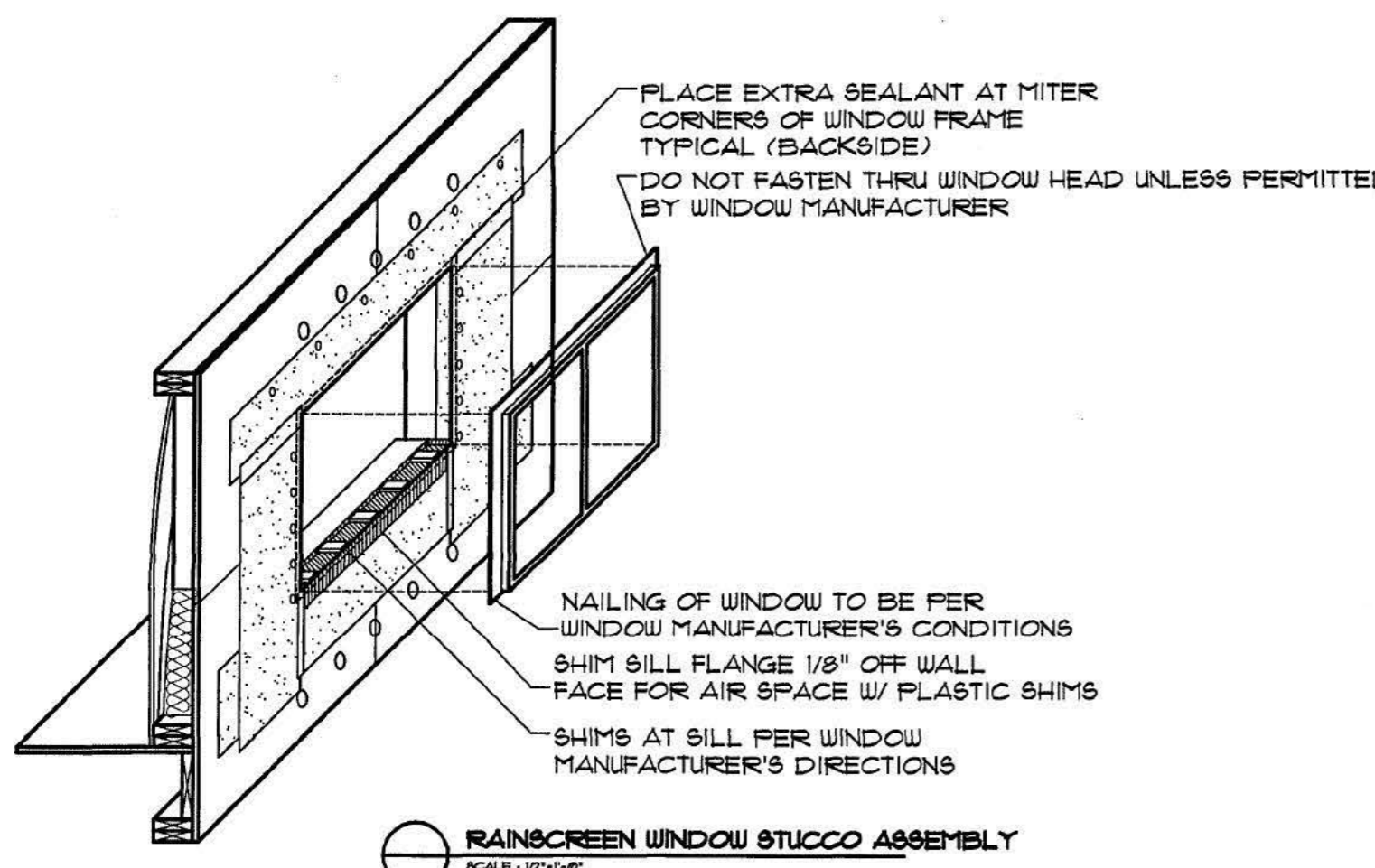
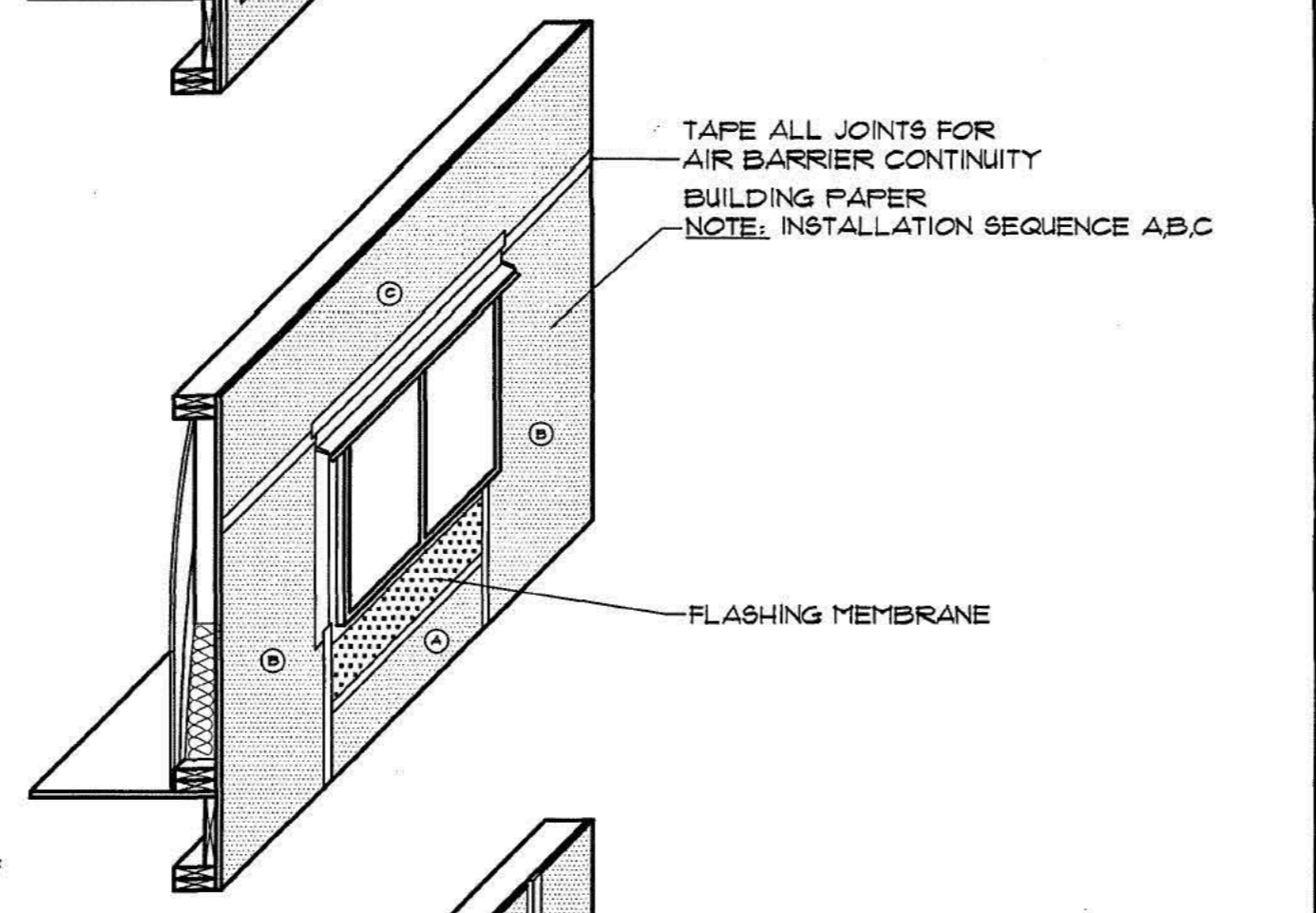
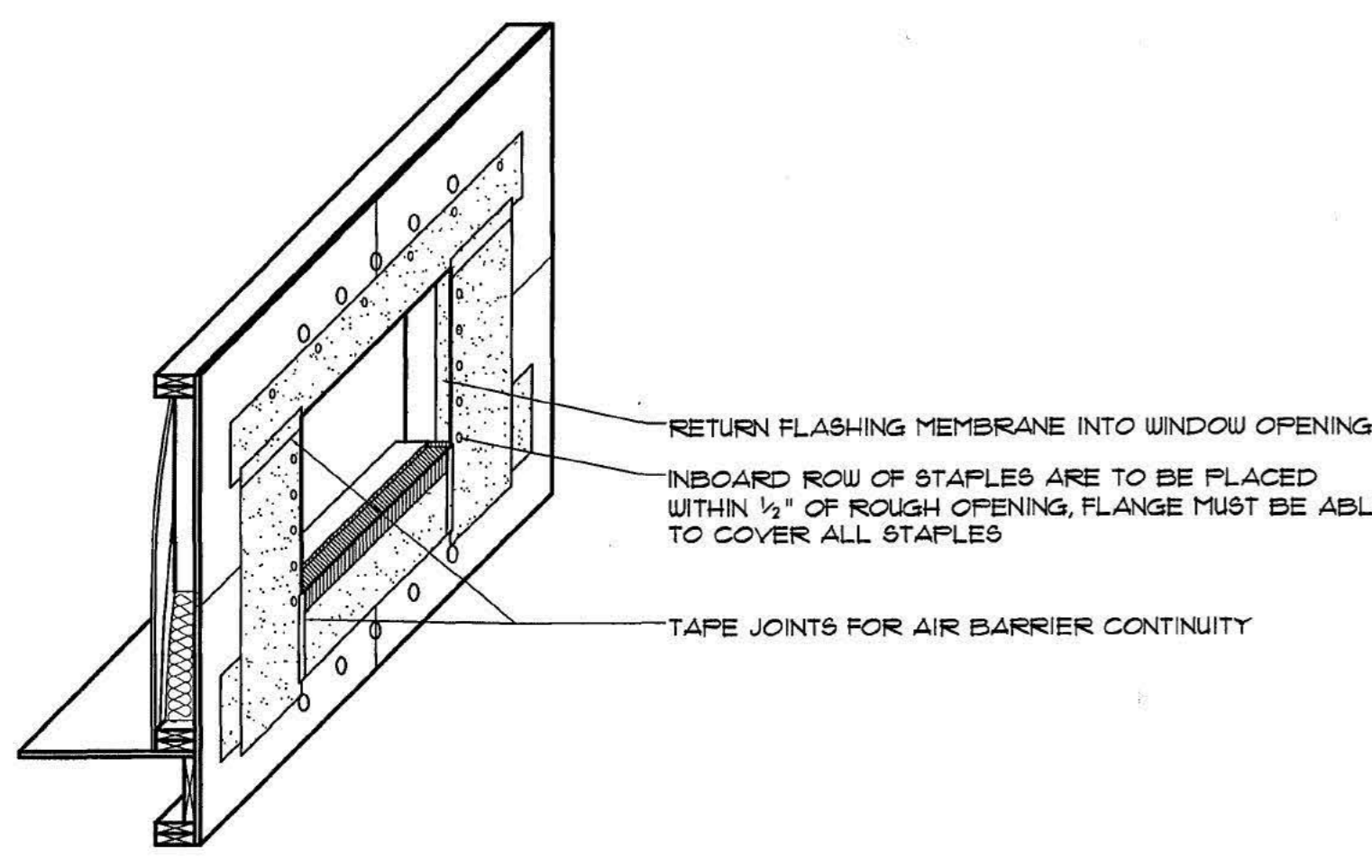
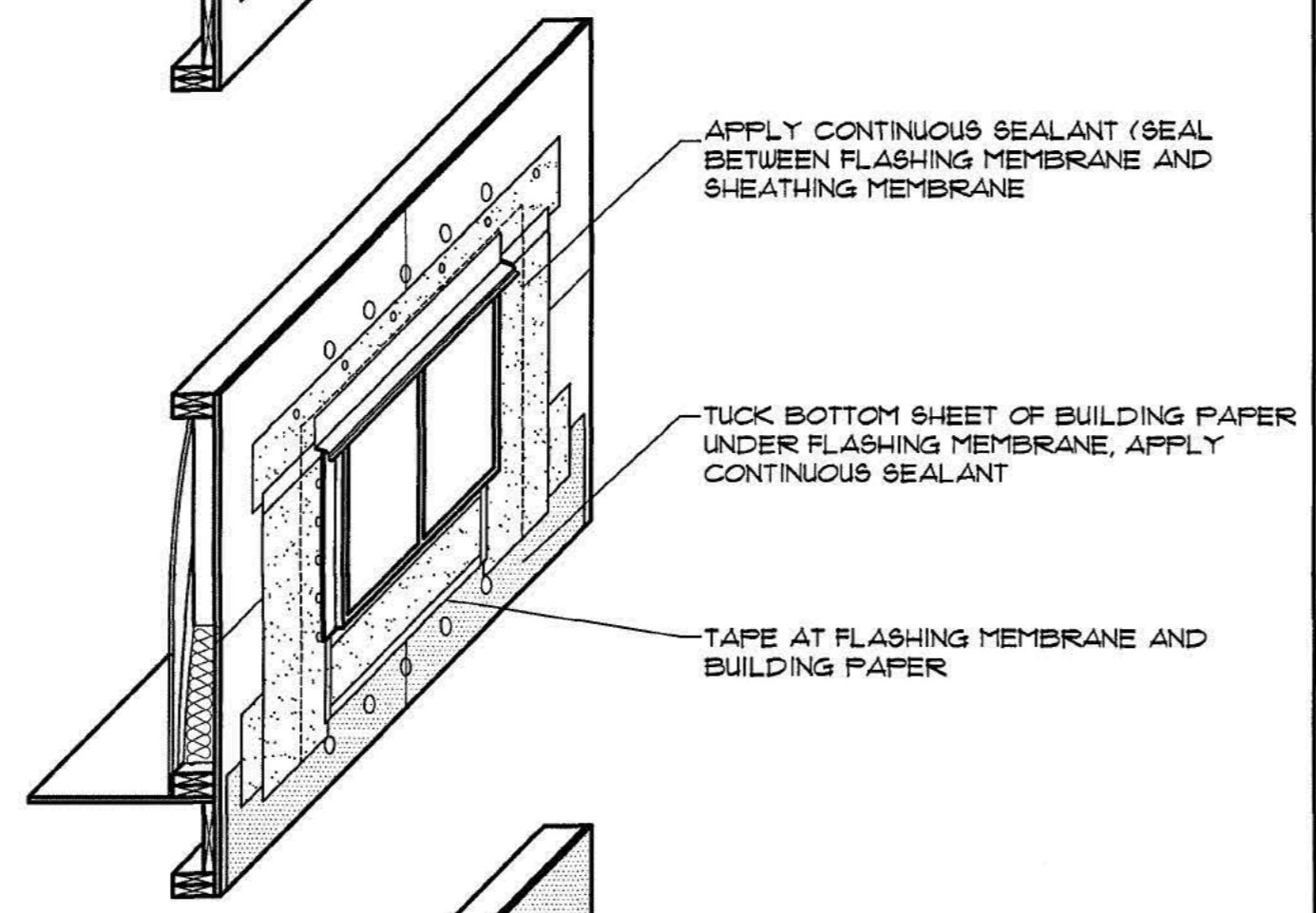
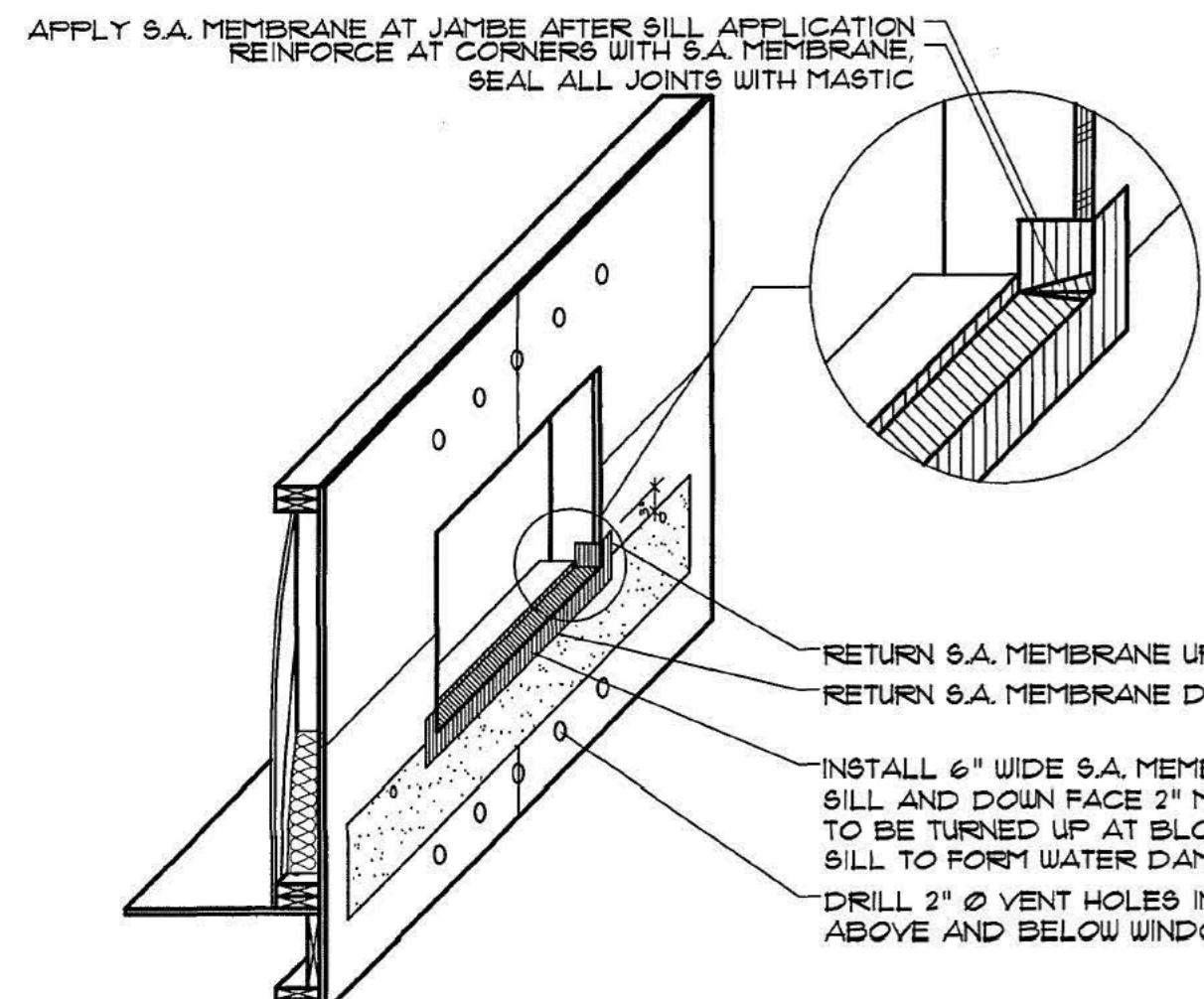
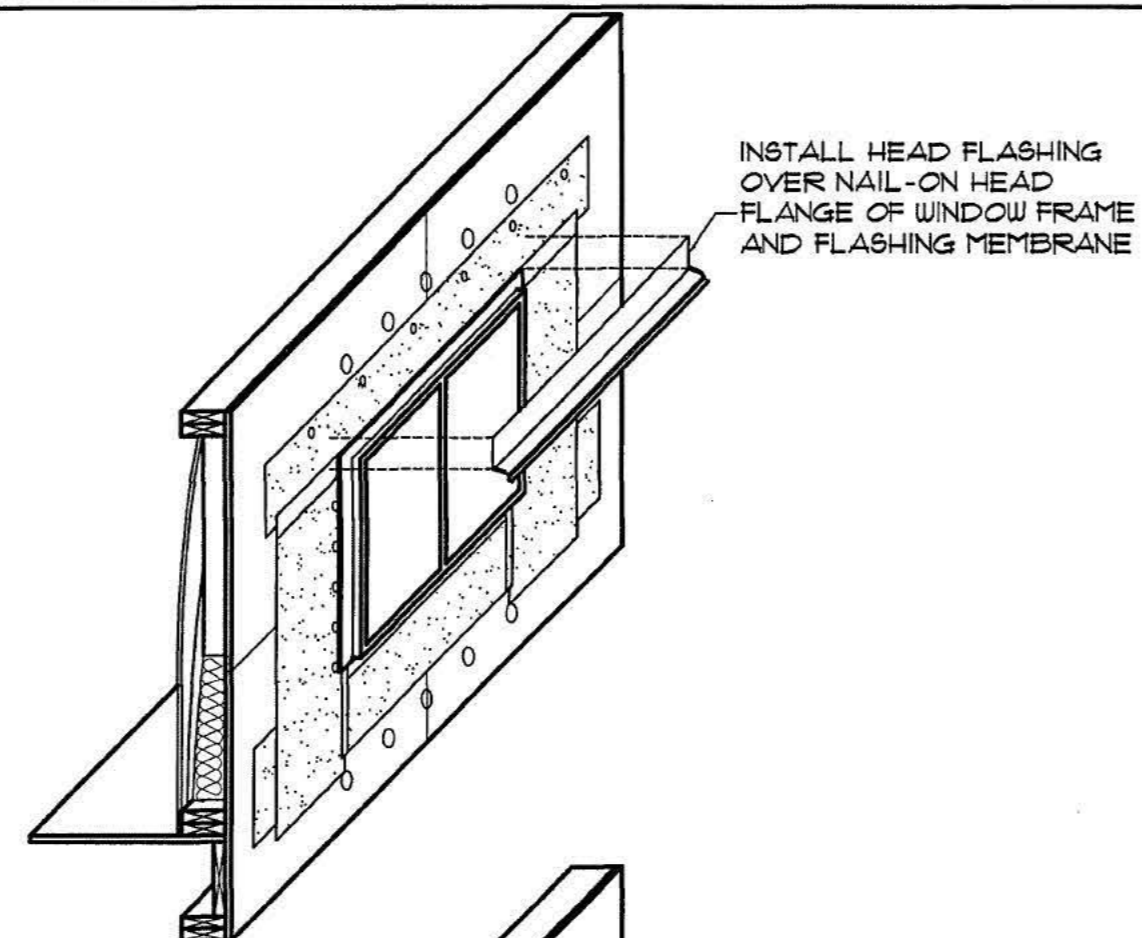
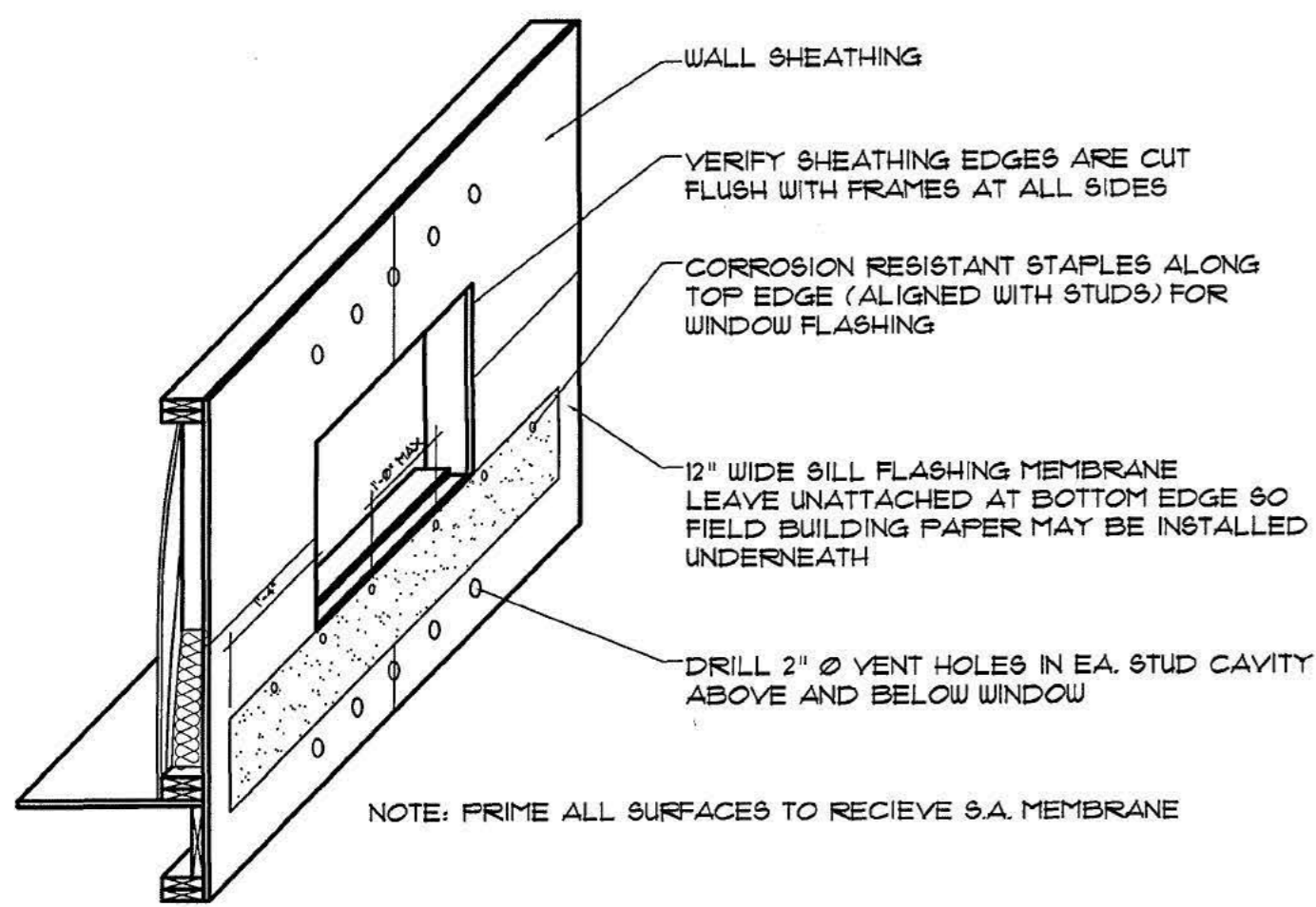
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mt. lehman, b.c., V4X 1Z8
Tel. (604) 856-3222
Fax (604) 854-4303

TYPICAL STUCCO DETAILS

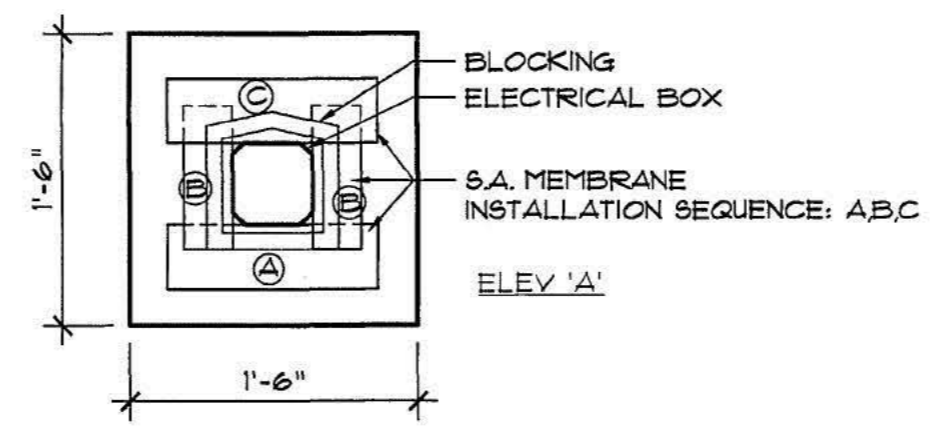
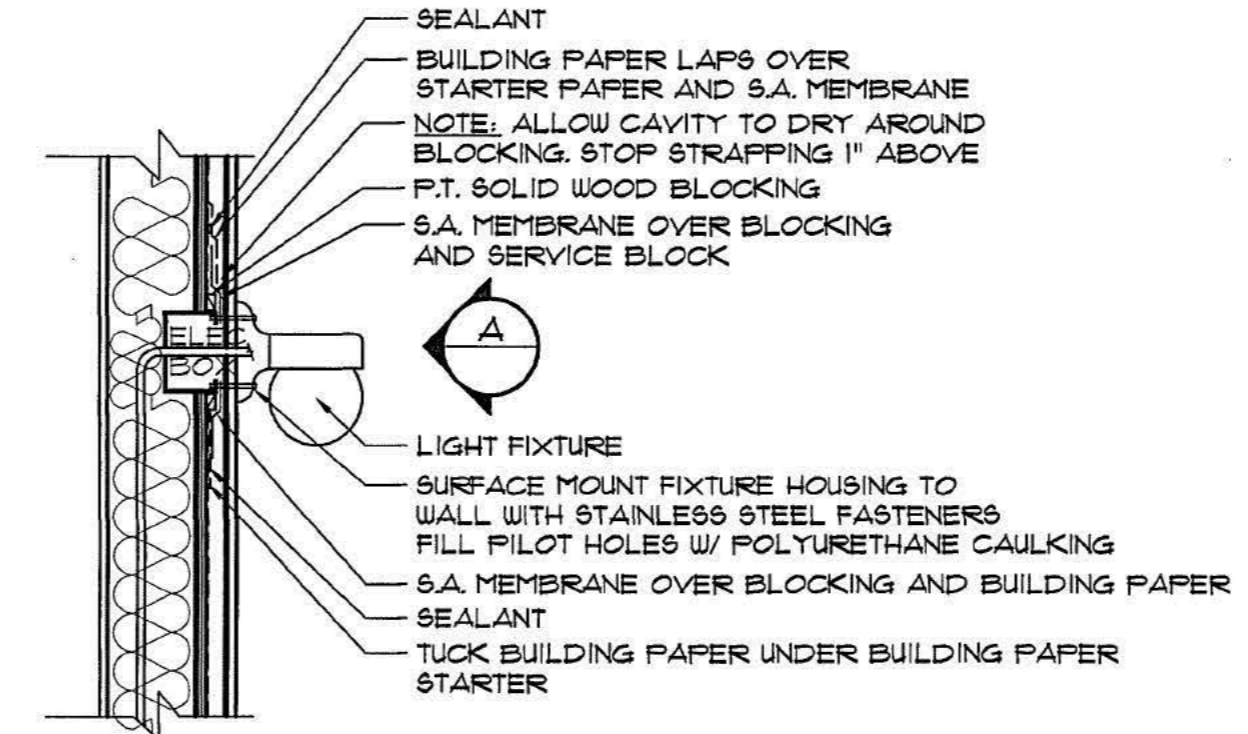
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APF
job no.

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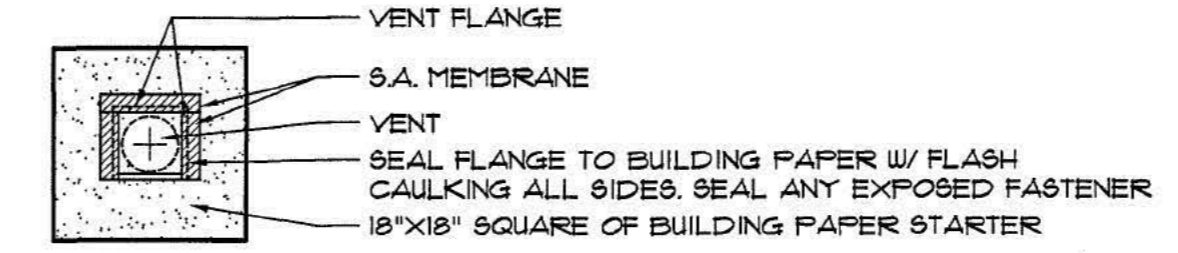
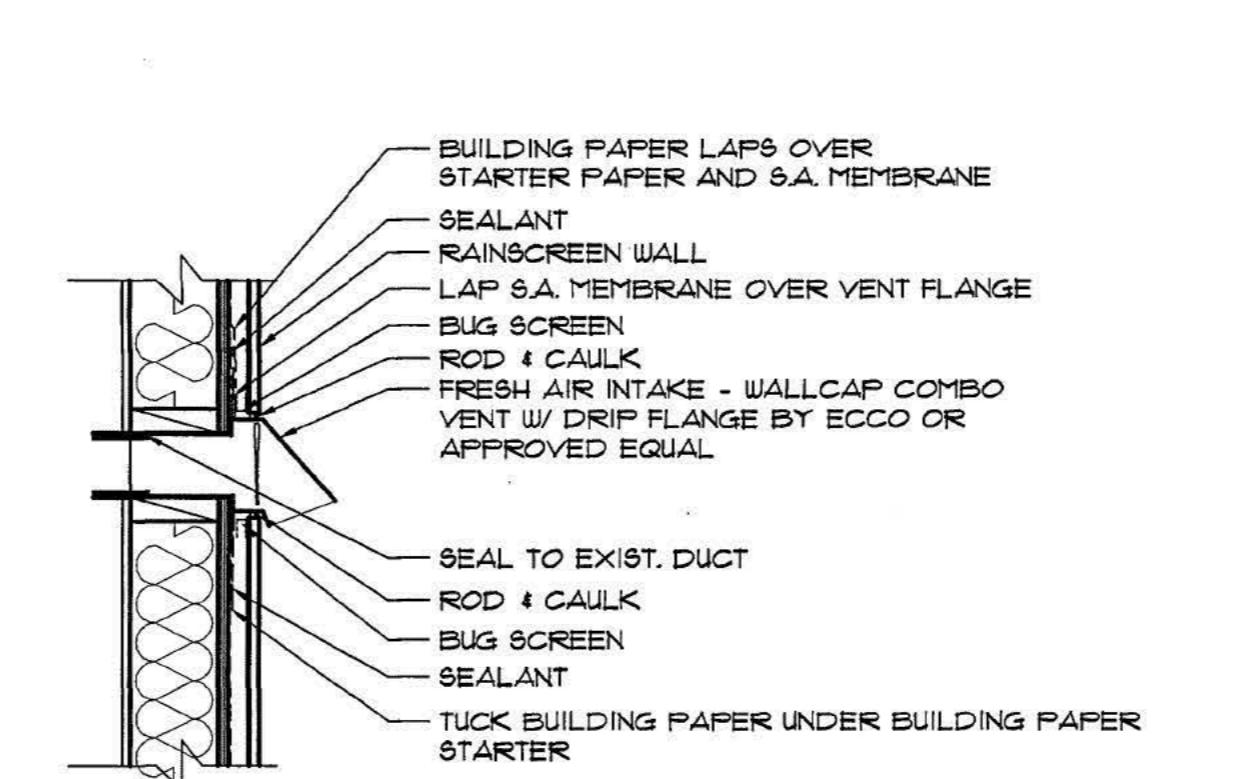
Drawings to be read in conjunction with each other,
any discrepancies on drawings are to be reported
to the designer before initiating work.
It is the Contractor's responsibility to ensure all
work is fulfilled in accordance to the requirements of the
latest edition of the B.C. Building Code.
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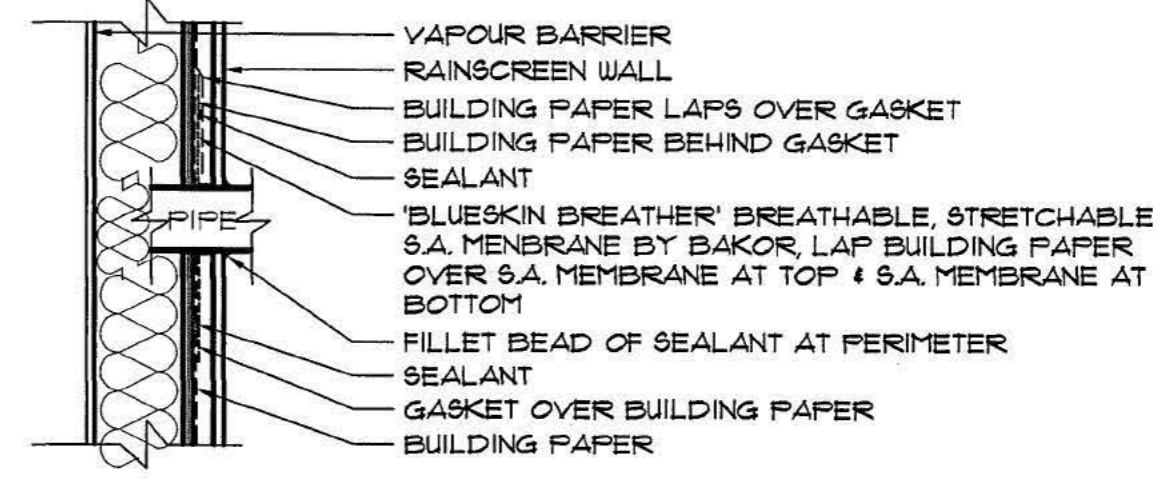
RAINSCREEN WINDOW STUCCO ASSEMBLY
SCALE: 1/2" = 1'-0"



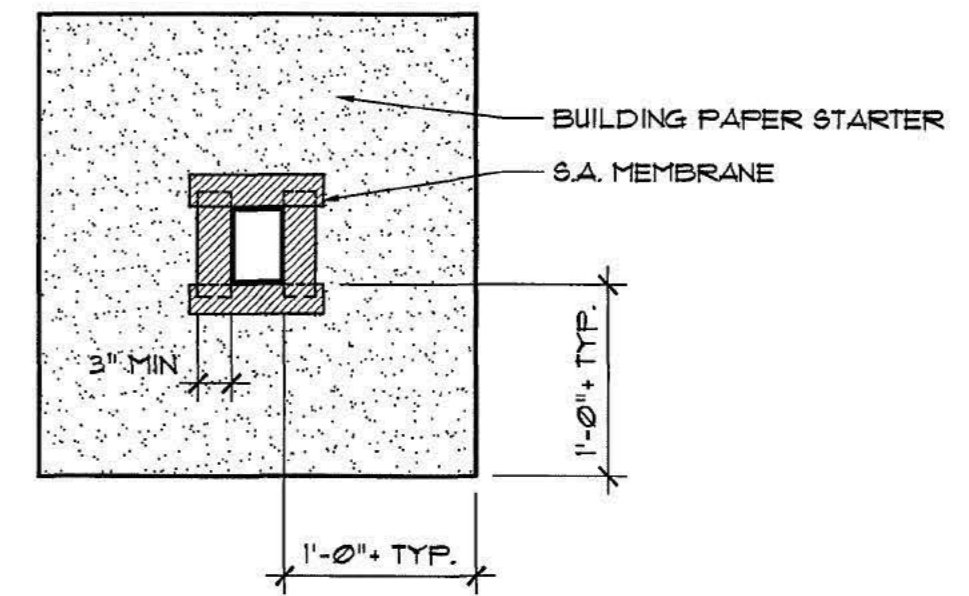
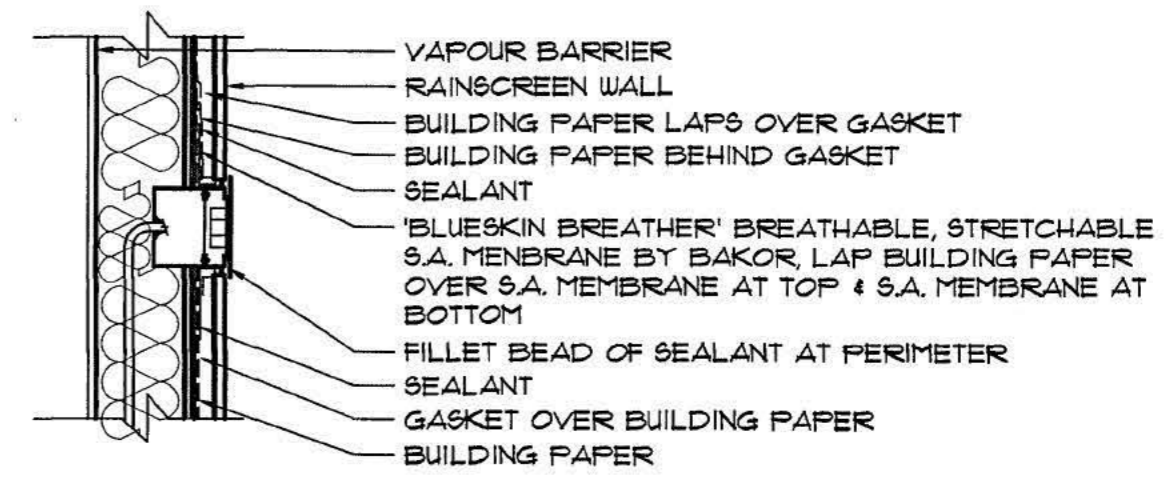
LIGHT FIXTURE
SCALE: 1" = 1'-0"



EXHAUST VENT
SCALE: 1" = 1'-0"



PIPE PROTRUSION
SCALE: 1" = 1'-0"



NOTES:
-ELECTRICAL BOX PROFILE MAY VARY.
-FLASHING PAPER TO BE 12" WIDER THAN BOX ALL AROUND

ELECTRICAL BOX
SCALE: 1" = 1'-0"



su casa
design inc.

30111 downes road
mt. lehman, b.c., V4X 1Z8
Tel. (604) 856-3222
Fax (604) 854-4303

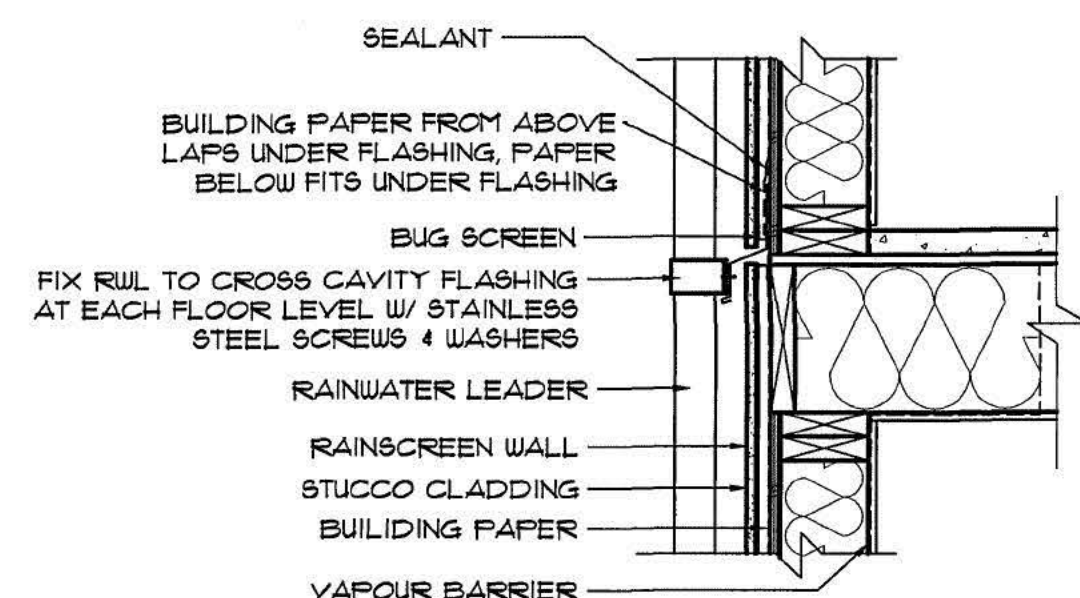
TYPICAL STUCCO DETAILS

title
DETAILS
scale
1" = 1'-0" UNO.
date
drawn
APF
job no.

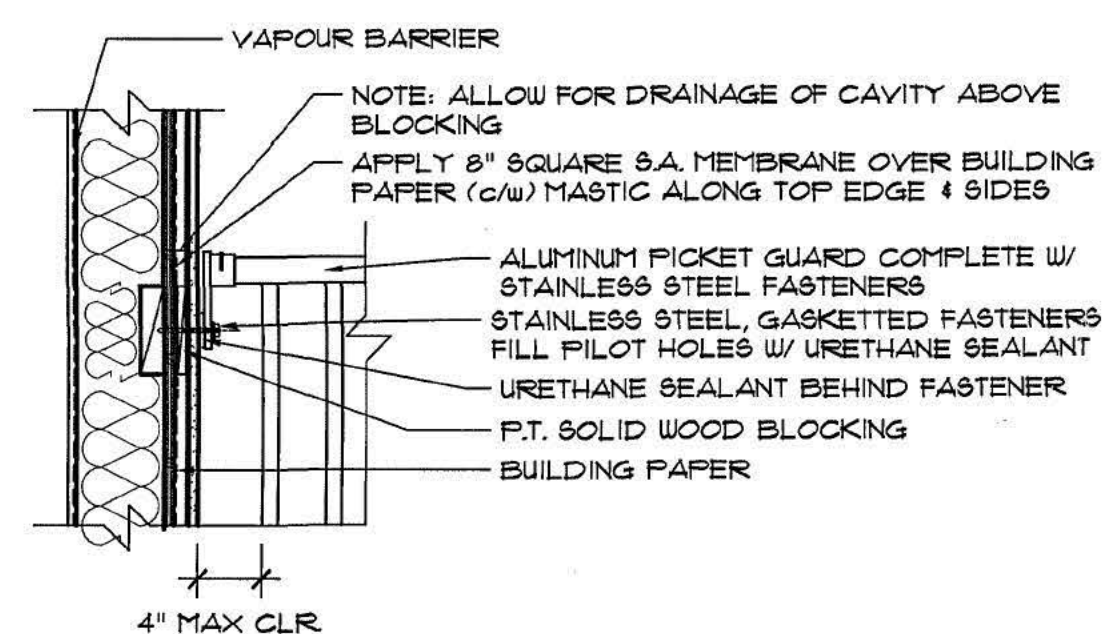
sheet no. **A11**

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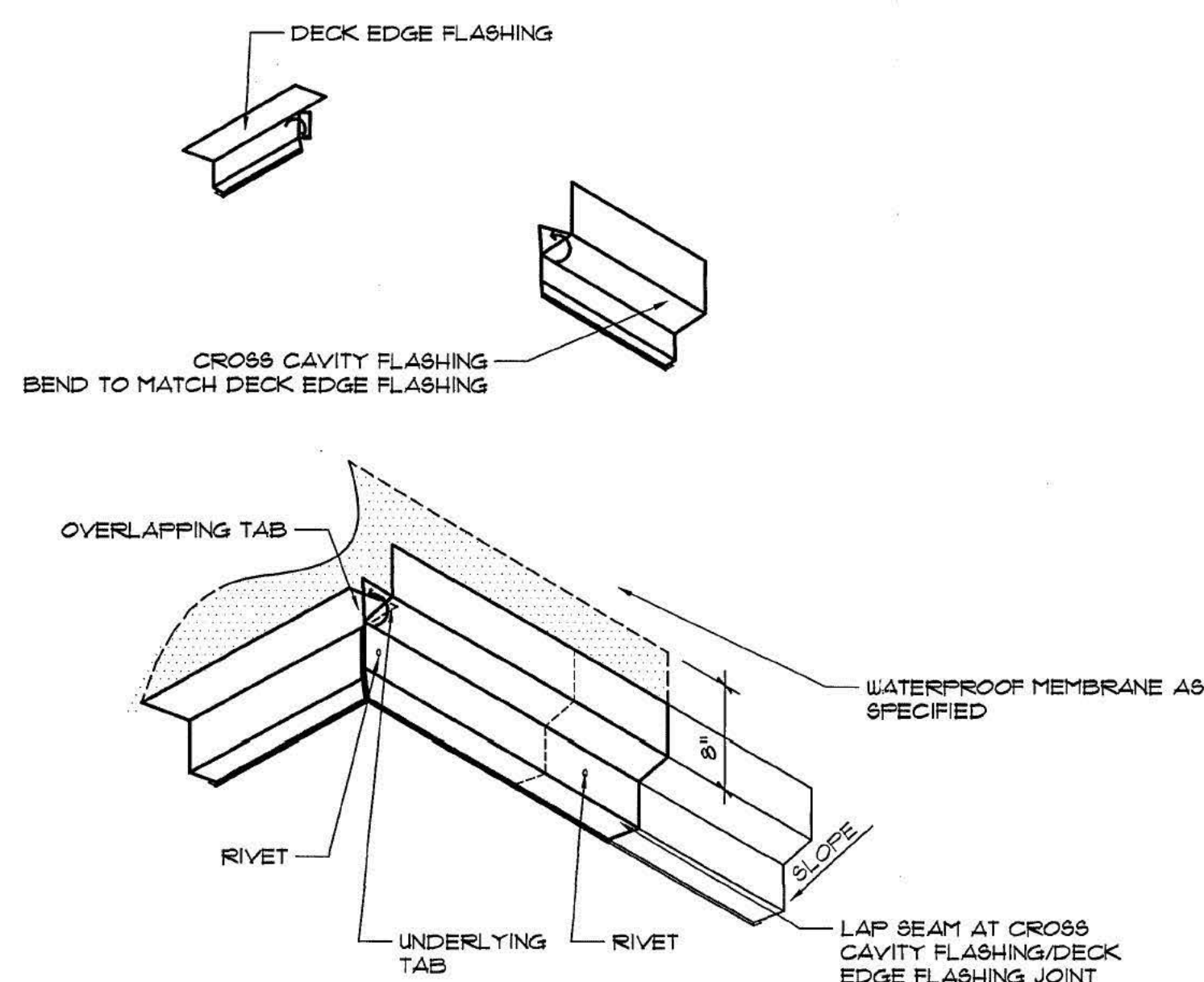
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RUL ATTACHMENT
SCALE : 1"=1'-0"

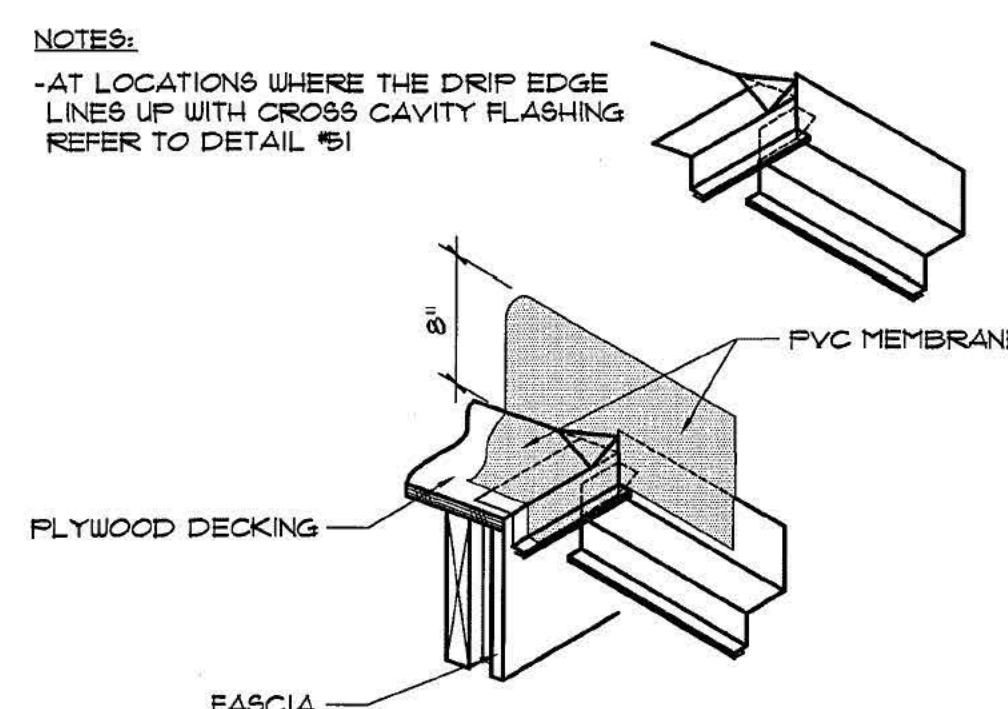
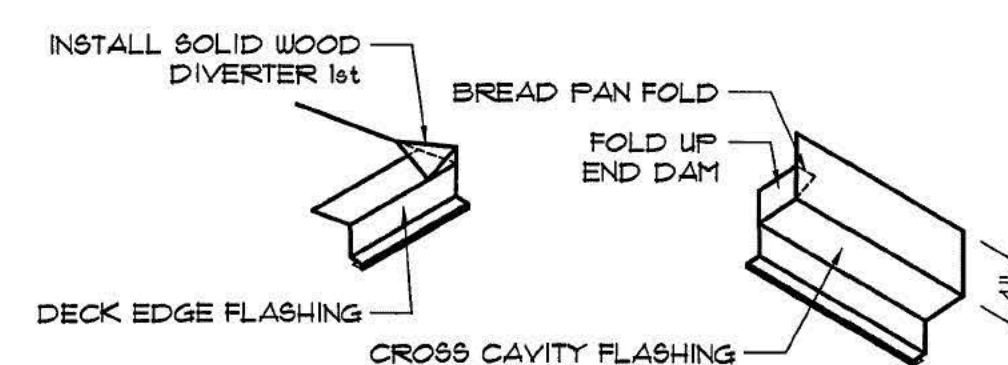


GUARD ATTACHMENT TO WALL
SCALE : 1"=1'-0"



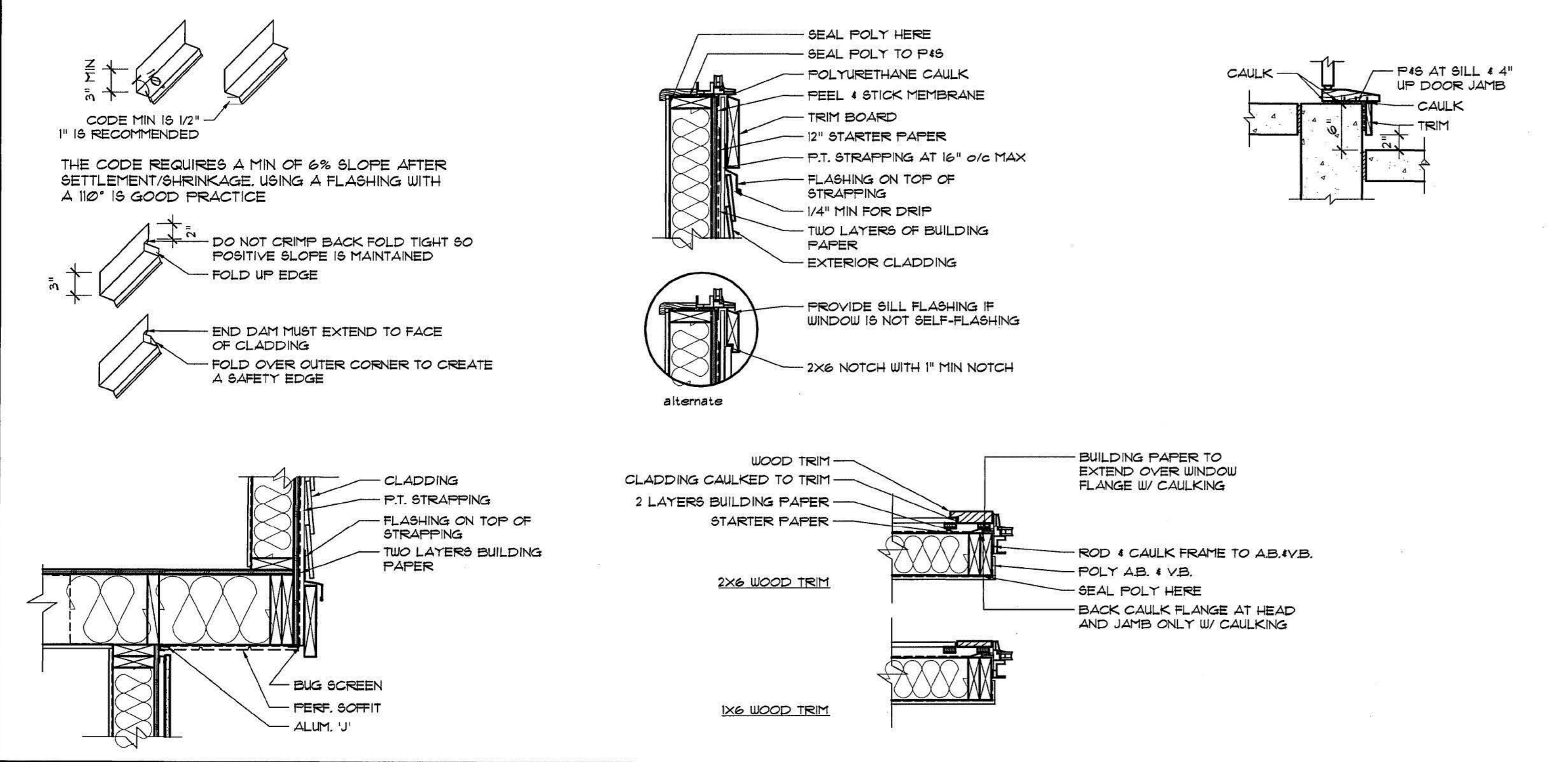
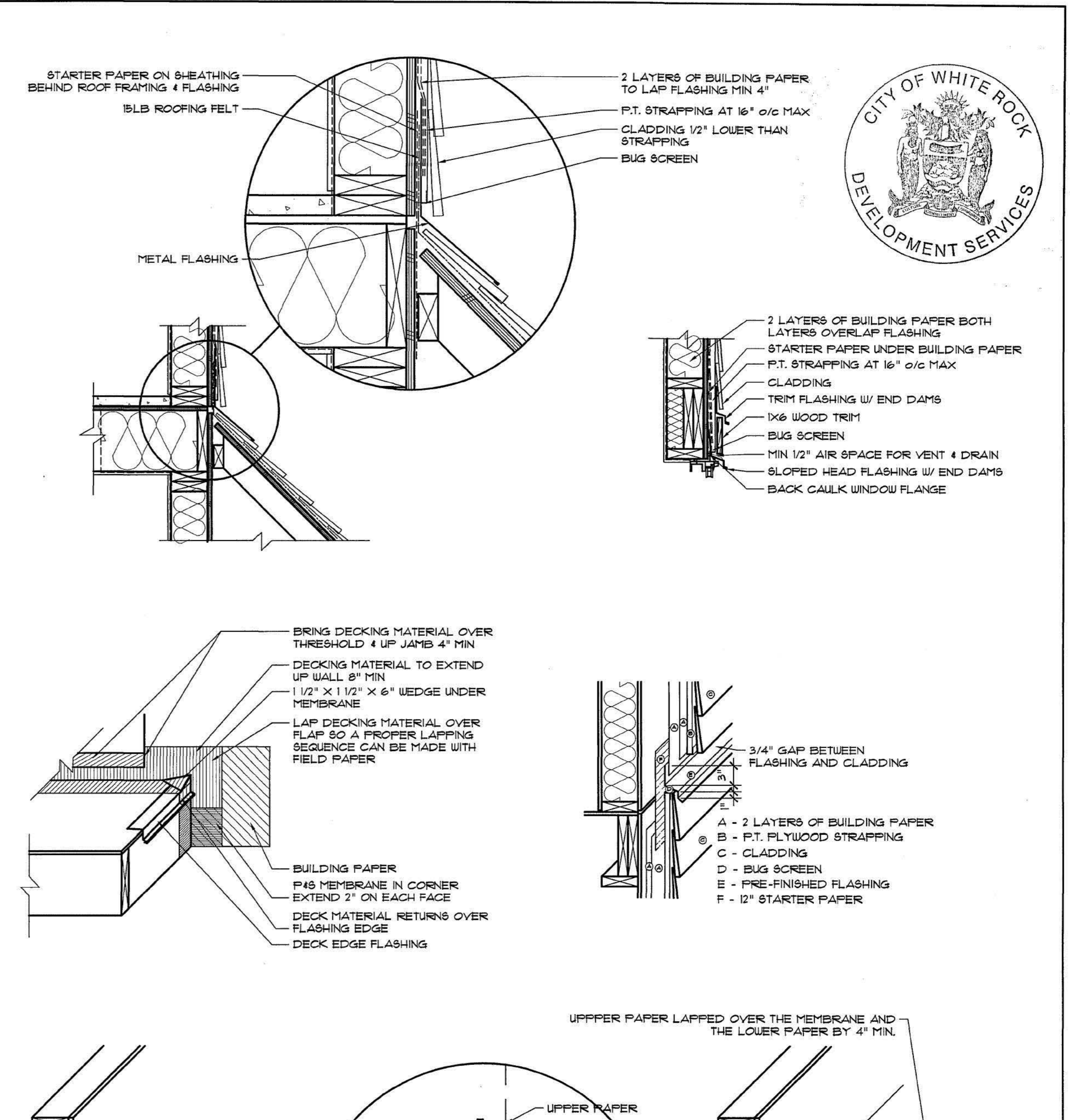
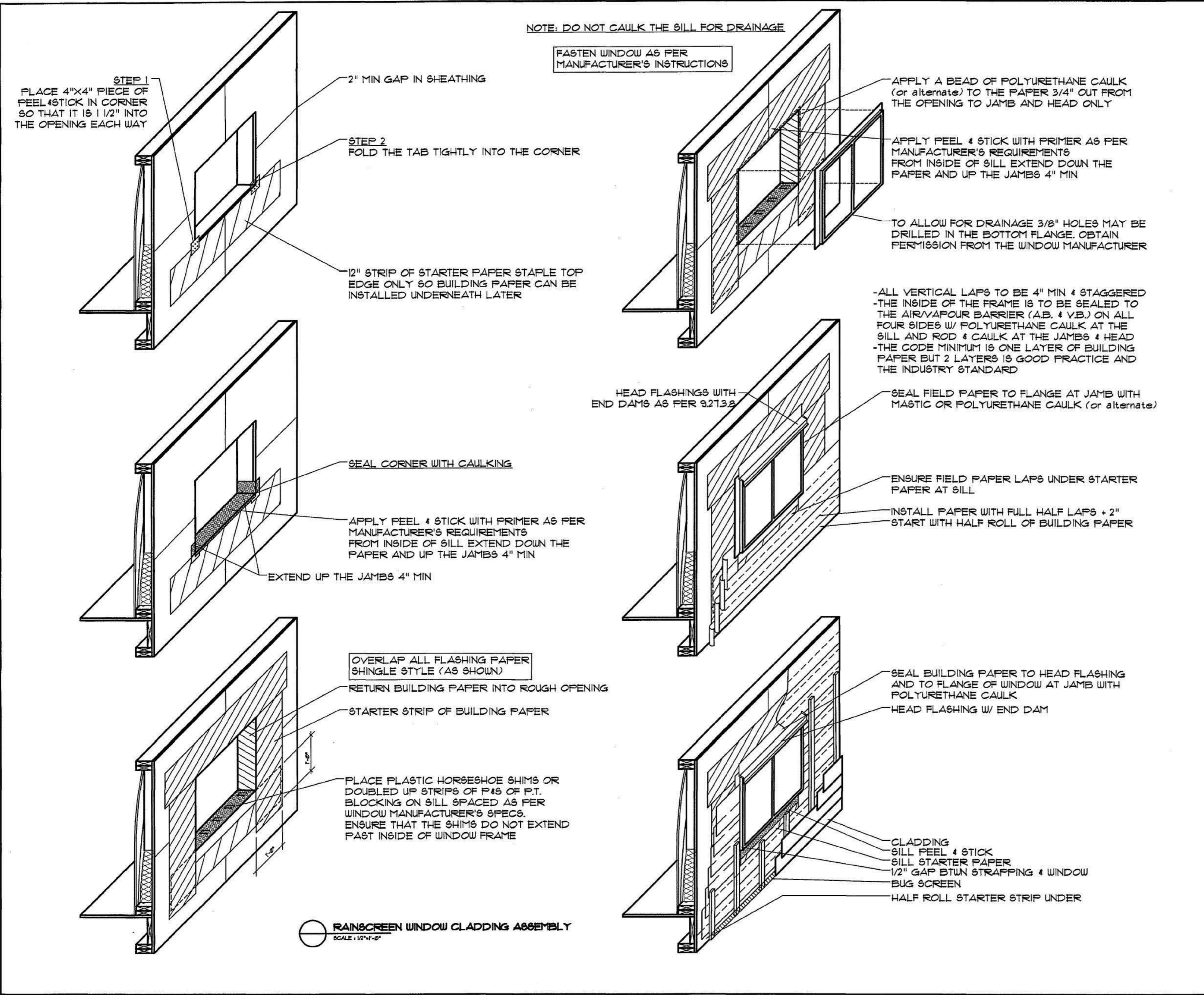
NOTES:
-AT LOCATIONS WHERE DRIP EDGE DOES NOT LINE UP WITH CROSS CAVITY FLASHING INSTALL DIVERTER AS IN DETAIL # 52

DECK EDGE/CROSS CAVITY FLASHING INTERFACE
SCALE : 1"=1'-0"



NOTES:
-AT LOCATIONS WHERE THE DRIP EDGE LINES UP WITH CROSS CAVITY FLASHING REFER TO DETAIL #51

DECK EDGE FLASHING @ DROPPED CROSS CAVITY
SCALE : 1"=1'-0"



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TYPICAL SIDING DETAILS

title
DETAILS

scale
1" = 1'-0" UNO.

date

drawn
APF

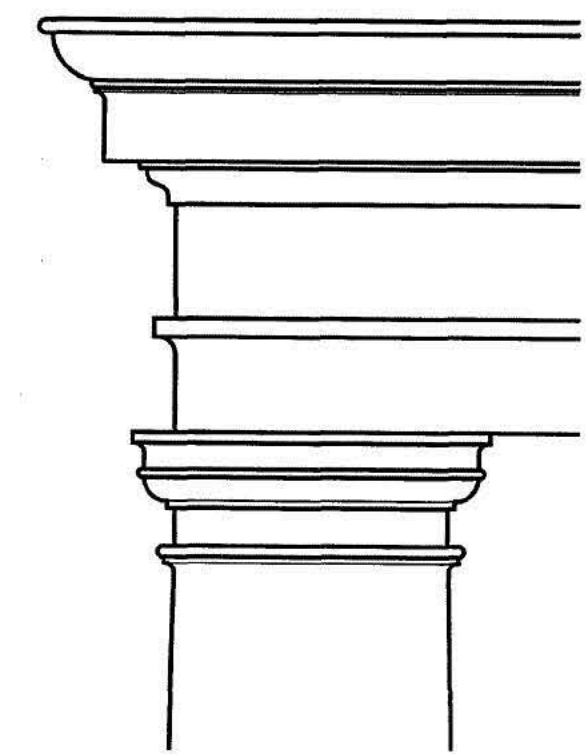
job no.

sheet no. **A12**

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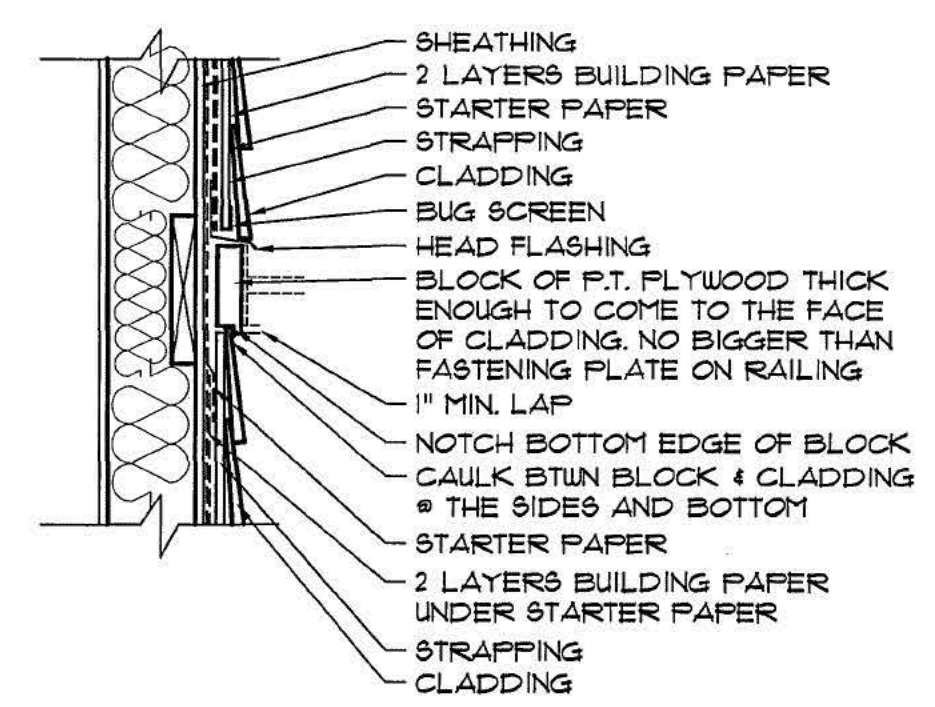
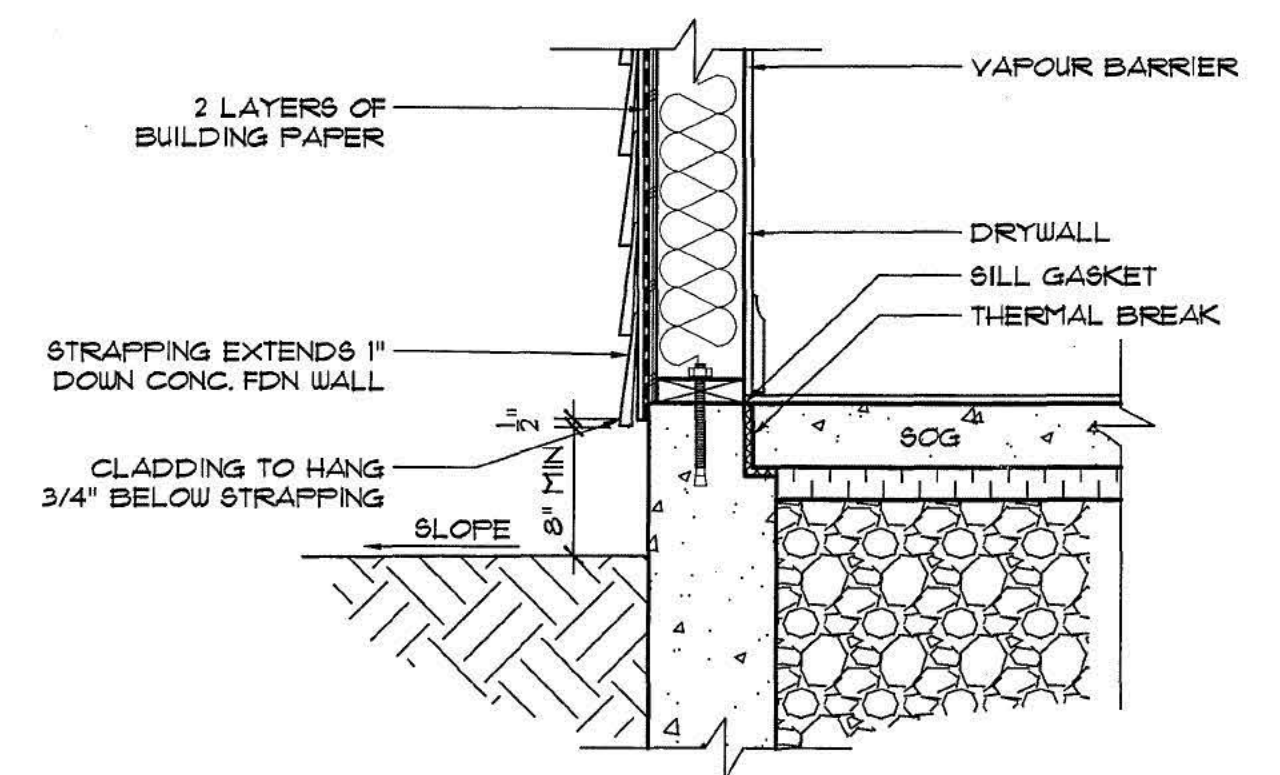
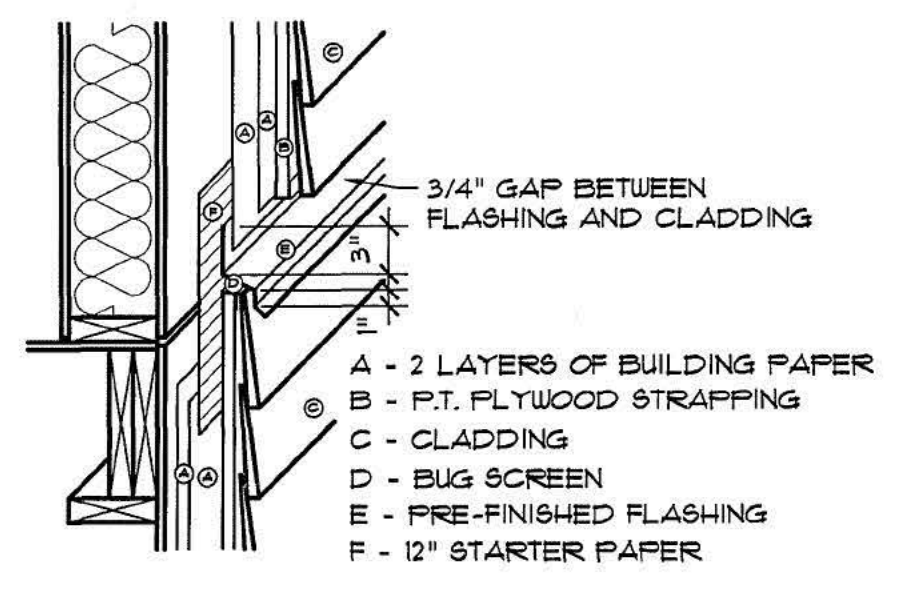
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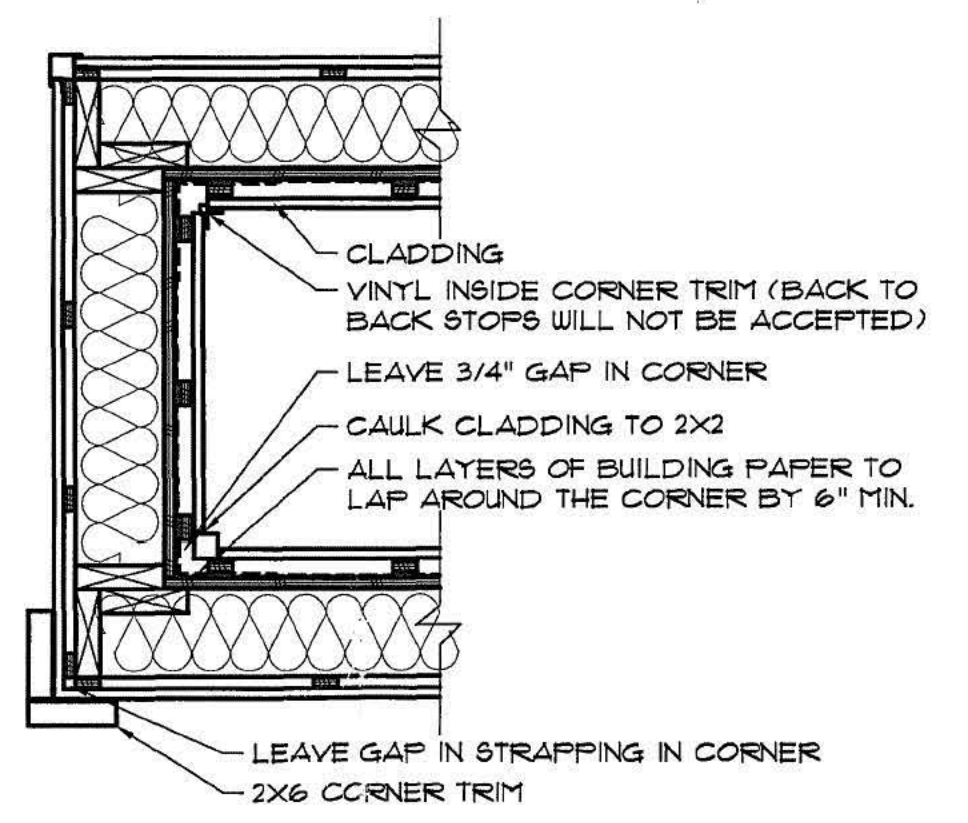
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Fax (604) 854-4303

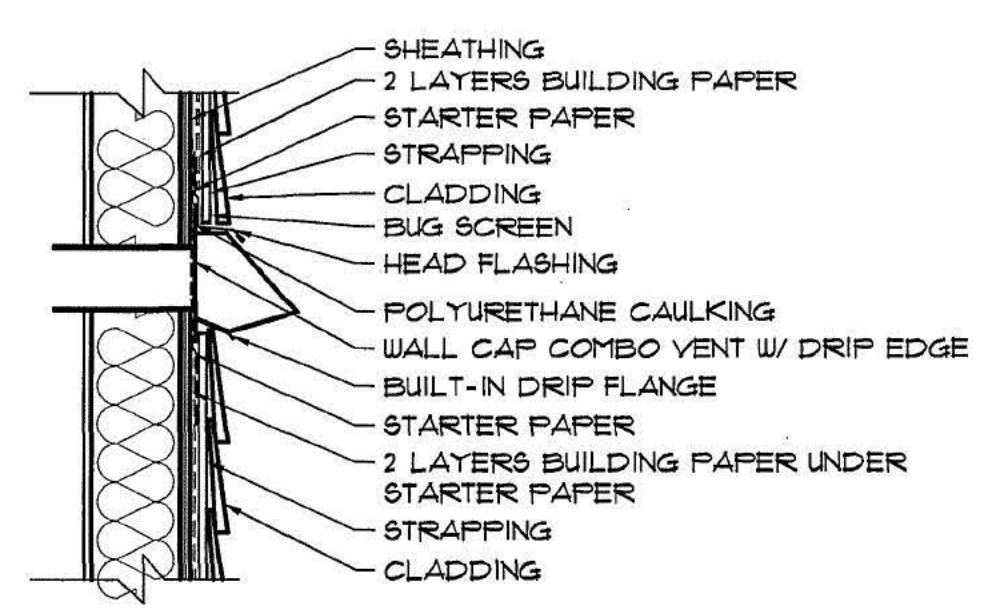
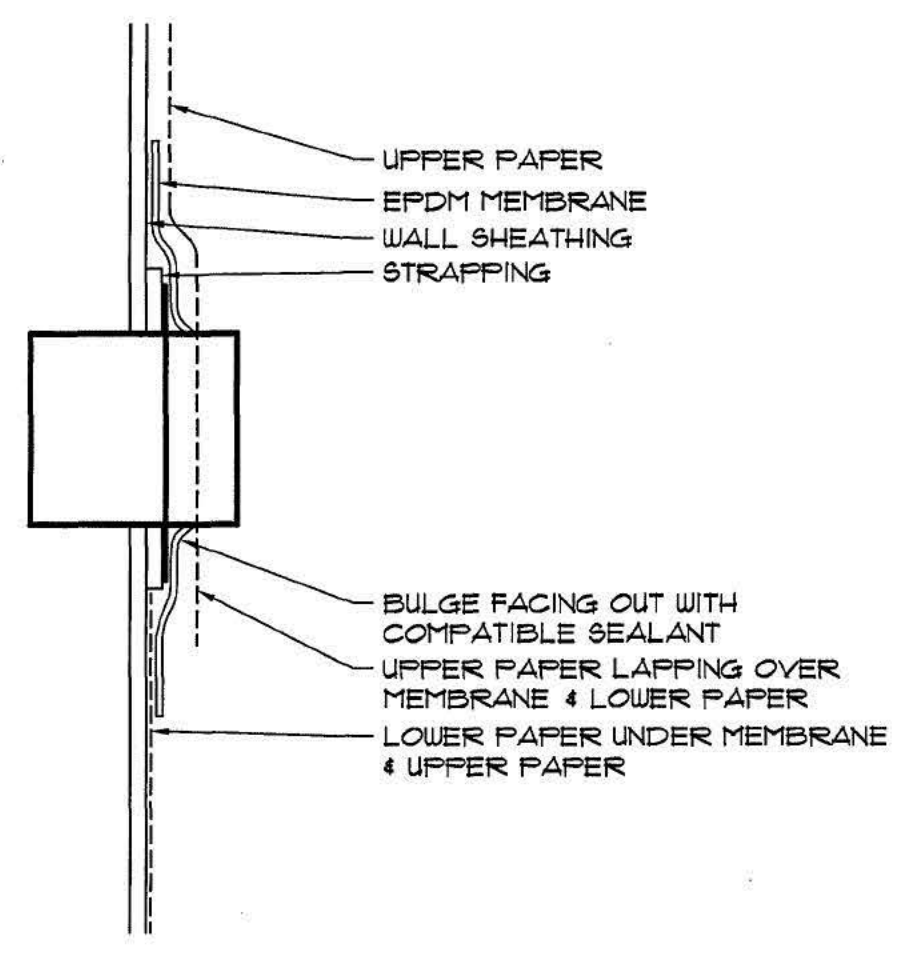
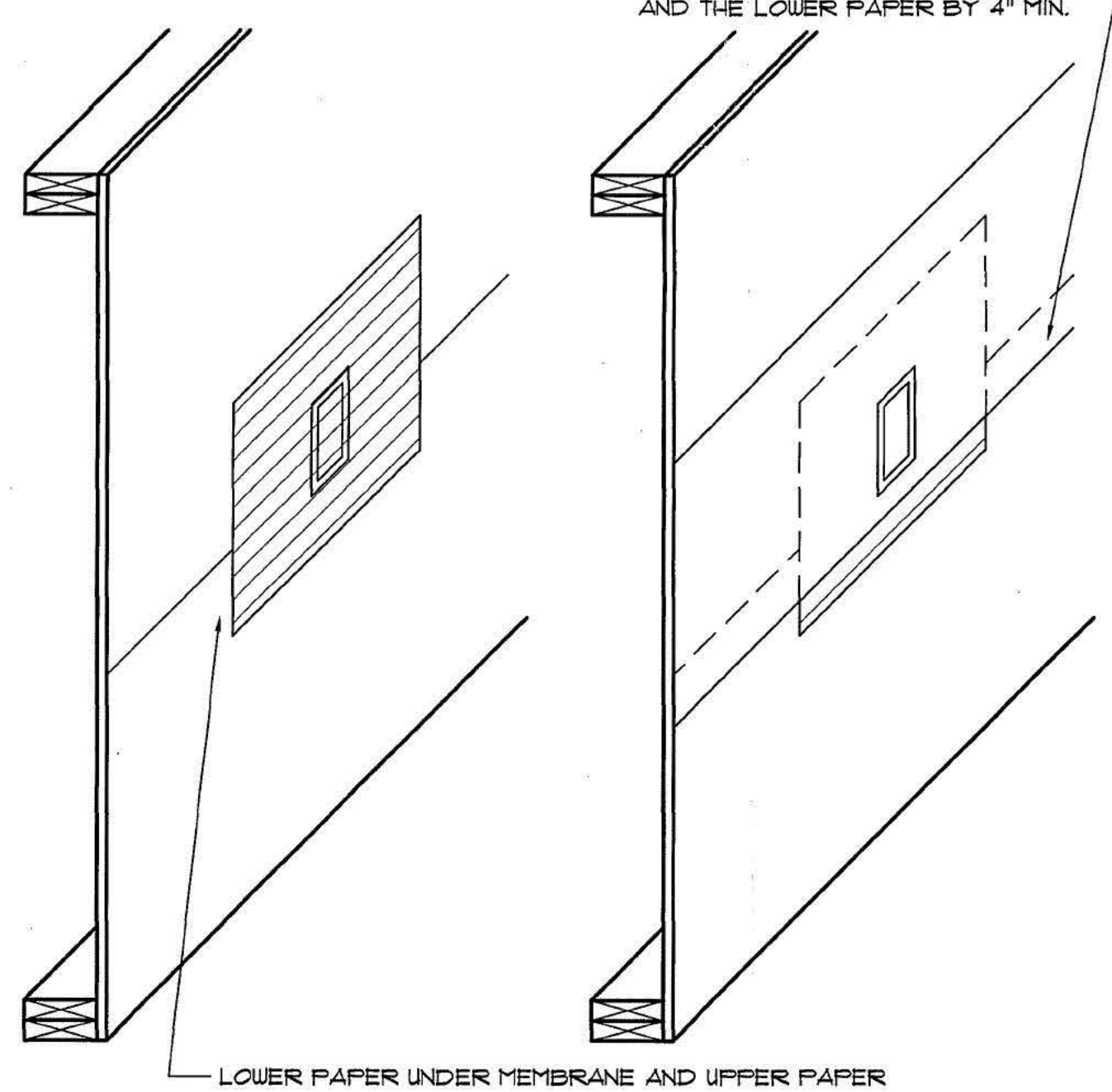
TYPICAL SIDING DETAILS



FDN & SOG @ RAINSCREEN WALL
SCALE: 1"=1'-0"



UPPER PAPER LAPPED OVER THE MEMBRANE AND THE LOWER PAPER BY 4" MIN.



title
DETAILS

scale
1" = 1'-0" UNO.

date

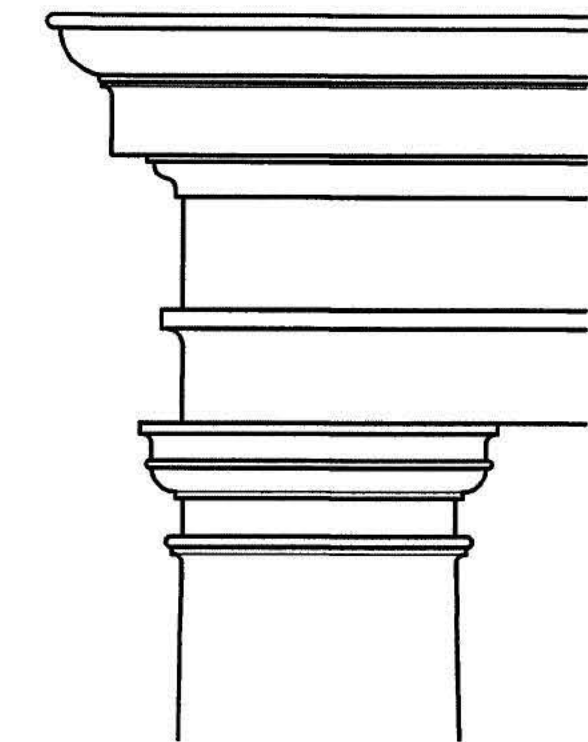
drawn
APF

job no.

sheet no. **A13**

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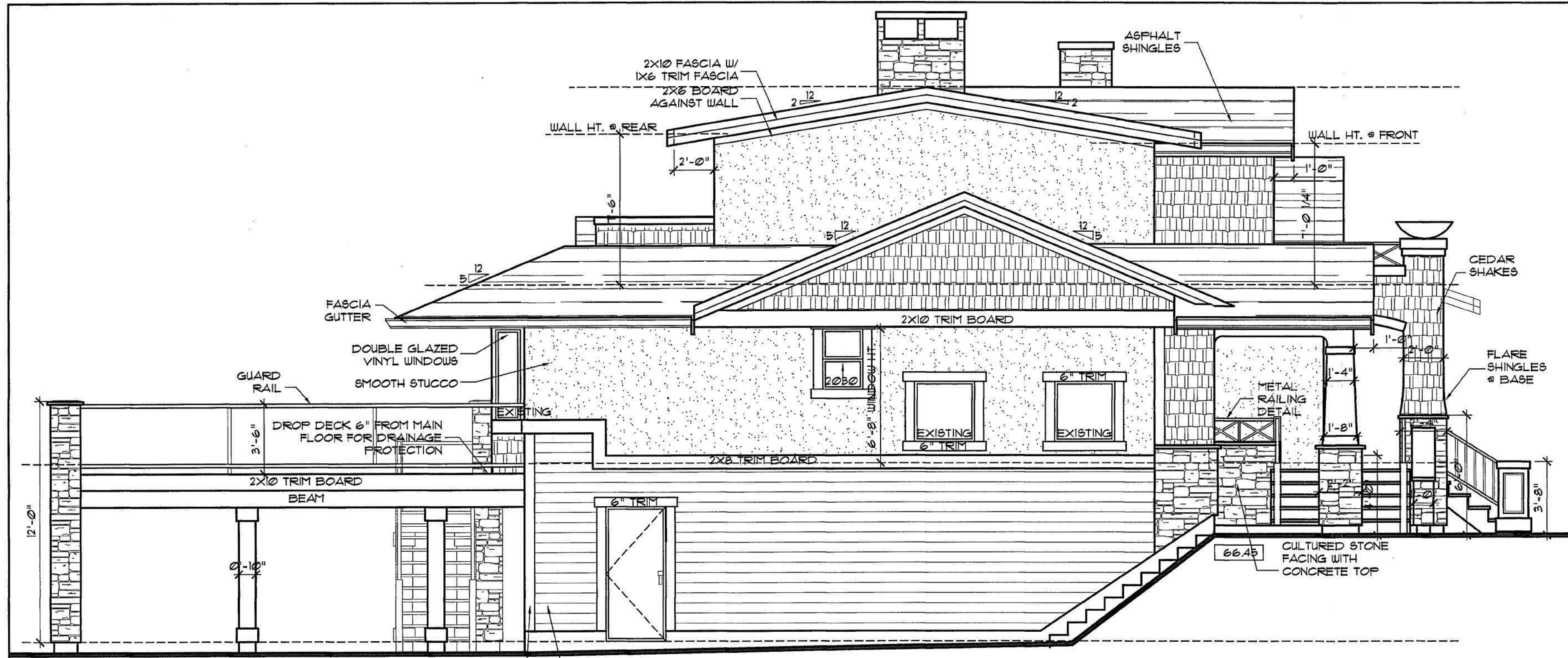


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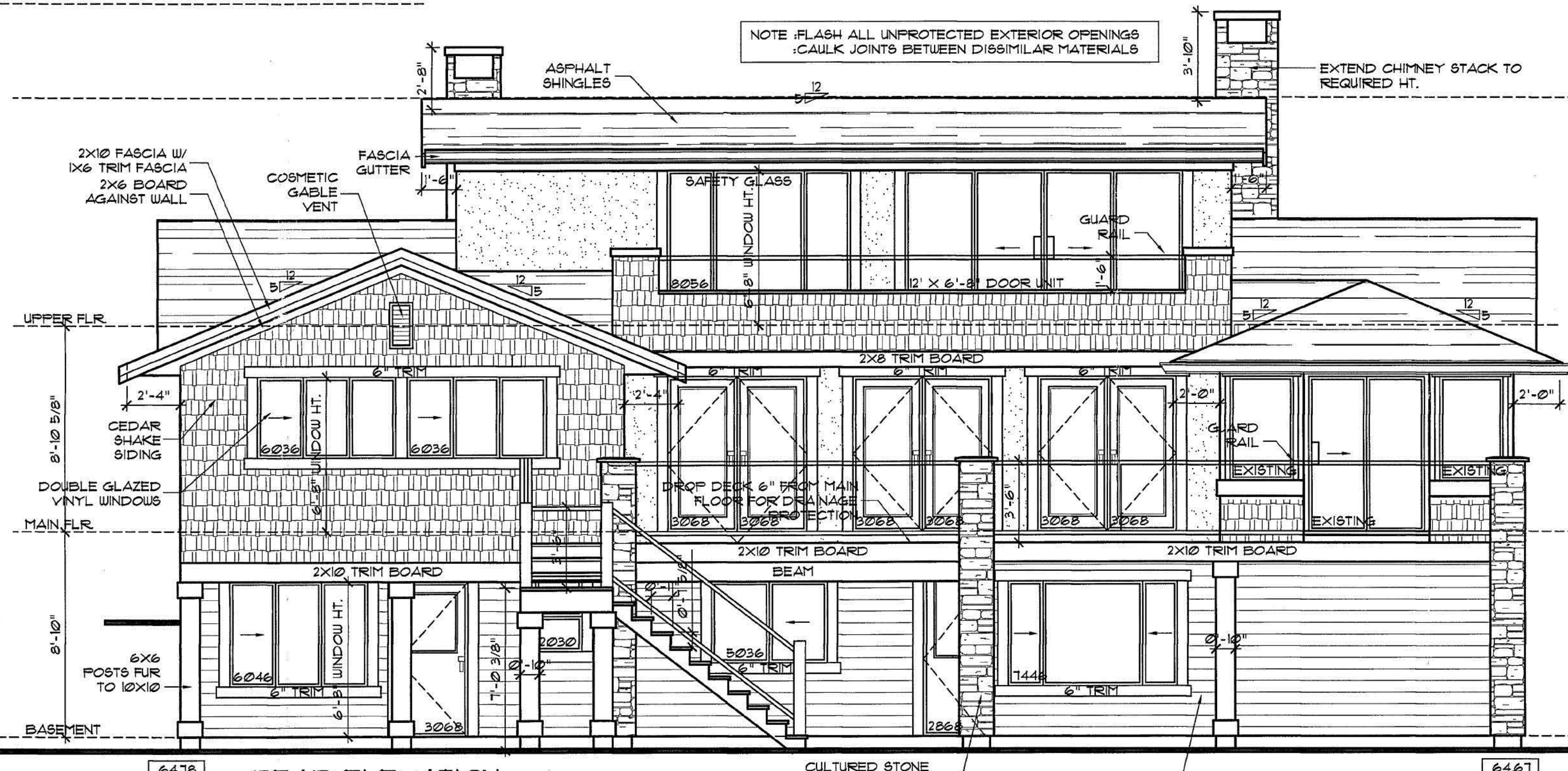
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Tel. (604) 856-3222
Fax (604) 854-4303

MARINE DR. RESIDENCE

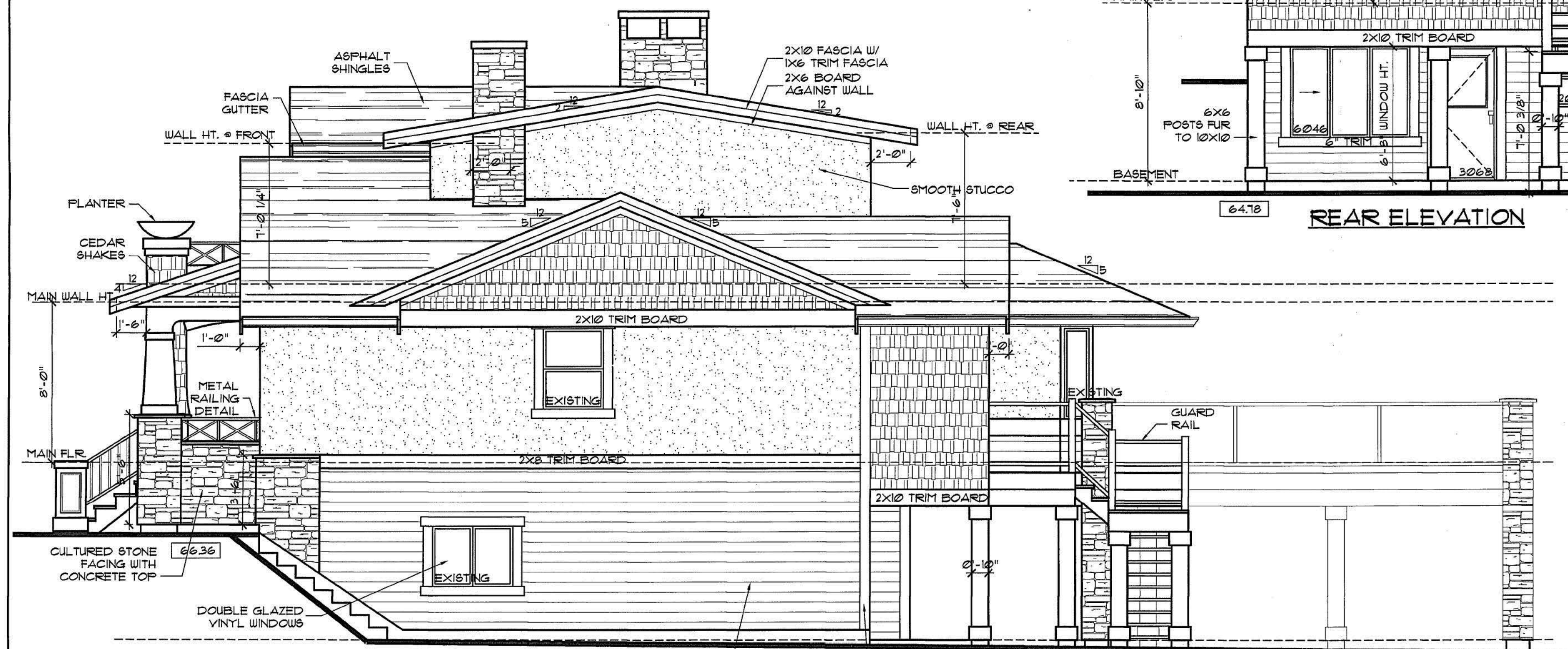
WHITE ROCK, B.C.



LEFT SIDE ELEVATION
REPLACE EXISTING WOOD SIDING WITH HARDIE BOARD SIDING



REAR ELEVATION



RIGHT SIDE ELEVATION

title
ELEVATIONS
scale
1/4" = 1'-0" UNO.
date
OCT. 20, 2008
drawn
APF
job no.
0857

sheet no. **A4**

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	OCT. 20, 2008	ISSUE FOR PERMIT	APF

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Authorization Form

Planning and Development Services Department
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
Phone: 604 541 2136 Fax: 604 541 2153
Website: www.whiterockcity.ca

Civic Address: 14034 Marine Drive, White Rock, V4B1A7

Legal Description: _____

This document shall serve to notify the City of White Rock that I am / we are the legal owner(s) of the property described above and do authorize the person(s) indicated below ("Authorized Agent") to act on my/our behalf on all matters pertaining to the referenced application for the above referenced property. In addition, I/we have read and understand the application requirements and authorize the Authorized Agent to act on our behalf.

Name of Property Owner(s): Redacted S. 22

Mailing Address: 14034 Marine Drive,

City: White Rock Postal Code: V4B 1A7

E-mail: Redacted S. 22

Phone: Redacted S. 22 Fax: —

Name of Authorized Agent: Peter Ngu

Company Name: Wesen Investments Group Inc.

Mailing Address: TH3-6080 Minoru Blvd,

City: Richmond Postal Code: V6Y 4A7

E-mail: Peterngu.ca@gmail.com

Phone: 604-767-8179 Fax: —

Signature of Property Owner(s): Redacted S. 22 Date: 5/20/2015

Signature of Property Owner(s): _____ Date: _____

Signature of Authorized Agent: [Signature] Date: 5/19/2015

Note: All registered owners of the property shall sign this Authorization Form. Use additional sheets if necessary. A new Authorization Form shall be submitted to the City of White Rock if the ownership of the property changes prior to completion of any application process.

MS SITESURV

15.00

MC

15.00

R:171538 / B:2015052201 / D:3672

22/

May/2015 LORI

From: [Sandeep Dhillon](#)
To: **Redacted S. 22**
Subject: RE: 14034 Marine Dr (Bed and Breakfast requirements)
Date: Tuesday, April 11, 2017 10:46:00 AM

Hi **Redacted S. 22**

You will have to suspend the illegal business until further notice to avoid fines. Also, you will have to remove all ads showing your airbnb.

Thank You!

SANDEEP DHILLON
BYLAW OFFICER
T. 604-541-2146 15322 Buena Vista Avenue
F. 604-541-2153 White Rock BC, V4B 1Y6



From: **Redacted S. 22**
Sent: Monday, April 10, 2017 7:27 AM
To: Sandeep Dhillon
Subject: Re: 14034 Marine Dr (Bed and Breakfast requirements)

Dear Sandeep Dhillon:

Good morning, very pleased to receive your mail, thank you for your help, let me understand the Whiterock B & B related content, understand that the owner needs to live in the house can operate B & B, in view of my I can not move back to Whiterock , So want to wait until I moved back to Whiterock and then apply to the government, once again thank you for your warm help, have a nice day!

Best Regards

Redacted S. 22

发自 Windows 邮件

发件人: [Sandeep Dhillon](#)

发送时间: 2017年4月6日, 星期四 16:31

收件人: **Redacted S. 22**

Hi **Redacted S. 22**

I have attached the Information for you. Please let me know if you have any further questions.

Regards,

SANDEEP DHILLON

BYLAW OFFICER

T. 604-541-2146 15322 Buena Vista Avenue

F. 604-541-2153 White Rock BC, V4B 1Y6

