

August 27, 2019

FOI No: 2019-31

VIA E-MAIL – Redacted

# Redacted

Dear Redacted

Re: Request for Records  
*Freedom of Information and Protection of Privacy Act*

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The City of White Rock has processed your request for access to the following records pursuant to the *Freedom of Information and Protection of Privacy Act (the Act)*:

- *all documents/records relating to 820 Habgood Street, White Rock; in particular, all engineering assessments and reports relating to the exterior of the building*

Access to these records is available. However, some of the records contain information that is excepted from disclosure under the Act. I have severed the excepted information so that I could disclose to you the remainder of the records as attached.

The severed information is excepted from disclosure under sections 22 and 15 of the Act. Severing under section 22 is necessary to avoid disclosing third-party personal information without permission. Severing under section 15 is necessary to protect the security of the subject property. As a policy, the City will only disclose interior floorplans to a property owner or their agent.

**Corporate Administration**  
P: 604.541.2212 | F: 604.541.9348

**City of White Rock**  
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

**WHITE ROCK**  
*City by the Sea!*

[www.whiterockcity.ca](http://www.whiterockcity.ca)

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "K Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton  
Manager, Property, Risk Management, and FOI  
604-541-2104

Att.



If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner  
3rd Floor, 756 Fort Street  
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

city copy

THE CORPORATION OF THE CITY OF WHITE ROCK

**BUILDING PERMIT**



DATE OF ISSUANCE:

X Sept 4/14

BUILDING PERMIT No: 14-128

ROLL No:

PROJECT ADDRESS:

820 Habgood St - units 104, 204

LEGAL DESCRIPTION:

LMS 56

ZONE:

RM-2

OCCUPANCY:

Residential Suite

REGISTERED SUITE:

NO

DESCRIPTION OF PROJECT:

Replace Structural beams

OWNER:

LMS 56

OWNER'S ADDRESS:

Villa Dardanelles Redacted S. 22

AUTHORIZED AGENT:

Peninsula Strata Management Rory Corneille 604 385-2242

BUILDER:

-

ARCHITECT ON RECORD:

N/A

ENGINEER ON RECORD:

Luiz Leon Structural Engineer 604 535-7300

X Redacted S. 22

Owner or Authorized Agent

Building Official

B.C.B.C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

THE CORPORATION OF THE CITY OF WHITE ROCK  
**INSPECTION INFORMATION**

MAX. PERMITTED HEIGHT:

N/A

ANGLE OF CONTAINMENT:

N/A

HEIGHT:

BOARD OF VARIANCE APPROVED:

YES

NO

TREE PROTECTION AREA:

YES

NO

STRUCTURAL ENGINEER ON PROJECT:

YES

NO

GEOTECHNICAL ENGINEER ON PROJECT:

YES

NO

FORM SURVEY PLAN RECEIVED:

YES

NO

REGISTERED SUITE APPROVED:

YES

NO

Project Value:	Permit Fee:	Microfiche Fee:	Inspection fee:	Square Footage:	Total:
\$20,000.00	\$249.50	\$	\$		\$249.50

REMARKS:

All construction to comply with the 2012 BC Building Code.

The review of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

OCCUPANCY / FINAL GRANTED:

Feb 19/2015

Date:



THE CORPORATION OF THE CITY OF WHITE ROCK

PLANNING AND DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: 604-541-2136 • Fax: 604-541-2153 • www.whiterockcity.ca

# Monitoring Report

Date: Feb 19 / 15

Permit #: 14128

Property Address: 820 Habgood St

Coordinating Registered Professional: L. Leon struct Eng

Owner / Contractor: LMS 56 Dardanelles

Stage of Work: final

schedule C received from  
struct Eng.

final inspection - approved.

Building Official: \_\_\_\_\_

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.





THE CORPORATION OF THE CITY OF WHITE ROCK

PLANNING AND DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: 604-541-2136 • Fax: 604-541-2153 • www.whiterockcity.ca

# Monitoring Report

Date: Sept 29/14

Permit #: 14128

Property Address: 870 Habgood St.

Coordinating Registered Professional: L. Leon Struct Eng.

Owner / Contractor: LMS 56 - Dardanelles.

Stage of Work: framing.

struct frame repair -  
P. Eng report received.

recall for phase II

11

[Signature]

Building Official: \_\_\_\_\_

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.

### FIELD REPORT

PROJECT 820 HARGOOD ST JOB No. \_\_\_\_\_  
#104 & 204 c/o DATE Sept 27/14  
Rob Carmichael / PRCYC

REF: PROGRESS FRAMK - 204 BALCONY

REVIEWED & APPROVED REMEDIATED BALCONY

FRAMK FOR STRUCTURAL WORKSHEET PER APPROVED  
STRUCTURAL DUGS PERMIT.

MS PHASE 2 REPAIRS TO BRK DOWN  
AT TARGETED WALL STUDS,  
NOTIFY FOR FINAL FRAMK ONCE  
COMPLETED.



For: CONTRACTOR

For: LUIZ LEON & ASSOCIATES LTD.

ANY CORRECTIVE WORK NOTED ABOVE REQUIRES THE IMMEDIATE ATTENTION OF THE CONTRACTOR AND CONSTITUTES WRITTEN INSTRUCTIONS TO BRING THE WORK INTO CONFORMITY WITH THE PLANS AND SPECIFICATIONS AT NO EXTRA COST TO THE OWNER. THIS SHALL NOT BE CONSTRUED AS A COMPLETE LIST NOR SHALL IT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR THE PROPER PERFORMANCE OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.





THE CORPORATION OF THE  
**CITY OF WHITE ROCK**  
 PLANNING AND DEVELOPMENT SERVICES  
 15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6  
 Phone: 604-541-2136 Fax: 604-541-2153

**APPLICATION FOR BUILDING PERMIT**

Date: sept 3/14

TMA: Yes  No

Landslide Area: Yes  No

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following: replace struct. beams

(Copy of Plans of Proposed Building or Alteration to Accompany this Application)

Zoning: \_\_\_\_\_ Development Permit # \_\_\_\_\_

Legal Description: \_\_\_\_\_

Project Civic Address: 320 Habgood unit 204, 104

Survey Plan required Yes  No

Are there any buildings already occupying any portion of said land? condo

What are they, and what are they used for? \_\_\_\_\_

Entire value, when completed \$ 20,000

Name and address of owner LMS 56 Villa Dardanellas  
320 Habgood St Phone: 4-817-7996

Email: \_\_\_\_\_

Name and address of builder \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Builder's Business Lic. #: \_\_\_\_\_ Project Architect/Engineer: \_\_\_\_\_

Roll No. \_\_\_\_\_ Signature of Applicant Redacted S. 22

Print Name Roxy Corveille

And I agree to conform to all requirements of said By-Law.

Building Permit Fee: 249.50

**Building Permit # 14128**

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



## Authorization Form

Development Services Department  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2136 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

Civic Address: 820 HABGOOD ST.

Legal Description: SL 1-11, LD 36, SEC 11, T1, LMS 56

This document shall serve to notify the City of White Rock that I am / we are the legal owner(s) of the property described above and do authorize the person indicated below ("Authorized Agent") to act on my / our behalf on all matters pertaining to the referenced Land / Building Permit Application for the above referenced property. In addition, I / we have read and understand the application requirements of the Land / Building Permit Application and authorize the Authorized Agent to act on our behalf.

Name of Property Owner(s): VILLA DARDANELLES - LMS 56

Mailing Address: 820 HABGOOD STREET

City: WHITE ROCK Postal Code: V4B 4W3

E-mail: **Redacted S. 22**

Phone: **Redacted S. 22** Fax: \_\_\_\_\_

Name of Authorized Agent: RORY CORNEILLE

Company Name: PENINSULA STRATA MGMT.

Mailing Address: 316-1959 152ND ST.


City: SURREY Postal Code: V4A 9E3

E-mail: RORY@PENINSULASTRATA.COM

Phone: 604-385-2242 Fax: \_\_\_\_\_

Signature of Property Owner(s): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Property Owner(s): \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Authorized Agent:  Date: Sept. 3/14



September 2, 2014

LLA #2014-157  
**Structural Field Report No. 1**

**Peninsula Property Management**  
#316, 1959 – 152<sup>nd</sup> Street  
Surrey, B.C.  
V4A 9E3

Attention: Rory Corneille

**Re: Strata LMS 56 Villa Dardanelles**  
**Units 104 & 204 – 820 Habgood Street White Rock**  
Structural Report No. 1

Further to your request a site visit was conducted on August 29, 2014 to review structural concerns at the balcony support floor beams of Unit #204.

Based on the above the following items were noted:

**A. Observations:**  
**#204 – Floor Beams**

1. Extensive decay / damage observed to 3 ply 1 ¾ x 9 ½ Mlam Microllam requiring replacement. Provide new 3 ply 1 ¾ x 9 ½ Mlam 2.0E Microllam fastened c/w 3 rows 3 ½ x ¼" Simpson SDS screws @ 12" o.c. from both faces.
2. Extensive decay / damage observed to 3 – 2 x 10 beam requiring replacement c/w new 3 – 2 x 10 D. Fir KD No.1/2 c/w 3 rows 3" nails @ 12" o.c.
3. Remove and replace damaged 2 x 10 balcony joists as directed on site c/w 2 x 10 D. Fir KD No.1/2.
4. Remove and replace damaged wall bottom plate 2 x 4 c/w new 2 x 4 D. Fir KD no. 2.
5. Remove and replace damaged floor sheathing c/w new D. Fir plywood sheathing to match existing thickness. Glued, nailed and blocked
6. Remove and replace damaged wall sheathing c/w new ½" treated plywood D. Fir fastened to frame c/w 2 ½" hot dip galv. Nails @ 3" o. c. along edges and 6" o.c. within field.

Page 1 of 2





**Peninsula Property Management**  
Strata LMS 56 Villa Dardanelles  
#104 / #204 - 820 Habgood St. White Rock

Structural Field Report No. 1  
September 2, 2014

**General:** (see attached drawing SK1 for details)

1. Notify for inspection prior to concealment for structural review and re-certification.
2. Provide engineered shoring of floor, wall and roof structure prior to removal of frame components.
3. Recommended all structural work to be completed with details and specifications from a building envelope consultant for protection of structural components.
4. All construction to comply with the BCBC 2012 building code and City of White Rock building bylaws and WCB rules and regulations.

**Luiz Leon & Associates Ltd.**



Luiz Leon, P. Eng.  
LGL:pml





SCHEDULE B

Forming Part of Subsection 2.2.7, Div. C of the British Columbia Building Code

Building Permit No. \_\_\_\_\_  
The authority having jurisdiction is: \_\_\_\_\_

ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW

- Notes: (i) This letter must be submitted prior to the commencement of construction activities of the components identified below. A separate letter must be submitted by each *registered professional of record*.
- (ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
- (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The authority having jurisdiction

City of White Rock

Name of Jurisdiction (Print)

Re: Balcony Beam Repairs  
Name of Project (Print)

#204, 820 Habgood Street White Rock

Address of Project (Print)

The undersigned hereby gives assurance that the design of the (Initial those of the items listed below that apply to this *registered professional of record*. All the disciplines will not necessarily be employed on every project.)

- ARCHITECTURAL
- STRUCTURAL *Balcony Beam Repairs PER SKI*
- MECHANICAL
- PLUMBING
- FIRE SUPPRESSION SYSTEMS
- ELECTRICAL
- GEOTECHNICAL — temporary
- GEOTECHNICAL — permanent



September 2, 2014

Date

components of the plans and supporting documents prepared by this *registered professional of record* in support of the application for the *building* permit as outlined below substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction, as indicated on the "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" below.

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

Building Permit No. \_\_\_\_\_  
#204 - 820 Habgood St. White Rock  
Project Address  
Structural  
Discipline

The undersigned also undertakes to notify the authority having jurisdiction in writing as soon as possible if the undersigned's contract for field review is terminated at any time during construction.

I certify that I am a registered professional as defined in the British Columbia Building Code.

Luiz Leon P. Eng.

Registered Professional of Record's Name (Print)

Unit #205, 15272 Croydon Drive

Address (Print)

Surrey, B.C. V3S 0Z5

604-535-7300

Phone No.



September 2, 2014

Date

(If the Registered Professional of Record is a member of a firm, complete the following.)

I am a member of the firm Luiz Leon & Associates Ltd.  
and I sign this letter on behalf of the firm

Note. The above letter must be signed by a registered professional of record, who is a registered professional. The British Columbia Building Code defines a registered professional to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

CRP's Initials



# BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - *Continued*

Building Permit No.  
(to be filled in by applicant)

#204 - 820 Habgood St. White Rock

Project Address

Structural

Discipline

## SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

### ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 *Fire separations* and their continuity
- 1.3 *Closures*, including tightness and operation
- 1.4 Egress systems, including *access to exit* within *suites and floor areas*
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for fire fighting access
- 1.10 Access requirements for *persons with disabilities*
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below *grade*
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)
- 1.24 Building Envelope, Part 10/ASHRAE Requirements



September 2, 2014

### STRUCTURAL

- 2.1 Structural capacity of structural components of the *building*, including anchorage and seismic restraint
- 2.2 ~~Structural aspects of *deep foundations*~~
- 2.3 Review of all applicable shop drawings
- 2.4 ~~Structural aspects of unbonded post-tensioned concrete design and construction~~

*Balcony Beam Repairs per SK1*

### MECHANICAL

- 3.1 HVAC systems and devices, including high *building* requirements where applicable
- 3.2 *Fire dampers* at required *fire separations*
- 3.3 Continuity of *fire separations* at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for *mechanical systems*
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings
- 3.8 Mechanical Systems, Part 10/ASHRAE Requirements



# BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - *Continued*

Building Permit No.

#204 - 820 Habgood St. White Rock

Project Address

Structural

Discipline

## PLUMBING

- 4.1 Roof *drainage systems*
- 4.2 Site and foundation *drainage systems*
- 4.3 *Plumbing systems* and devices
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing Systems, Part 10 requirements

## FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

## ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical Systems, Part 10/ASHRAE requirements

## GEOTECHNICAL — Temporary

- 7.1 *Excavation*
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

## GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep *foundations*
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



September 2, 2014

Date

CRP's Initials

**Proof of Professional  
Liability Insurance**

Planning and Development Services Department  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2136 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

**Form "B"**

RE: Address: #204 - 820 Oakgood St. White Rock  
Building Permit Application No.: \_\_\_\_\_

The undersigned hereby gives assurance that:

- a) I have fulfilled my obligation to obtain a subsisting policy of professional liability or errors and omissions insurance as outlined in the City of White Rock **Building Bylaw**.
- b) I have enclosed a copy of my certificate of insurance indicating the particulars of such coverage.
- c) I am a registered professional as defined under Section 1.4 of the British Columbia Building Code.
- d) I will notify the Building Official immediately if this insurance coverage is reduced, expired or terminated at any time during construction.

Signed this 4 day of Sept. 2014 Luis Leon P. Eng.  
Print Name of Registered Professional

Signature of Registered Professional

Structural Engineer  
Professional's Discipline

Professional's seal

or



Signed this 4 day of Sept. 2014  
Witness Signature

September 2, 2014

City of White Rock  
Engineering Department

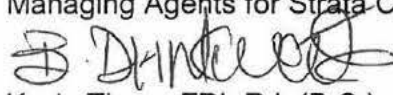
LMS56 - Villa Dardanelles  
820 Habgood Street  
White Rock, BC,. V4B 4W3

To Whom it may concern

Re: Emergency Building Permit  
204/104 - 820 Habgood Street  
White Rock, V4B 4W3

Please note that bearer, Rory Corneille, is authorized to act on behalf of Council for the Corporation for LMS56 - Villa Dardanelles.

Yours truly,  
PENINSULA STRATA MANAGEMENT LTD.  
Managing Agents for Strata Corporation

*FOR:*   
Kevin Thom, FRI, R.I. (B.C.)  
Manager, Strata Division

cc: Strata Council



# BRITISH COLUMBIA BUILDING CODE 2012

## SCHEDULE C-B

Forming Part of Subsection 2.2.7, Division C of the  
British Columbia Building Code

Building Permit No.  
(for authority having jurisdiction 2.04)

### ASSURANCE OF PROFESSIONAL FIELD REVIEW AND COMPLIANCE

- Notes:
- (i) This letter must be submitted after completion of the project but prior to final inspection by the *authority having jurisdiction*. A separate letter must be submitted by each *registered professional of record*.
  - (ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
  - (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The *authority having jurisdiction*

City of White Rock

Name of Jurisdiction (Print)

Re: Structural

Discipline (e.g. Architectural etc.) (Print)

Balcony Beam Repair

Name of Project (Print)

#204, 820 Habgood Street White Rock

Address of Project (Print)

(Each *registered professional of record* shall complete the following:)

Luiz Leon P. Eng.

Name (Print)

Unit #205 15272 Croydon Drive

Address (Print)

Surrey, B.C. V3Z 0Z5

604-535-7300

Phone No.



February 12, 2015

Date

I hereby give assurance that

- (a) I have fulfilled my obligations for *field review* as outlined in Subsection 2.2.7, Division C of the British Columbia Building Code and in the previously submitted Schedule B, "ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW", and
- (b) those components of the project opposite my initials in Schedule B substantially comply in all material respects with
  - (i) the applicable requirements of the B.C. Building Code and other applicable enactments respecting safety, not including construction safety aspects, and
  - (ii) the plans and supporting documents submitted in support of the application for the *building permit*,
- (c) I am a *registered professional of record* as defined in the British Columbia Building Code.

(If the *registered professional of record* is a member of a firm, complete the following:)

I am a member of the firm Luiz Leon & Associates Ltd.

and I sign this letter on behalf of the firm.

(Print name of firm)

Note: The above letter must be signed by a *registered professional of record*, who is a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

\_\_\_\_\_  
CRP's Initials

## Field Review Report

		Project No.	0965		
Project Name	Deck Membrane Replacement at Unit # 204	Date	February 2, 2015	Report No.	08
Site Address	820 Habgood Street, White Rock, BC.	Weather	7degree - Raining	Time Arrived	10:35 a.m.
General Contractor	Carmichael Construction Ltd.	Site Supervisor	Rob Carmichael	Time Departed	11:15 a.m.

AUM Building Science & Engineering Ltd.'s review is only restricted to the review of deck waterproofing membrane installation details and related details at unit # 204. Areas that extend beyond the deck items reviewed in this report were not assessed or commented on in this report. AUM has not carried out a Building Code Review on this project. AUM has not reviewed the other decks or building envelope related issues at the subject building. The review does not cover aspects of the project related to fire separation, structural, landscaping or architectural issues. Our report does not include identifying defects that are hidden behind the existing walls, roofs or ceilings and are beyond our reach.

This report is specifically designed for the owner's use and information. This report has been prepared in accordance with generally accepted building science engineering practices. No other warranties expressed or implied are made as to professional services provided under the terms of our contract and included in this report.

Conclusions, recommendations or opinions presented in this report must be viewed in light of the information available at the time of the site reviews. Our opinion cannot be extended to portions of the site which were unavailable for direct observation or situations reasonably beyond control of AUM Building Science & Engineering Ltd.


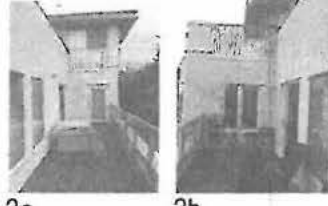

<p><b>8.1</b> Installation of stucco cladding is complete at balcony/deck back walls at unit # 204 (photos 1, 2a &amp; 2b). Metal cap flashing is adequately installed at the tops of deck curbs/parapets. According to the Contractor, inside face mounted guardrails are installed with gasketed corrosion resistant fasteners per structural engineer/guardrail engineer's directions. Scupper penetrations at the existing walls are sealed adequately (photo 3).</p>	PHOTO 1	
<p>Installation of stucco cladding is acceptable except with some minor issues as noted below under photos # 4 to 7:</p> <p>.a) Existing parapet/curb flashing at the upper roof/roof deck is tight to the new rainscreen stucco cladding at some locations (photo 4a). Also existing flashing is damaged at corner (photo 4b). See arrows for locations.</p>	PHOTO 2	 <p style="text-align: center;">2a                  2b</p>
<p><b>Action&gt;&gt;&gt;&gt;</b> As discussed on site, repair these details to ensure a gap of 3/8" between new rainscreen stucco cladding and existing flashing for rainscreen purposes. Also repair/replace the damaged flashing at corner location. The Contractor to send photos of the repaired areas to AUM for their review and file.</p>	PHOTO 3	

PHOTO 4

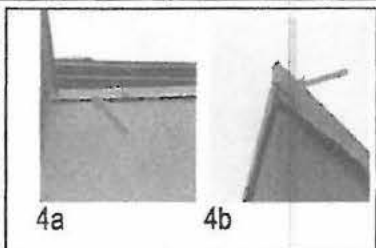


PHOTO 5

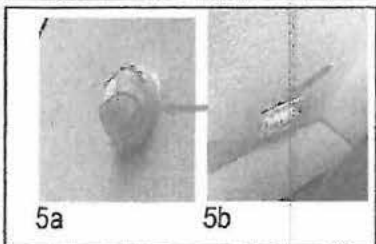


PHOTO 6



PHOTO 7



.b) Sealant is missing around wall penetrations such as light fixtures & electrical boxes, etc. (photos 5a & 5b). See arrows for locations.  
**Action>>>>** Seal the gaps between wall penetrations and cladding adequately with caulking. The Contractor to send photos of the repaired areas to AUM for their review and file.

.c) Joints in flashing at vent curb flashing are not sealed (photo 6). Refer to the arrow for locations.  
**Action>>>>** Seal all joints in flashing with caulking. The Contractor to send photos of the repaired areas to AUM for their review and file.

.d) Seal the gaps between vent curb flashing & SBS membrane with compatible mastic/caulking (photo 7). Refer to the arrow for locations. The Contractor to send photos of the repaired areas to AUM for their review and file.

\*\*\*Notes:

- .a) It is the Contractor's responsibility to repair all outstanding issues as soon as possible.
- .b) During this partial restoration work, the Owners/Strata had decided to use the existing original windows except one window which was replaced with new window. As majority of the windows are existing windows, AUM has no responsibility for the failures of any existing windows or any moisture ingress related problems at these existing windows or related areas.

Signed: Hari Korpai

February 2, 2015

Hari Korpai, P. Eng.  
c/o Aum Building Science & Engineering Ltd.

Emailed Copies to: Rob Carmichael – Carmichael Construction Ltd. - ([robcarichael@cclbc.ca](mailto:robcarichael@cclbc.ca))  
Rory Comeille – Peninsula Strata Management - ([rory@peninsulastrata.com](mailto:rory@peninsulastrata.com))  
Luiz Leon, P. Eng. – Luiz Leon & Associates Ltd. - ([LuizLeon@leoneng.ca](mailto:LuizLeon@leoneng.ca))



# BRITISH COLUMBIA BUILDING CODE 2012

## SCHEDULE B

Forming Part of Subsection 2.2.7, Div. C of the  
British Columbia Building Code

Building Permit No. \_\_\_\_\_  
(for authority having jurisdiction's use)

### ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW

- Notes: (i) This letter must be submitted prior to the commencement of construction activities of the components identified below. A separate letter must be submitted by each *registered professional of record*.  
(ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.  
(iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The *authority having jurisdiction*

CITY OF WHITE ROCK

Name of Jurisdiction (Print)

Re: VILLA DARDANELLES - BALCONY RENOVATION

Name of Project (Print)

#204, 820 HABGOOD STREET, WHITE ROCK, BC

Address of Project (Print)

The undersigned hereby gives assurance that the design of the  
(Initial those of the items listed below that apply to this *registered professional of record*. All the disciplines will not necessarily be employed on every project.)

- ARCHITECTURAL
- STRUCTURAL EXTERIOR BALCONY GLASS GUARDRAIL
- MECHANICAL
- PLUMBING
- FIRE SUPPRESSION SYSTEMS
- ELECTRICAL
- GEOTECHNICAL — temporary
- GEOTECHNICAL — permanent



(Professional's Seal and Signature)

FEB. 05, 2015

Date

components of the plans and supporting documents prepared by this *registered professional of record* in support of the application for the *building* permit as outlined below substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction, as indicated on the "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" below.

\_\_\_\_\_  
CPA's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

Building Permit No.  
(for authority having jurisdiction's use)

#204, 820 HABGOOD STREET, WHITE ROCK, BC

Project Address

STRUCTURAL (GUARDRAIL)

Discipline

The undersigned also undertakes to notify the *authority having jurisdiction* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during construction.

I certify that I am a *registered professional* as defined in the British Columbia Building Code.

TONG NGO, P.ENG.

Registered Professional of Record's Name (Print)

16968 77A AVE., SURREY, BC, V4N 6L2

Address (Print)

604.372.2120

Phone No.



(Professional's Seal and Signature)

FEB. 05, 2015

Date

(If the *Registered Professional of Record* is a member of a firm, complete the following.)


I am a member of the firm  
and I sign this letter on behalf of the firm.

TONG NGO ENGINEERING LTD.

(Print name of firm)

Note: The above letter must be signed by a *registered professional of record*, who is a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

  
CRP's Initials



# BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

Building Permit No.  
(for authority having jurisdiction use)

#204, 820 HABGOOD STREET, WHITE ROCK, BC

Project Address

STRUCTURAL (GUARDRAIL)

Discipline

## SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

### ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 Fire separations and their continuity
- 1.3 Closures, including tightness and operation
- 1.4 Egress systems, including access to exit within suites and floor areas
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for fire fighting access
- 1.10 Access requirements for persons with disabilities
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below grade
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)
- 1.24 Building Envelope, Part 10/ASHRAE Requirements



FEB. 05, 2015

Date

EXTERIOR BALCONY GLASS GUARDRAIL

### STRUCTURAL

- 2.1 Structural capacity of structural components of the building, including anchorage and seismic restraint
- 2.2 Structural aspects of deep foundations
- 2.3 Review of all applicable shop drawings
- 2.4 Structural aspects of unbonded post-tensioned concrete design and construction

### MECHANICAL

- 3.1 HVAC systems and devices, including high building requirements where applicable
- 3.2 Fire dampers at required fire separations
- 3.3 Continuity of fire separations at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings
- 3.8 Mechanical Systems, Part 10/ASHRAE Requirements

CRP's Initials

# BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - *Continued*

Building Permit No.  
(for authority having jurisdiction's use)

#204, 820 HABGOOD STREET, WHITE ROCK, BC

Project Address

**STRUCTURAL (GUARDRAIL)**

Discipline

## PLUMBING

- 4.1 Roof *drainage systems*
- 4.2 Site and foundation *drainage systems*
- 4.3 *Plumbing systems* and devices
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing Systems, Part 10 requirements

## FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test-Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

## ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical Systems, Part 10/ASHRAE requirements

## GEOTECHNICAL — Temporary

- 7.1 *Excavation*
- 7.2 *Shoring*
- 7.3 *Underpinning*
- 7.4 Temporary construction dewatering

## GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep *foundations*
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



(Professional's Seal and Signature)

FEB. 05, 2015

Date

CRP's Initials



# BRITISH COLUMBIA BUILDING CODE 2012

## SCHEDULE C-B

Forming Part of Subsection 2.2.7, Division C of the  
British Columbia Building Code

Building Permit No. \_\_\_\_\_  
(for authority having jurisdiction & use)

### ASSURANCE OF PROFESSIONAL FIELD REVIEW AND COMPLIANCE

- Notes:
- (i) This letter must be submitted after completion of the project but prior to final inspection by the *authority having jurisdiction*. A separate letter must be submitted by each *registered professional of record*.
  - (ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
  - (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: *The authority having jurisdiction*

CITY OF WHITE ROCK

Name of Jurisdiction (Print)

Re: STRUCTURAL (GUARDRAIL) EXTERIOR BALCONY GLASS GUARDRAIL

Discipline (e.g. Architectural, etc.) (Print)

VILLA DARDANELLES - BALCONY RENOVATION

Name of Project (Print)

#204, 820 HABGOOD STREET, WHITE ROCK, BC

Address of Project (Print)

(Each *registered professional of record* shall complete the following:)

TONG NGO, P.ENG.

Name (Print)

16968 77A AVENUE, SURREY,

Address (Print)

BC, V4N 6L2

604.372.2120

Phone No.



(Professional's Seal and Signature)

FEB. 05, 2015

Date

I hereby give assurance that

- (a) I have fulfilled my obligations for *field review* as outlined in Subsection 2.2.7, Division C of the British Columbia Building Code and in the previously submitted Schedule B, "ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW", and
- (b) those components of the project opposite my initials in Schedule B substantially comply in all material respects with
  - (i) the applicable requirements of the B.C. Building Code and other applicable enactments respecting safety, not including construction safety aspects, and
  - (ii) the plans and supporting documents submitted in support of the application for the *building permit*,
- (c) I am a *registered professional of record* as defined in the British Columbia Building Code.

(If the *registered professional of record* is a member of a firm, complete the following:)

I am a member of the firm TONG NGO ENGINEERING LTD.  
and I sign this letter on behalf of the firm. (Print name of firm)

Note: The above letter must be signed by a *registered professional of record*, who is a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

CRP's Initials



# Proof of Professional Liability Insurance

Development Services Department  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2136 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

## Form "B"

RE: Address: #204, 820 HABGOOD STREET, WHITE ROCK, BC

Building Permit Application No.: \_\_\_\_\_

The undersigned hereby gives assurance that:

- a) I have fulfilled my obligation to obtain a subsisting policy of professional liability or errors and omissions insurance as outlined in section 16.3 of **Building Bylaw No. 1782**.
- b) I have enclosed a copy of my certificate of insurance indicating the particulars of such coverage.
- c) I am a registered professional as defined under Section 1.4 of the British Columbia Building Code.
- d) I will notify the Building Official immediately if this insurance coverage is reduced, expired or terminated at any time during construction.

Signed this 5TH day of FEBRUARY

TONG NGO, P.ENG.

Print Name of Registered Professional

Signature of Registered Professional

STRUCTURAL ENGINEER

Professional's Discipline

Professional's seal

or



Signed this \_\_\_\_\_ day of \_\_\_\_\_

Witness Signature





## Inspection Report

Report No.: 1  
Project No: HVS1-15  
To: Horizon Vinyl Sundeck Attention: \_\_\_\_\_  
From: Tong Ngo, P.Eng. Date: Feb. 05, 2015  
Project: Villa Dardanelles – Balcony Renovation  
#204, 820 Habgood Street, White Rock, BC  
Ref: Inspection of Exterior Balcony Glass Guardrail

Inspected and approved the installation of exterior balcony glass guardrail.

Guardrail designed and fabrication according to part 4 of the BCBC 2012  
And the APEG guidelines for glass railings.

Glass guardrail designed in conformance with CAN/CGSB-12.20-M (structural design of  
glass for buildings).



Tong Ngo, P.Eng.  
Feb. 05, 2015

**GENERAL NOTES:**

- DESIGN CRITERIA: ALL MATERIAL, WORKMANSHIP AND GUARDRAIL LOADS SHALL CONFORM WITH THE REQUIREMENTS OF PARTS 3, 4 & 9 OF THE 2012 BRITISH COLUMBIA BUILDING CODE AND THE 2010 NATIONAL CODE OF CANADA AND ALL REFERENCED CODES. CHANGES MAY BE NECESSARY DUE TO LOCAL BUILDING REGULATIONS AND THE SITE CONDITIONS.
- INSTALLER IS TO SEAL ALL PENETRATIONS THROUGH FLASHINGS, CLADDING OR MEMBRANES WITH APPROVED SEALANT.
- STRUCTURAL COMPONENTS OF ALUMINUM RAILS TO BE CHECKED AND APPROVED BY A STRUCTURAL ENGINEER. AN INSTALLATION INSPECTION REQUIRED PRIOR TO OCCUPANCY BY A STRUCTURAL ENGINEER.
- GENERAL CONTRACTOR TO VERIFY EXISTING CONDITION OF SUPPORTING MEMBERS PRIOR TO INSTALLATION OF STRUCTURAL COMPONENTS OF ALUMINUM RAILS. NOTIFY ANY DISCREPANCY TO STRUCTURAL ENGINEER.
- GENERAL CONTRACTOR SHALL ENSURE THAT WORK IS BEING DONE ACCORDING TO LATEST DRAWINGS "ISSUED FOR CONSTRUCTION".
- GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND DETAILS INDICATED ON THE STRUCTURAL DRAWINGS FOR COMPATIBILITY WITH THE ARCHITECTURAL AND OTHER CONSULTANT DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.

**MATERIALS**

1. ALL ALUMINUM STRUCTURAL SHAPES

RAIL POSTS 6061-T6  
 BASE SLEEVE BRACKET 6065-T5  
 PLATES, ANGLES 6065-T5  
 CHANNELS, PIPES, PICKETS 6065-T5  
 END + CORNER CAP OF TOP RAIL 6065-T5  
 DESIGN, FABRICATION AND CONSTRUCTION IS ACCORDING TO CSA-S157-05

- ALL MEMBERS OF RAILING ARE FINISHED IN CONFORMANCE WITH AAMA SPECIFICATIONS
- ALL DRILLED BOLTS INSTALLED IN CONCRETE TO BE ASTM-F593 Gr.304 OR 316 STAINLESS STEEL MANUFACTURED BY HILTI CANADA LTD.
- ALL POP RIVETS TO HAVE DOME HEADS, ALUM. SHAFTS AND COATED STEEL MANDRELS AND TO BE MANUFACTURED BY TEXTRON FASTENING SYSTEMS OR COMPARABLE QUALITY.

**MATERIALS (CONTINUED)**

- ALL LAG SCREWS AND BOLTS TO BE STAINLESS STEEL AND MEET ASTM STANDARD. WHEN DETERMINING THE REQUIRED LENGTH FOR LAG SCREWS PLEASE NOTE THAT THE MINIMUM EMBEDMENT SPECIFIED ON THESE DRAWINGS MEANS THE THREADED PORTION OF THE LAG SCREWS IN FULL DEPTH OF BACKING NOT INCLUDING THE TIP AND THE UNTHREADED SHANK PORTION.

**GLASS:**

- GLASS IS DESIGNED IN CONFORMANCE WITH CAN/CGSB 12.20-M89.

**FABRICATION**

- ALL PARTS TO BE FABRICATED PLUMB AND SQUARE WITHIN TOLERANCE OF 0.5%
- WELDING AS PER CSA W45.2 M-1991, FILLET WELDS, MIN. THICKNESS 3MM, U.N.O.

**INSTALLATION**

- ALL RAIL COMPONENTS TO BE INSTALLED PLUMB AND SQUARE WITH A TOLERANCE OF 0.5% TO A TOTAL DISPLACEMENT OF 13MM.
- ALL ANCHOR SHIELDS TO BE INSTALLED TO MANUFACTURE INSTRUCTIONS.
- INSTALL LAG SCREWS TO CSA STANDARD 086-01. (SEE ALSO MATERIALS NOTE 5 ABOVE).
- CONCRETE EMBEDMENT FOR 10MMØ KNİK BOLTS 75MM MIN. & FOR 13MMØ KNİK BOLTS BOLTS 100MM MIN.
- NO BURNING OF HOLES OR FIELD CUTTING SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE ENGINEER.

**WOOD**

- WOOD FRAMING IS PERFORMED BY OTHERS.
- ASSUMED WOOD BACKING D-FIR No.1/2 OR BETTER. LAG SCREWS ARE DESIGNED FOR DRY SERVICE CONDITION.
- GENERAL CONTRACTOR SHALL INFORM ENGINEER IN WRITING IF WOOD SPECIES AND / OR GRADE DIFFERS AND SHALL WAIT FOR DIRECTION FROM ENGINEER BEFORE PROCEEDING.

**CONCRETE**

- CONCRETE WORK IS PERFORMED BY OTHERS.
- ASSUMED CONCRETE 28 - DAY COMPRESSIVE STRENGTH IS 30 MPA (4,400 PSI) FOR THE PURPOSES OF ANCHORAGE TO CONCRETE.
- MINIMUM EDGE DISTANCE IN CONCRETE IS AS SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL INFORM ENGINEER IN WRITING IF CONCRETE STRENGTH OR ANCHOR EDGE DISTANCE DIFFERS AND SHALL WAIT FOR DIRECTION FROM THE ENGINEER BEFORE PROCEEDING.

**HANDRAIL AND GUARDRAIL LOADS**

1. HORIZONTAL DESIGN LOADS: (GUARDRAILS)

BALCONIES OF RESIDENTIAL UNITS: 50 PLF OR 225 LBS ALSO USED WITHIN RESIDENTIAL UNITS FOR GLASS WALLS BELOW 3'-6" HIGH

EXITS, STAIR, WALKWAYS, & MISC.: 50 PLF OR 225 LBS AT ANY LOCATION

CATWALKS IN MECHANICAL SPACES: 225 LBS AT ANY LOCATION

CONTIGUOUS STAIRS, ETC.: 225 LBS AT ANY LOCATION

GRANDSTAND, STADIA, ARENA, ETC.: 200 PLF

VEHICLE GUARDS: 5000 LBS AT 20" ABOVE FLOOR SURFACE AT ANY LOCATION.

ELEMENTS WITHIN GUARDRAIL: 110 LBS AT ANY LOCATION NOT IN COMBINATION WITH FOREGOING LOADS.

2. VERTICAL DESIGN LOADS: (GUARDRAILS)

VERTICAL AT TOP OF GUARDRAIL: 100 PLF NOT IN COMBINATION WITH FOREGOING LOADS.

3. HORIZONTAL DESIGN LOADS: (HANDRAIL)

STAIR HANDRAILS OR BUILDING ELEMENT THAT USED AS HANDRAILS: 200 LBS AT ANY POINT OR 40 PLF.

4. OTHER LOADS:

SEISMIC FACTOR:  $S_a(0.2) = 1.1, S_a(0.5) = 0.76$   
 $S_a(1.0) = 0.35, S_a(2.0) = 0.18$   
 $P_GA = 0.57$

WIND LOAD:  $q(1/10) = 7.09 \text{ PSF}$   
 $q(1/50) = 9.18 \text{ PSF}$

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NO.	ISSUED FOR BLDG PERMIT	REVISIONS	DATE
1.	ISSUED FOR BLDG PERMIT		02/05/15

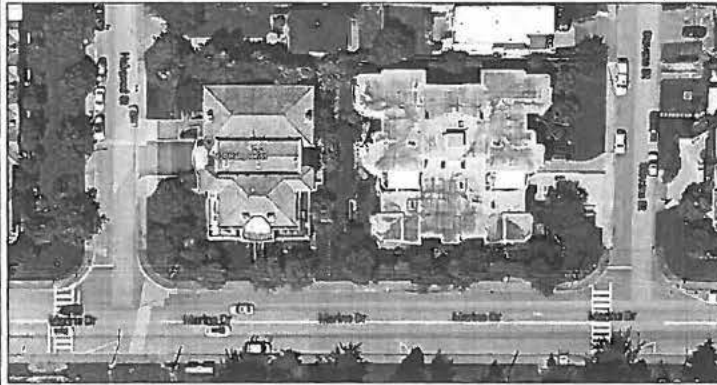


DESIGN: TNT	CLIENT:	TITLE:
DRAWN: RL	HORIZON VINYL SUNDECK	
CHECKED: TNT		
PROJ. NO.: HV51-15	PROJECT:	
SCALE: AS SHOWN	BALCONY RENOVATION	
DATE: FEB. 03, 2015	#204, 820 HARBOROD ST., WHITE ROCK, BC	

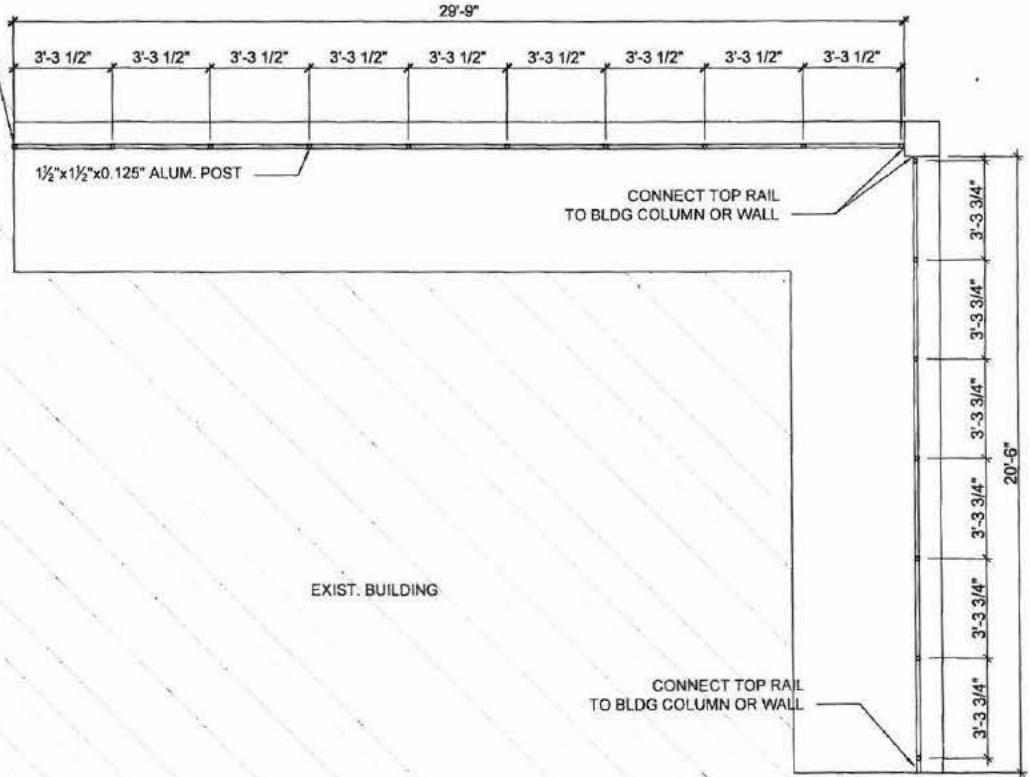
SPECIFICATION	
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<b>TONG NGO</b> ENGINEERING LTD.	16966 77A AVE SURREY, B.C. V4N 6L2
	EMAIL: info@tongngo.ca PH: (604)372-2120/F: (604)372-2118
LAST MODIFIED:	DRAWING: SK1

CONNECT TOP RAIL  
TO BLDG COLUMN OR WALL



**SITE PLAN**  
NTS



EXIST. BUILDING

CONNECT TOP RAIL  
TO BLDG COLUMN OR WALL



**BALCONY PLAN**  
1/4"=1'-0"

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NO.	REVISIONS	DATE
1.	ISSUED FOR BLDG PERMIT	02/05/15



DESIGN:	TNT
DRAWN:	RL
CHECKED:	TNT
PROJ. NO.:	HVSI-15
SCALE:	AS SHOWN
DATE:	FEB. 03, 2015

CLIENT:	HORIZON VINYL SUNDECK
PROJECT:	BALCONY RENOVATION #204, 820 HARGREAVES ST., WHITE ROCK, BC

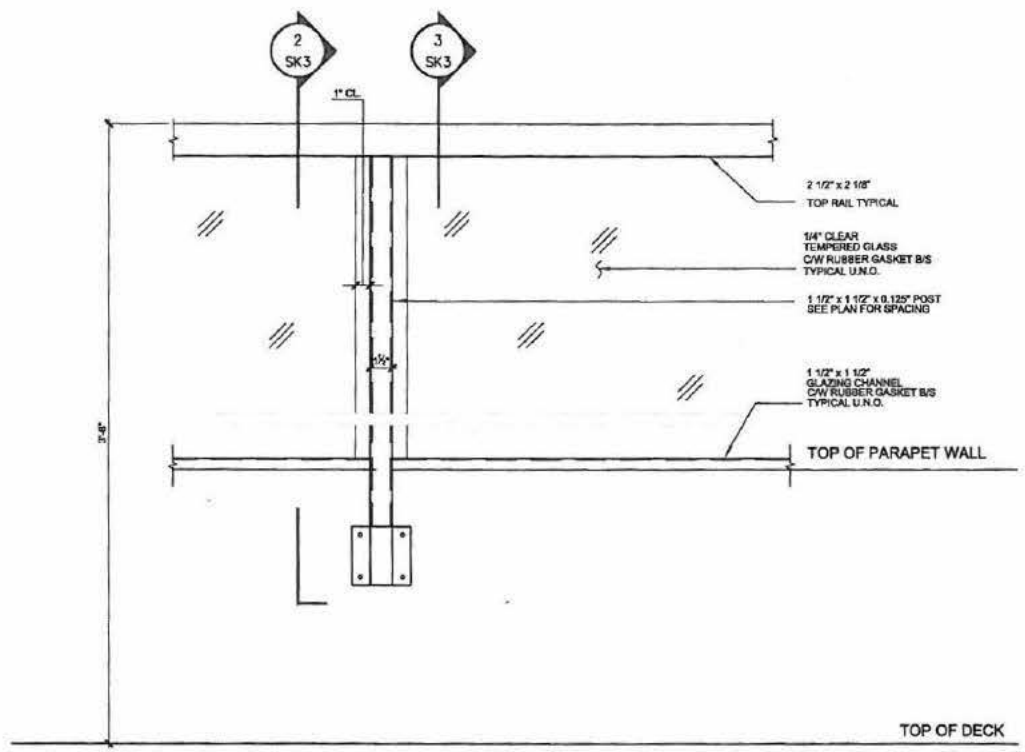
TITLE:	PLAN
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**TONG NGO**  
ENGINEERING LTD.  
10000 77A AVE SURREY, B.C. VAN 6L2  
PH: (604) 572-2120 / F: (604) 572-2118  
EMAIL: info@tongngo.com

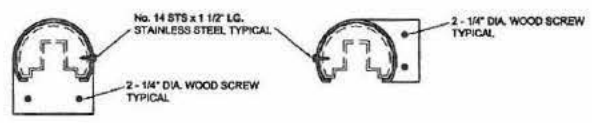
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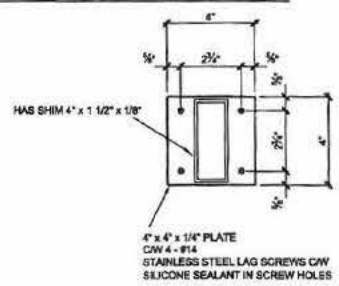
NOTE 1\* GUARDRAIL FABRICATOR TO VERIFY ON SITE OR COORDINATE WITH G.C. PRIOR TO FABRICATION



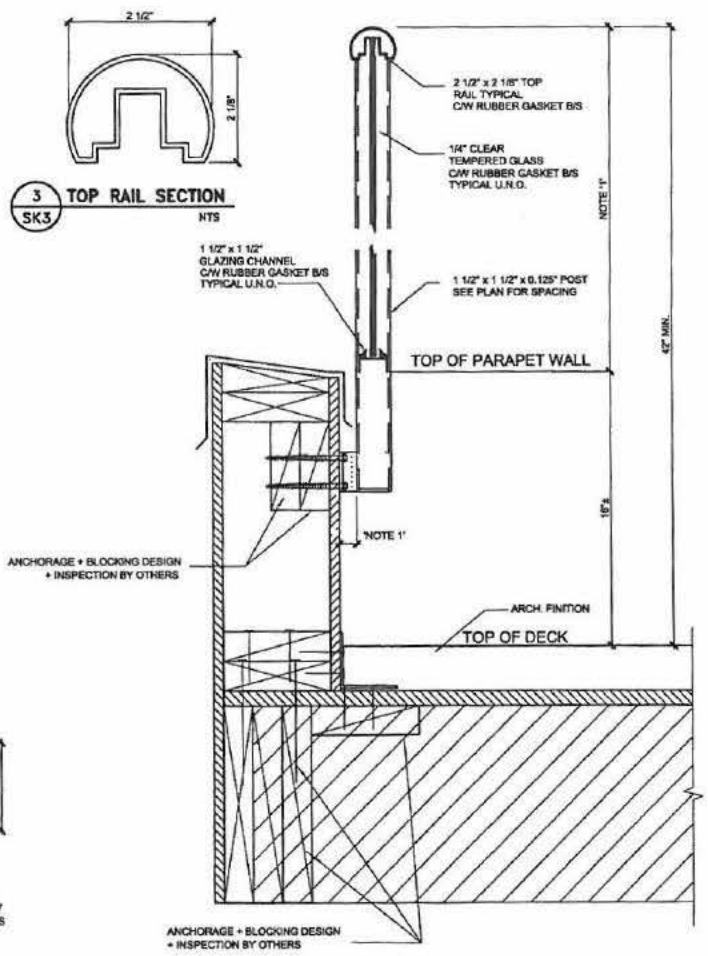
1 GUARDRAIL ELEVATION  
SK3  
NTS



TOP RAIL CONNECTION DETAIL (TO WALL OR COLUMN)  
NTS



BASE PLATE DETAIL  
NTS

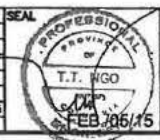


2 GUARDRAIL SECTION  
SK3  
NTS

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THIS DRAWING SHALL NOT BE REPRODUCED, THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PROVIDE A STATEMENT OF DISCREPANCY AND NOTIFY THE DESIGNER OF ANY ERRORS AND OMISSIONS AND ACCEPT THE CONSEQUENCE OF ANY ERRORS AND OMISSIONS ON THE CONTRACT DOCUMENTS. PLEASE TO OBTAIN QUANTIFICATION ADDRESS THE CONTRACTOR RESPONSIBLE FOR ANY REVISIONS ADDRESS HERE AND GET APPROVAL FROM THE DESIGNER. THE DRAWING SHALL NOT BE REPRODUCED WITHOUT THE CONSENT OF THE DESIGNER.

NO.	REVISIONS	DATE
1.	ISSUED FOR BLDG PERMIT	02/05/15



DESIGN:	TNT
DRAWN:	RL
CHECKED:	TNT
PROJ. NO.:	HVST-15
SCALE:	AS SHOWN
DATE:	FEB. 03, 2015

CLIENT:	HORIZON VINYL SUNDECK
PROJECT:	BALCONY RENOVATION #204, 820 HARGOOD ST., WHITE ROCK, BC

TITLE:	SECTION & ELEVATION
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**TONG NGO**  
ENGINEERING LTD.  
16908 77A AVE  
SURREY, B.C  
V4N 6L2  
TEL: (604) 372-2120 / F: (604) 372-2118  
EMAIL: info@tongngo.com

LAST MODIFIED:      DRAWING: SK3

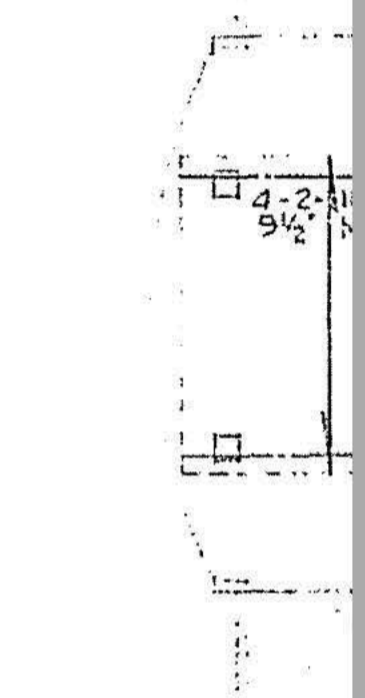
**LEGEND**

XXXXXX 2x4@ 16" O.C. BLOCKED SHORING WALL

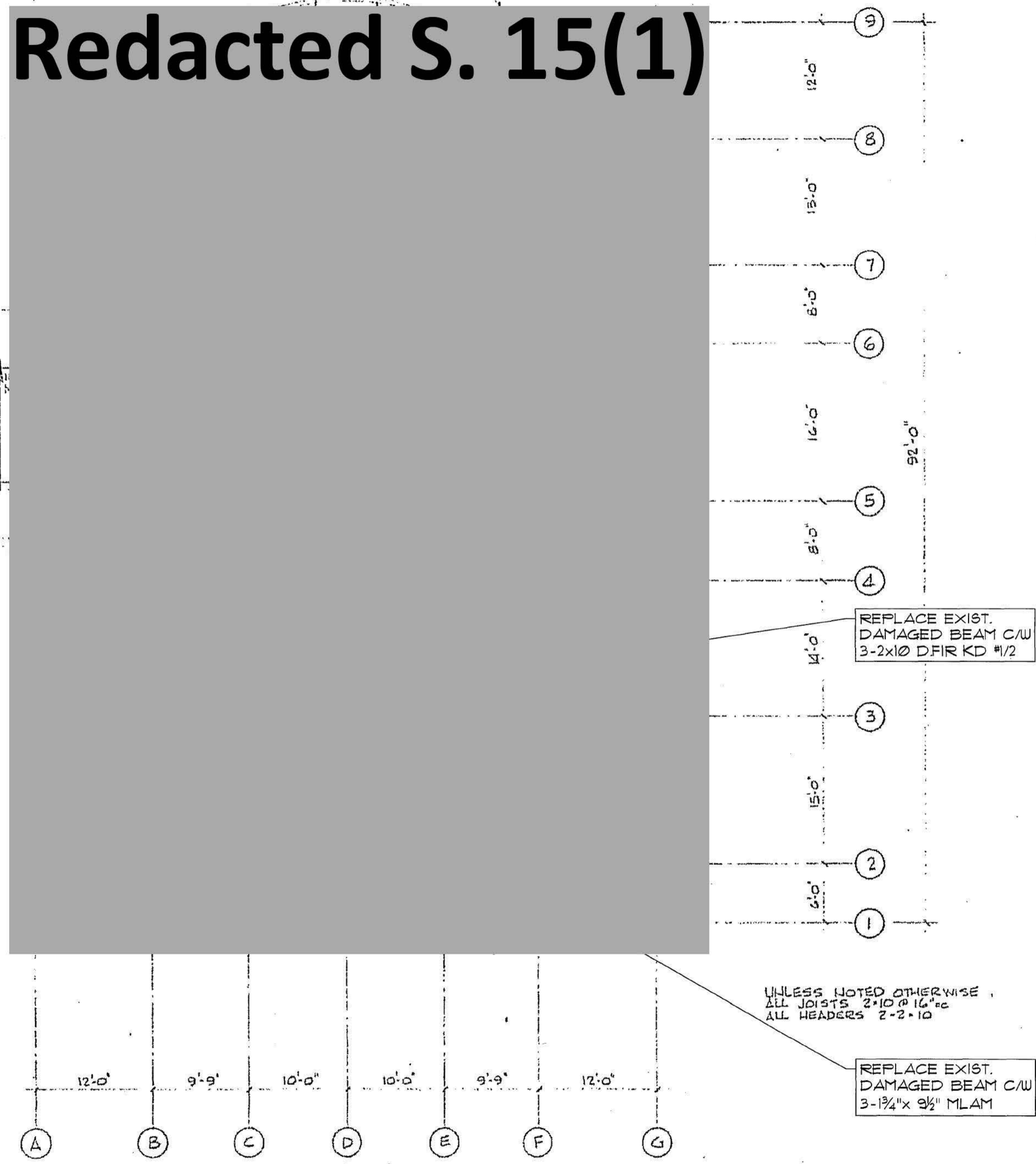
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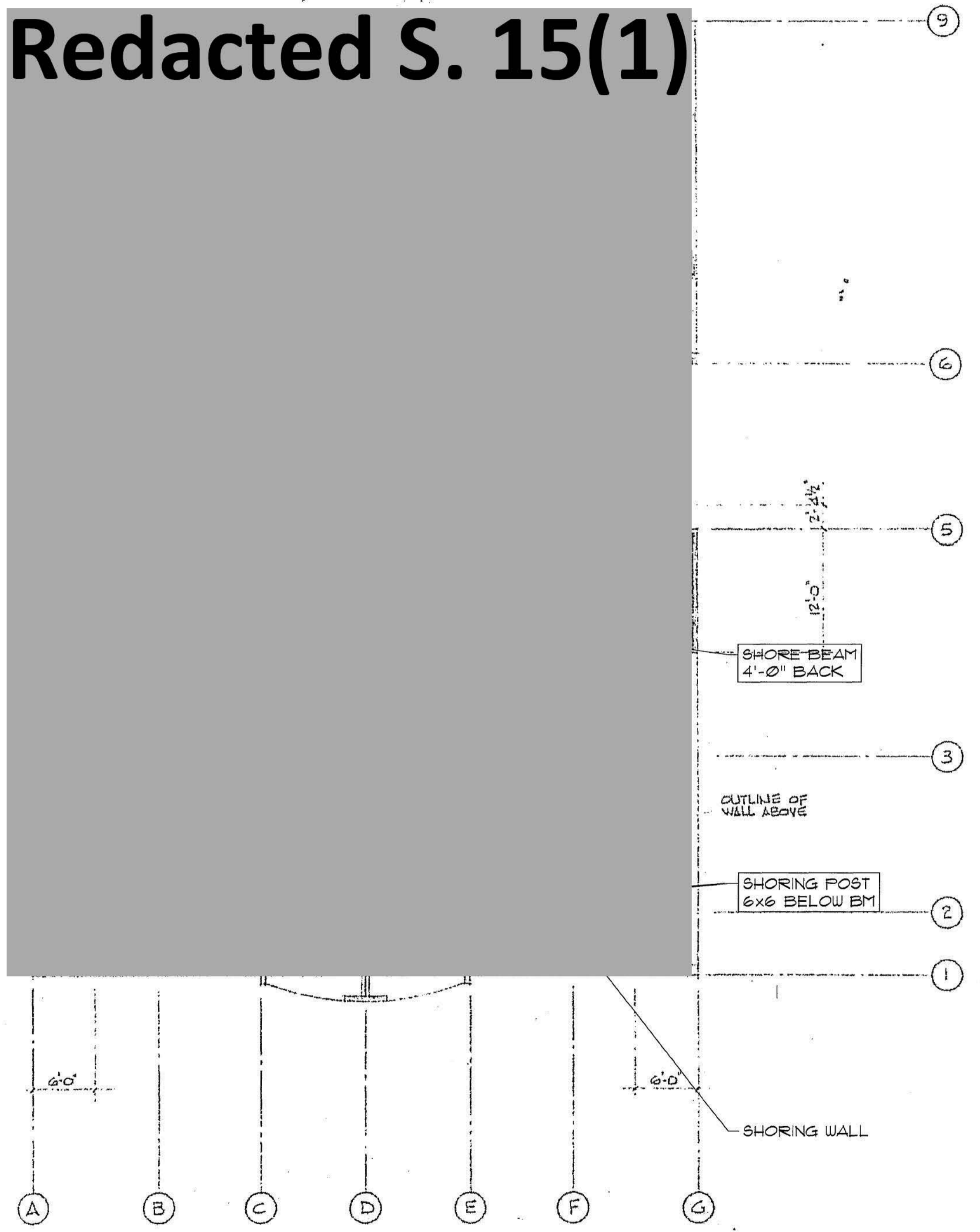


OUTLINE OF WALL ABOVE



MAIN FLOOR PLAN / SECOND FLOOR FRAMING  
N.T.S.

NOTE: REFER TO REPORT BY LLA ENG. DATED SEPTEMBER 2, 2014



SECOND FLOOR PLAN / THIRD FLOOR FRAMING  
N.T.S.

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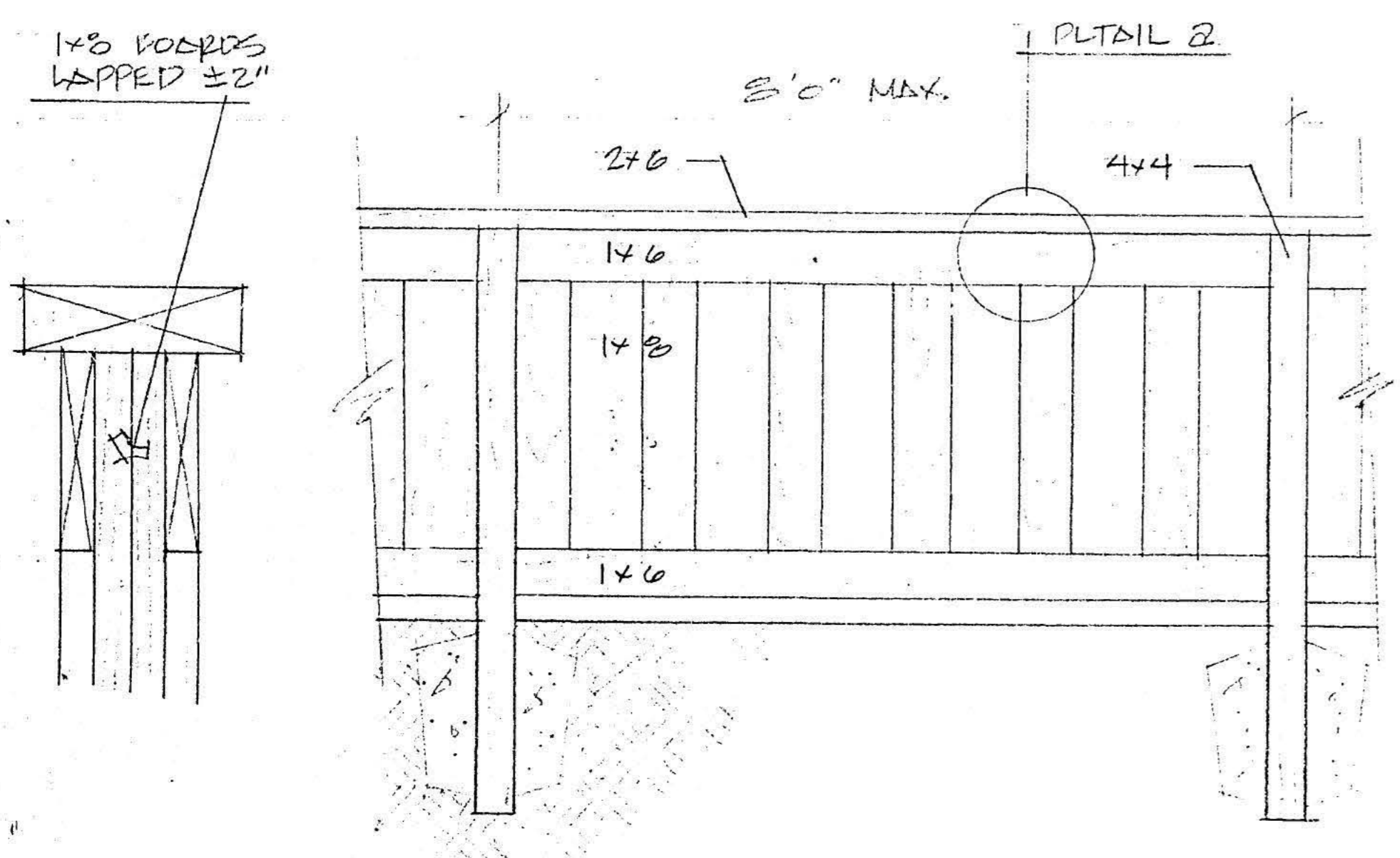
820 HAGOOD ST. Units 104, 204



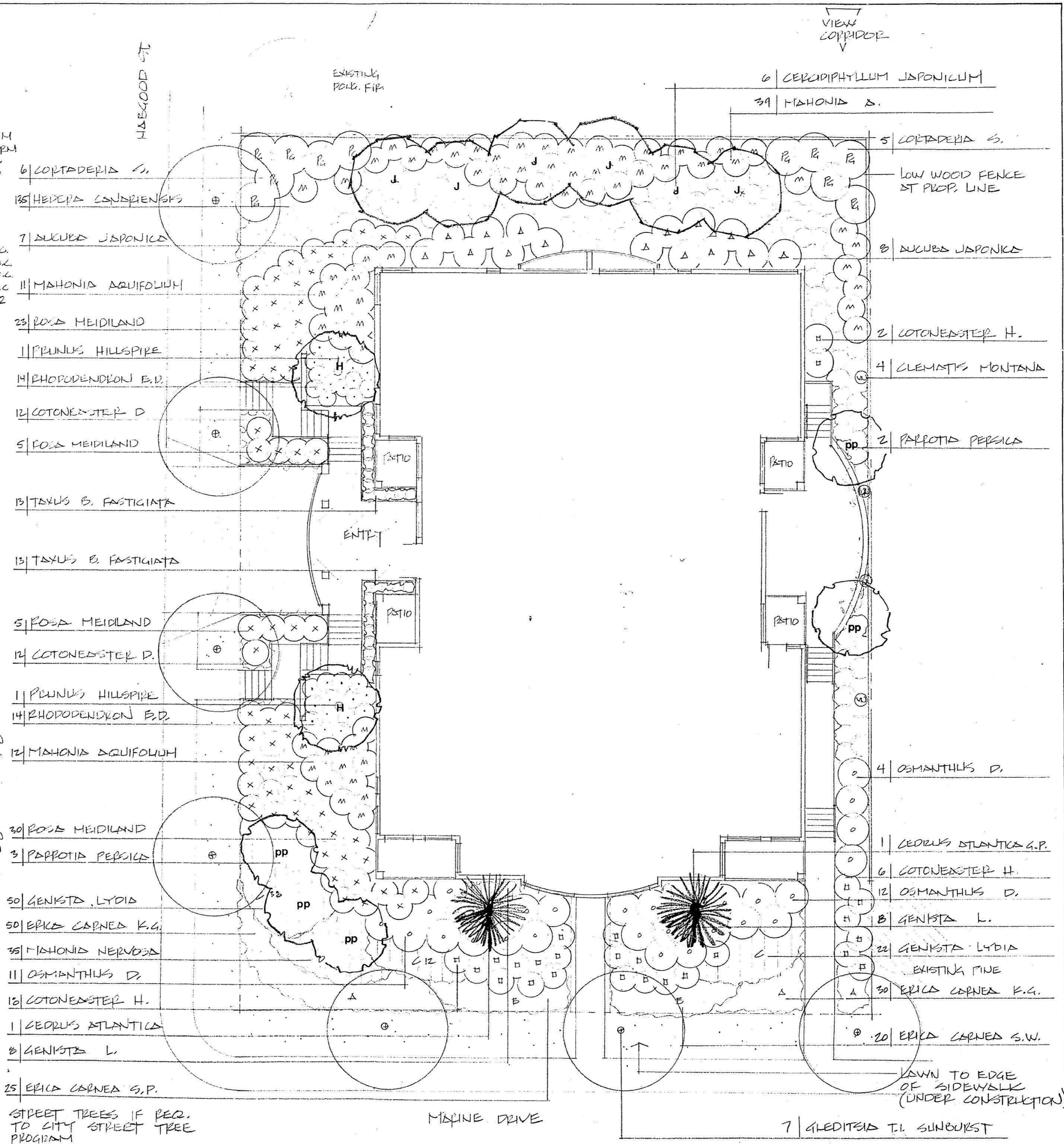
PLANT LIST TO BENTA STDS DWA #10-06

KEY	QUANTITY	BOTANIC NAME	COMMON NAME	PLANTED SIZE
W	2	CEDRUS ATLANTICA GLAUCO PENDULA	WEeping STILts CEDAR	8-10' W.P.
J	6	CERCIDIPHYLLUM JAPONICUM	KATSURKI TREE	2" CAL. BUSH FORM
PP	5	PARROTIA PERSICA	PERSIAN IRONWOOD	2 1/2" CAL. BUSH FORM
H	2	PRUNUS HILLSPIRE	HILLSPIRE CHERRY	3" CAL 5' STD.
Δ	7	QUEDEREA T. WERNERII SUNBURST	HONEY LOCUST	2 1/2" CAL 5' STD.
Δ	15	SUCUBA JAPONICA SEPPATIFOLIA	SUCUBA	# 2 POT
Δ	4	CLEMATIS MONTANA REUBENS	ANEMONE CLEMATIS	# 1 POT
Δ	11	CORTADERIA SELLOANA	PAMPAS GRASS	# 2 POT
Δ	24	COTONEASTER DAMMERI	BEARBBERT COTONEASTER	# 1 POT
Δ	26	COTONEASTER HORIZONTALIS	ROCKSPRAY COTONEASTER	# 2 POT
Δ	80	ERICA CARNEA KING GEORGE	HEATHER	# 1 POT @ 24" O.C.
Δ	45	ERICA CARNEA SPRINKWOOD WHITE	HEATHER	# 1 POT @ 24" O.C.
Δ	80	GENISTA LYDIA	DWARF BROOK	# 1 POT @ 30" O.C.
Δ	155	HEDERA CANADENSIS	NIGERIAN Ivy	# 1 POT @ 30" O.C.
Δ	62	MAHONIA AQUIFOLIUM	OREGON GRAPE	23 @ # 5 POT 39E#2
Δ	35	MAHONIA NERVOSA	LONGLEAF MAHONIA	# 1 POT
Δ	27	OSMANTHUS BELAVSYI	FALSE HOLLY	# 5 POT
Δ	28	RHODODENDRON BLUE DIAMOND	RHODODENDRON	# 5 POT
Δ	63	ROSA MEIDLAND VEG HEINEBLE	RED MEIDLAND ROSE	# 2 POT
Δ	23	TAXUS BACCOLTA FASTIGIATA	IRISH YEW	24-30"

SFL SEASONALS; S-SORTED ANNUALS 200 SPRING BULBS.



DETAIL 2  
3" = 1'6"  
FENCE DETAIL  
SCALE 3/4" = 1'6"



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NO.	DATE	REVISION	DESCRIPTION	DR.
1			ISSUE FOR STREET TREES	JDM

MARK ANKENMAN ARCHITECTS

the dm group  
Landscape Architects & Park Planners

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PATRICIA CAMPBELL MILLS CONSULTANTS LTD.

Suite 200 - 6545 Benner Avenue  
Burnaby, British Columbia V5H 1H3  
(604) 437-9942 FAX: 437-8723

PROJECT:  
MULTIPLE RESIDENTIAL DEVELOPMENT  
MACHINE DR. & HARBWOOD WHITE ROCK B.C.

DRAWING TITLE:  
LANDSCAPE PLAN

DATE: JAN 19/0  
SCALE: 1/8" = 1'0"  
DRAWN: JDM  
DESIGN:  
CHK'D:  
PROJECT NUMBER: 10-06

820 HARBWOOD

7 6 5 4 3 2 1 0 1 2 3



### 1. GENERAL REQUIREMENTS

1. Read all articles in the General Conditions of Contract in conjunction with this section and make all necessary allowances for complying with the clauses set forth therein.
2. Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of soil by the Landscape Contractor constitutes acceptance of the subgrade.
3. All work and superintendence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities.
4. A site visit is required to become familiar with site conditions before bidding and before start of work.
5. Confirm location of all services before proceeding with any work.
6. Notify Landscape Architect of any discrepancies.
7. Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies.
8. Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance.
9. Where new work connects with existing, and where existing work is altered, make good to match existing work.
10. All work to be in compliance with the most recent edition of the B.C. Landscape Standard.
11. Topsoil is to be tested at an independent laboratory. Deliver soil test results to Landscape Architect for review prior to placement.
12. Contact Owners Representative to arrange inspections by the Landscape Architect at the appropriate times. Allow for a minimum of one days notice. The inspection schedule may include, but is not limited to, the following:

Preliminary Meeting/Inspection; Progress Inspections as required; Substantial Completion Inspection; Final Inspection; and Warranty Inspection.

#### 13 Scope of Work:

- Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:
1. Supply and placement of topsoil, preparation of planting, and sodding beds.
  2. Sodding of lawn areas.
  3. Supply of plant material and planting
  4. Supply and placement of bark mulch.
  5. Maintenance of planted and sodded areas until accepted by Owner.
- Other work as noted below:

### 2. MATERIALS

1. Topsoil: Conform to the B.C. Landscape Standard requirements; refer TABLE 1 below.

PROPERTIES OF TOPSOIL	APPLICATION		
	LOW TRAFFIC LAWN AREAS	HIGH TRAFFIC LAWN AREAS OR DISPARATED	PLANTING AREAS PLANTERS SHRUB AND GROUNDCOVER AREAS
TEXTURE			
Particle Size Classes by the Canadian System of Soil Classification, shown as percent of Dry Weight			
Mineral Fraction (%)			
Gravel — greater than 2 mm and less than 75 mm	0-10	0	0
Sand — greater than 0.05 mm and less than 2 mm	50-70	80-90	50-70
Silt — greater than 0.002 mm and less than 0.05 mm	10-30	5-20	10-30
Clay — less than 0.002 mm	7-20	2-5	7-20
ACIDITY (pH)	6.0-6.5	6.0-6.5	5.0-6.0
DRAINAGE			
Minimum saturated hydraulic conductivity (cm/hr) in place	2.0	7.0	2.0
ORGANIC CONTENT			
Percent of Dry Weight (%)	5-10	3.5	25-30

2. Fertilizer: An organic and/or inorganic compound containing Nitrogen (N), Phosphate (P), and Potash (soluble K) in proportions required by soil test.
3. Lime: Ground agricultural limestone. Meet requirements of the "B.C. Landscape Standard".
4. Peat: Shredded horticultural peatmoss to meet requirements of the "B.C. Landscape Standard".
5. Sand: Clean, washed quarry sand to meet requirements of "B.C. Landscape Standard".
6. Water: potable
7. Bark Mulch: Course grade Fir/Hemlock bark mulch to meet requirements of the "B.C. Landscape Standard".
8. Herbicides and Pesticides: If used must conform to all federal, provincial and local statutes. Appliers must hold current licences issued by the appropriate authorities in the area.
9. Filter Fabric: A non biodegradable blanket or other filtering membrane that will allow the passage of water but not fine soil particles. (Such as PROPEX NON WOVEN 4703 or equal approved by the Landscape Architect.)

10. Drain Rock: Clean, round, inert and durable, and have a maximum size of 19 mm and shall contain no material smaller than 10 mm
11. Plant Material: To the requirements of the "B.C. Landscape Standard".
12. Pressure Treated Lumber: To be treated to 40 lbs. per ft<sup>3</sup> (180 gm/02 m<sup>3</sup>) of wood for ground contact, and 25 lbs. per ft<sup>3</sup> (110 gm/02 m<sup>3</sup>) for above ground use.

### 3. LANDSCAPE DEVELOPMENT

#### 1. Grades

1. The subgrade shall be prepared to conform to depths specified in Section 3.2.4. Topsoil Supply below. Where planting is indicated close to existing trees, the Landscape Contractor will prepare suitable planting pockets for the material indicated on the planting plan. Shape sub-grade to eliminate free standing water and conform to the site grading and drainage plan.
2. Scarify the entire subgrade immediately prior to topsoiling. Cultivate where vehicular traffic resulted in compaction during the construction processes. Ensure that all planting areas are smoothly contoured after light compaction to finished grades.
3. All finish grades must eliminate standing water and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum gradient defined by the "B.C. Landscape Standard".

#### 2. Topsoil Supply:

1. Topsoil testing: submit representative sample of soil proposed for use to an independent laboratory. Test results to include:
  1. Physical properties: % content of gravel, sand, silt, clay and organics.
  2. Acidity PH and quantities of lime required to bring within specified range.
  3. Nutrient levels of principle and trace elements and recommended fertilizer.
 Submit results of tests to Landscape Architect prior to placement.
2. Supply all topsoil required for the performance of the Contract. Topsoil shall be as defined in Section 2.1. Topsoil. No topsoil shall be loaded, transported or spread when it is so wet that its structure is likely to be damaged.
3. The finished grades shall conform to the elevations shown on landscape and site plans. All topsoil applied shall conform in slope to the approved sub-grade.
4. The minimum depth of topsoil placed and compacted shall be as follows:
  1. Sodded lawn ..... 6" (15 cm)
  2. Mass planted shrubs & groundcovers ..... 15" (40 cm)
  3. Tree & large shrub pits 12" (30 cm) on sides and bottom of root ball

#### 3. Lawn Areas - Sodding

1. General: Treat all areas defined as lawn areas on the landscape plan between all property lines of the project including all boulevards to edge of roads and lanes.
2. Topsoil: The topsoil shall be as specified in Section 2.1 Materials. Prior to sodding, request an inspection of the finished grade, and depth and condition of topsoil by the Landscape Architect.
3. Time of Sodding: Sod from April 1 to October 1. Further extensions may be obtained on concurrence of the Landscape Architect.
4. Sod Supply: All sod must be obtained from a recognized sod supplier.
5. Sod: Local nursery field turf grass crop, #1 Grade consisting of:
  - 50% Kentucky Blue Grass
  - 45% Creeping Red Fescue
  - 5% perennial rye or Red Top
 Other mixtures to be approved by Landscape Architect. Thickness of sod, soil portion must be 1" maximum (2.5 cm).
6. Lime: The lime shall be as defined in Section 2.3 Materials. Apply at rates recommended in required soil test. Mix Lime thoroughly into the top 5" (12 cm) of soil by means of cultivating or rototilling a minimum of two weeks prior to the application of fertilizer.
7. Fertilizer: The fertilizer shall be as defined in Section 2.2 Materials. Apply at rates recommended in the required soil test. Apply with a mechanical spreader.

#### 8. Sodding:

1. Prepare a smooth, firm, even surface for laying sod.
  2. Lay sod with sections closely butted, without overlapping or gaps, smooth and even with adjoining areas and roll lightly.
  3. Water to obtain moisture penetration of 3" to 4" (7 - 10 cm). Continue watering at intervals to maintain sufficient growth. Keep grass cut at height of between 1 1/2" (4 cm) and 2" (5 cm).
  4. Provide adequate protection of sodded areas against damage until the turf has been taken over by owner.
9. Acceptance of Lawn Areas: The turf shall be reasonably well established, with no apparent dead spots or bare spots and shall be reasonably free of weeds. Use herbicides if necessary for weed removal unless other conditions of contract forbid their use. After the lawn has been cut at least twice, areas meeting the conditions above will be taken over by the Owner.

#### 4. Plants and Planting

1. Areas:
  1. Areas to be planted shall be as indicated on the Landscape or Site Plan.
  2. Review layout and preparation of planting beds with Landscape Architect prior to commencement of planting operations.
2. Time of Planting:
  1. Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions, when seasonal conditions are likely to ensure successful adaption of plants to their new location.
3. Standards:
  1. Quality of all trees and shrubs shall be in accordance with the "Guide Specification for Nursery Stock", guide standards set by the Canadian Nursery Trades Association and the "B.C. Landscape Standard".
  2. Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the site climate.
  3. Where both container size and plant size are specified both plant size and container size shall be regarded as minimum sizes.
4. Inspection:
  1. Inspection at the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stock at the site.

5. Availability:
  1. Supply proof of the availability of the specified plant material within 30 days of the award of the Contract.
  2. Substitution of plant material will only be allowed after review and approval by the Landscape Architect.
6. Plant Species & Location:
  1. Plants shall be true to name and of the height, caliper & size of root ball as shown on the landscape/site plan list. Caliper of trees is to be taken 6" (15 cm) above grade.
  2. Plant all specified species in the locations as shown on the landscape drawings. Notify Landscape Architect when rock or underground services are encountered.
  3. Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architect.
7. Topsoil Admixtures:
  1. Peat or sand or other amendment may be added to the planting soil for various plants. Refer to drawing notes and/or test results for instructions.
8. Excavation:
  1. Trees & Large Shrubs: Excavate a tree pit at least twice the volume of the root ball with a minimum depth of 12" (30 cm) under and on all sides of the root ball.
9. Drainage of Planting Holes:
  1. Advise the Landscape Architect where the drainage of planting holes is nonexistent or limited.
10. Planting and Fertilizing Procedures:
  1. Plant all trees and shrubs with the roots placed in their natural growing position. Loosen burlap, when used, around the top of the ball and cut away or fold under. Do not pull burlap from under the ball. Carefully remove containers without injuring the root balls.
  2. Thoroughly tamp topsoil around the root systems in 6" (15 cm) layers during backfilling. Leave no air voids. When 2/3 of the topsoil has been placed, apply fertilizer as recommended by the required soil test at the specified rates.
  3. Where planting is indicated adjacent to existing trees, use special care to avoid disturbance of the root system or natural grades of such trees.
11. Staking of Trees:
  1. Deciduous Trees over 6' Ht. & Coniferous Trees up to 6'Ht. (1.8m): Use one (1) 2"x2"x5" stained stake, set carefully vertical and away from root ball, tie with 11 gauge wire encased in 1/2" rubber or plastic hose. The stake is to be a minimum of 2" (60 cm) in soil. Leave the tree carefully vertical.
  2. Coniferous Trees over 6' Ht. & Trees 6' + on Wood or Concrete Decks: Guy with three 2 strand wires (11 gauge). The wire must be encased with 1/2" rubber or plastic hose around the tree. Drive the stakes completely below grade. Leave the tree carefully vertical.
  3. For Trees on Decks: Use three deadmen (min. 2"x2"x4") buried to the maximum possible depth instead of stakes. Leave the tree supported on three sides and carefully vertical.
  4. All Trees Larger Than 2" (5 cm) Caliper: Use two, 3" diameter stained wood stakes set carefully vertical on opposite sides of the tree. Set away from root ball. Tie with 1/2" rubber or plastic hose. The stake is to be a minimum of 2'(60 cm) in soil. Stake height above grade is to be 3' (90 cm).
  5. Mark all guywires with visible flagging material.
12. Pruning:
  1. Limit pruning to the minimum necessary to remove dead or injured branches and to compensate for the loss of roots as a result of transplanting operations. Prune so as to preserve the natural character of the plants. Use only clean, sharp tools. Make all cuts clean and cut to the branch collar leaving no stubs. Trace all cuts, bruises, or scars back to living tissue and remove damaged material. Shape affected areas so as not to retain water.
  2. Prune existing trees preserved on site within the bounds of the Landscape Contract to remove dead and/or selective lower branches as indicated on the plan.
13. Mulching:
  1. After planting of an area is complete, place an even layer of coarse grade Douglas Fir or Hemlock bark mulch. The depth of placed bark mulch to be within a range of 2 1/2" - 3" (6.5 - 7.5 cm).
14. Acceptance:
  1. The establishment of all plant material is the responsibility of the Landscape Contractor.
15. Plant Material Maintenance:
  1. Maintain all plant material for 45 days after landscape work has been certified by the Landscape Architect as substantially complete.
  2. Water thoroughly once a week for the first few weeks, and then sufficiently to maintain optimum growing conditions. The owner is responsible to supply water at no extra cost to the Contract.
  3. Use appropriate measures to combat pests or diseases damaging plant material. Refer to Section 2.8. Materials for chemical requirements.
  4. Plant material which fails to survive shall be removed immediately and the hole backfilled with topsoil awaiting replacement.
  5. Repair tree guards, guy wires, and tree wrapping as required.
  6. Maintain areas relatively weed free. (Appearance level 2, "BC Landscape Standard" Chapter 13.)
  7. Maintain mulch to specified depths.
16. Plant Replacement:
  1. Replace for a period of one (1) year after substantial completion, all unsatisfactory trees and shrubs and continue to replace these until the specified number is complete and satisfactory to the Landscape Architect. Such replacement shall be subject to the notification, inspection and approval as specified for the original planting, and shall not constitute an extra to the Contract.
  2. Plants, specified by the Landscape Architect and installed by the Landscape Contractor which are killed through below normal temperatures, that is, below the average of the extreme minimum temperatures officially recorded in the area concerned, in the last 10 years, will not be replaced without cost of replacement borne by the owner.
  3. The Landscape Contractor may request an inspection during the latter part of the warranty growing season. All plant material showing well developed foliage, healthy growth and bud forming, will then be taken over.
  4. For all plant material, the Landscape Architect reserves the right to extend the Contractor's responsibility for another growing season, if, in his opinion, leaf development and growth is not sufficient to ensure future satisfactory growth.

5. Where the owner is responsible for plant maintenance and has not provided adequate maintenance, the plant replacement section of the contract may be declared void. The Landscape Architect shall determine whether maintenance has been satisfactory.
  6. The Landscape Contractor is responsible to replace any plant material or repair any construction included in the Contract that is damaged or stolen until the landscape report indicates that substantial completion is accomplished.
- #### 5. Landscape on Structures
1. Minimum Topsoil Depths:
    - a) Irrigated lawn ..... 9" (210 mm)
    - b) Lawn without automatic irrigation ..... 12" (300 mm)
    - c) Shrub & ground cover areas ..... 15" (380 mm)
    - e) Trees and specimen shrubs\* ..... 30" (760 mm)
 \* mound soil over columns and edge of slab, verify locations on site.
  2. Filter Cloth:
    1. Refer to Section 2.8. Materials for requirement.
  3. Drain Rock:
    1. Refer to Section 2.9. Materials for requirement.
    2. Install evenly to a minimum depth of 4" (100 mm).
    3. Provide access to roof drains with 12" (300 mm) diameter P.V.C. upstands to meet finish grade. Fill with drain rock.
    4. Advise Landscape Architect where drainage is non existent or limited.
  4. Protection of Waterproof Membrane
    1. Verify that any protection material possibly specified under another contract is complete and acceptable before proceeding with work.

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NO.	DATE	REVISION	DESCRIPTION	DR.

MARK  
ANKENMAN  
ARCHITECTS

the dm group  
Landscape Architects & Park Planners

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PROJECT:  
MULTIPLE  
RESIDENTIAL  
DEVELOPMENT  
MILKING DR. & HAYWOOD  
WHITE ROCK B.C.

### DRAWING TITLE: Landscape Specification

DATE: JAN 17/90	DRAWING NUMBER:
	L-2
	OF 2
PROJECT NUMBER: 90-06	



**Proposed apts  
 for drina construction  
 White rock, B.C.**

title  
 SITE PLAN  
 PARKING  
 P.B.G., VENTILATION

scale AS NOTED  
 date 7.25.1990  
 drawn P.L. checked M.L.

job no.  
 sheet no. M-1  
 consultant

**M. LIS ASSOCIATES LTD.**  
 MECHANICAL ENGINEERS  
 12669 4th AVENUE  
 SURREY  
 V4A 1H5 B.C.  
 531-4476

July 17 1990  
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**Redacted S. 15(1)**

**SECTION 1510 MECHANICAL SPECIFICATIONS**  
 General  
 1.1 DRAWINGS ARE DIAGNOSTIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT. FOR ALL MECHANICAL WORK, SEE ARCHITECTURAL DRAWINGS FOR DETAILS AND LOCATIONS OF FIXTURES AND EQUIPMENT.  
 1.2 CODES, PERMITS, CONNECTION FEES  
 1.3 INSULATION  
 1.4 RESPONSIBILITY  
 1.5 WARRANTIES  
 1.6 RECORD DRAWINGS  
**QUALITY ASSURANCE**  
 2.1 MATERIALS  
 2.2 ALTERNATIVES  
**EXERCISES**  
 3.1 ACCESSIBILITY  
 3.2 CUTTING AND PATCHING  
 3.3 COORDINATION WITH OTHER TRADES  
 3.4 PROTECTION  
 3.5 FINISHES  
 3.6 PAINTING  
 3.7 TESTS

**SECTION 2260 WATER DISTRIBUTION**  
 GENERAL  
 1.1 DESCRIPTION  
 1.2 PRODUCTS  
 2.1 FITTINGS  
 2.2 METERS  
**EXERCISES**  
 3.1 BACKFILL  
 3.2 METER  
 3.3 HANDER SPACING  
 3.4 PRESSURE GAUGES  
 3.5 VENT FLASHINGS  
 3.6 WATER HAMMER ARRESTOR  
 3.7 NOISE BINS  
 3.8 BACKWATER VALVE  
 3.9 ROOF DRAINAGE  
**EXERCISES**  
 4.1 WATER MAINS  
 4.2 WATER MAINS  
 4.3 WATER MAINS  
 4.4 WATER MAINS

**SECTION 2270 SEWERAGE AND DRAINAGE**  
 GENERAL  
 1.1 DESCRIPTION  
 1.2 PRODUCTS  
 2.1 FITTINGS  
 2.2 METERS  
 2.3 WATER HAMMER ARRESTOR  
 2.4 NOISE BINS  
 2.5 BACKWATER VALVE  
 2.6 ROOF DRAINAGE  
**EXERCISES**  
 3.1 WATER MAINS  
 3.2 WATER MAINS  
 3.3 WATER MAINS  
 3.4 WATER MAINS

**SECTION 2280 PLUMBING FIXTURES AND TRIM**  
 GENERAL  
 1.1 DESCRIPTION  
 1.2 QUALITY ASSURANCE  
 2.1 PRODUCTS  
 2.2 WATER CLOSURES  
 2.3 WATER CLOSURES  
 2.4 WATER CLOSURES  
 2.5 WATER CLOSURES

**SECTION 2290 NOISE VIBRATION**  
 GENERAL  
 1.1 DESCRIPTION  
 1.2 QUALITY ASSURANCE  
**EXERCISES**  
 2.1 ACoustic INSULATION  
 2.2 SPRING ISOLATORS  
**EXERCISES**  
 3.1 ACoustic INSULATION  
 3.2 SPRING ISOLATORS

**SECTION 2300 INSULATION**  
 GENERAL  
 1.1 DESCRIPTION  
 1.2 QUALITY ASSURANCE  
**EXERCISES**  
 2.1 ACoustic INSULATION  
 2.2 SPRING ISOLATORS  
**EXERCISES**  
 3.1 ACoustic INSULATION  
 3.2 SPRING ISOLATORS

**SECTION 2310 PLUMBING**  
 GENERAL  
 1.1 DESCRIPTION  
 1.2 QUALITY ASSURANCE  
 1.3 FINISHES  
**EXERCISES**  
 2.1 WATER MAINS  
 2.2 WATER MAINS  
 2.3 WATER MAINS  
 2.4 WATER MAINS

**SECTION 2320 WATER DISTRIBUTION**  
 GENERAL  
 1.1 DESCRIPTION  
 1.2 PRODUCTS  
 2.1 FITTINGS  
 2.2 METERS  
**EXERCISES**  
 3.1 BACKFILL  
 3.2 METER  
 3.3 HANDER SPACING  
 3.4 PRESSURE GAUGES  
 3.5 VENT FLASHINGS  
 3.6 WATER HAMMER ARRESTOR  
 3.7 NOISE BINS  
 3.8 BACKWATER VALVE  
 3.9 ROOF DRAINAGE

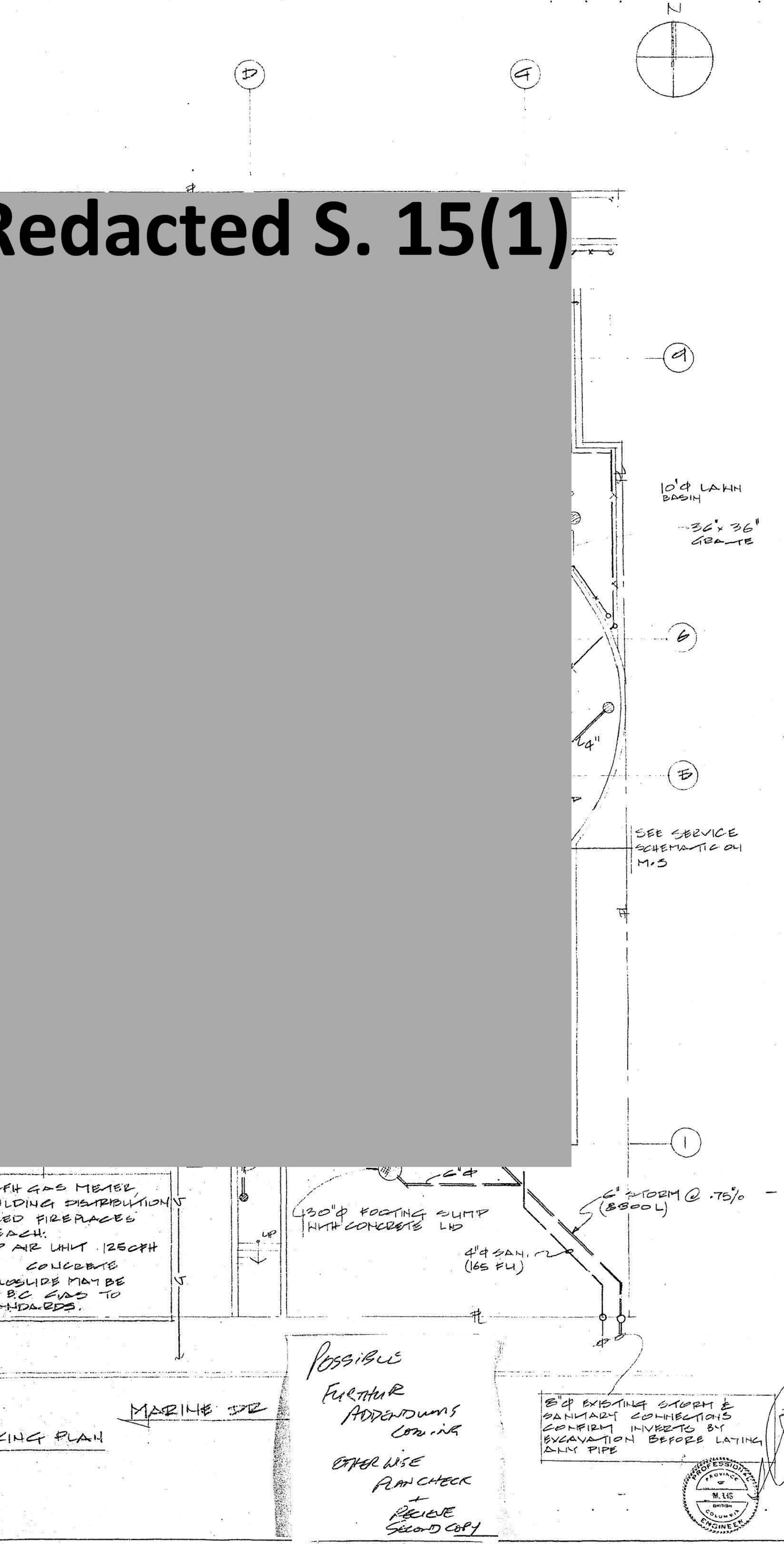
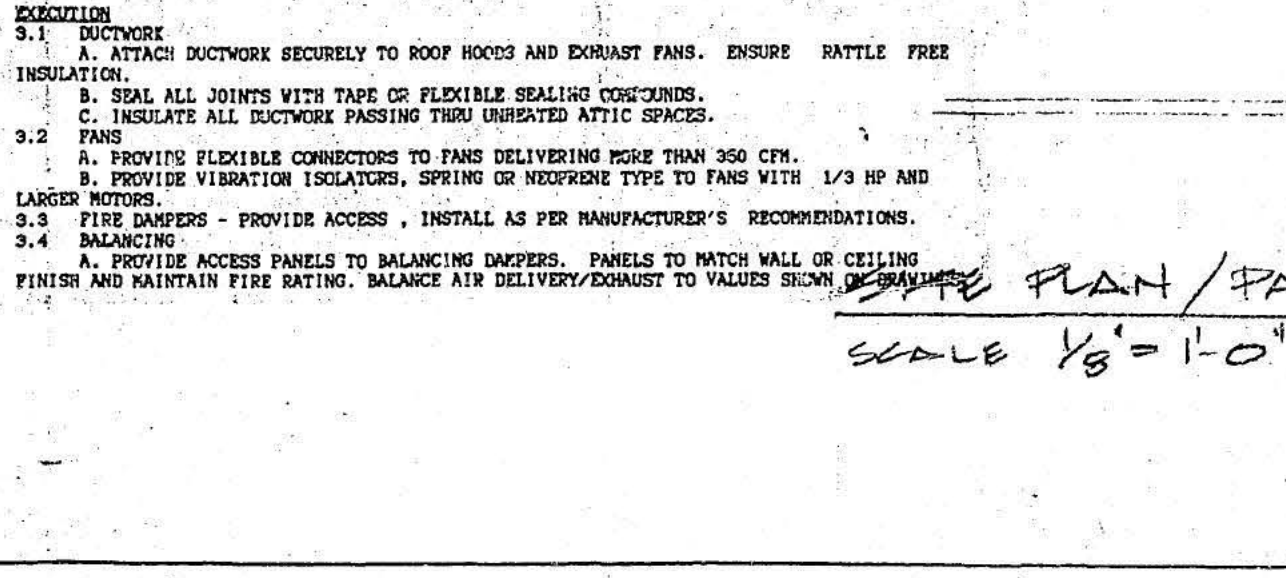
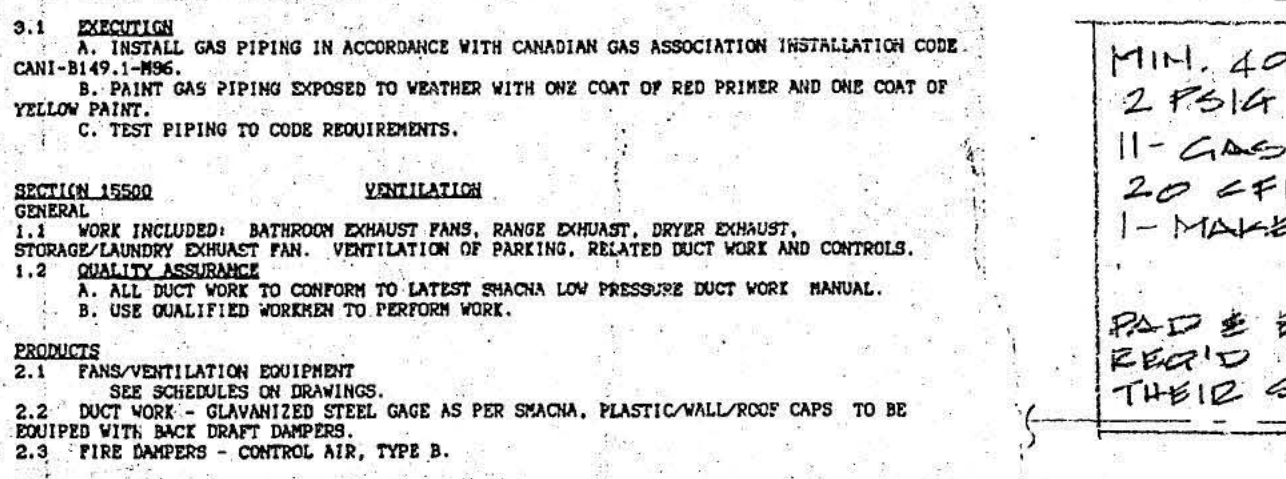
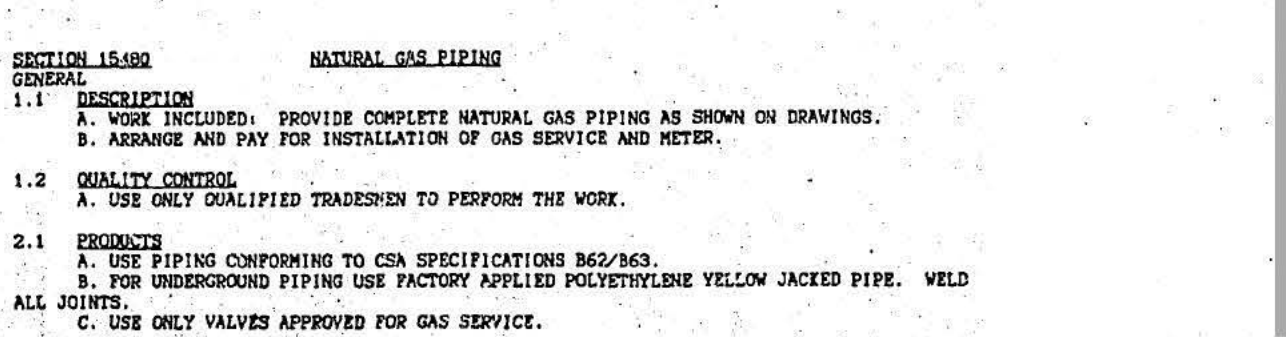
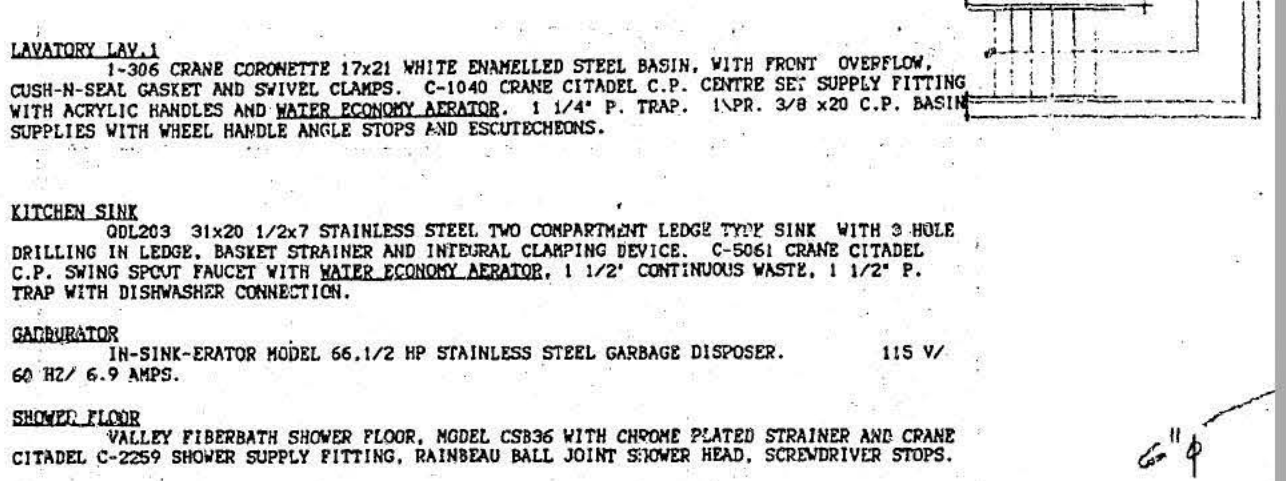
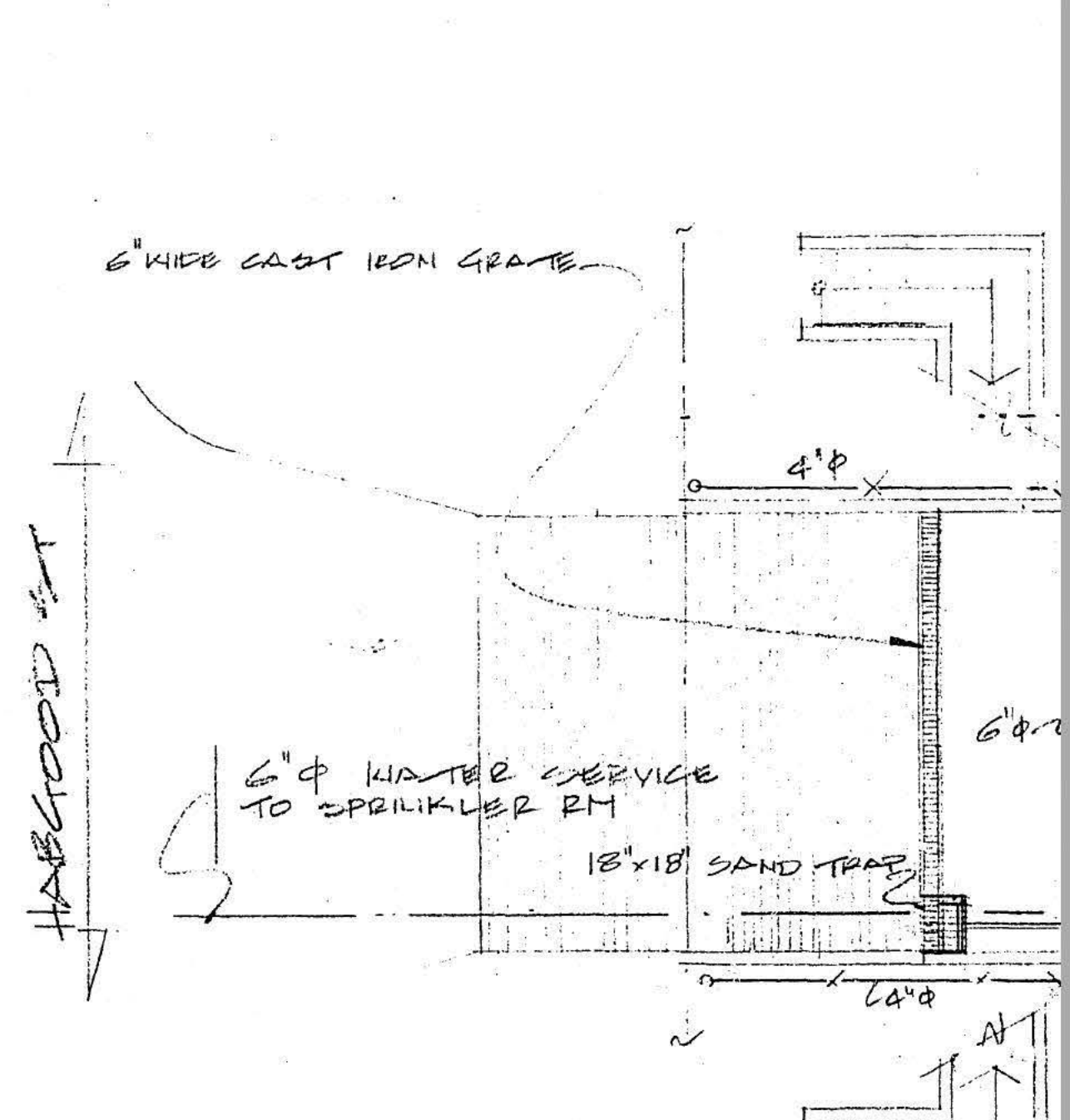
**SECTION 2330 SEWERAGE AND DRAINAGE**  
 GENERAL  
 1.1 DESCRIPTION  
 1.2 PRODUCTS  
 2.1 FITTINGS  
 2.2 METERS  
 2.3 WATER HAMMER ARRESTOR  
 2.4 NOISE BINS  
 2.5 BACKWATER VALVE  
 2.6 ROOF DRAINAGE  
**EXERCISES**  
 3.1 WATER MAINS  
 3.2 WATER MAINS  
 3.3 WATER MAINS  
 3.4 WATER MAINS

**SECTION 2340 PLUMBING FIXTURES AND TRIM**  
 GENERAL  
 1.1 DESCRIPTION  
 1.2 QUALITY ASSURANCE  
 2.1 PRODUCTS  
 2.2 WATER CLOSURES  
 2.3 WATER CLOSURES  
 2.4 WATER CLOSURES  
 2.5 WATER CLOSURES

**SECTION 2350 MECHANICAL SPECIFICATIONS**  
 General  
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 3.3 COORDINATION WITH OTHER TRADES  
 3.4 PROTECTION  
 3.5 FINISHES  
 3.6 PAINTING  
 3.7 TESTS

**LEGEND**

---	SANITARY DRAIN-ABOVE G.R.D.
---	SANITARY DRAIN-BELOW G.R.D.
---	SANITARY VENT
---	STORM DRAIN-ABOVE G.R.D.
---	STORM DRAIN-BELOW G.R.D.
---	DOMESTIC COLD WATER
---	DOMESTIC HOT WATER
---	DOMESTIC RECIRC. LINE
---	HEATING SUPPLY
---	HEATING RETURN
---	GAS PIPING
---	FIRE LINE
---	SPRINKLER PIPING
---	GATE VALVE
---	CHECK VALVE
---	ISOLATING VALVE
---	PRESSURE REDUCING VALVE
---	ROOF DRAIN
---	ROOF FLOOR LEADER
---	RAIN WATER LEADER
---	CLEANOUT
---	FIXTURE UNIT
---	FOOTING DRAIN
---	SUPPLY DUCT SECTION
---	RETURN DUCT SECTION
---	FIRE DAMPER
---	BALANCE DAMPER
---	ACCESS DOOR
---	BUCKET AIR SCALE
---	FLEX. CONNECTION
---	ACoustic DUCT LINING
---	EXHAUST FAN
---	FIRE EXTINGUISHER







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proposed apts  
for ariana construction  
white rock, b.c.

title  
STAIR SECTION  
DETAILS

scale 1/2" = 1'-0"  
date MAR 21/10  
drawn sst. checked

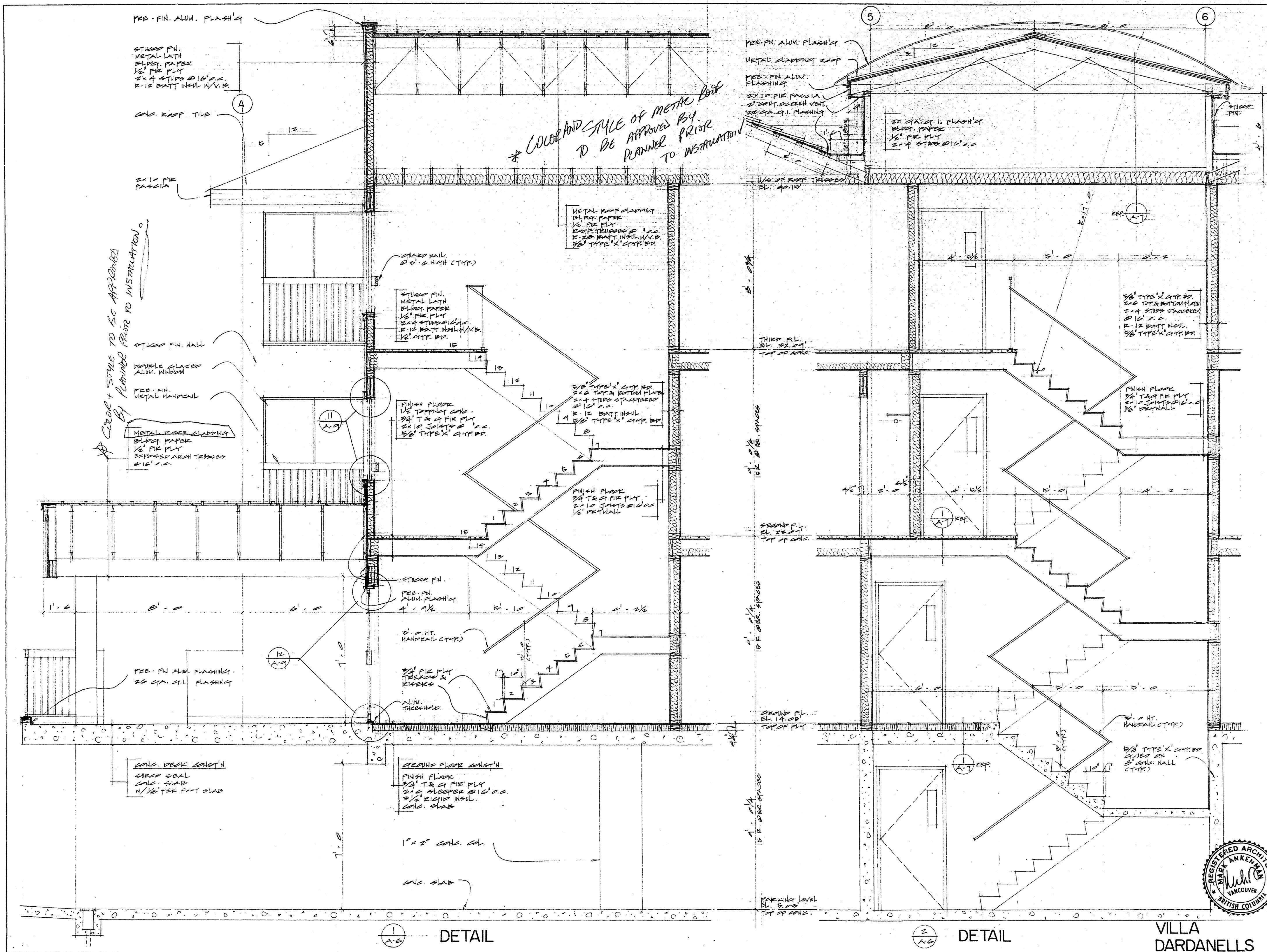
job no. 8935

sheet no. A-7

consultant



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1 A-6 DETAIL

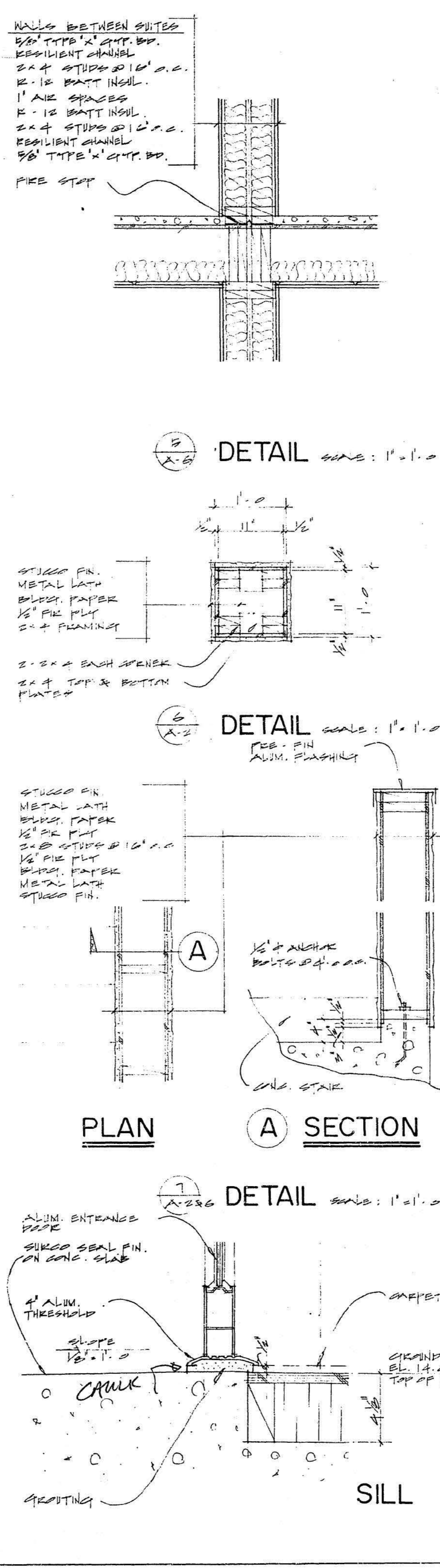
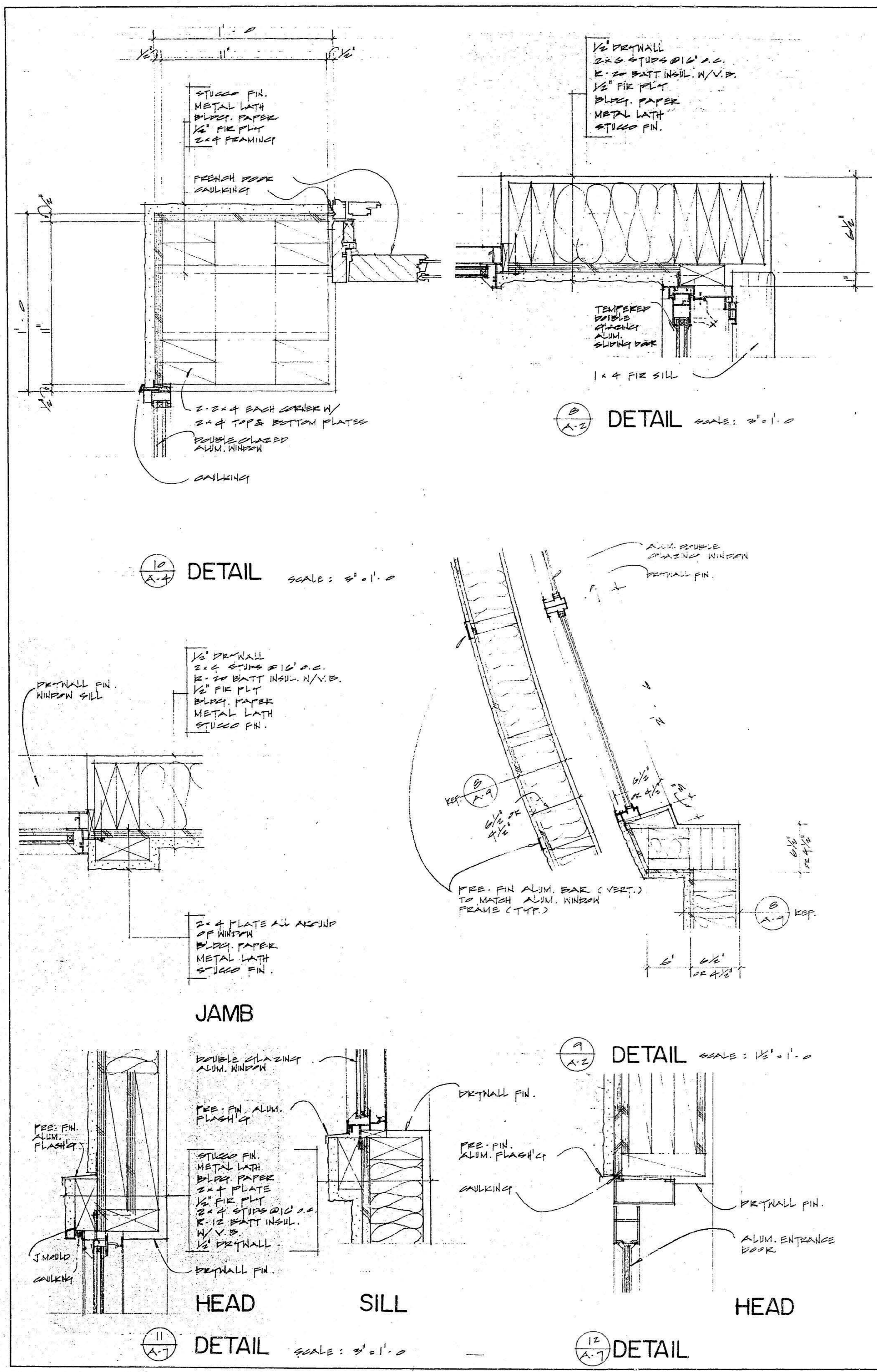
2 A-6 DETAIL

VILLA DARDANELLS









WALL SCHEDULE			
WALL NO	SYMBOL	PLAN	DESCRIPTION
W-1	[Symbol]	[Plan]	<b>CORRIDOR WALL &amp; STAIR CASE WALL</b> (3/4 hr. Fire Rating) 5/8" Type "X" Gypsum Board 2 x 4 Top & Bottom Plates 2 x 4 Studs Staggered @ 16" o.c. R-12 Batt Insulation 5/8" Type "X" Gypsum Board RESILIENT CHANNEL ON ONE SIDE
W-2	[Symbol]	[Plan]	<b>WALLS BETWEEN SUITES</b> (3/4 hr. Fire Rating) 5/8" Type "X" Gypsum Board 2 x 4 Studs @ 16" o.c. R-12 Batt Insulation 1" Air Spaces R-12 Batt Insulation 2 x 4 Studs @ 16" o.c. 5/8" Type "X" Gypsum Board RESILIENT CHANNEL ON BOTH SIDES
W-3	[Symbol]	[Plan]	<b>EXTERIOR WALL</b> Stucco Finish or Ceramic Tile Metal Lath Building Paper 1/2" Firply 2 x 4 or 2 x 6 Studs @ 16" o.c. R-12 or R-20 Batt Insulation w/V.B. 1/2" Drywall
W-4	[Symbol]	[Plan]	<b>INTERIOR WALL</b> 1/2" Drywall 2 x 4 Studs @ 16" o.c. 1/2" Drywall
W-5	[Symbol]	[Plan]	8" Concrete Block Wall 5/8" Type "X" Gypsum Board
W-6	[Symbol]	[Plan]	<b>ELEVATOR WALL</b> 8" Concrete Block 2 x 4 or 2 x 6 Studs @ 16" o.c. R-12 Batt Insulation 5/8" Type "X" Gypsum Board
W-7	[Symbol]	[Plan]	8" Concrete Block
W-8	[Symbol]	[Plan]	<b>BALCONY WALL</b> Ceramic Tile Finish Mortar Metal Lath Building Paper 1/2" Firply 2 x 4 Studs @ 16" o.c. 1/2" Firply Building Paper Metal Lath Mortar Ceramic Tile Finish
W-9	[Symbol]	[Plan]	8" Concrete Wall
W-10	[Symbol]	[Plan]	<b>PLUMBING WALL</b> 1/2" Drywall 2 x 6 Studs @ 16" o.c. 1/2" Drywall



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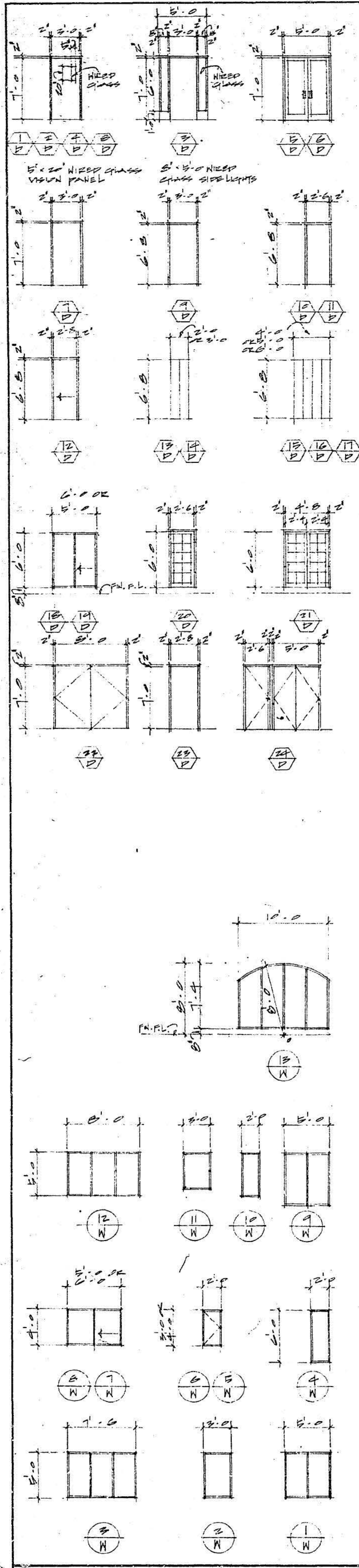
proposed apts  
for arena construction  
White Rock, B.C.

title  
DETAILS &  
WALL SCHEDULE  
scale AS SHOWN  
date MAR. 22/10  
drawn & H. checked  
job no. 8935  
sheet no. A-9  
consultant

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VILLA DARDANELLS





### DOOR SCHEDULE

MK.	SIZE	TYPE	HARDWARE	LOC.	REMARKS
<b>PUBLIC AREA</b>					
D1	3'-7" x 1'-3/4"	H.M. METAL FR. METAL FRAME	1/2 PR. BUTTS LATCH SET OVERHEAD CLOSURE	STAIR W.C.	VISION PANEL W/NEEP GLASS 3/4 HR. U.L.C. RATING
D2	3'-7" x 1'-3/4"	DITTO	1/2 PR. BUTTS OVERHEAD CLOSURE WEATHER STOPPING	PARKING TO VEST.	VISION PANEL W/NEEP GLASS 1/2 HR. U.L.C. RATING
D3	3'-7" x 1'-3/4"	DITTO	1/2 PR. BUTTS OVERHEAD CLOSURE	PARKING TO OFFICE	VISION PANEL W/NEEP GLASS
D4	3'-7" x 1'-3/4"	DITTO	1/2 PR. BUTTS OVERHEAD CLOSURE WEATHER STOPPING	STAIR NO. 2 TO PARK	VISION PANEL W/NEEP GLASS
D5	2'-3" x 7'	ALUM. FR. METAL FRAME	OVERHEAD CLOSURE PUSH/PULL LOCK SET, FLUSH BUTT, WEATHER STOPPING	MAIN ENTRY	TEMPERED DOUBLE GLAZING
D6	2'-3" x 7'	DITTO	OVERHEAD CLOSURE PUSH/PULL LOCK SET, FLUSH BUTT	VEST. TO OFFICE	DITTO
D7	3'-7" x 1'-3/4"	H.M. METAL FR. METAL FRAME	1/2 PR. BUTTS LATCH SET OVERHEAD CLOSURE	MACHINE R. 1	3/4 HR. U.L.C. RATING
D8	3'-7" x 1'-3/4"	DITTO	1/2 PR. BUTTS LATCH SET	STAIR W.C. 2	VISION PANEL W/NEEP GLASS 3/4 HR. U.L.C. RATING
D9	2'-4" x 1'-3/4"	H.M. METAL FR. METAL FRAME	3 PR. BUTTS, DOOR STOP	BASEMENT	
D9S	2'-4" x 1'-3/4"	H.M. METAL FR. METAL FRAME	1/2 PR. BUTTS OVERHEAD CLOSURE	SPRINKLER ROOM	
D10	2'-2" x 7'-1/4"	H.M. METAL FR. METAL FRAME	1/2 PR. BUTTS LATCH SET OVERHEAD CLOSURE	ELECT. RM.	3/4 HR. U.L.C. RATING
<b>TYPICAL SUITES</b>					
D11	3'-0" x 6'-1/8"	S.S. HP. FRAME/HP. FRAME	1/2 PR. BUTTS LATCH SET OVERHEAD CLOSURE	SUITE ENTRY	THRESHOLD, 3/4" MIN. U.L.C. RATING, PEELABLE
D10	2'-0" x 6'-1/8"	H.M. METAL FR. METAL FRAME	1 PR. BUTTS, BEHIND SET, DR. STOP	BEHIND	
D11	2'-0" x 6'-1/8"	DITTO	1 PR. BUTTS, BEHIND SET DR. STOP	BEHIND	
D12	2'-0" x 6'-1/8"	DITTO	1 PR. BUTTS, LATCH SET	LAUNDRY & STORAGE	PEELABLE
D13	2'-0" x 6'-1/8"	DITTO	COMPLETE (2 PANELS)	CLOSET	
D14	3'-0" x 6'-1/8"	DITTO	DITTO	CLOSET	
D15	4'-0" x 6'-1/8"	DITTO	DITTO	CLOSET	
D16	5'-0" x 6'-1/8"	DITTO	DITTO	CLOSET	
D17	6'-0" x 6'-1/8"	DITTO	DITTO	CLOSET	
D18	5'-0" x 6'-0"	ALUM. SLIPSET	COMPLETE W/LOCK SET/INSET SCREEN	MASTER BATH	TEMPERED DOUBLE GLAZING
D19	6'-0" x 6'-0"	DITTO	DITTO	BEHIND TO SUITE	DITTO
D20	2'-0" x 6'-1/8"	FR. METAL FR. METAL FRAME	1/2 PR. BUTTS LATCH SET DOOR STOP, WEATHER STOPPING	BEHIND TO PARK	THRESHOLD
D21	2'-2" x 6'-1/8"	DITTO	3 PR. BUTTS LATCH SET DOOR STOP, WEATHER STOPPING	LIVING TO PARK	

### WINDOW SCHEDULE

MK.	SIZE	TYPE	HARDWARE	REMARKS
N13	10' x 5'	ALUM. FIXED	COMPLETE	DOUBLE GLAZING
N12	8' x 5'	DITTO	DITTO	DITTO
N11	5' x 4'	DITTO	DITTO	DITTO
N10	2' x 5'	DITTO	DITTO	DITTO
N9	5' x 4'	DITTO	DITTO	DITTO
N8	5' x 4'	DITTO	DITTO	DITTO
N7	6' x 4'	DITTO	DITTO	DITTO
N6	2' x 3'	ALUM. PROJECTED	DITTO	DITTO
N5	2' x 4'	DITTO	DITTO	DITTO
N4	2' x 6'	ALUM. FIXED	DITTO	DITTO
N3	7' x 5'	ALUM. CURVED & FIXED	DITTO	DITTO
N2	5' x 5'	ALUM. FIXED	DITTO	DITTO
N1	5' x 5'	ALUM. FIXED	DITTO	DITTO

*Protect Windows in Public Areas and Stairs as per Code 9.7.5.2 9.7.5.4.*

### FINISH AND COLOR SCHEDULE

NO.	ROOM	FLOOR		BASE		DADO		WALLS					CEILING		REMARKS					
		SUBFIN	COL	MAT	COL	MAT	COL	HT	N	COL	E	COL	S	COL		W	COL	MAT	COL	HT
<b>PUBLIC AREA</b>																				
P01	PARKING AREA	1																		
P02	VEST.	1																		
<b>GENERAL SUITE AREA</b>																				
	PORTRK	1	11		22				41	41	41	41								
	BATH		12		21		31													
	UTILITY		12		21															
	BEHIND		11		22															
	KITCHEN		12		21															
	HALL		11		22															
	PINNG		11		22															
	LIVING		11		22															

SUB FLOOR	FINISH FLOOR	BASE	DADO	WALL	CEILING
01 CONC.	11 CARPET 12 SHEET VINYL	21 RUBBER BASE 22 WOOD BASE	31 CERAMIC TILE	41 PAINTED DRYWALL 42 CONC.	51 SPRAY TEX.FIN 52 PAINTED DRYWALL 53 CONC. SLAB



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proposed apts  
for arina construction  
white rock, b.c.

title  
**SCHEDULES**

scale

date MAR 22/10  
drawn by checked

job no. **8935**

sheet no. **A - 10**

consultant

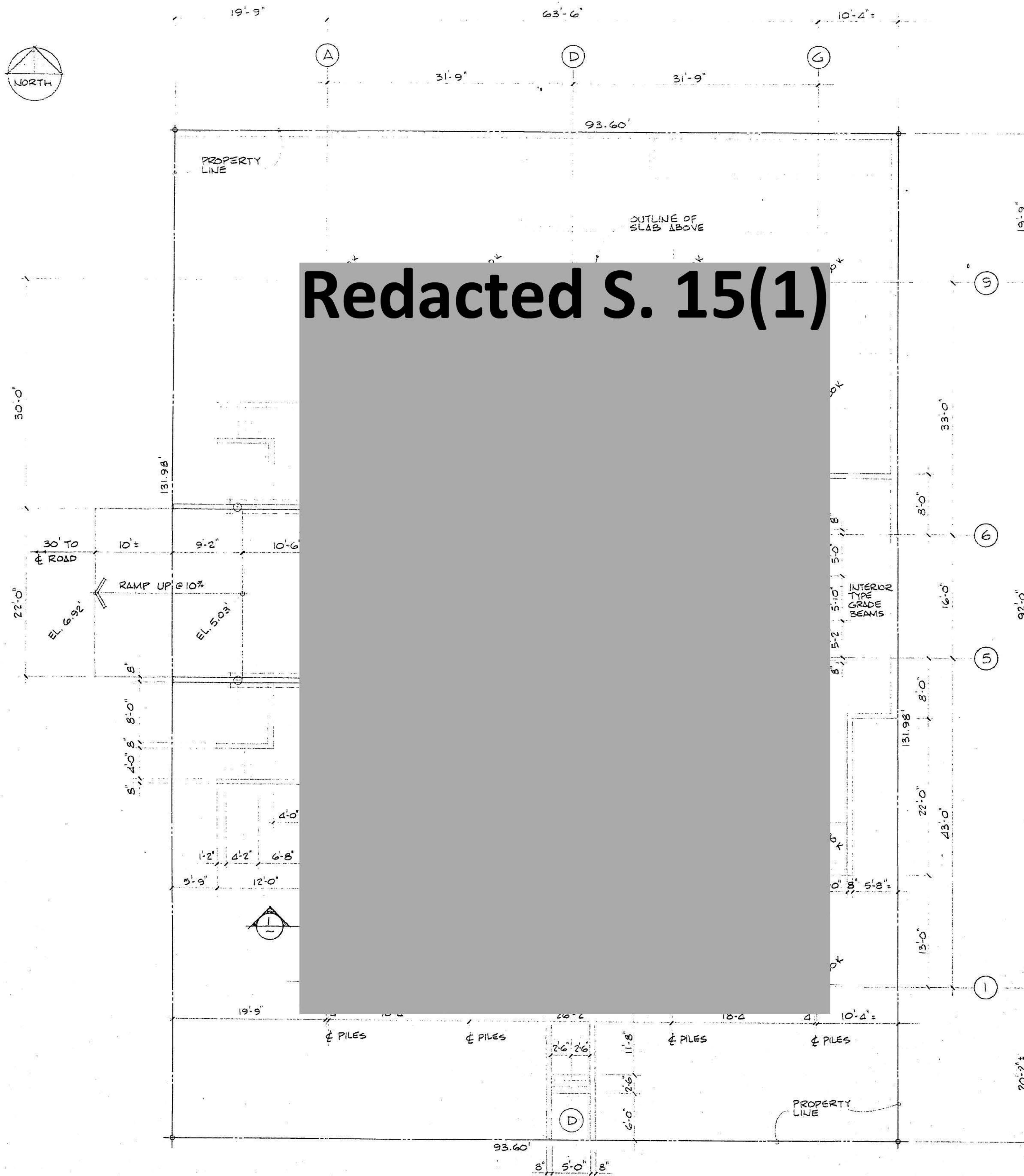
VILLA DARDANELLS

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FOUNDATION PLAN  
1/8" = 1'-0"

Redacted S. 15(1)

CONCRETE NOTES

- Concrete to have minimum compressive strength at 28 days of 3000 psi. (20.7 MPa)
- Maximum aggregate size to be 1 1/4". (30mm)
- Reinforcing steel to be 400 MPa, grade deformed in accordance with latest C.S.A. Specification A23-1. Deformations shall conform to C.S.A. Specification G30-12.
- All breaks in pours shall be directed by engineer to suit field conditions.
- The contractor is to arrange for testing of concrete. A copy of the report of test results to be submitted to the engineer.
- Maximum slump of concrete to be 75mm. Mechanical vibrators to be used throughout.
- Reinforcing steel and forms to be inspected and approved by the engineer prior to placing of concrete.
- Forms for beam soffits, slabs, and other parts supporting the weight of the concrete shall remain in place until the concrete has reached its specified 28 day strength.
- Reinforcing steel to be supported on suitable supports spaced not more than 4'-0" in either direction, and to be firmly fastened in place before placing is commenced. Clearance as shown on drawings must be maintained.
- Prior to placing concrete all layout and applicable drawings must be examined for location of anchor bolts, inserts and fastenings.
- Reinforcing protection to be as follows, unless noted otherwise on the drawings:  
3" for footings where concrete is deposited against the ground.  
2" for formed surfaces exposed to weather or in contact against the ground.  
1 1/2" for beams and column verticals.  
1" for slab and walls not directly exposed to the ground or weather.
- Splices in reinforcing steel are to be as follows unless noted otherwise:  
Vertical column and wall steel -- 24 0  
All tension splices -- 36 0  
All compression splices -- 24 0  
Slabs on grade and horizontal wall steel -- 36 0
- Stagger all laps in horizontal wall steel -- 36.
- Corner bars are to be provided to match horizontal wall reinforcing.
- Unless otherwise noted, 2.15M bars are to be placed around openings in slabs and walls and shall extend 2" - 0" beyond opening. Put 2.15M verticals in the ends of all walls.
- NOTE: Verify all dimensions with architectural drawings.
- Determine grade and floor elevations from architectural drawings, and set parking structure footings and ceiling to suite (7" - 0" minimum clear headroom from finished parking floor to soffit of ceiling beam).
- Do not backfill walls until concrete has reached its' specified 28 day strength and not before the slab and floor are poured.
- Backfill walls with coarse sand, gravel, or other suitable granular material allowing free drainage of ground water to foundation tile.
- Camber all slabs and slabbands 3mm for each 2400mm of span (1/8" per 8 ft.).
- All unreinforced concrete block walls and partitions to be constructed of block weighing 40 PSF (1.9 KN/m2) or less. Walls to be no higher than 10 ft. (3000mm) without lateral support. Tops and bottoms to be laterally supported.

This structure has been designed in accordance with the B.C. Building Code, 1985 edition.

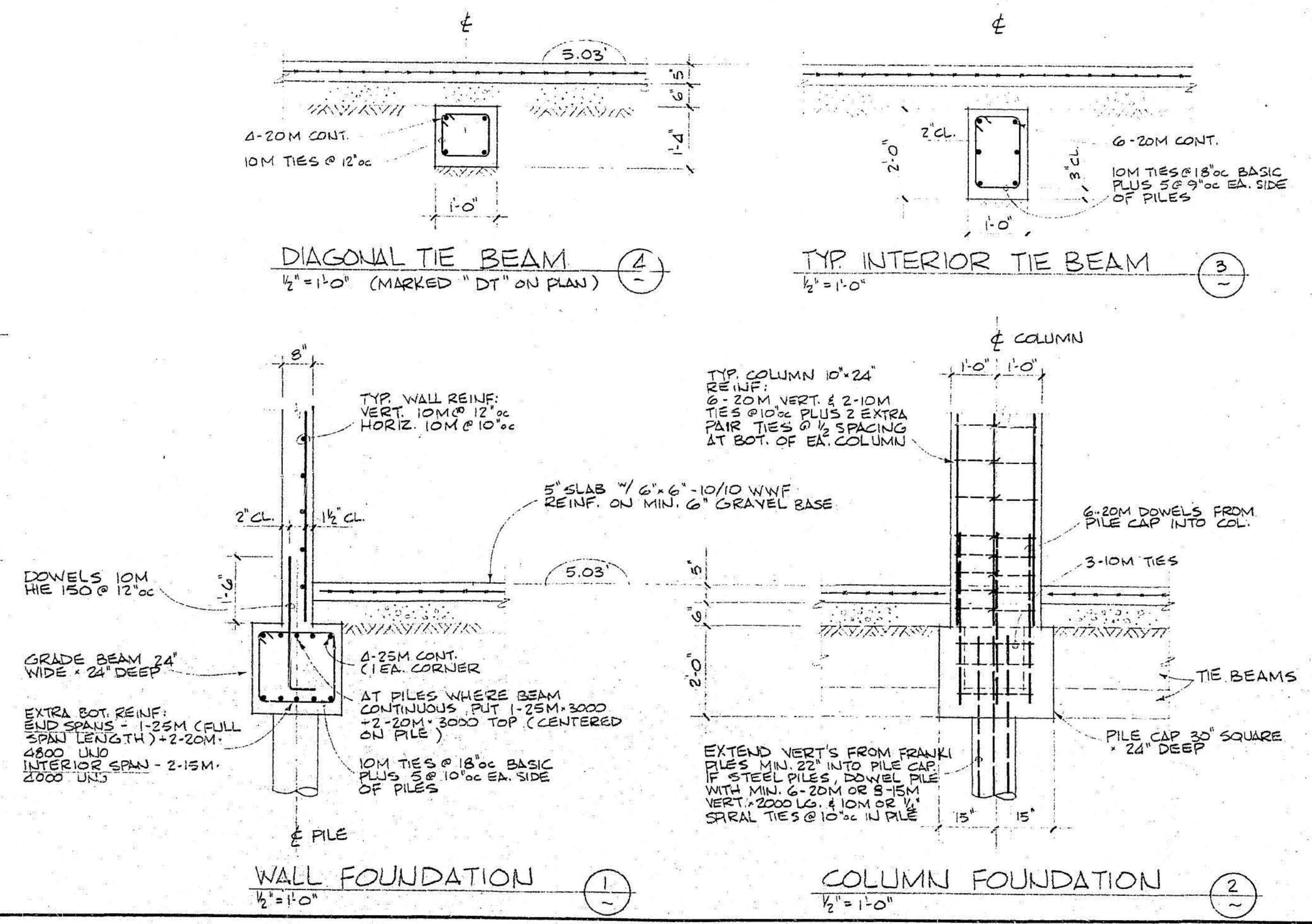
LOADS

Live load per floor	40 psf.
Stairs and exits	100 psf.
Balconies	60 psf.
Landscaped areas (per ft. depth)	120 psf.
Ground Snow Load	44 psf.
Roof Snow Load	35 psf.

Foundations:  
In accordance with recommendations of Hardy BBT Ltd., report #V9-05376 dated March 30, 1990.

PILES

PILES TO BE EITHER FRANKI EXPANDED BASE PILES REINF. W/ A MIN. OF 8-15M VERT. & 1-10M SPIRAL TIES @ 8" MAX. PITCH, OR STEEL PILES. SIZE OF STEEL PILES TO BE DETERMINED BASED ON AVAILABILITY & PRICING. PILE DESIGN TO BE FINALIZED ONCE PRELIMINARY PRICING IS ESTABLISHED IN CONJUNCTION WITH PILING CONTRACTOR'S SOILS CONSULTANT.



NO.	DESCRIPTION	DATE
1	ISSUED FOR B.C. APPLIC. DRAWING	11 APR 90

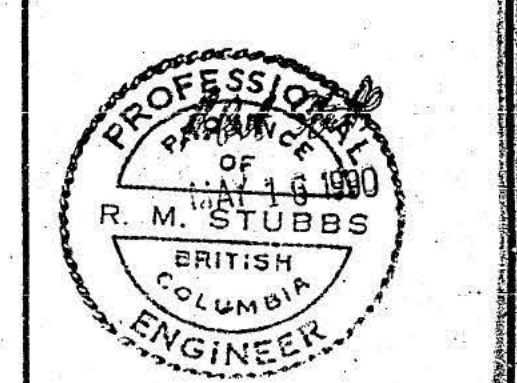
stubbs engineering ltd.  
consulting engineers  
2715 indian fort drive,  
ocean park,  
surrey, b.c. V4A 3L7  
(604) 531-6954

PROJECT:  
11 UNIT APT. FOR  
DRINA CONST.

LOCATION:  
15907 MARINE DR.  
WHITE ROCK, BC

TITLE:  
FOUNDATION  
PLAN & DETAILS

DESIGNED:	DAY	MO.	YR.
DRAWN:	KC	11	APR 90
CHECKED:			
APPROVED:			



JOB No.	DRAWING No.	REV.
90006	51 of 4	







# Redacted S. 15(1)

A  
B  
C  
D  
E  
F  
G

MAIN FLOOR UNIT 'B', MAIN, 2<sup>ND</sup>, 3<sup>RD</sup> FLOOR UNIT 'A'  
SCALE 1/8" = 1'-0"

HOSE RISE  
CROSS FREE  
2" DP  
2" DP

12001 Roof  
SUTURE



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proposed apts  
for drina construction  
white rock, b.c.

title  
PLB'G VENTILATION  
MAIN FLOOR &  
2<sup>ND</sup> 3<sup>RD</sup> FLOOR UNIT 'A'

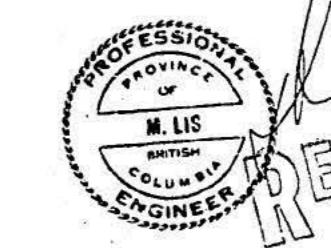
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date 09.05.1990  
drawn M.L. checked M.L.

job no.

sheet no. M-2

consultant

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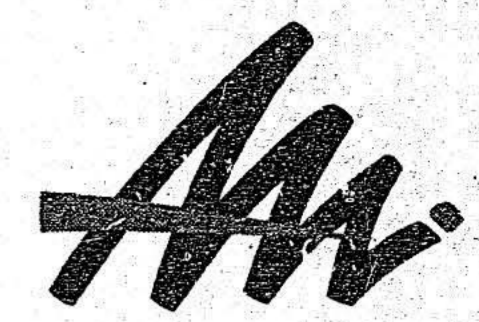
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**Redacted S. 15(1)**

A  
B  
C  
D  
E  
F  
G

SECOND FLOOR - UNIT 'C'  
SCALE 1/4" = 1'-0"

THIRD FLOOR - UNIT 'D'  
SCALE 1/4" = 1'-0"



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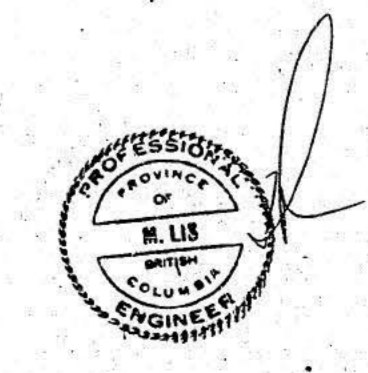
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3RD FLE UNIT 'D'

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drawn checked

job no.

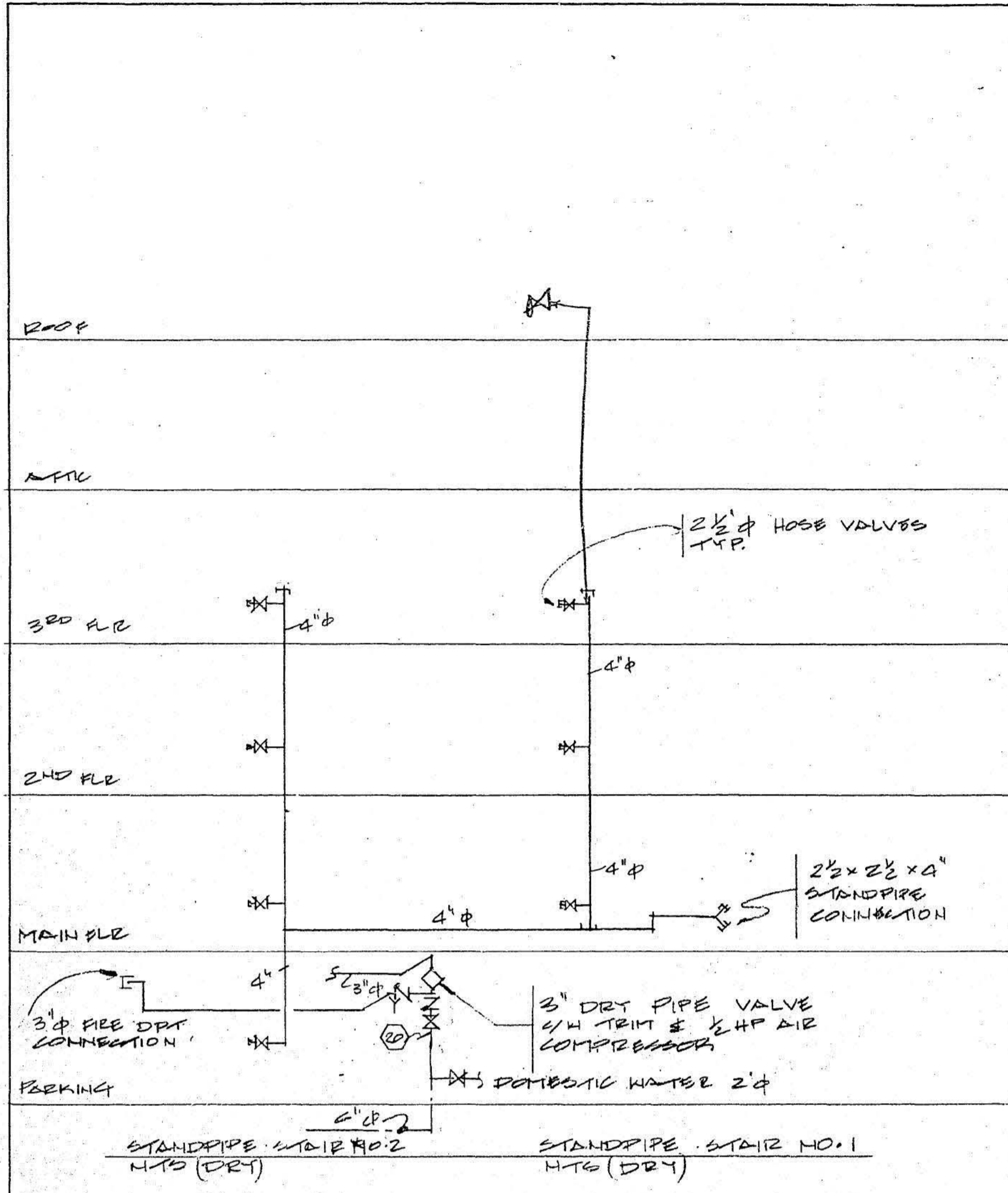
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JUN 16 1990  
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**SECTION 1530 FIRE PROTECTION**  
**GENERAL**  
 1.1 WORK INCLUDED:  
 A. PROVIDE FIRE EXTINGUISHERS AS INDICATED ON DRAWINGS.  
 B. PROVIDE SPRINKLER SYSTEM TO PARKING GARAGE.  
 C. PROVIDE DRY STANDPIPE SYSTEM.  
**PRODUCTS**  
 2.1 FIRE EXTINGUISHERS - 10 LB CHEMICAL TYPE SUITABLE FOR ABC FIRES C/W BRACKETS.  
 2.2 SPRINKLERS - SEE SECTION ISSUES.  
**EXECUTION**  
 2.1 INSTALL FIRE EXTINGUISHERS WHERE INDICATED ON DRAWINGS WITH THE TOP OF EXTINGUISHER NOT MORE THAN 5 FT. ABOVE FLOOR.

**SECTION 1535 DRY STANDPIPE SYSTEM**  
**GENERAL**  
 1.1 DESCRIPTION:  
 A. WORK INCLUDED: PROVIDE COMPLETE DRY STANDPIPE SYSTEM AS SHOWN ON DRAWINGS.  
 B. INSTALL BUILDING SIAMISE CONNECTION.  
**PRODUCTS**  
 2.1 VALVES/DEVICES:  
 A. USE ONLY U.L.C. APPROVED VALVES AND DEVICES.  
 B. PROVIDE BALL DRIPS FOR CHECK VALVES CONNECTED TO PIPES SUBJECT TO FREEZING.  
 2.2 PIPE:  
 A. USE PIPING MATERIALS AS PER NFPA 14 ARTICLE 7.3.  
**EXECUTION**  
 3.0 INSTALLATION:  
 A. INSTALL STANDPIPE SYSTEM IN ACCORDANCE WITH NFPA 14 AND LOCAL FIRE DEPARTMENT REQUIREMENTS.  
 B. PRIOR TO INSTALLATION OF FIRE DEPARTMENT SIAMISE CONNECTION, FLUSH STANDPIPE SYSTEM.

**SECTION 1536 FIRE PROTECTION**  
**GENERAL**  
 1.1 DESCRIPTION:  
 1.1.1 WORK INCLUDED: PROVIDE COMPLETE DRY PIPE SPRINKLER SYSTEM AS SHOWN ON DRAWINGS.  
 1.1.2 SPRINKLER SYSTEM SHALL MEET REQUIREMENTS OF NFPA NO. 13, OCCUPANT HAZARD AND LOCAL FIRE DEPARTMENT.  
**PRODUCTS**  
 2.1 VALVES/DEVICES:  
 2.1.1 USE ONLY U.L.C. APPROVED VALVES AND DEVICES.  
 2.1.2 PROVIDE BALL DRIPS FOR CHECK VALVES CONNECTED TO PIPES SUBJECT TO FREEZING.  
 2.2 PIPE:  
 2.2.1 AS PER NFPA NO. 13, ARTICLE 5.1.1.  
 2.3 SPRINKLER HEADS:  
 2.3.1 USE STANDARD 1/2" UPRIGHT SPRINKLER HEADS RATED AT 135 TO 170 DEG. F.  
**EXECUTION**  
 3.1 BRACING:  
 3.1.1 INSTALL SPRINKLER SYSTEM AND PROVIDE BRACING IN ACCORDANCE WITH NFPA NO. 13 ARTICLE 5.10.3.5.  
 3.1.2 PIPE LENGTHS SHOWN ON DRAWINGS ARE FOR GUIDANCE ONLY. FIELD CHECK ALL DIMENSIONS BEFORE FABRICATION.  
 3.1.3 LOCATE FIRE DEPARTMENT SIAMISE CONNECTION MAX. 150 FT. AWAY FROM NEAREST HYDRANT.  
 3.1.4 TEST SPRINKLER SYSTEM IN ACCORDANCE WITH FIRE DEPARTMENT REQUIREMENTS.

**Redacted S. 15(1)**

DRY PIPE SPRINKLER SYSTEM  
 ORD. HAZARD SRP. I  
 MIN. DENSITY .16 USGPM/FT<sup>2</sup>  
 CALCULATED AREA 2028 FT<sup>2</sup>  
 NO. OF SPRINKLERS CALCULATED 16

PARKING FLOOR PLAN  
 SCALE 1/8" = 1'-0"



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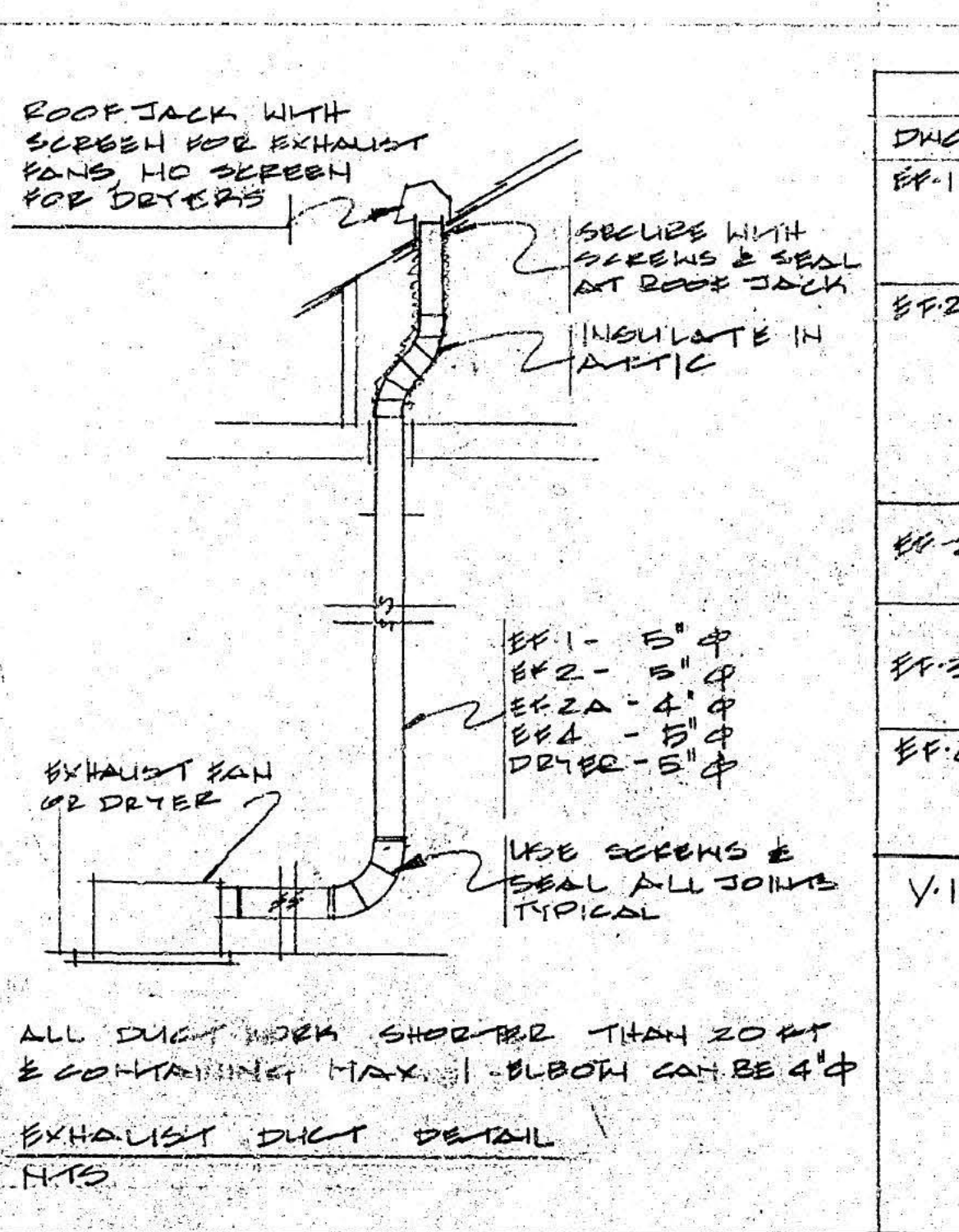
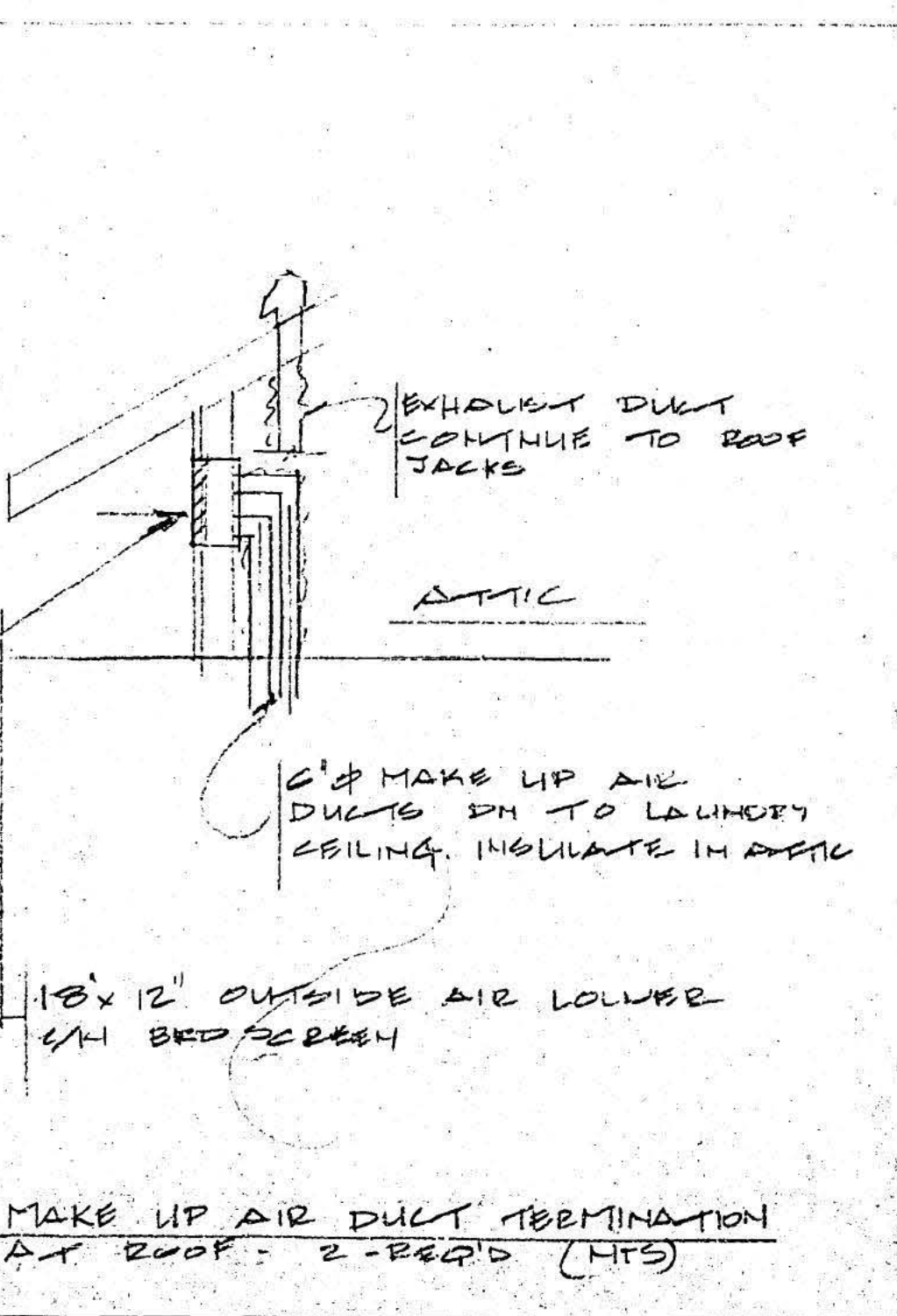
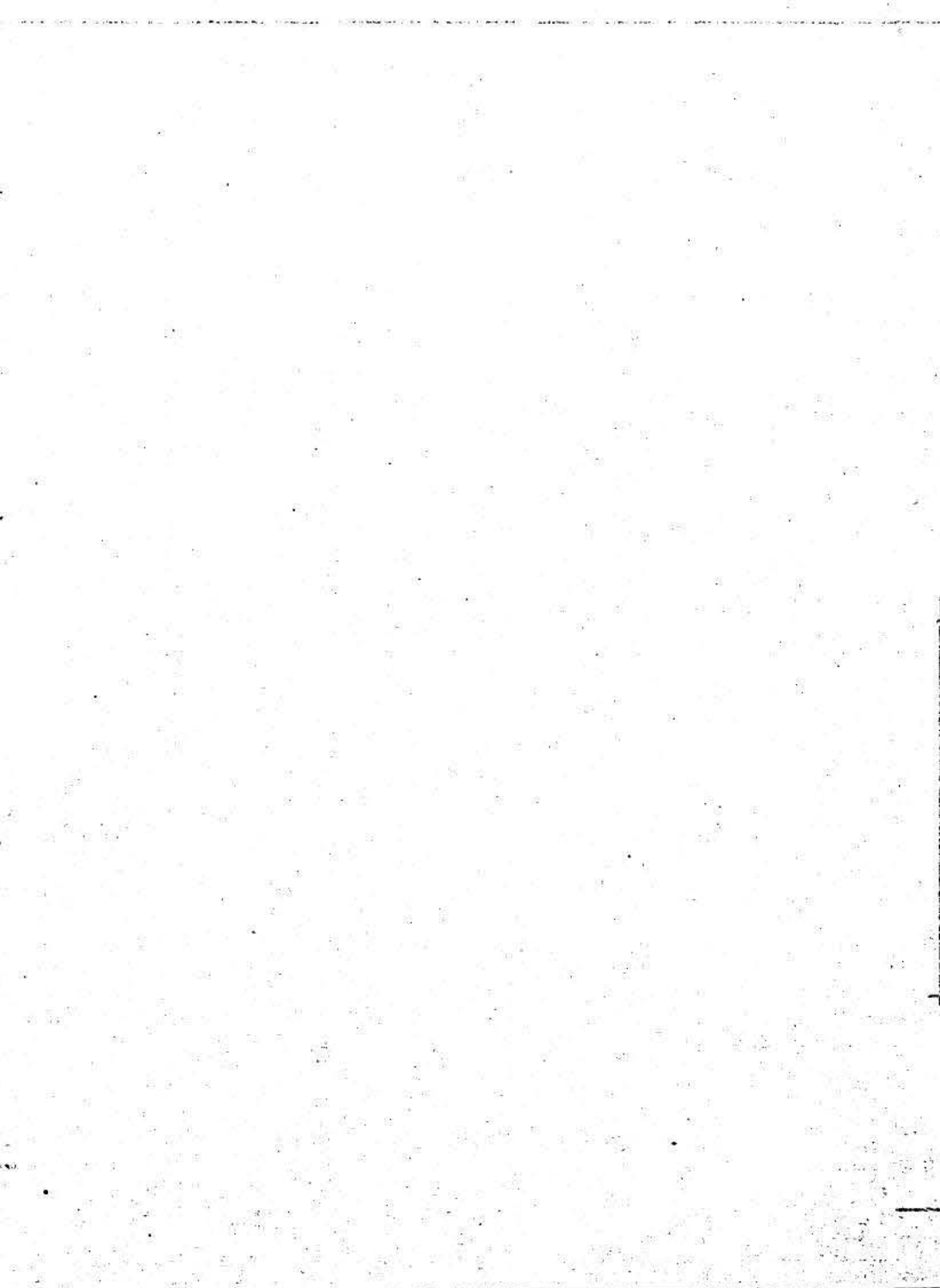
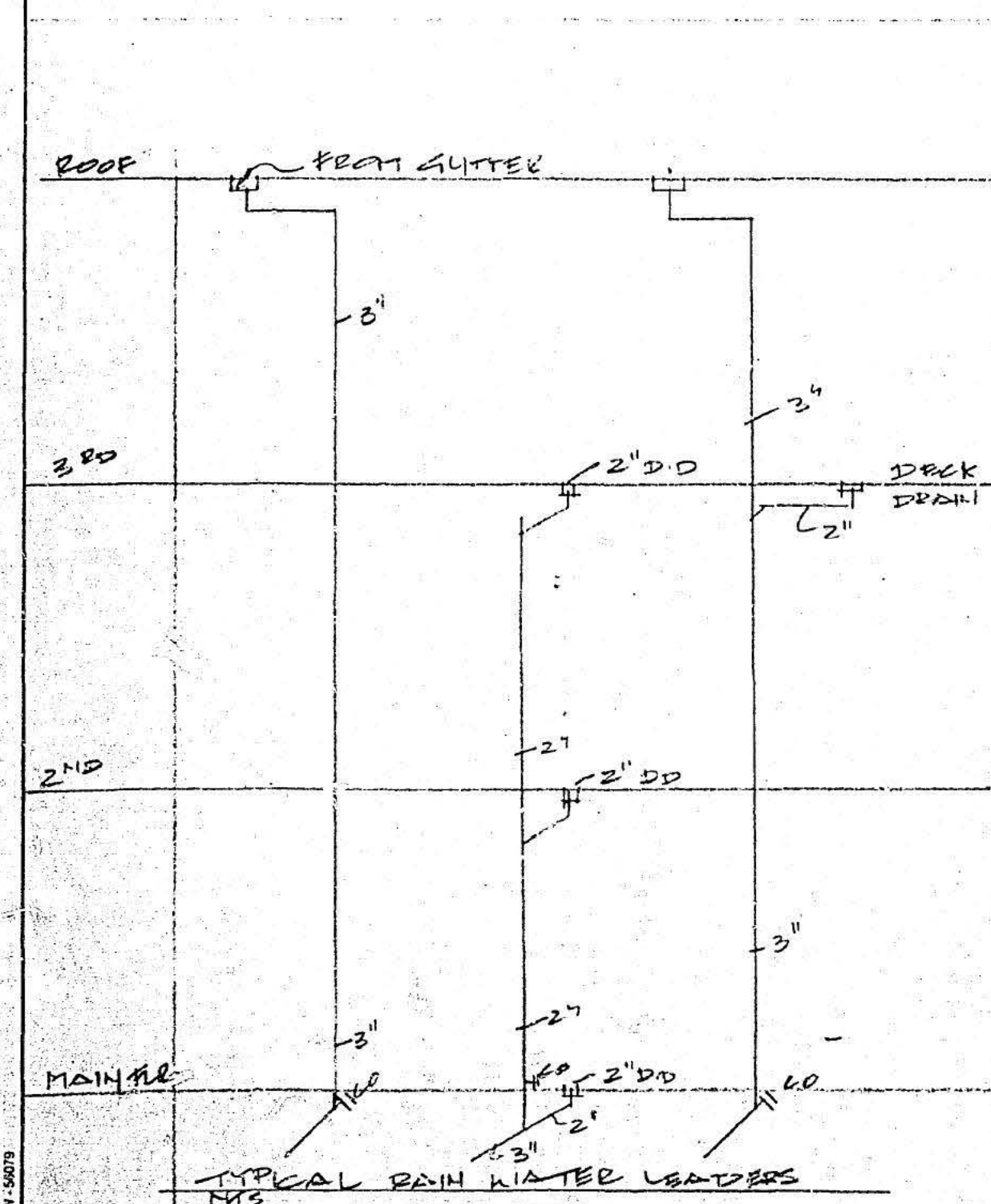
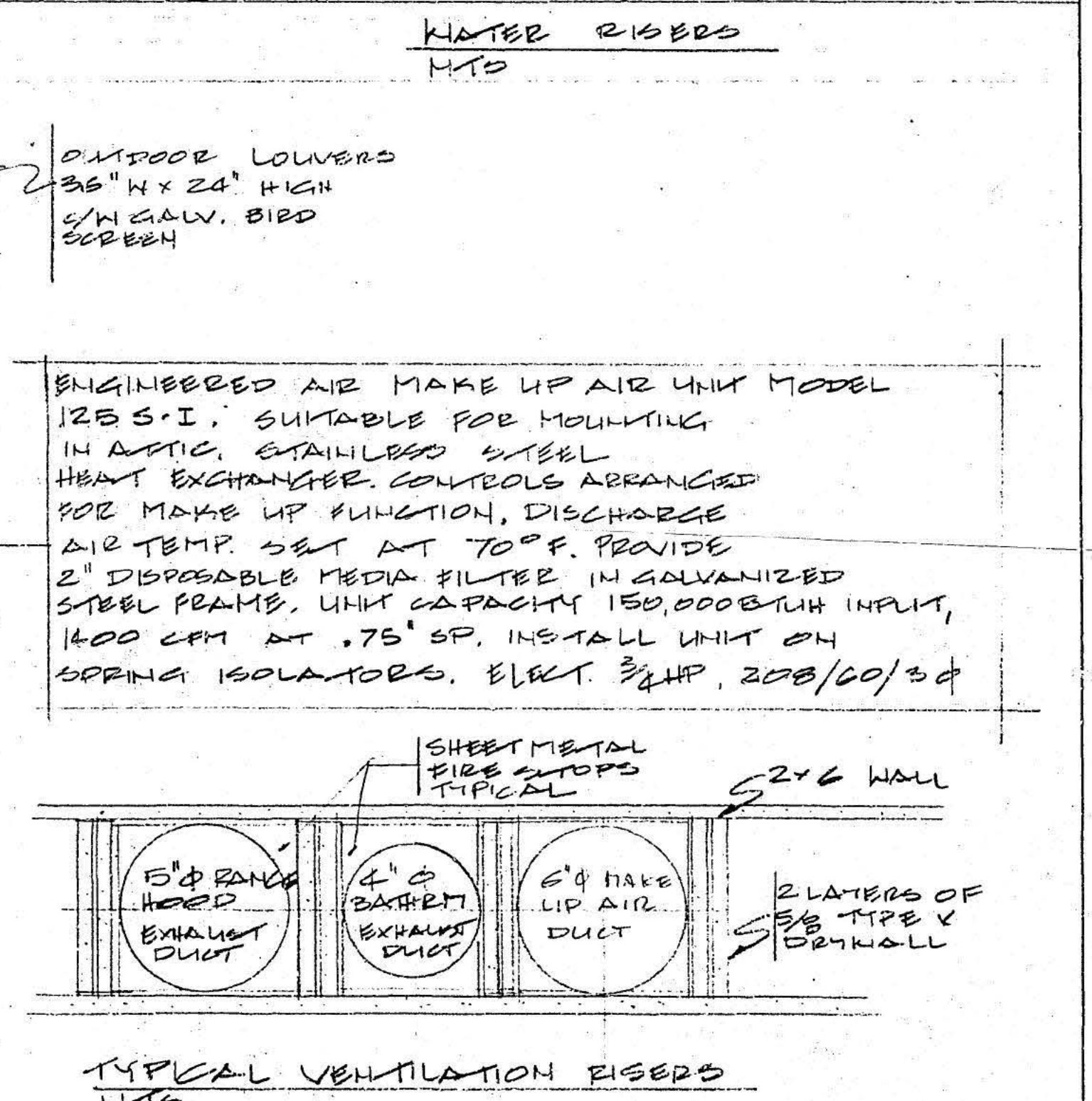
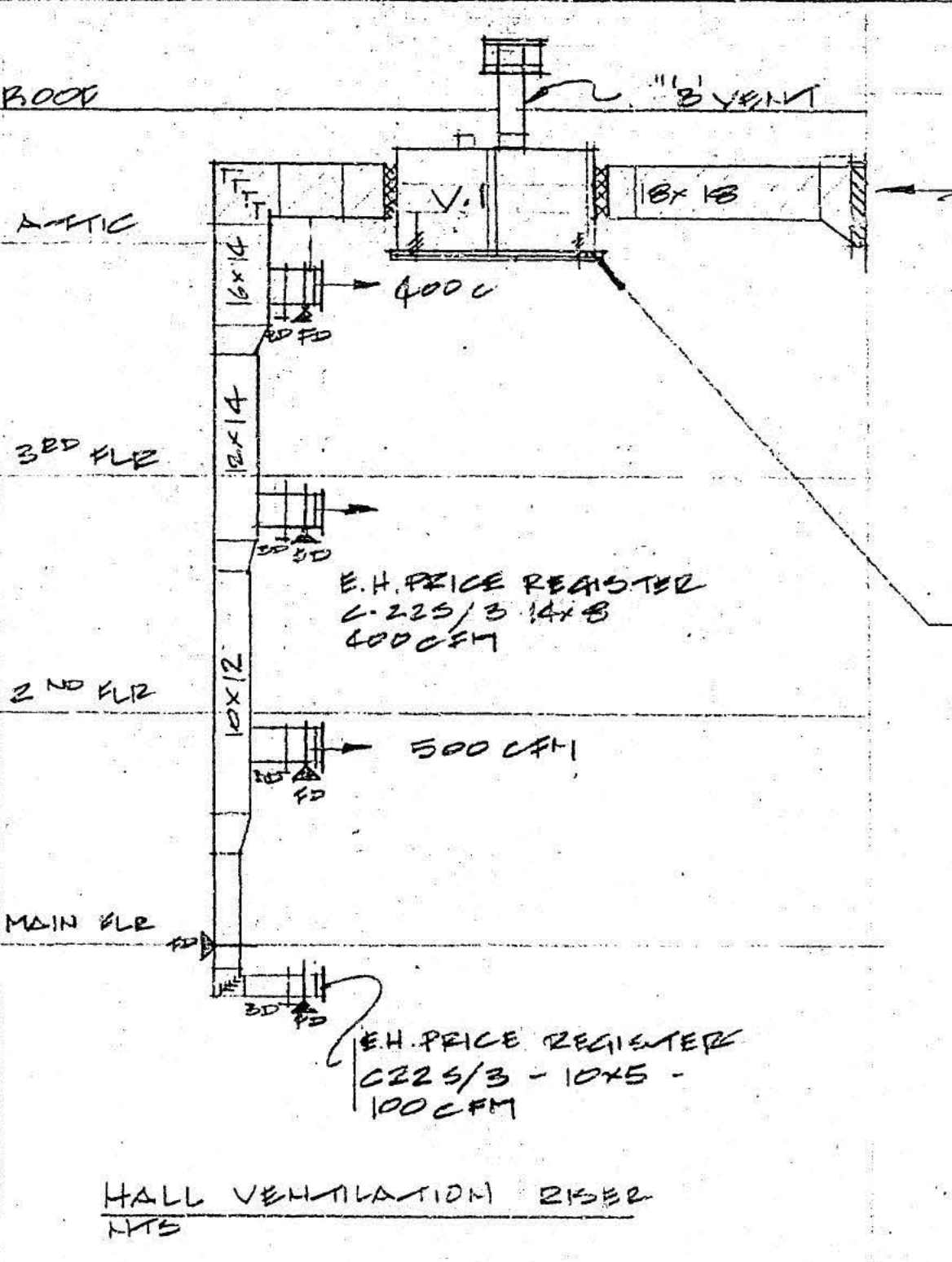
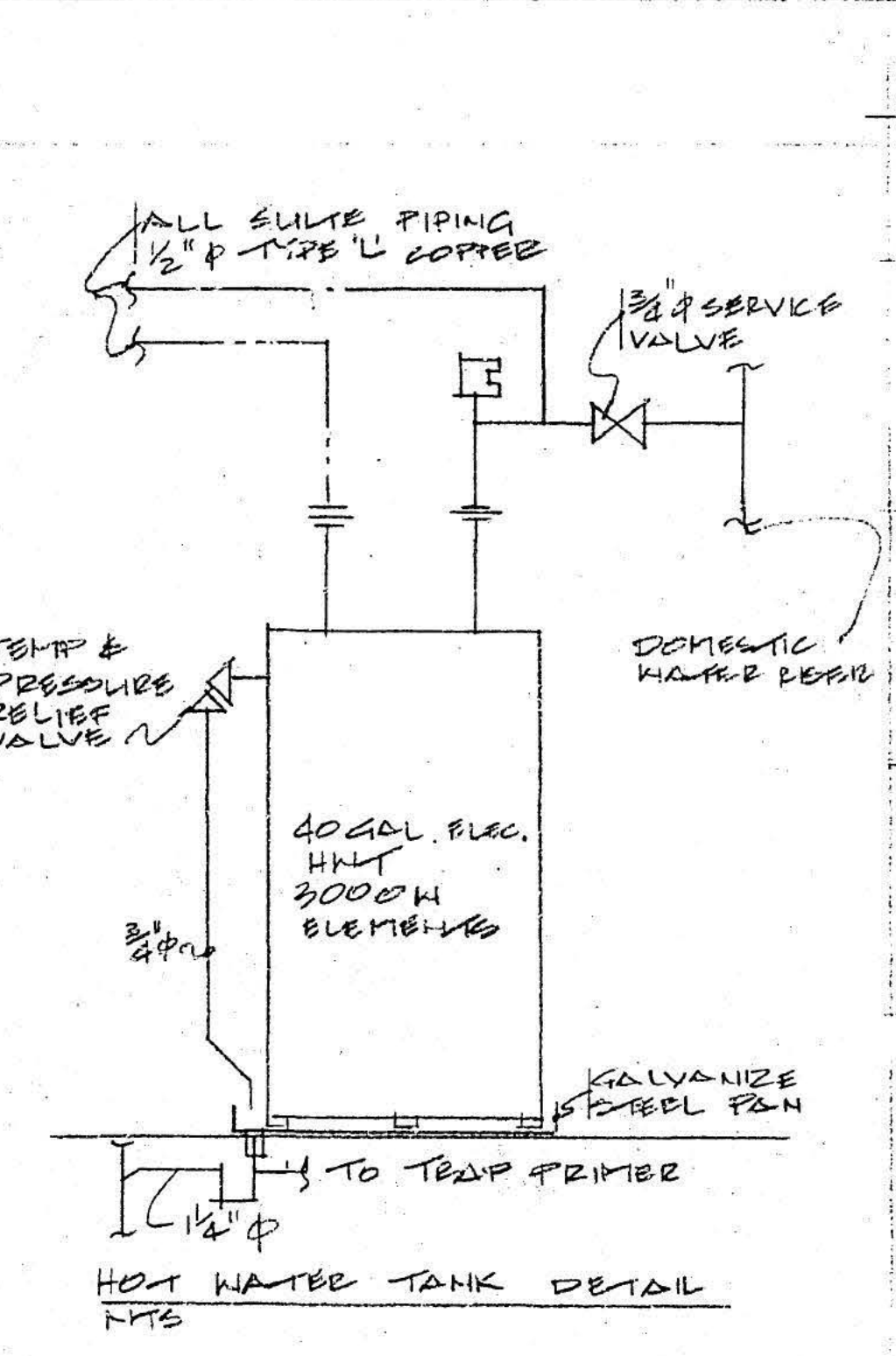
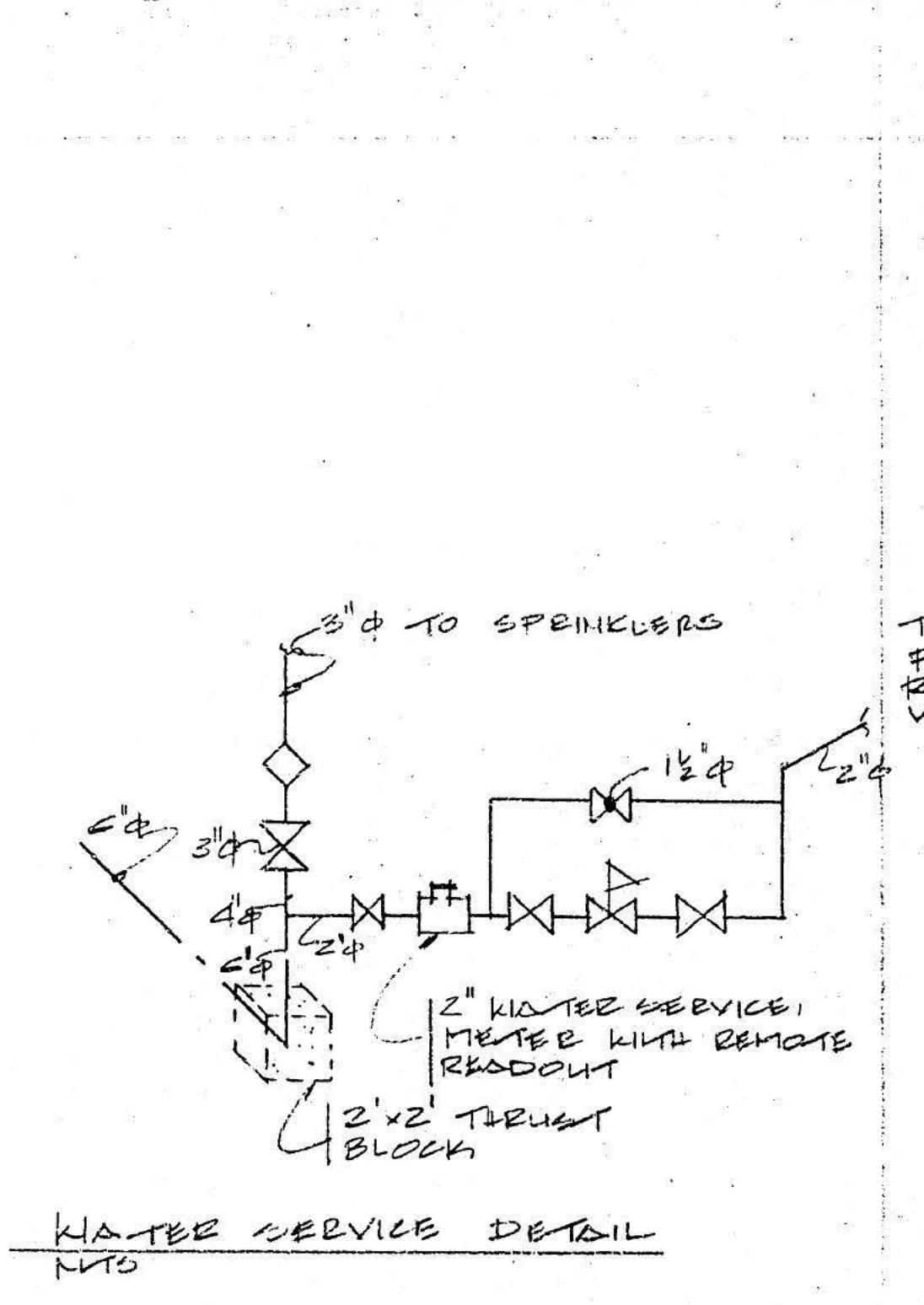
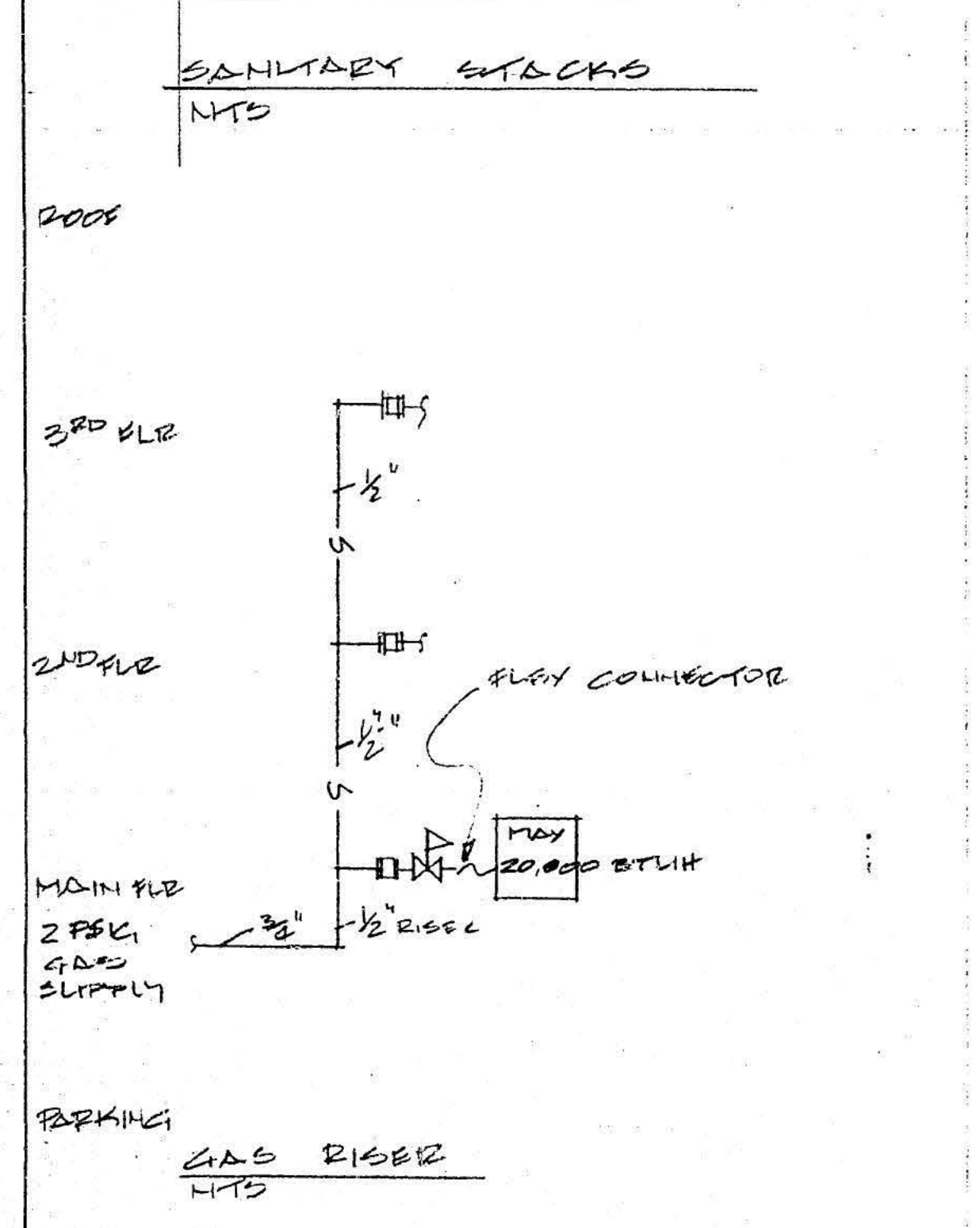
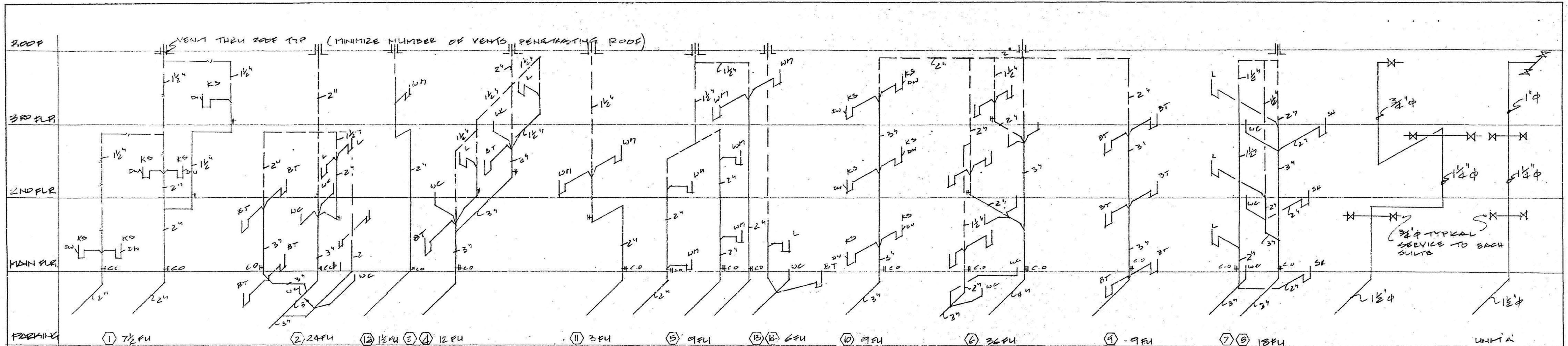
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 PARKING SPRINKLERS & STANDPIPES  
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 date 07.05.1990  
 drawn M.L. checked H.L.  
 job no.  
 sheet no. M-4  
 consultant M.L. ASSOCIATES LTD.

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VENTILATION EQUIPMENT SCHEDULE		
DWG. NO.	DESCRIPTION	ELECTRICAL/CONTROL
EF-1	KITCHEN RANGE EXHAUST FAN MODEL 7000 SERIES - 200CFM C.S. SOLID	110V/60/MANUAL
EF-2	WASHROOM EXHAUST FAN MODEL 360 - MIN. 100 CFM @ .5" SP HUMIDISTAT HONEYWELL MODEL H46 C1000	110V/60/MANUAL WITH OVERRIDE BY DEHUMIDISTAT
EF-2A	WASHROOM EXHAUST FAN MODEL 654 - 80 CFM	110/60/MANUAL
EF-3	PARKING EXHAUST FAN POWERLINE 24 BV 8F - 1/2 HP 4300 CFM @ 1/2" SP/H GUARD	110/60/MANUAL
EF-4	MACHINE ROOM EXHAUST FAN MODEL 363 - 200CFM 1/2" SP	110/60/REVERSE ACTING LINE VOLTAGE THERMOSTAT
V-1	MAKE UP AIR UNIT SEE DETAIL THIS DWG.	208/3/60 - OPERATES CONTINUOUSLY. DUCT THERMOSTAT MAINTAIN SUPPLY AIR TEMPERATURE

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 for ariana construction  
 white rock, b.c.

title: RISERS & DETAILS  
 scale: AS NOTED  
 date: 01.05.1990  
 drawn: checked  
 job no.:  
 sheet no.:  
 consultant: JUN 17 1990  
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# Redacted S. 15(1)

HABGOOD STREET

legal description:  
lots 6, 7 & 8 block  
tp, 1 plan 13334 n.w.

SITE PLAN / PARKING LEVEL  
SCALE: 1/8" = 1'-0"

MARINE DRIVE

## DIVISION 16 ELECTRICAL SPECIFICATIONS

GENERAL: THE GENERAL CONDITIONS, SUPPLEMENTS, INSTRUCTIONS TO TENDERS, CONTRACT DOCUMENTS AND GENERAL REQUIREMENTS OF DIVISION 1 FORM AN INTEGRAL PART OF THIS DIVISION 16 - ELECTRICAL.

CODES, REGULATIONS & PERMITS: WORK IN ACCORDANCE WITH REQUIREMENTS OF THE NATIONAL BUILDING CODE AND CANADIAN ELECTRICAL CODE - CURRENT EDITION, AND PROVINCIAL AMENDMENTS, CITY BY-LAWS, RULES, REGULATIONS FOR INSTALLATION OF ELECTRICAL EQUIPMENT.

BEFORE STARTING WORK, SUBMIT REQUIRED NUMBER OF PLANS AND SPECIFICATIONS TO THE ELECTRICAL INSPECTION DEPARTMENT AND OBTAIN NECESSARY PERMITS. INCLUDE IN TENDER COSTS FOR PLAN APPROVALS, PERMITS AND FEES. ARRANGE FOR INSPECTION OF THE WORK BY AUTHORITIES HAVING JURISDICTION. OBTAIN WRITTEN INSPECTION REPORTS BEFORE PROCEEDING WITH STAGES OF WORK ON COMPLETION OF WORK BEFORE FINAL PAYMENT, OBTAIN THE CERTIFICATE OF UNCONDITIONAL APPROVAL FOR ELECTRICAL WORK FROM AUTHORITIES HAVING JURISDICTION.

RESPONSIBILITY: SUPPLY LABOUR, MATERIALS, EQUIPMENT, TOOLS, NECESSARY TO PROVIDE A COMPLETE ELECTRICAL INSTALLATION.

CHECK DRAWINGS OF OTHER TRADES AND COORDINATE INSTALLATION OF MATERIAL AND EQUIPMENT TO ENSURE ADEQUATE SPACE. COORDINATE WITH SUB-TRADES ON SITE DURING THE WORK. THE WORD "PROVIDE" SHALL MEAN "SUPPLY AND INSTALL". THE WORD "ENGINEER" SHALL MEAN "ELECTRICAL CONSULTANT".

TRADESMEN: USE ONLY QUALIFIED PERSONS FOR WORK ON JOB IN ACCORDANCE WITH REQUIREMENTS OF TRADESMEN QUALIFICATION ACT.

BEFORE STARTING WORK, CONTRACTOR TO PROVIDE FORM LETTER INDICATING EMPLOYERS' NUMBER AND THAT EMPLOYEES ARE COVERED UNDER WORKERS COMPENSATION BOARD INSURANCE.

DRAWINGS & DIMENSIONS: CONSULT ARCHITECTURAL, STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS BEFORE LOCATIONS OF OUTLETS, DEVICES AND EQUIPMENT. FIELD MEASUREMENTS SHALL HAVE PRECEDENCE WHERE EQUIPMENT AND MATERIAL DIMENSIONS AND DEPENDENT UPON BUILDING DIMENSIONS.

SHOP DRAWINGS: SUBMIT SHOP DRAWINGS FOR LUMINAIRES, FIRE ALARM PANEL, POWER DISTRIBUTION AND LIGHTING PANELS TO ENGINEER FOR HIS REVIEW AND APPROVALS PRIOR TO PURCHASE. TWO COPIES WILL BE RETAINED BY ENGINEER. INDICATE ON SHOP DRAWINGS, PROJECT, MANUFACTURER NAMES, DATE, REVISIONS.

AS-BUILT DRAWINGS: MAINTAIN AT JOB SITE OFFICE SET OF WHITEPRINTS OF DRAWINGS, RECORD AND DIMENSION IN RED, "AS-BUILT" CONDITIONS. SHOW INSTALLATION OF FEEDERS, BRANCH CIRCUITS, UNDERGROUND SERVICES, CONDUITS, JUNCTION BOXES, CIRCUITS. ALLOW \$300.00 FOR ENGINEER TO PREPARE "AS-BUILT" DRAWINGS FROM CONTRACTOR'S RECORD DRAWINGS.

BEFORE WORK APPROVED FOR "SUBSTANTIAL COMPLETION" BY ENGINEER, CLEAN AND VACUUM LUMINAIRES, PANELBOARDS AND EQUIPMENT FREE OF DUST, PLASTER AND DEBRIS.

SUBSTANTIAL COMPLETION: INSPECTIONS SHALL BE COMPLETED WITH EQUIPMENT, SYSTEMS, DEVICES, COVERPLATES AND LUMINAIRES INSTALLED; CERTIFICATES OF FINAL ACCEPTANCE FROM AUTHORITIES HAVING JURISDICTION; MAINTENANCE MANUAL; RECORD COPIES FOR "AS-BUILT" DRAWINGS SUBMITTED TO ENGINEER.

GENERAL: MATERIALS TO BE NEW AND MEET CANADIAN STANDARDS ASSOCIATION APPROVAL (NAMP). MATERIALS DESIGNED AND MANUFACTURED IN ACCORDANCE WITH APPLICABLE SEMAC AND IEMA SPECIFICATIONS.

CONDUITS & FITTINGS: CAP AND IDENTIFY EMPTY CONDUITS. RIGID GALVANIZED STEEL CONDUIT USED IN WET LOCATIONS WHERE EXPOSED. FMT OTHERWISE.

DISCONNECT SWITCHES: PROVIDE FUSES AND NON-FUSED DISCONNECT OR SAFETY SWITCHES AS SHOWN OR REQUIRED BY CODE. SAFETY SWITCHES TO BE QUICK-MAKE, QUICK-BREAK WITH VISIBLE INTERLOCK RATED 750 VOLT. SWITCHES EQUIPPED WITH SOLDERLESS NUTRAN BAR WHERE REQUIRED. SWITCHES WITH FUSE HOLDERS AND FUSES AS REQUIRED. WEATHERPROOF SWITCHES IN OUTDOOR MOUNTED LOCATIONS.

CONDUCTORS: USE APPROVED LUBRICANTS WHEN INSTALLING CONDUCTORS IN CONDUITS. BUILDING WIRE AND CABLE SHALL BE COPPER CONDUCTORS. CONDUCTORS 18 AWG AND LARGER TO BE STRANDED. WIRES TO BE TYPE R-90, CROSS LINK. FINAL CONNECTIONS TO BE RECESSED INCANDESCENT FIXTURES AND SIMILAR HEAT-PRODUCING EQUIPMENT WITH TYPE CTF WIRE. WHERE HIGHER TEMPERATURE RATED INSULATION REQUIRED, GROUND TERMINALS WITH SOLDERED LUGS; DO NOT FEED GROUND CONDUCTORS THROUGH RECEPTACLES.

MOUNTING HEIGHTS: MOUNT OUTLETS ABOVE FROM FLOOR FINISHED TO CENTRE LINE OF DEVICE. WALL RECEPTACLES 18" ABOVE FLOOR; UNDERGROUND SLOT ORIENTED TO THE SIDE; TELEPHONE 18" ABOVE FLOOR; FIRE ALARM PULL STATIONS 5'0" ABOVE FLOOR; LIGHT SWITCHES 4'6" ABOVE FINISHED FLOOR INSTALLED ON STRIKE SIDE OF DOOR; LIGHTING & POWER PANELS 6'0" FROM FLOOR TO TOP OF PANEL.

GROUNDING: GROUND CONDUCTORS WITH INSULATION OR IDENTIFICATION AT ENDS. TERMINATE GROUNDING CONDUCTORS AT SWITCHBOARDS, EQUIPMENT, GROUND BUSES, WITH CABLE LUGS. GROUNDING TO CONFORM TO IEC AND REQUIREMENTS OF THE INSPECTION AUTHORITY AND AS PER THE DRAWINGS.

SEPARATE GROUND WIRE AND APPROVED CONNECTORS IN FLEXIBLE CONDUIT CONNECTIONS. FOR GROUNDING EQUIPMENT ENCLOSURES, ARRANGE CONDUCTORS SO THAT REMOVAL OF THE GROUNDING ITEM WILL NOT INTERRUPT THE GROUND CONDUCTOR TO OTHER EQUIPMENT.

RECEPTACLE GROUNDING CONDUCTOR INSTALLED BETWEEN GROUNDING OUTLET BOX AND GROUNDING TERMINAL ON RECEPTACLE.

TESTING: TEST MAIN DISTRIBUTION INSULATION-RESISTANCE RECORD; TEST BUS PHASE TO PHASE, PHASE-TO-GROUND; PHASE ROTATION A, B, C AND AT PANELS.

LIGHTING SWITCHES: FLUSH TOGGLE TYPE, IVORY HANDLE, SINGLE POLE AND THREE-WAY 120 VOLTS, 20A RATING SILENT ACTING, SWITCH & STONE, HUBBELL, TIME CLOCK FOR EXTERIOR LIGHTING TO BE TORX 7200Z - ASTRONOMIC 24-HOUR SPRING RECHARGEABLE.

RECEPTACLES: 120 VOLTS, 15A, SPECIFICATION GRADE, IVORY COLOUR, EQUIVALENT TO HUBBELL 5262-1, ARROW MARY, SMITH & STONE.

COVERPLATES: IVORY FOR SWITCHES, RECEPTACLES, TELEPHONE OUTLETS, COMMUNICATION OUTLETS, SMITH & STONE, PREMIUM QUALITY. FOR TWO OR MORE SWITCHES OR DEVICES, ADJACENT SINGLE COVERPLATE.

TELEPHONE & CABLE TV SYSTEMS: PRE-WIRE AND WITH BOXES AND COVERPLATES TO REQUIREMENTS OF TELEPHONE COMPANY. OBTAIN APPROVED DRAWINGS FOR LAYOUTS BEFORE PROCEEDING WITH THE WORK.

LUMINAIRES: AS SPECIFIED OR AS PER P.C. SUM. FLUORESCENT LUMINAIRE PLASTIC LENSES AND ARRANGEMENT TO COMPLY WITH SECTION 3.1.1.1 OF THE NATIONAL BUILDING CODE. LUMINAIRE COMPLETE WITH SUPPORTS, BALLASTS, LAMPS AND SWITCH CONTROLLED.

LAMPS & BALLASTS: INCANDESCENT LAMPS RATED AT 125 VOLTS, INSIDE PROTECTED. FLUORESCENT LAMPS WARM WHITE, PREMIUM QUALITY, ONE MANUFACTURER, CANADIAN GENERAL ELECTRIC; CANADIAN WESTINGHOUSE, PHILIPS OR SYLVANIA. FLUORESCENT LUMINAIRE WITH WATT METER BALLASTS TO PERFORM IN ACCORDANCE WITH ASB SPECIFICATION CS2.1 FOR LIGHT OUTLET.

ELECTRIC HEATING: ELECTRIC RADIANT CEILING MOUNTED HEATING PANELS AND CONTROLS AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN. PANELS CSA APPROVED. OUTPUT CAPACITY MAX 145 WATTS PER METER SQ. AT 208 VOLTS SINGLE PHASE, 20A CIRCUITS.

INSTALLED IN ACCORDANCE WITH "THE ELECTRIC RADIANT CEILING HEATING ELEMENT INSTALLATION MANUAL CSA LR 56397".

PANEL SUPPLIER TO PREPARE SCHEMATIC LAYOUTS FOR EACH AND EVERY AREA KN INDICATED, DIMENSIONED, THERMOSTAT. SUBMIT LAYOUTS TO ENGINEER FOR WRITTEN APPROVAL PRIOR TO ANY INSTALLATION WORK.

EACH ROOM AREA CONTROLLED BY WALL MOUNTED THERMOSTAT. PANELS INSTALLED BY SUPPLIER WHO SHALL EMPLOY ONLY QUALIFIED PERSONNEL FAMILIAR WITH CONSTRUCTION AND OPERATION OF ELECTRIC RADIANT CEILING HEATING ELEMENTS PANELS AND CONTROLS.

ELEMENTS FASTENED TO STUD WITH WJD 1/2" WAFER SCREENS PHILLIPS DRIVE. INSULATION INSTALLED BETWEEN STUDS BY OTHERS. SEE DETAIL.

SUPPLIER TO INSPECT, TEST, AND RECORD PRIOR TO AND AFTER INSTALLATION OF GYPROC WALL BOARD BY GENERAL CONTRACTOR.

TESTING BY 'IRAN-AMPKK' TEST TO EACH THERMOSTAT. TESTS RESULTS CERTIFIED BY PANEL SUPPLIER BEFORE PROCEEDING FURTHER WITH WORK. TEST RESULTS AND CERTIFICATION AVAILABLE AT SITE FOR ENGINEER'S INSPECTION.

JOURNALS AND RADIANT PANELS GUARANTEED FOR A PERIOD OF TWO YEARS AND WIRING AFTER DATE OF CERTIFICATE OF FINAL ACCEPTANCE HAS BEEN ISSUED BY ARCHITECT.

ELECTRIC RADIANT HEATING ELEMENT PANELS EQUAL TO 'ESMA' BRAND SUPPLIED BY SCANCAN INDUSTRIES CORP., BURNABY, TEL: 299-0775.

REFER TO 'ESMA' TECHNICAL MANUALS.

SWITCHBOARDS BY CHROMALOX; LIGHT BROWN COLOUR; LINE VOLTAGE THERMOSTATS, BUILT-IN THERMOSTATS WHERE SHOWN.

FIRE ALARM SYSTEM: PROVIDE ZONED ELECTRICAL SUPPLEMENTED, FIRE ALARM SYSTEM AS INDICATED ON THE DRAWINGS AND TO BUILDING CODE STANDARDS. ALL EQUIPMENT SHALL BE ILC LISTED AND APPROVED.

SYSTEM SHALL CONSIST OF CONTROL/ANNUNCIATOR PANEL, BREAKGLASS PULL STATIONS AT ALL EXITS, FIRE ALARM 10" BELLS IN CORRIDORS AND PARKING, HEAT DETECTORS IN EACH SUITE, SMOKE DETECTORS IN CORRIDORS, STAIRWELLS AND CLOSETS, ZONES AS INDICATED.

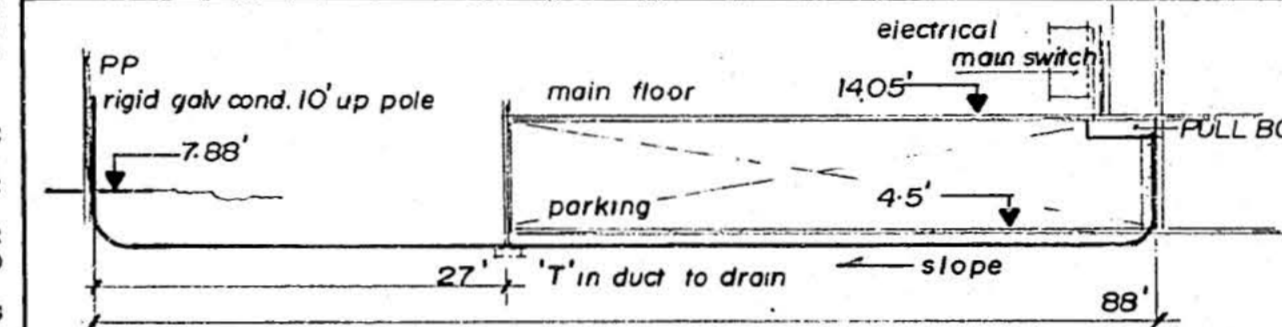
SYSTEM SHALL BE VERIFIED, TESTED AND CERTIFIED BY EQUIPMENT SUPPLIER TECHNICAL REPRESENTATIVE. NOTIFY ENGINEER MIN 48 HOURS PRIOR TO VERIFICATION/ACCEPTANCE TEST.

WARRANTY: CONTRACTOR TO SUPPLY WITH HIS MONTHLY PROGRESS CLAIM, A COMPLETION OF EACH SYSTEM AS LISTED: 1) INCOMING SERVICES; 2) MAIN DISTRIBUTION AND SUB PANELS & FEEDERS; 3) BRANCH CIRCUIT WIRING, OUTLET BOXES AND WIRING FOR POWER, LIGHTING, AND COMMUNICATION IN UNITS; 4) WIRING DEVICES; 5) FIRE ALARM SYSTEM; 6) LUMINAIRE AND CONTROLS; 7) PUBLIC AREAS; 8) TELEPHONE; 9) TELEVISION.

LIST TO BE APPROVED BY ENGINEER PRIOR TO START OF WORK.

## LEGEND OF SYMBOLS

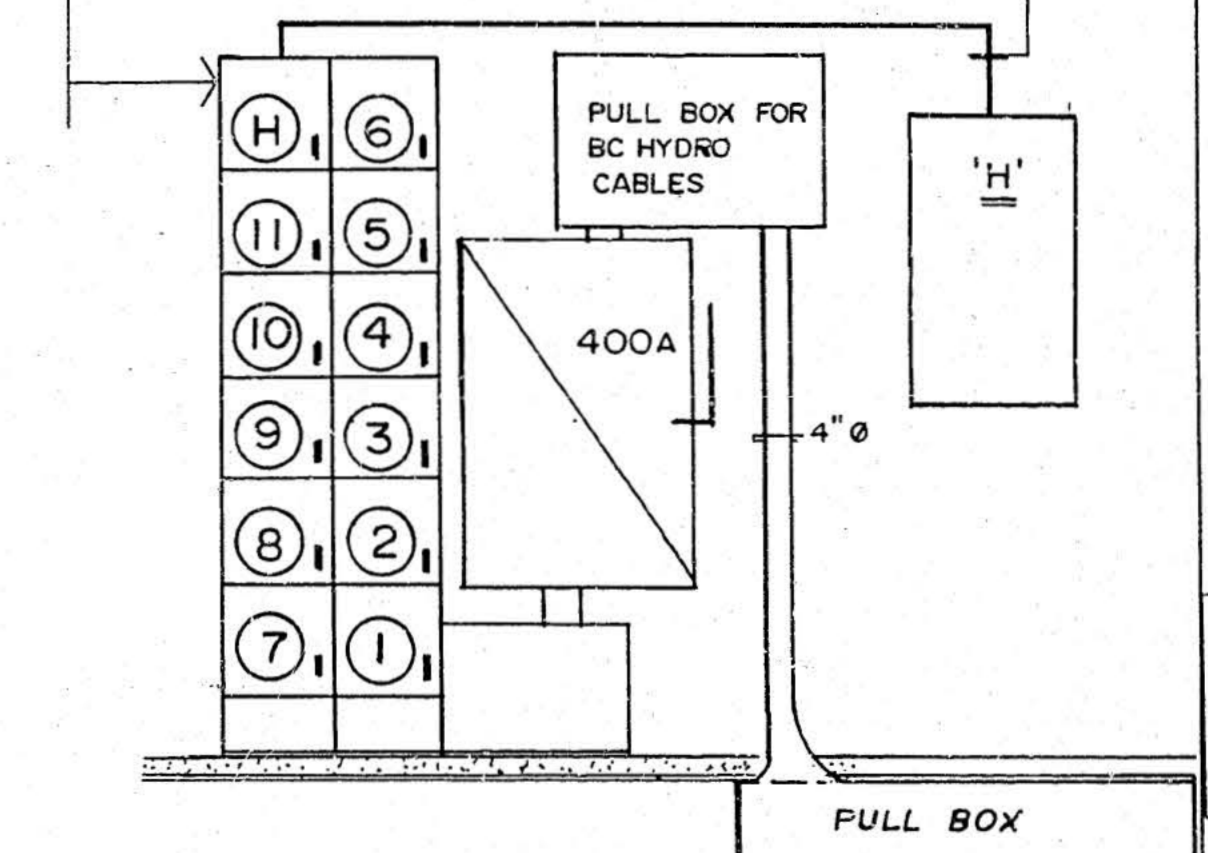
- FLUORESCENT LUMINAIRE
- INCANDESCENT LUMINAIRE RECESSED OR CEILING MOUNTED
- INCANDESCENT LUMINAIRE WALL MOUNTED
- EXIT LIGHT 2AC + 1 DC LAMP C/W DIRECTIONAL ARROWS
- POWER PANEL
- EMERGENCY LIGHTING UNIT C/W CHANGABLE BATTERIES, TRICKLE CHARGER, & CONNECTED TO 120 VOLT DUPLX RECEPTACLE OUTLET. CONNECT TO BUILT-IN OR REMOTE HALOGEN 9 WATT LAMPS & TO DC EXIT LAMP. UNITS SIZED FOR TOTAL LOAD. MOUNT 6" BELOW FINISHED CEILING
- DUPLX 15 AMP 170 VOLT RECEPTACLE MH 18" AFF
- AS ABOVE BUT MOUNTED 6" ABOVE FINISHED COUNTER HGT
- AS ABOVE BUT SPLIT RECEPTACLE
- HALF-RECEPTACLE SWITCHED
- CONNECTION TO EQUIPMENT NOTED
- RANGE OR DRYER OUTLET - 250 VOLT
- TOGGLE SWITCH RATED 20 AMP SILENT ACTING TYPE
- AS ABOVE BUT 3-WAY SWITCH
- FAN OR MOTOR SWITCH WITH PILOT LIGHT
- ELECTRIC BASEBOARD 208 VOLT RATING, KN RATING AS SHOWN ON LAYOUT. MOUNT 3" TO BOTTOM ABOVE FLOOR. REMOVE CONTROL LINE VOLTAGE THERMOSTAT OR AS SHOWN BUILT IN TAMPOR PROOF TYPE
- LINE VOLTAGE THERMOSTAT
- MOTOR CONNECTION
- DISCONNECT SWITCH : WP- WEATHERPROOF TYPE
- BREAKGLASS FIRE ALARM PULL STATION
- 10" DIA FIRE ALARM BELL
- SMOKE ALARM:
- SMOKE DETECTOR
- HEAT DETECTOR
- FIRE ALARM ANNUNCIATOR PANEL
- TELEPHONE OUTLET MH 18" AFF. WITH CENTRE HOLE PLATE
- TORX # 7200Z ASTRONOMIC TIME CLOCK WITH 24 HR RECHARGE
- WIRING IN CONDUIT
- OUTLET BOX OR JUNCTION BOX
- TELEVISION OUTLET & COVERPLATE TO TERMINAL PANEL
- MAGNETIC DOOR HOLDING CONNECTION 120 V. WIRE THROUGH CONTACTS IN FA PANEL
- COMBINATION MAGNETIC STARTERS WITH 7-N/O & 2 N/C CONTACTS FOR CONTROL WIRING
- CABLE TV OUTLET
- LOW VOLTAGE SWITCH



## MAIN SERVICE DUCT PROFILE

LOAD CALCULATIONS	
UNIT 'D'	CODE - 3.5
(LARGEST UNIT)	1.5
	6.0
	2.0
	13.0 KW
UNIT 'D' TOTAL HEATING	12.0 KW
UNIT 'B'	12.5 + 7.75 = 20.3 KW
UNITS 'A' & 'C'	12.5 + 6.5 = 19.0 KW
CUMULATIVE LOAD (11 UNITS) 13(4.6)	59.8 KW
HEATING - UNITS	83.3 KW
HEATING - PUBLIC	10.0 KW
SERVICE BASIC	59.8
10 + (.75)(73)	55.0
ELEVATOR, MISC.	15.0
	129.8 KW
SERVICE 400 A C 102/208 V	

400A 3Ø 4W METER STACK  
10 Ø 125 A 1Ø METER SOCKET - 'A', 'C' 2P 125 A BKR - 3# 1/0 AL R90  
1 Ø 150 A 1Ø " " " " 2P 150 A " " 3# 2/0 AL R90  
1 Ø 125 A 3Ø 4W " " " " " " " " 3P 25 A " " 4# 1/0 AL R90  
BOLT EQUIPMENT TO WALL OR FLOOR



MAIN SERVICE DISTRIBUTION  
120 208V - 3 Ø - 4 W

**Ankenman Associates Architects Inc.**  
Suite 306 - 1959 152nd St.  
White Rock, British Columbia  
Canada, V4A 4N6  
Tel (604) 536-1600  
Fax (604) 536-5774

proposed apts  
for a rina construction  
white rock, b.c.



title  
**ELECTRICAL**  
scale AS SHOWN  
date 1990-04-20  
drawn HY checked LGS  
job no.  
sheet no. **E1** of 3  
consultant

L.G. SHANNON ENGINEERING LTD.  
CONSULTING ELECTRICAL ENGINEERS  
201 - 256 WEST BROADWAY TEL (604) 874-0222  
VANCOUVER, B.C. V6C 1A7 FAX (604) 874-9255

JUN 12 1990  
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**SITE SYNOPSIS**

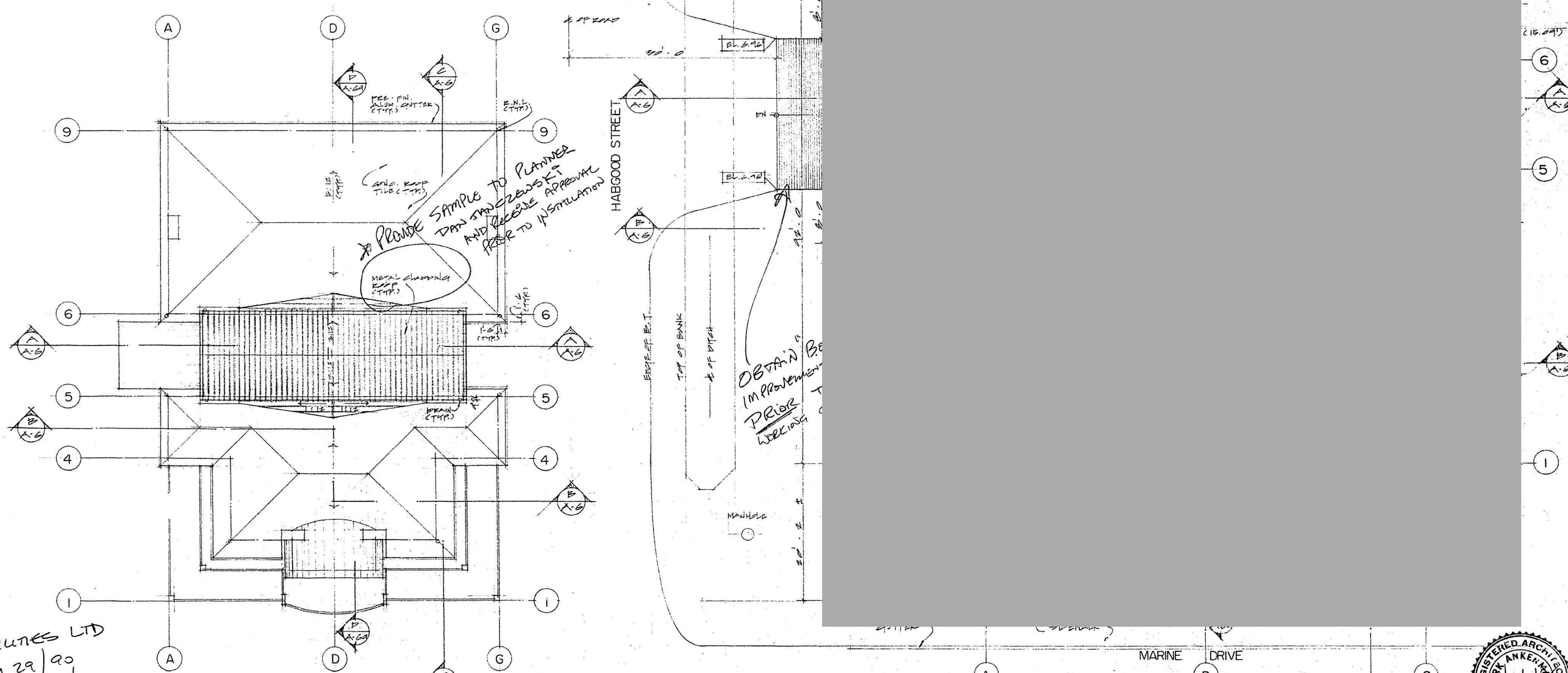
ZONING	R1 - 2	
LEGAL DESCRIPTION	LOTS 6, 7 & 8, BLOCK 2, SECT. 11, T. 1 PLAN 15534 N.W.P.	
SITE AREA	12,353.228 S.F.	
BLDG. SET BACK	REQ'D	PROVIDED
FRONT	19.685 FT.	20.16 FT.
REAR	19.685 FT.	19.75 FT.
EXTERIOR SIDE	19.685 FT.	19.75 FT.
INTERIOR SIDE	19.685 FT.	19.75 FT.
SITE COVERAGE	45% (MAX)	45.98%
BLDG. HT.	25.109 FT.	25 FT.
PARKING STALLS	11 SPACES	15 SPACES
BLDG. AREA	GROUND FLOOR : 5,273 S.F. SECOND FLOOR : 5,440 S.F. THIRD FLOOR : 4,226 S.F. TOTAL : 14,939 S.F.	
UNIT AREA	A : 1,002.75 S.F. x 6 = 6,016.5 B : 1,102.75 S.F. x 2 = 2,205.5 C : 1,121.75 S.F. x 2 = 2,243.5 D : 1,514.75 S.F. x 1 = 1,514.75 TOTAL : 12,020.75 S.F.	
FLOOR SPACE RATIO	ALLOWED 0.37 (1.2 x 15%) = 1.018	PROVIDED 12,020.75 / 12,353.228 = 0.971

**CONTRACTORS OBLIGATIONS AS RELATED TO ARCHITECT/ENGINEERS ASSURANCE AND COMPLIANCE CERTIFICATES AS REQUIRED BY MUNICIPALITY**

- This project will be subject to regular field reviews by the Architect and consulting engineers who will be responsible for the issuance to the Municipality Certificates of Assurance and Compliance relating to the construction meeting the requirements of the B.C. Building Code.
- The General Contractor and Sub-Contractors who work on the construction of this project agree to be bound by the requirements and instructions of the Architect and Consulting Engineers without bringing claims forward for advice or cost overruns related to making the construction meet the requirements of the B.C. Building Code.
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- All Contractors are required to sign this document to indicate their acknowledgement of the Architects and Engineers activities on site during construction, and to agree to comply with the architects and Engineers requirements.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
 Name of Contractor: \_\_\_\_\_ Seal of Company: \_\_\_\_\_

**Redacted S. 15(1)**



WR WILLIAMS LTD  
 May 29/00  
 C. Merchant

**ROOF PLAN**  
 3/8" = 1' - 0"

**SITE PLAN / PARKING LEVEL**  
 1/8" = 1' - 0"

VILLA DARDANELLS

**Ankenman Associates Architects Inc.**  
 Suite 306 - 1959 152nd St.  
 White Rock, British Columbia  
 Canada, V4A 4N6  
 Tel (604) 536-1600  
 Fax (604) 536-5774

**proposed apts  
 for ariana construction  
 white rock, b.c.**

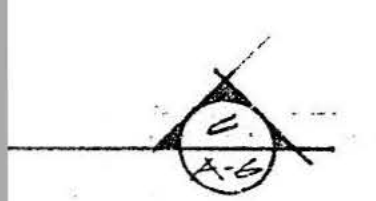
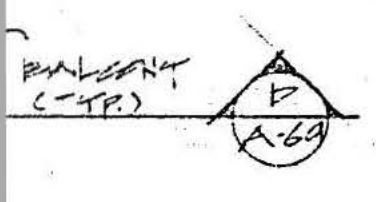
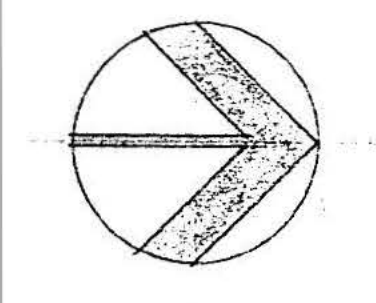
title  
**ROOF, PARKING & SITE PLAN**  
 scale AS SHOWN  
 date MAY 21/00  
 drawn S.A. checked  
 job no. **8935**  
 sheet no. **A-1**  
 consultant

**RECEIVED**  
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 CITY OF WHITE ROCK  
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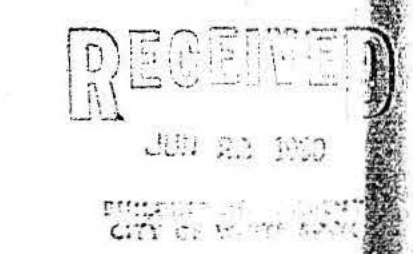
VILLA  
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Architects  
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Canada, V4A 4N6  
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Fax (604) 536-5774

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for arina construction  
white rock, b.c.

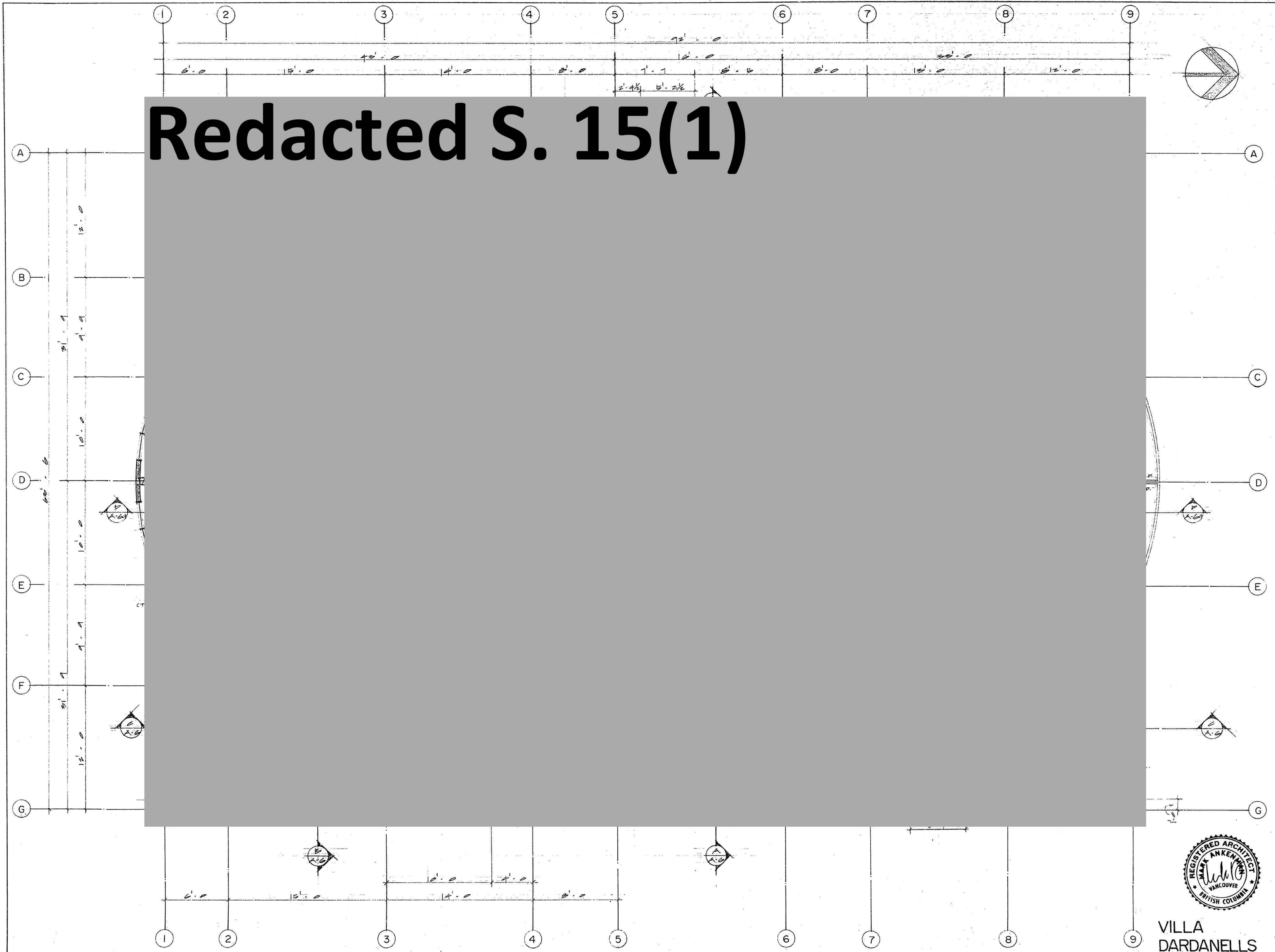
title  
**MAIN FLOOR**  
scale 1/4" = 1'-0"  
date MAR. 20/14  
drawn s.#. checked  
job no. **8935**  
sheet no. **A - 2**  
consultant



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Fax (604) 536-5774

proposed apts  
for arina construction  
WHITE ROCK, B.C.

title  
**SECOND FLOOR**  
scale 1/4" = 1'-0"  
date MAR. 20/90  
drawn S.H. checked  
job no. **8935**  
sheet no. **A-3**  
consultant

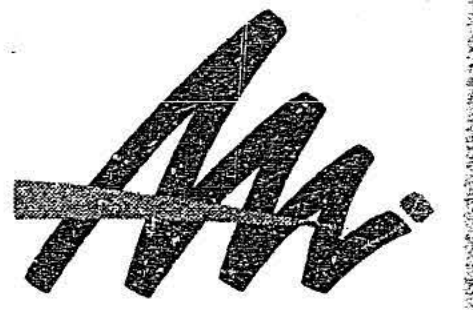


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CITY OF WHITE ROCK  
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Fax (604) 536-5774

proposed apts  
for arina construction  
white rock, b.c.

title  
THIRD FLOOR

scale 1/4" = 1'-0"  
date MAR 20/10  
drawn v.h. checked

job no. 8935

sheet no. A - 4

consultant



VILLA  
DARDANELLS

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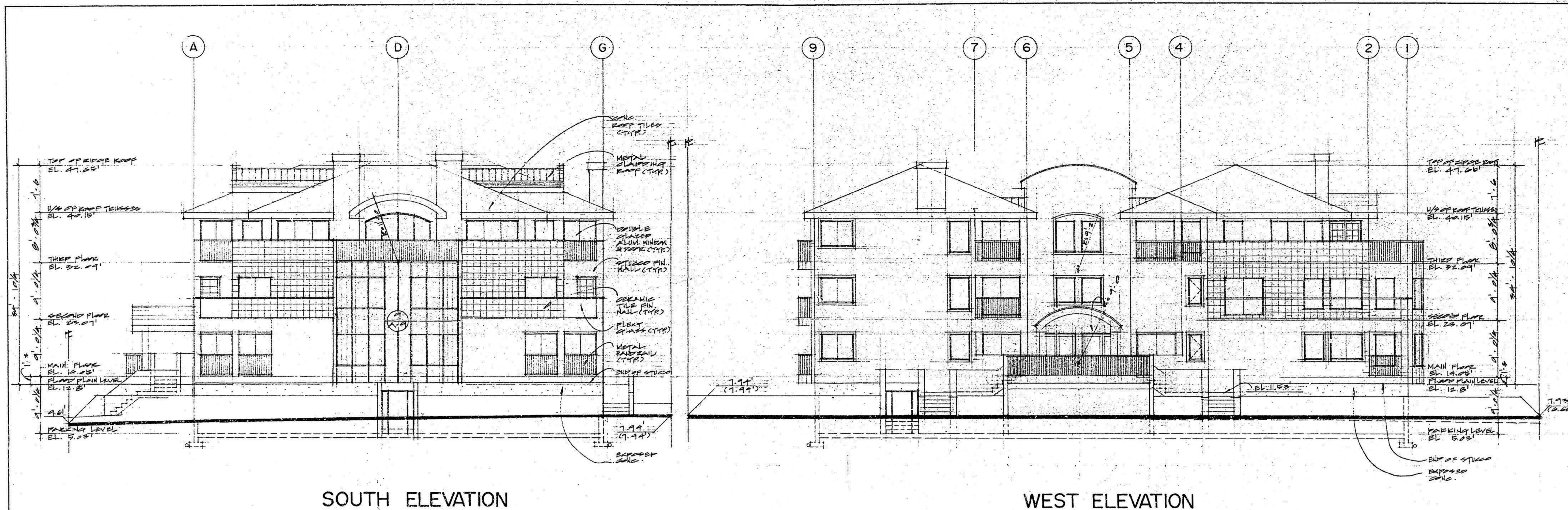




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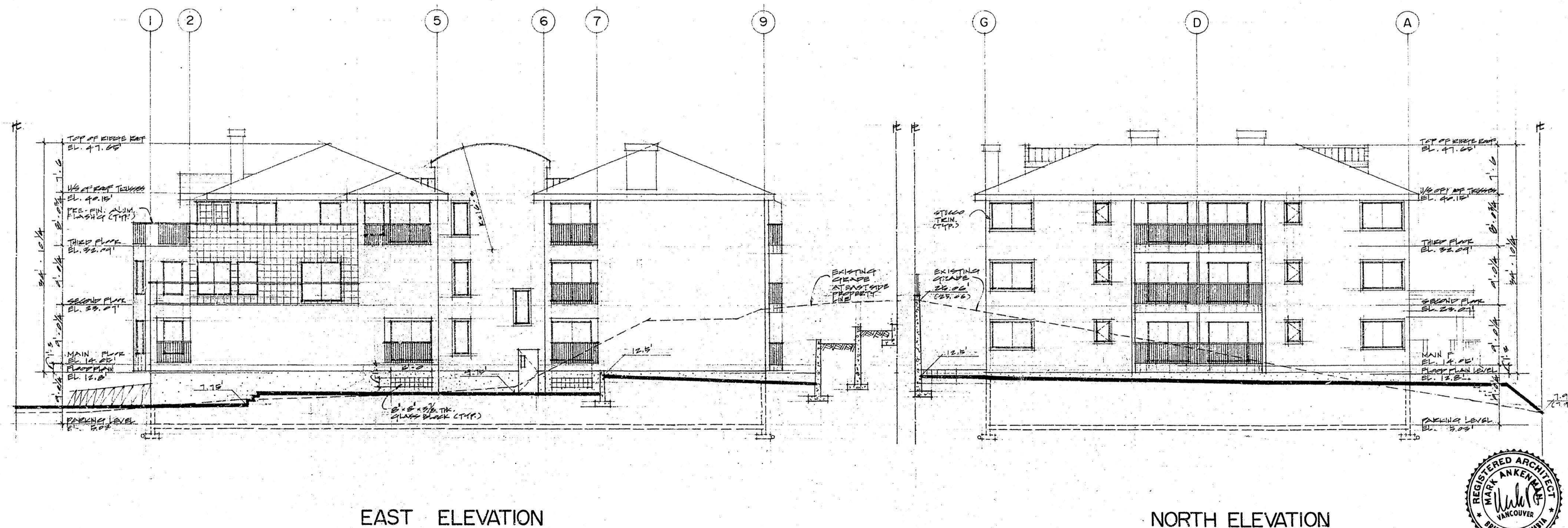
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proposed apts  
for a/rina construction  
white rock, b.c.



SOUTH ELEVATION

WEST ELEVATION



EAST ELEVATION

NORTH ELEVATION

title  
ELEVATIONS

scale 1/8" = 1'-0"

date MAR. 21/10

drawn S.H. checked

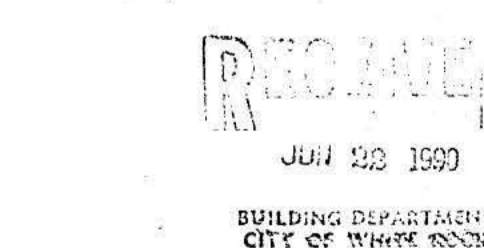
job no. 8935

sheet no. A-5

consultant



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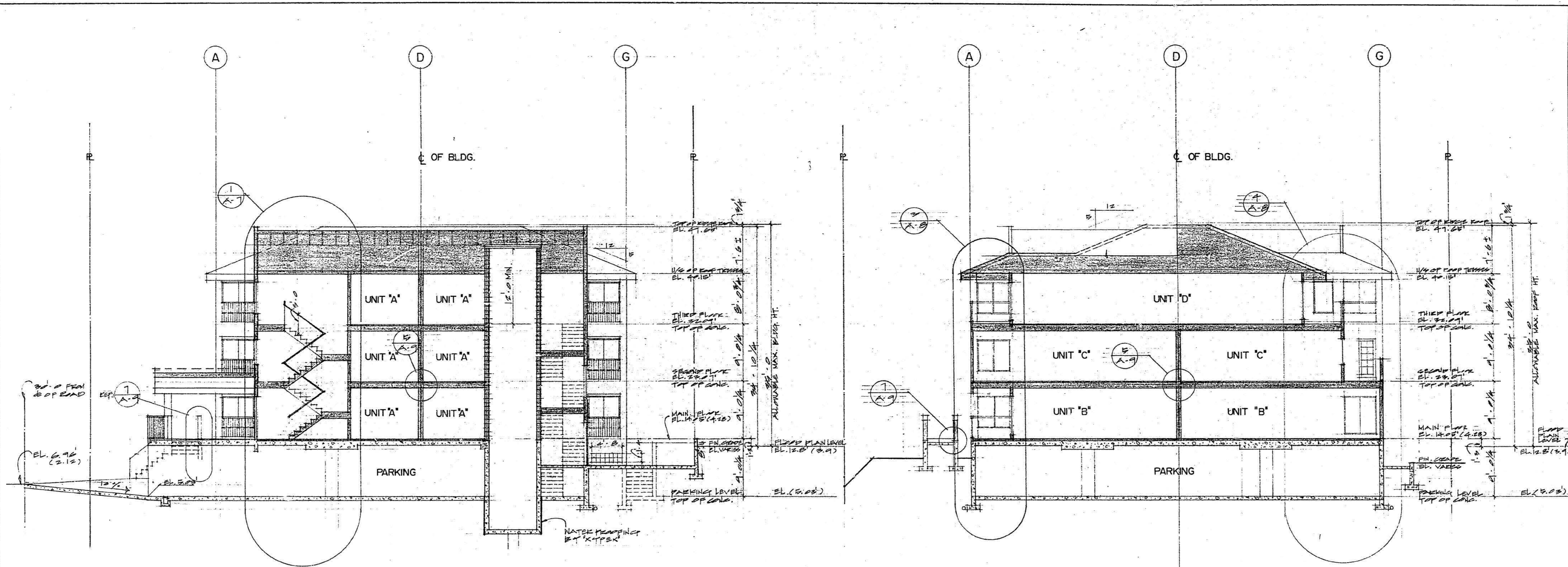




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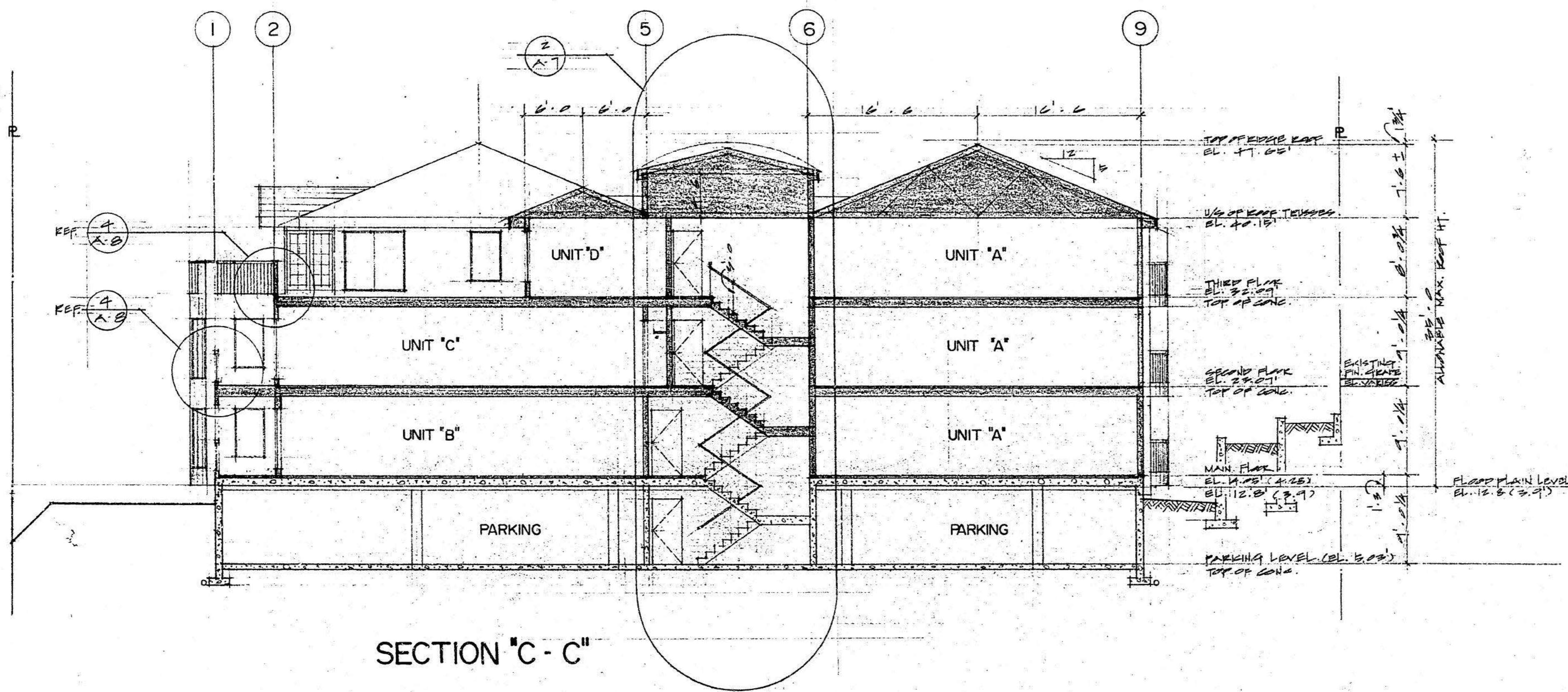
Suite 306 - 1959 152nd St.  
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Canada, V4A 4N6  
Tel (604) 536-1600  
Fax (604) 536-5774

proposed apts  
for arena construction  
White rock, B.C.



SECTION "A - A"

SECTION "B - B"



SECTION "C - C"

CONTRACTORS OBLIGATIONS AS RELATED TO ARCHITECT/ENGINEERS ASSURANCE AND COMPLIANCE CERTIFICATES AS REQUIRED BY MUNICIPALITY

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Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
Name of Contractor: \_\_\_\_\_ Seal of Company: \_\_\_\_\_



VILLA  
DARDANELLS

title  
GENERAL SECTIONS

scale 1/8" = 1'-0"  
date MAR. 21/90  
drawn by checked

job no. 8935

sheet no. A - 6

consultant

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BUILDING DEPARTMENT  
CITY OF WHITE ROCK

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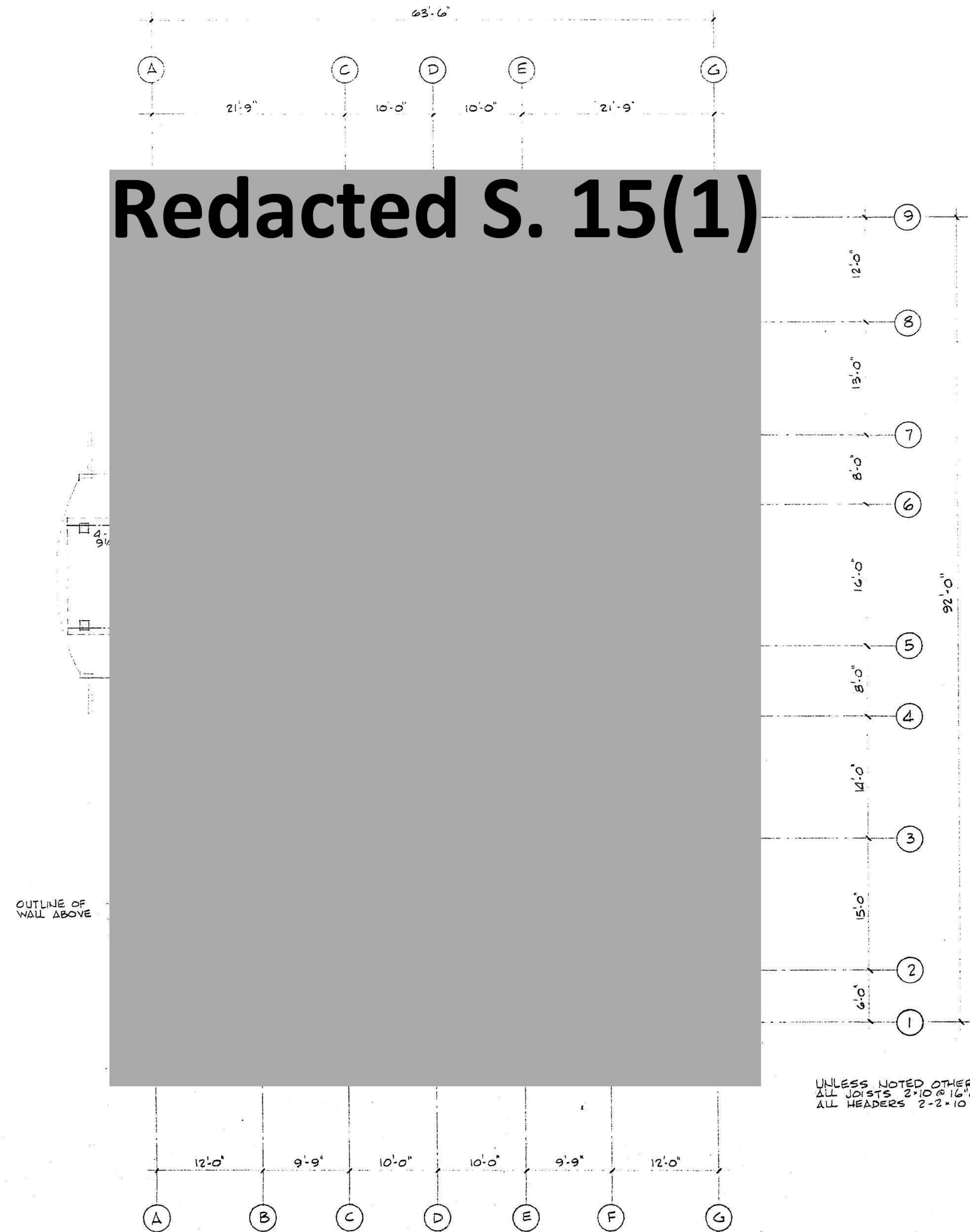
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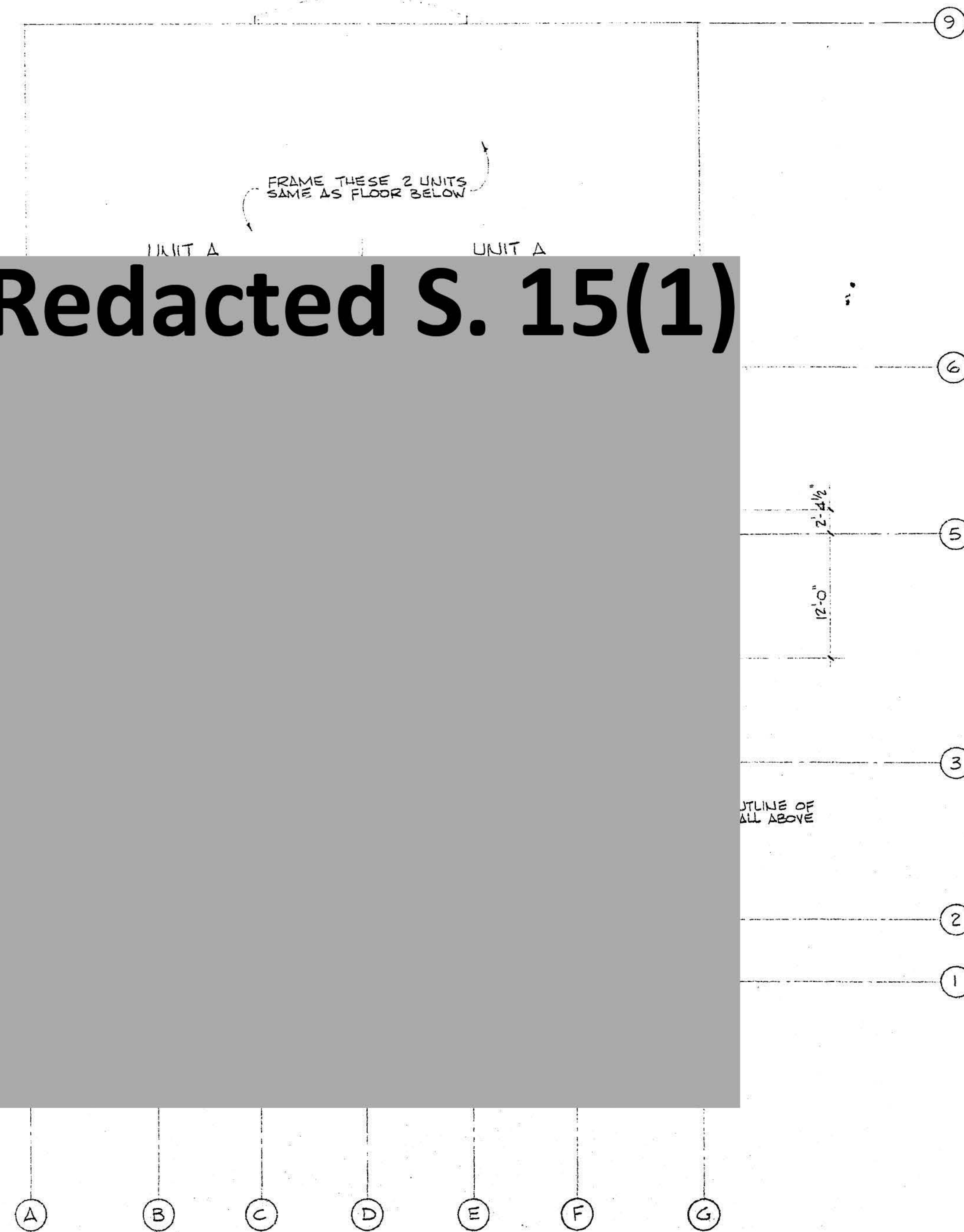


**Redacted S. 15(1)**



MAIN FLOOR PLAN / SECOND FLOOR FRAMING  
1/8" = 1'-0"

**Redacted S. 15(1)**



SECOND FLOOR PLAN / THIRD FLOOR FRAMING  
1/8" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR B.P. APPLIC.	1990

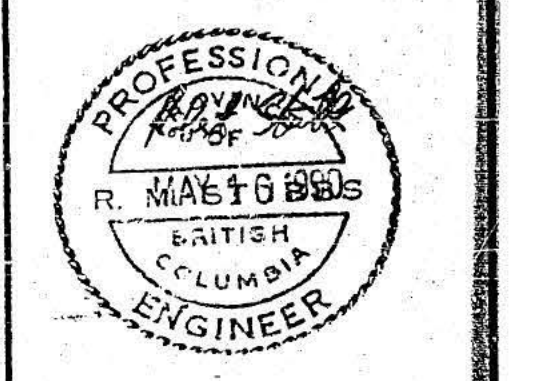
**stubb's engineering ltd.**  
consulting engineers  
2115 Indian Fort Drive,  
Ocean Park,  
Surrey, B.C. V4A 3L7  
(604) 531-8954

PROJECT:  
11 UNIT APT. FOR  
DRINA CONST.

LOCATION:  
15907 MARINE DR.  
WHITE ROCK, BC

TITLE:  
SECOND & THIRD  
FLOOR FRAMING

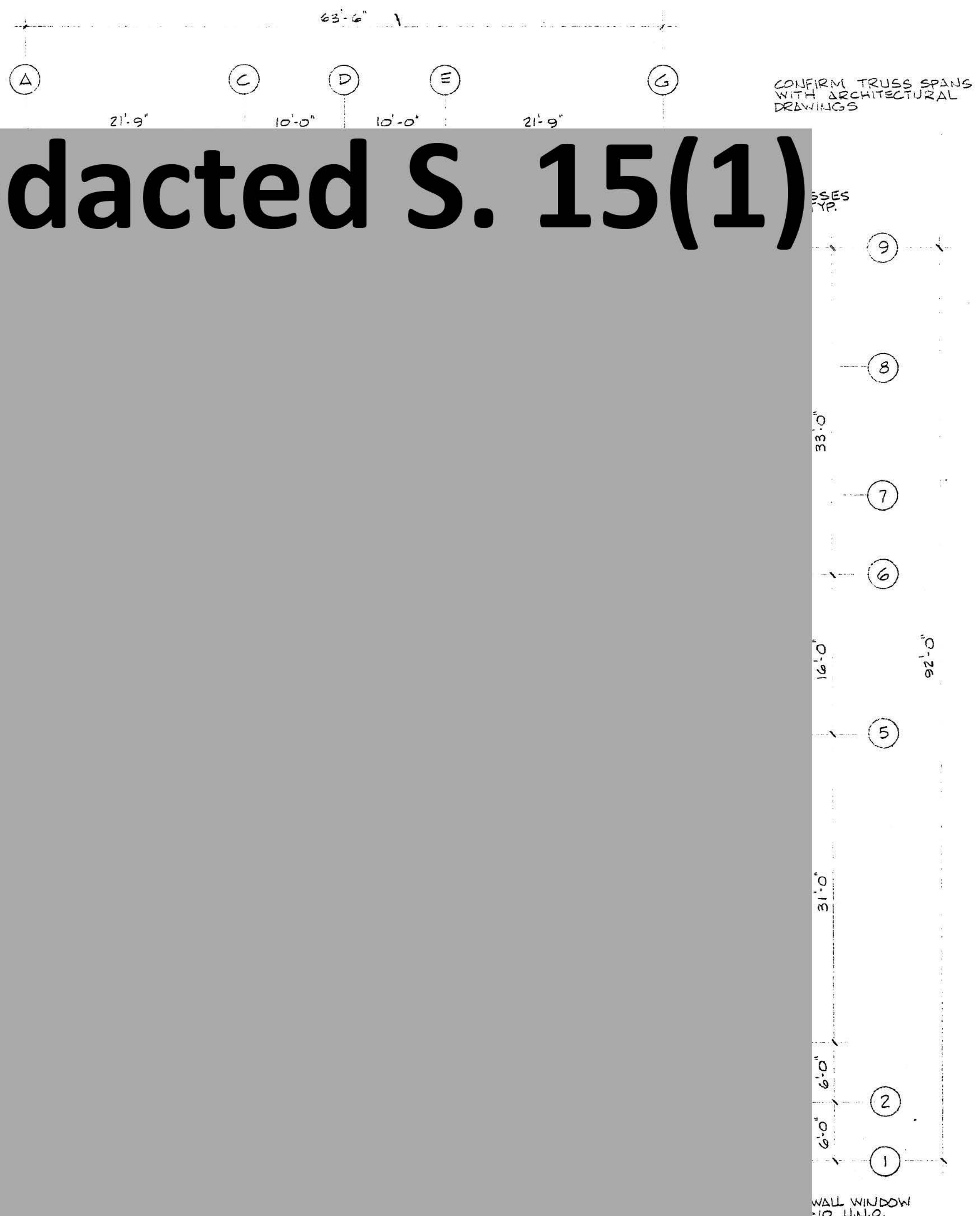
DESIGNED:	DAY	MO.	YR.
DRAWN:	KC	9	APRIL 92
CHECKED:			
APPROVED:			



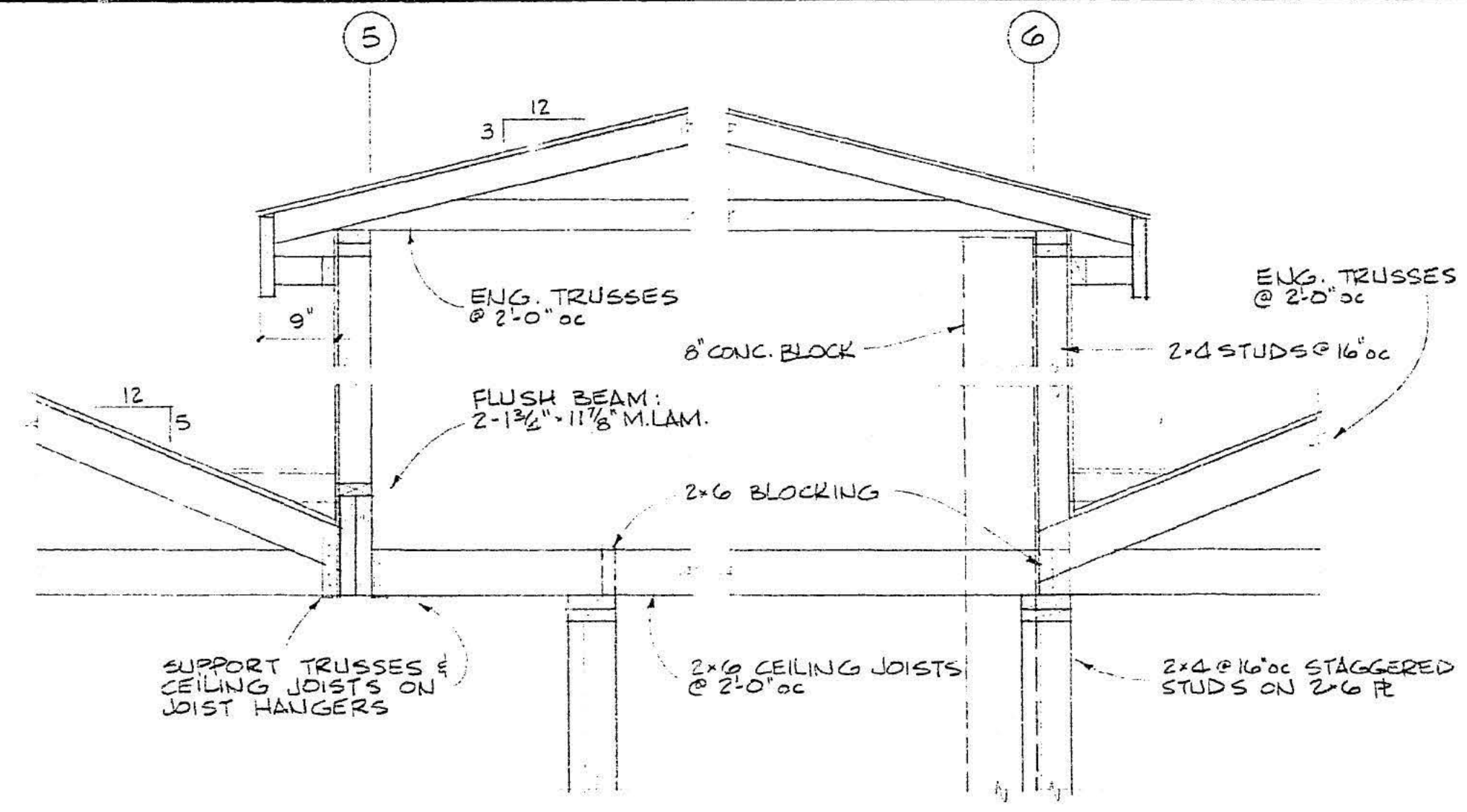
JOB No.	DRAWING No.	REV.
30006	S3 of 4	1



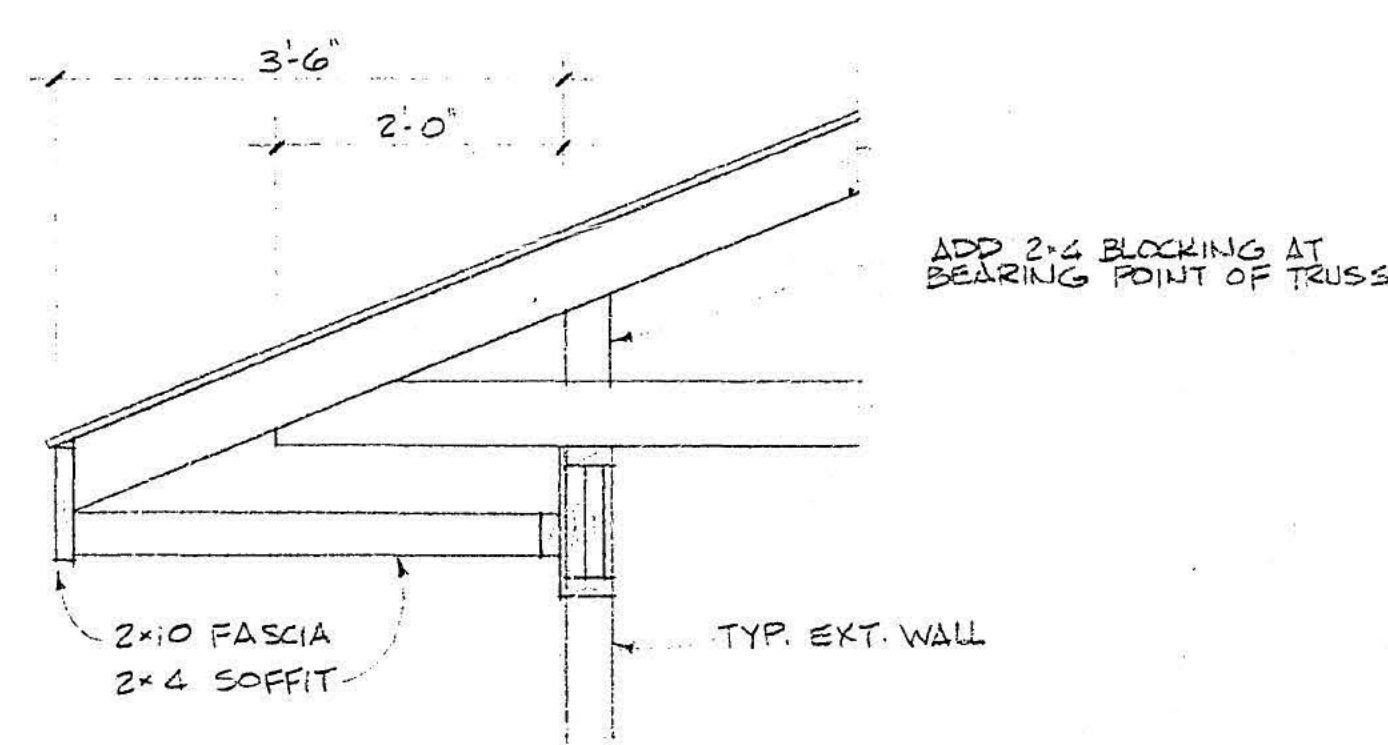
# Redacted S. 15(1)



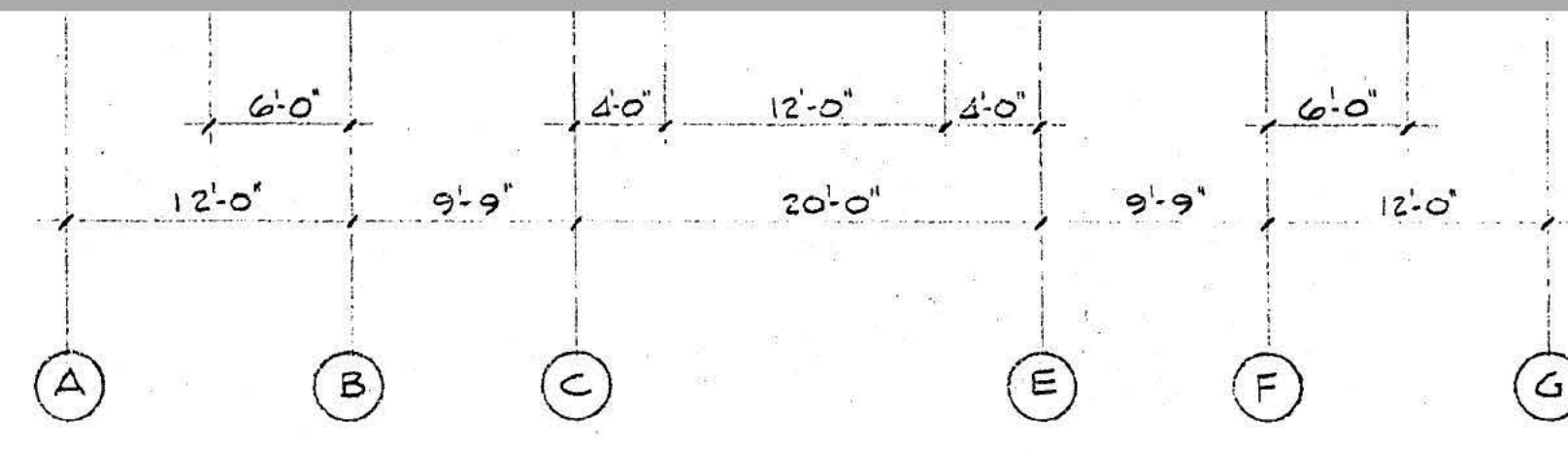
CONFIRM TRUSS SPANS WITH ARCHITECTURAL DRAWINGS



ROOF DETAIL 14  
3/4" = 1'-0"



OVERHANG DETAIL 15  
3/4" = 1'-0"



THIRD FLOOR PLAN / ROOF FRAMING  
3/8" = 1'-0"

**FRAMING NOTES**

- All framing lumber to conform to N.L.G.A. grading rules and to be the following minimum grades:-
  - Joists and wall plates #2 or better Douglas Fir, U.N.O.
  - Built-up beams #2 or better Douglas Fir, U.N.O., ie #1 Douglas Fir.
  - Studs to be construction or #2 grade Spruce/Pine/Fir or better.
  - Posts to be #1 structural grade Douglas Fir.
  - Misc. non-structural framing, ie blocking, partitions, etc., standard or better grade.
- Built-up posts for beams to have same number of studs as pieces in the beam. U.N.O., well nailed together.
- All bearing walls to be a minimum of:-
  - 2" x 4" studs @ 16" oc. on upper 2 floors.
  - 2" x 6" studs @ 16" oc. or 2 x 4 @ 12" on bottom floor.
- All window headers to be a minimum of 2 - 2"x10", #2 Douglas Fir, U.N.O.
- Block solid at floor level between built-up or timber posts one above the other.
- All intersecting exterior walls, including those at 45°, to have their top plates overlapped and well nailed together. Alternatively use sheet metal gusset plates on top of wall sections, well nailed.

**LEGEND**

- Indicates 2 x 10 joists @ 16" oc. U.N.O., ie 12" oc.
- Indicates solid or built-up beams.
- Indicates Bearing Walls.
- D.B. Indicates Drop Beam.
- F.B. Indicates Flush Beam. (Joist hangers or framing anchors required).
- Indicates continuous cantilevered joists.
- 2 - 2x10+ply Indicates header of 2 - 2x10 plus a full length, full depth piece of Douglas Fir Plywood, ie 9 1/4" deep.

- Glulam Beams to be minimum 24f-E grade for simple span beams, and 24f-Ex grade for cantilevered beam situations.
- MicroLams are to be those manufactured by Trus Joist Canada Ltd. All installation and nailing of multiple-piece beams to be in accordance with their "Residential Products Guide." Note that the nailing specified is for standard or galvanized common nails or Ardox nails, and not nails applied with an automatic nailing gun.
- Balance of framing as per section 9.23 of the B.C. Building Code, 1985 Edition.

REVISIONS		
NO.	DESCRIPTION	DATE

**stubb**  
engineering ltd.  
consulting engineers  
2115 indian fort drive,  
ocean park,  
surrey, b.c. V4A 3L7  
(604) 531-6964

PROJECT:  
11 UNIT APT. FOR  
DRINA CONST.

LOCATION:  
15907 MARINE DR  
WHITE ROCK, BC

TITLE:  
ROOF FRAMING  
& DETAILS

DESIGNED:	DAY	MO.	YR.
DRAWN:	KC	9	APRIL 00
CHECKED:			
APPROVED:			



JOB NO.	DRAWING NO.	REV.
90006	54 of 4	1





Ankenman Associates Architects Inc.

Suite 306 - 1959 152nd St. White Rock, British Columbia Canada, V4A 4N6 Tel (604) 536-1600 Fax (604) 536-5774

Proposed apts for drina construction White rock, B.C.

Site Plan Parking P.B.G., VENTILATION

scale AS NOTED date 9.25.1990 drawn P.L. checked M.L.

job no. sheet no. M-1 consultant

M. LIS ASSOCIATES LTD. MECHANICAL ENGINEERS 12668 14th AVENUE SURREY B.C. V4A 1K3 531-4476

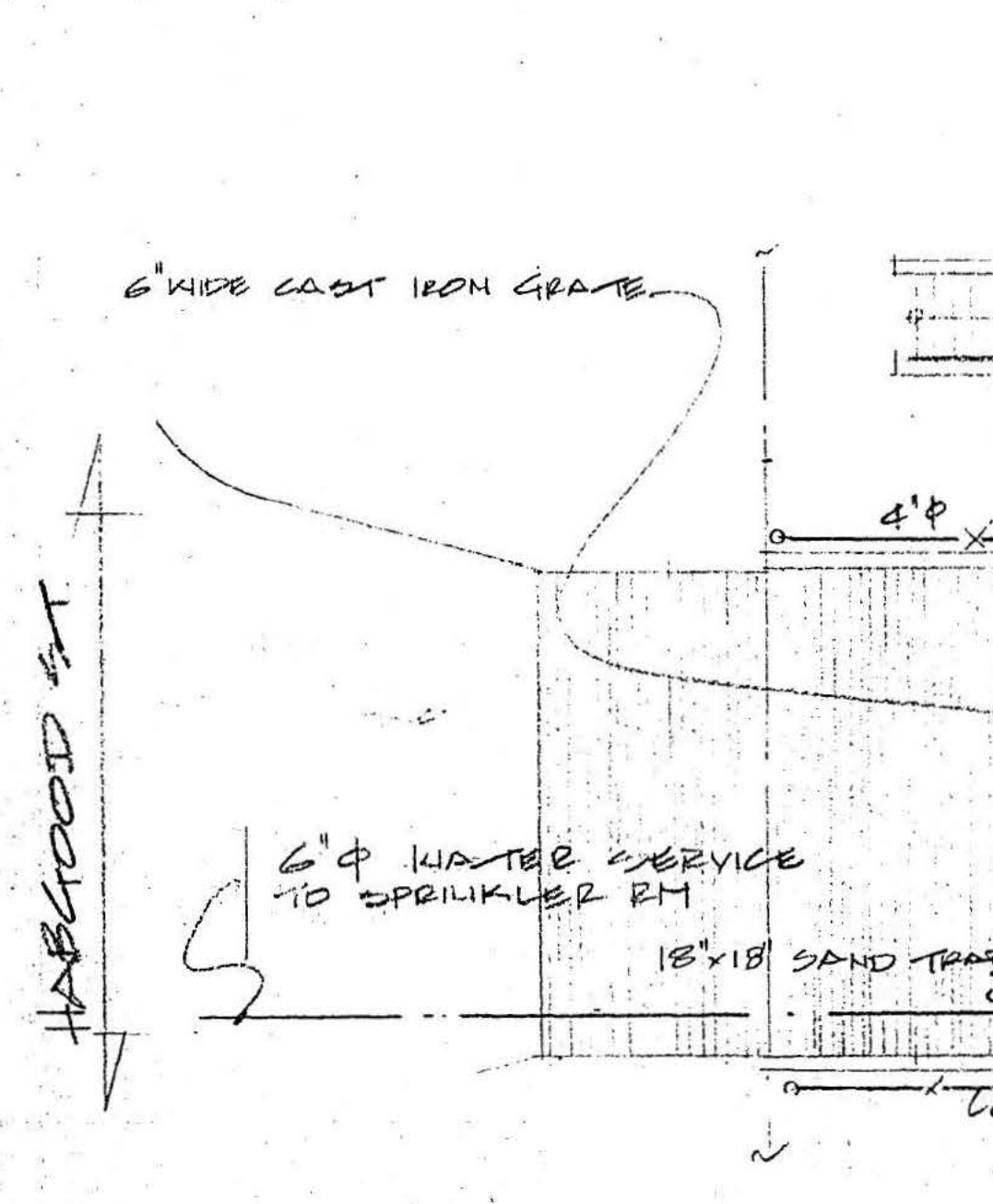
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Redacted S. 15(1)

MECHANICAL SPECIFICATIONS
1.1 DRAWINGS ARE DIAGNOSTIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED IN THE CONTRACT...

NOISE VIBRATION
1.1 DESCRIPTION
1.2 QUALITY ASSURANCE
1.3 SUBMITTALS
1.4 INSULATION
1.5 PLUMBING

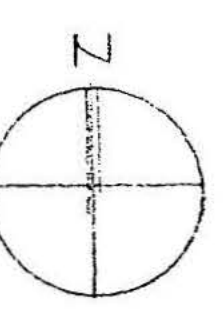
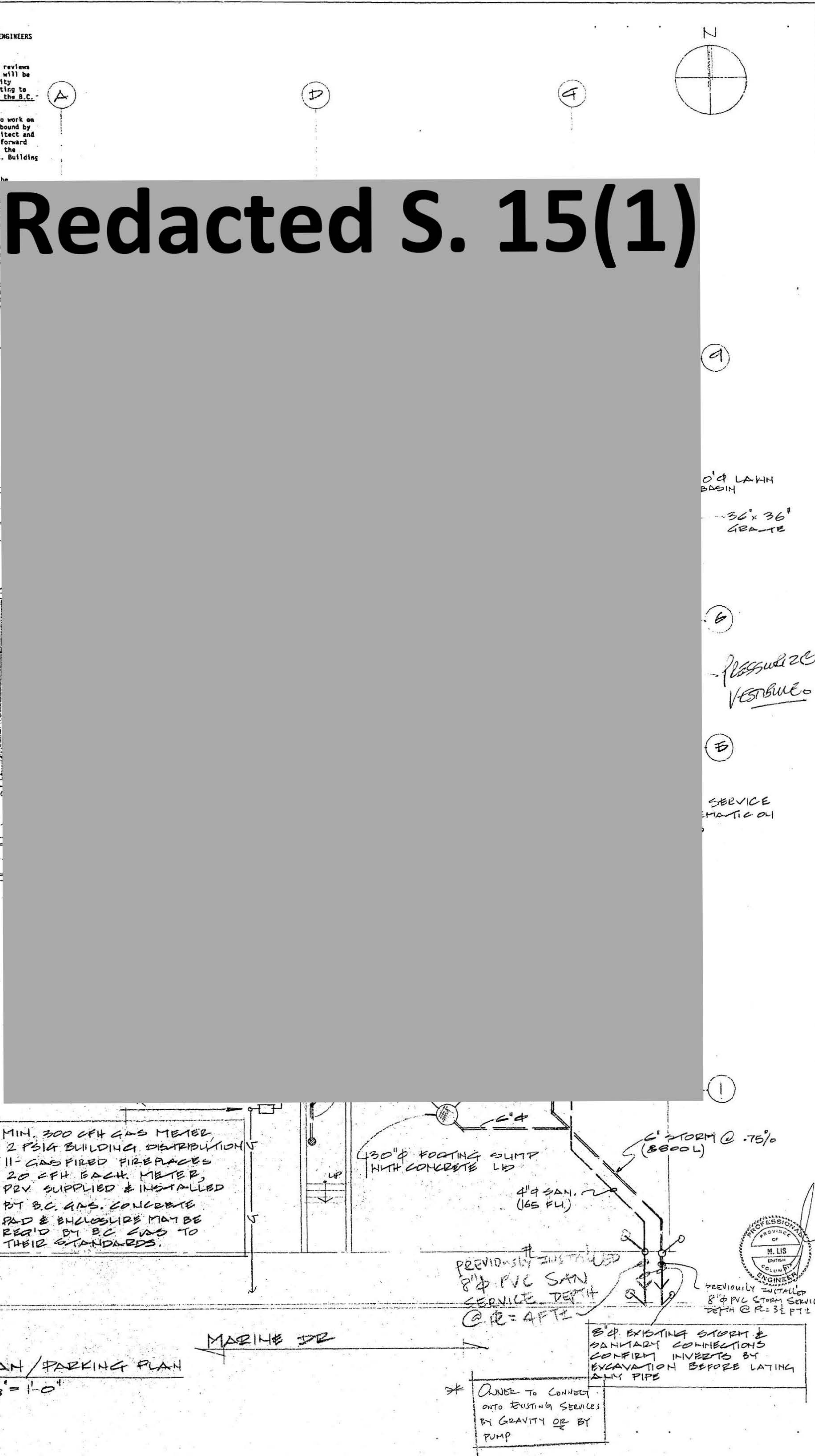
LEGEND
SANITARY DRAIN-ABOVE GROUND
SANITARY DRAIN-BELOW GROUND
SANITARY VENT
STORM DRAIN-ABOVE GROUND



LITEROO SIGN
1-3/8" CRANE CONCRETE 17x21 WHITE ENAMELLED STEEL BASIN, WITH FRONT OVERFLOW...

NATURAL GAS PIPING
1.1 DESCRIPTION
1.2 QUALITY ASSURANCE
1.3 SUBMITTALS

VENTILATION
1.1 DESCRIPTION
1.2 QUALITY ASSURANCE
1.3 SUBMITTALS



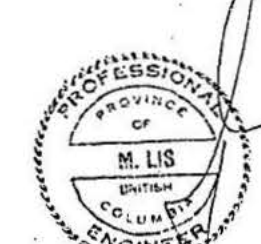
9

6

5

SERVICE MATERIAL

1



MARINE JR

\* OWNER TO CONNECT INTO EXISTING SERVICES BY GRAVITY OR BY PUMP



# Redacted S. 15(1)



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proposed apt's  
for arina construction  
white rock, b.c.

HOSE BIBS  
CROSS FREE

DD  
DD

STANDPIPE SYSTEM  
RED'D IN EACH  
STAR TOWER ONE  
THRU ROOF AND ONE  
TO BASEMENT.

title  
PLB'S VENTILATION  
MAIN FLOOR &  
2ND, 3RD FLOOR UNITS  
scale & c. NOTED  
date 09.05.1990  
drawn ML checked ML  
job no.  
sheet no. M-2  
consultant

MAIN FLOOR UNIT 'B', MAIN 2ND, 3RD FLOOR UNIT 'A'  
SCALE 1/8" = 1'-0"



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MECHANICAL ENGINEERS  
12669 14th AVENUE  
SURREY B.C.  
V4A 1H3 531-4976

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Fax (604) 536-5774

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for drina construction  
white rock, b.c.

title  
P.L.B.G. VENTILATION  
2<sup>ND</sup> F.L.R. UNIT 'C'  
3<sup>RD</sup> F.L.R. UNIT 'D' & A

scale AS NOTED  
date 1.05.1990  
drawn checked

job no.

sheet no. M-3

consultant

M. LIS ASSOCIATES LTD.  
MECHANICAL ENGINEERS  
12669 14th AVENUE  
SURREY B.C.  
V4A 1H5 531-4476



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SECOND FLOOR - UNIT 'C'  
SCALE 1/4" = 1'-0"

THIRD FLOOR - UNIT 'D'  
SCALE 1/4" = 1'-0"

3" FROM  
OUTER





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White Rock, British Columbia  
Canada, V4A 4N6  
Tel (604) 536-1600  
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proposed apts  
for arena construction  
white rock, b.c.

title  
PARKING SPRINKLERS & STANDPIPES

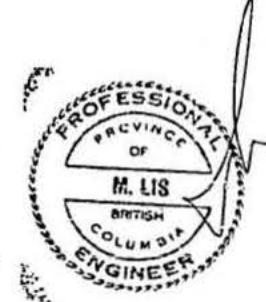
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drawn H.L. checked H.L.

job no.

sheet no. M-4

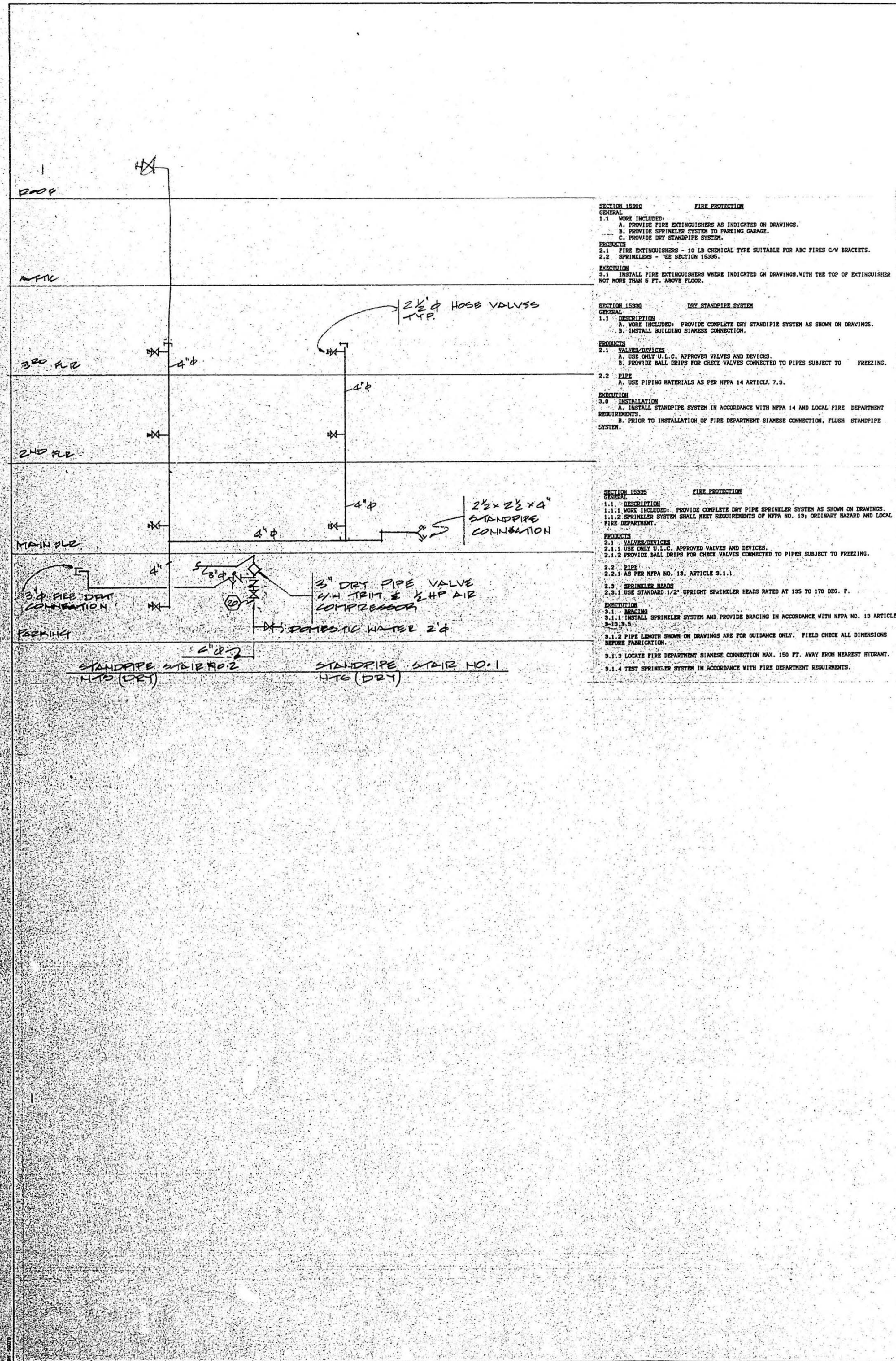
consultant

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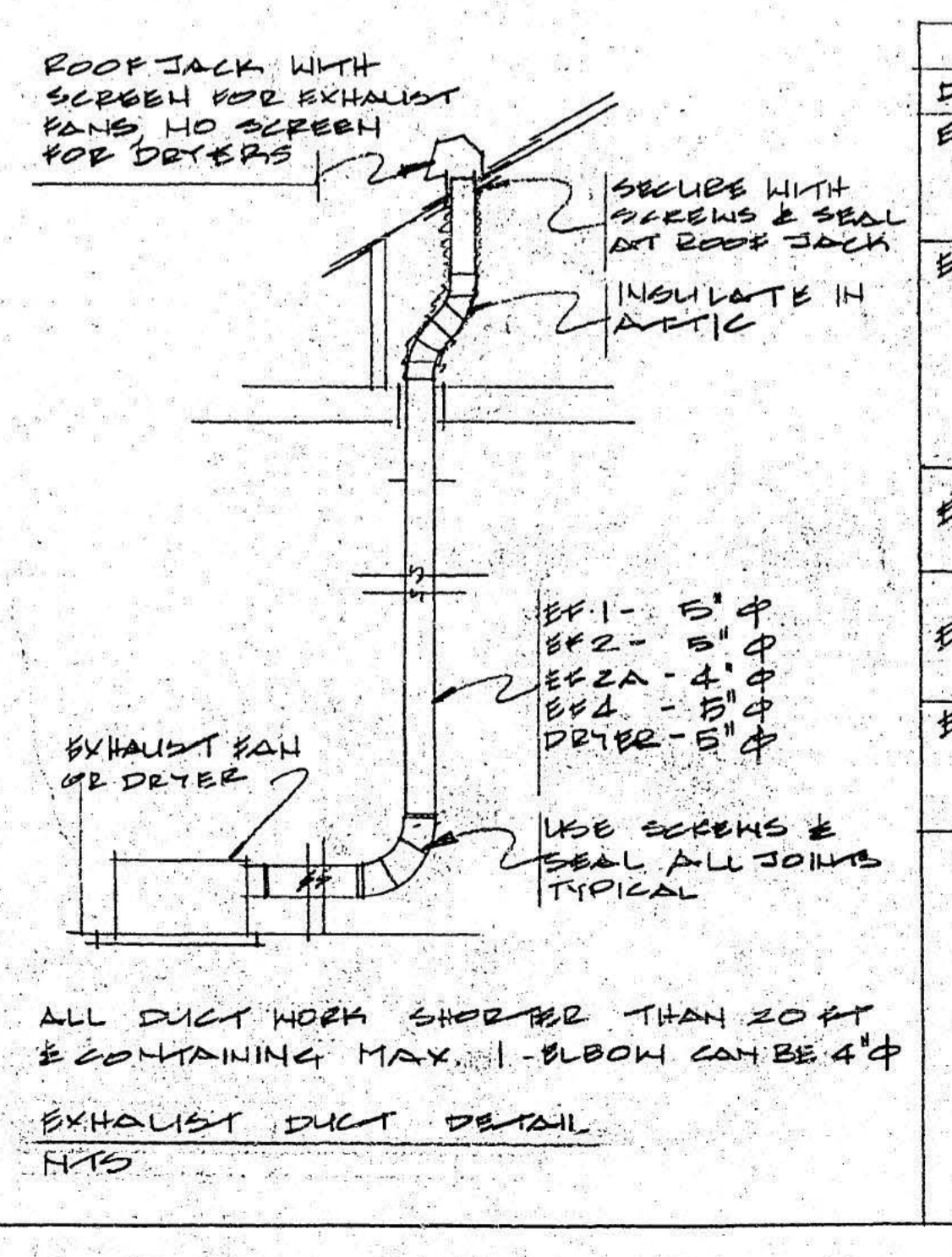
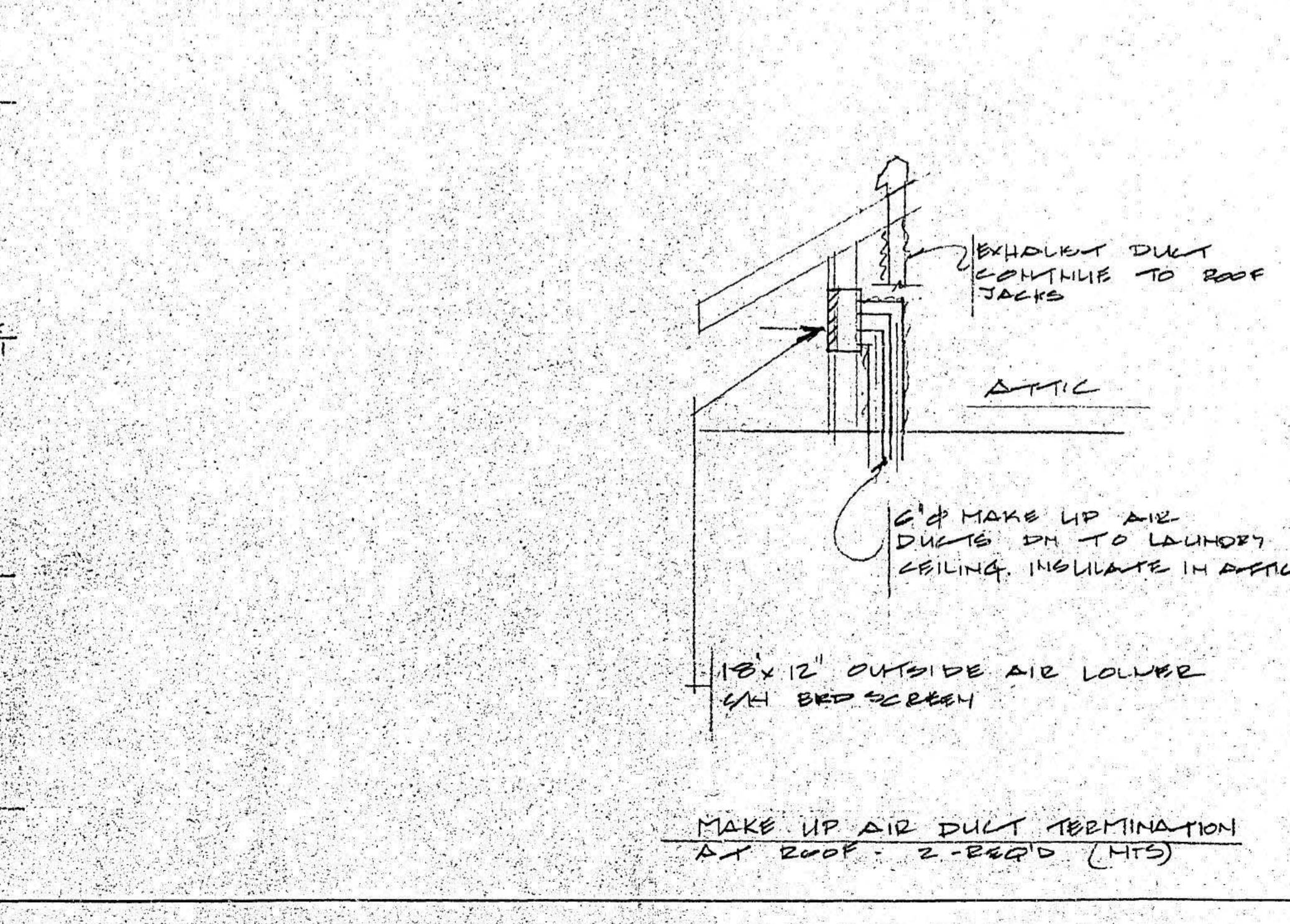
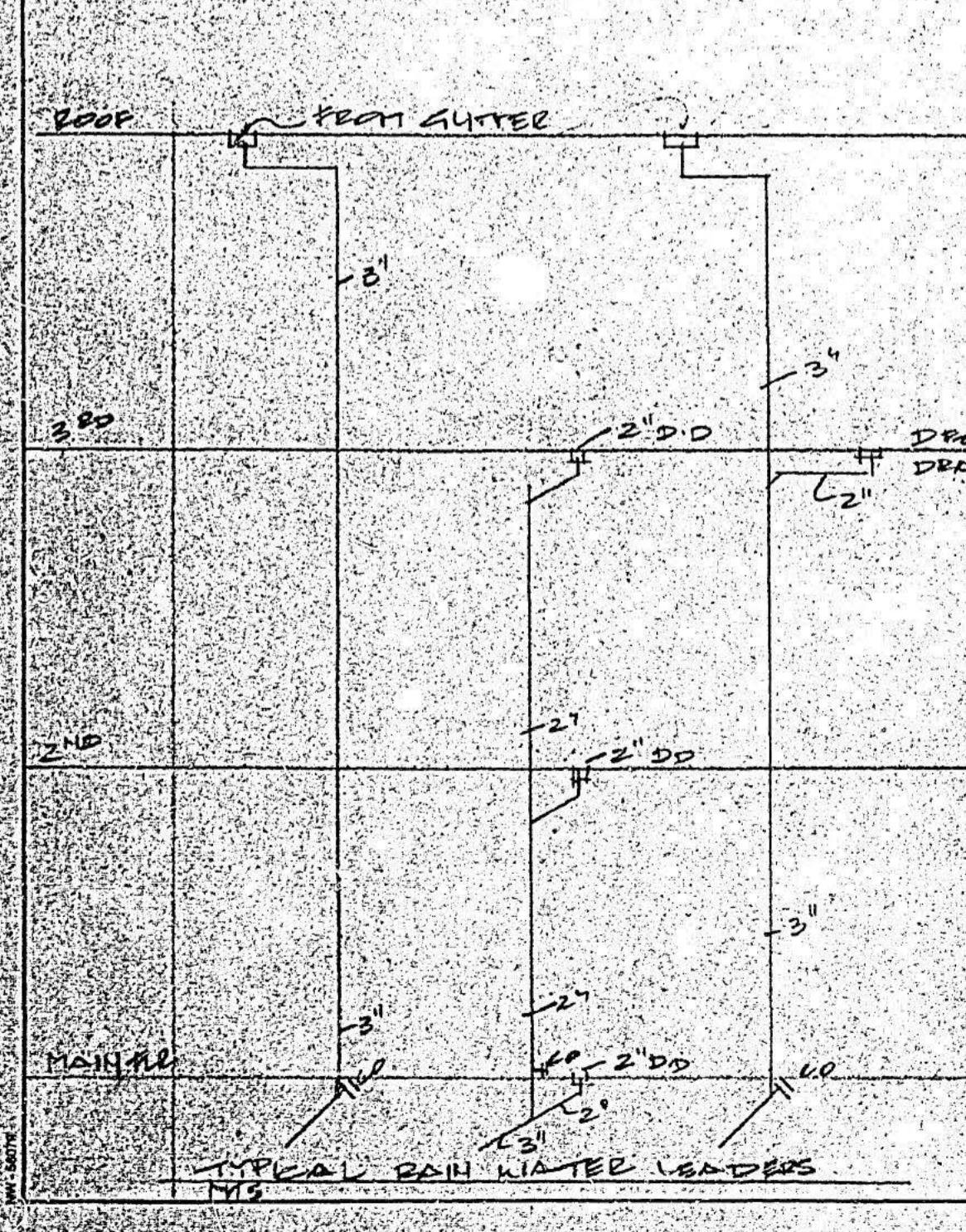
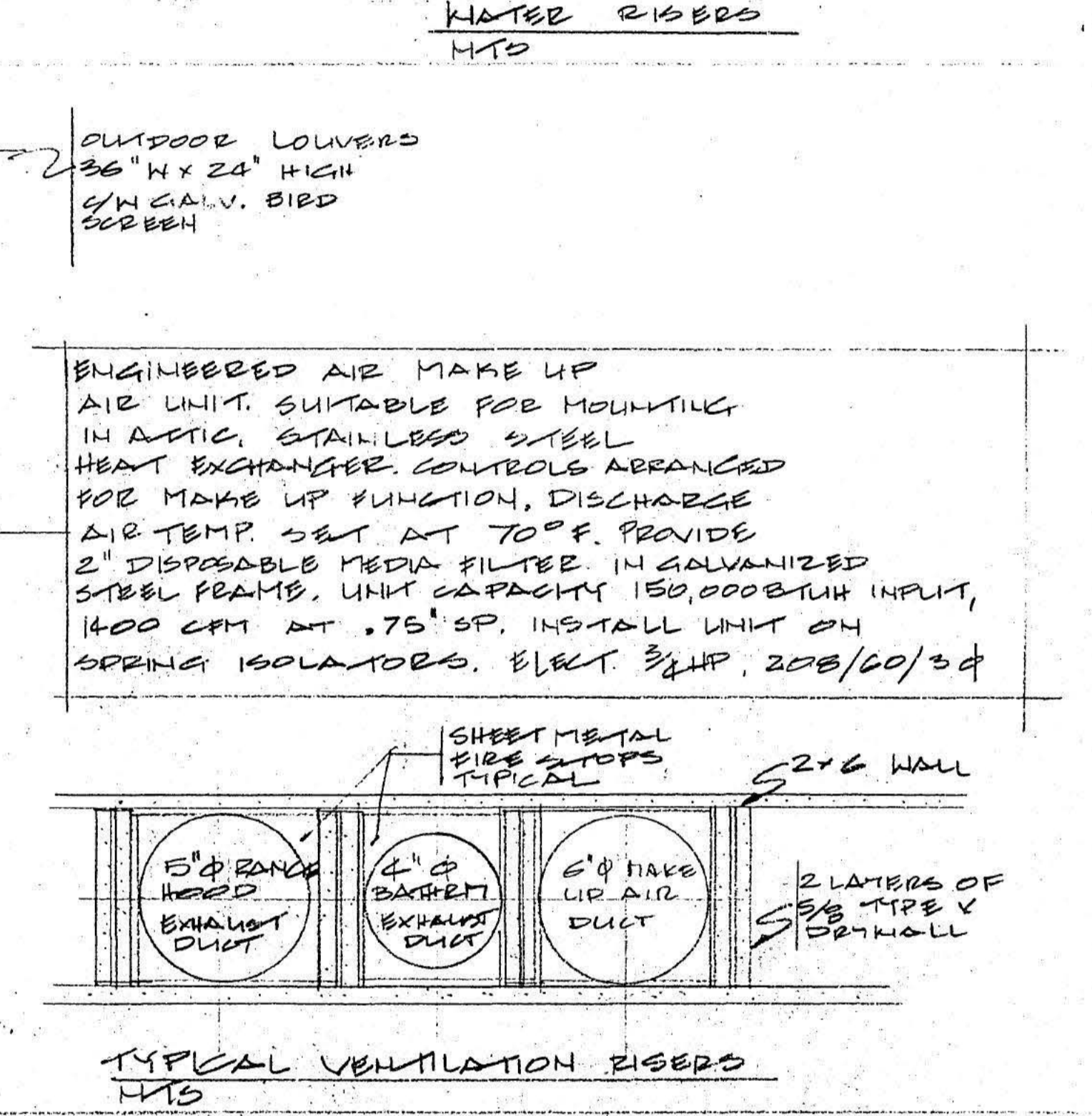
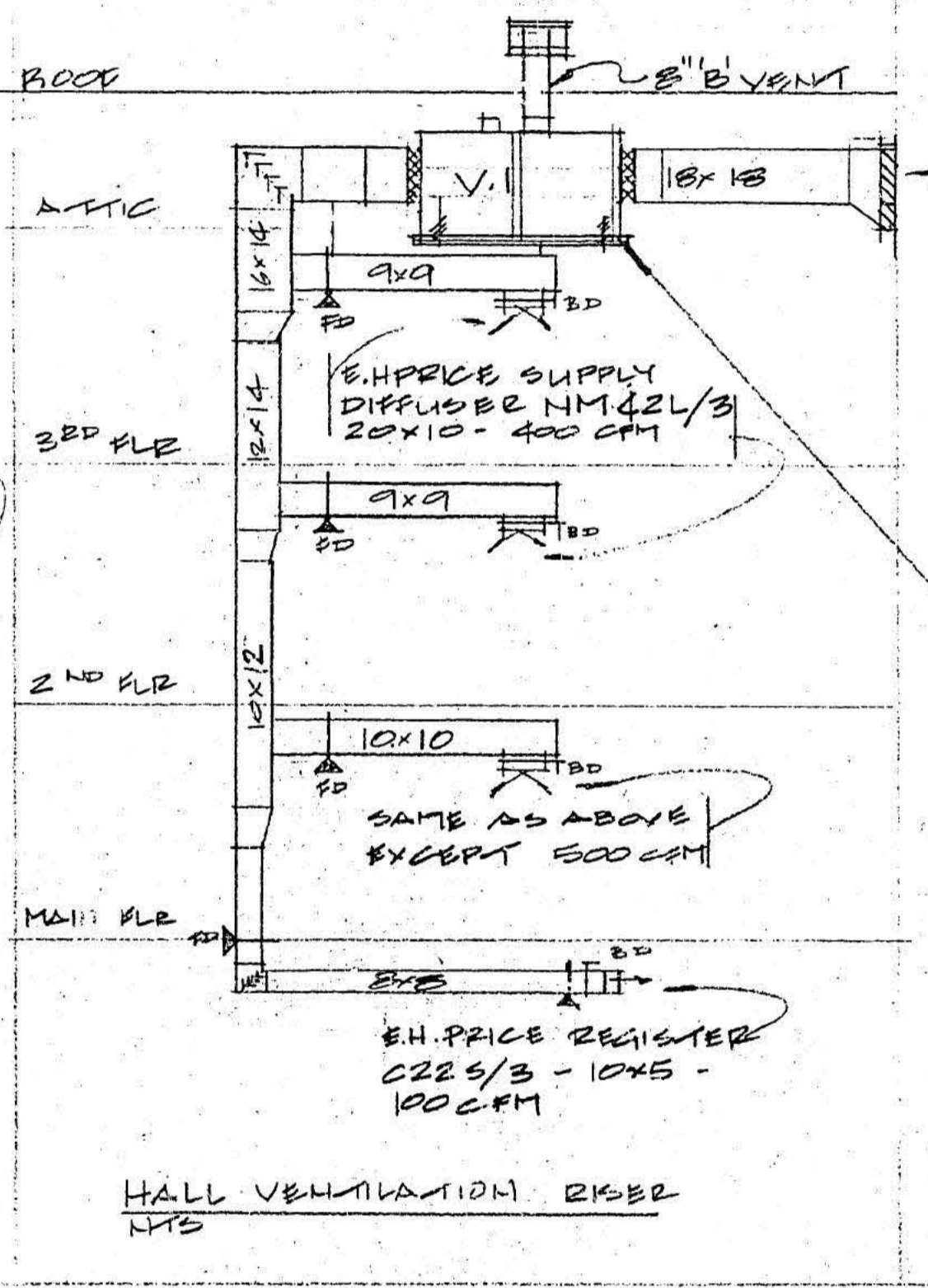
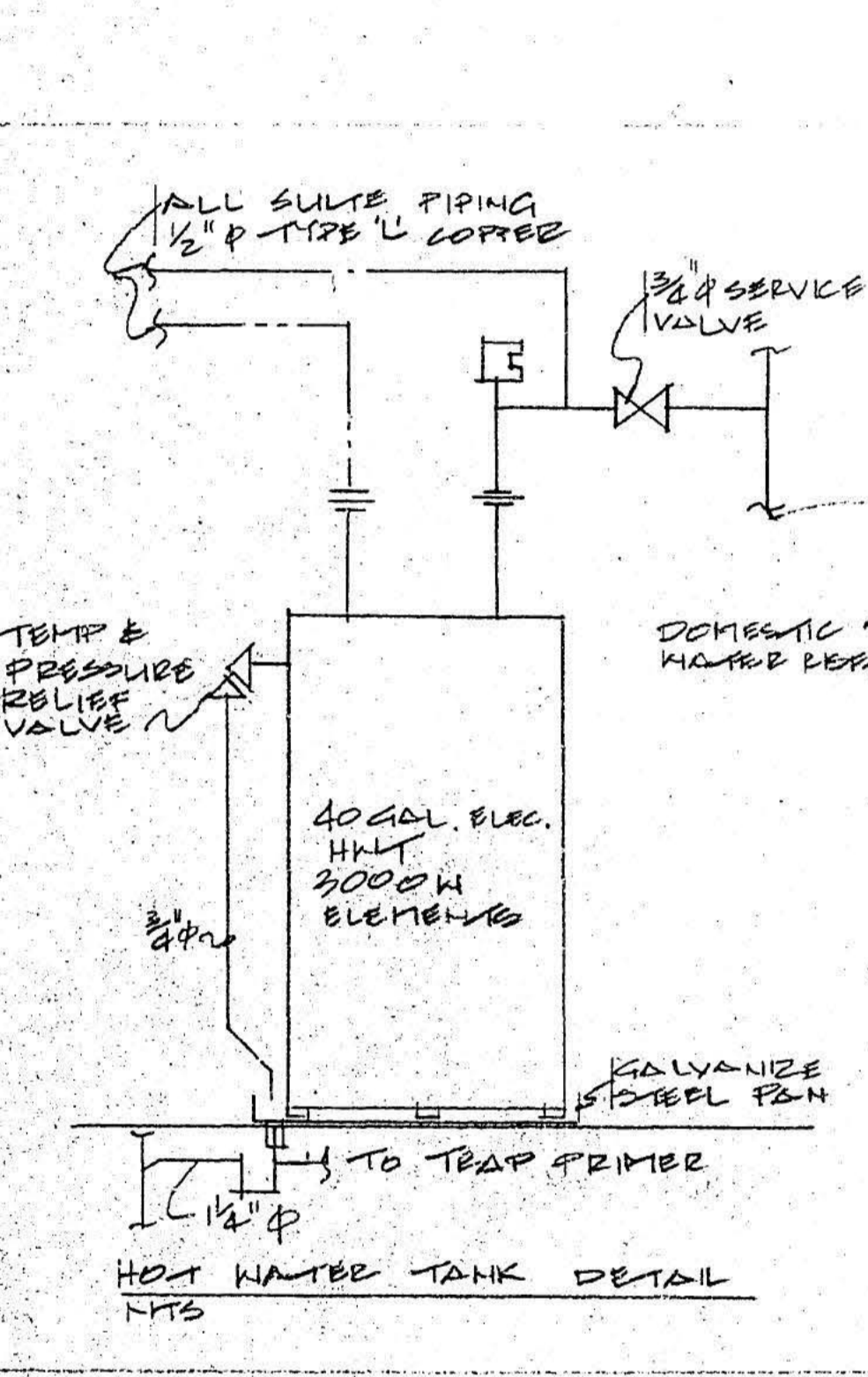
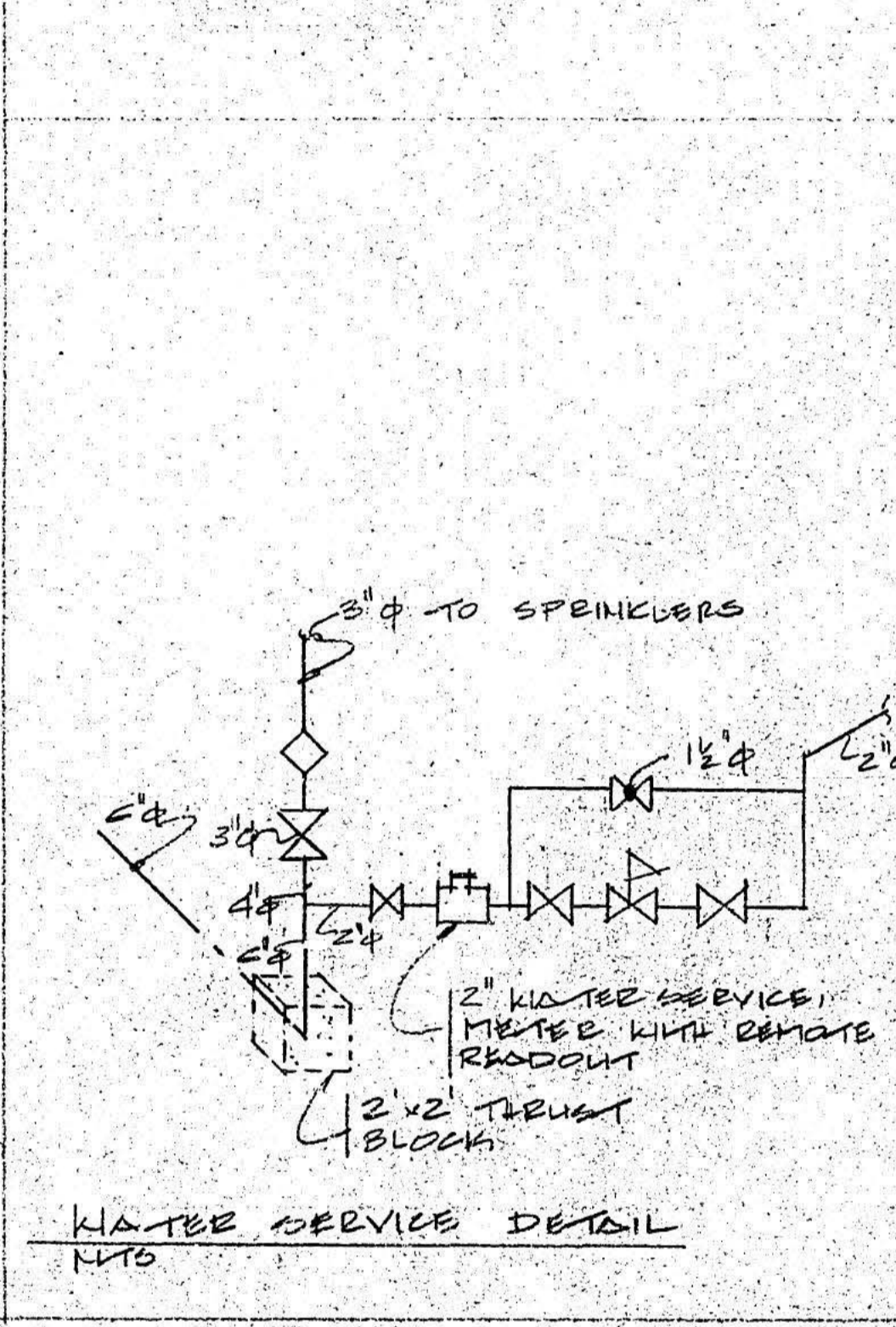
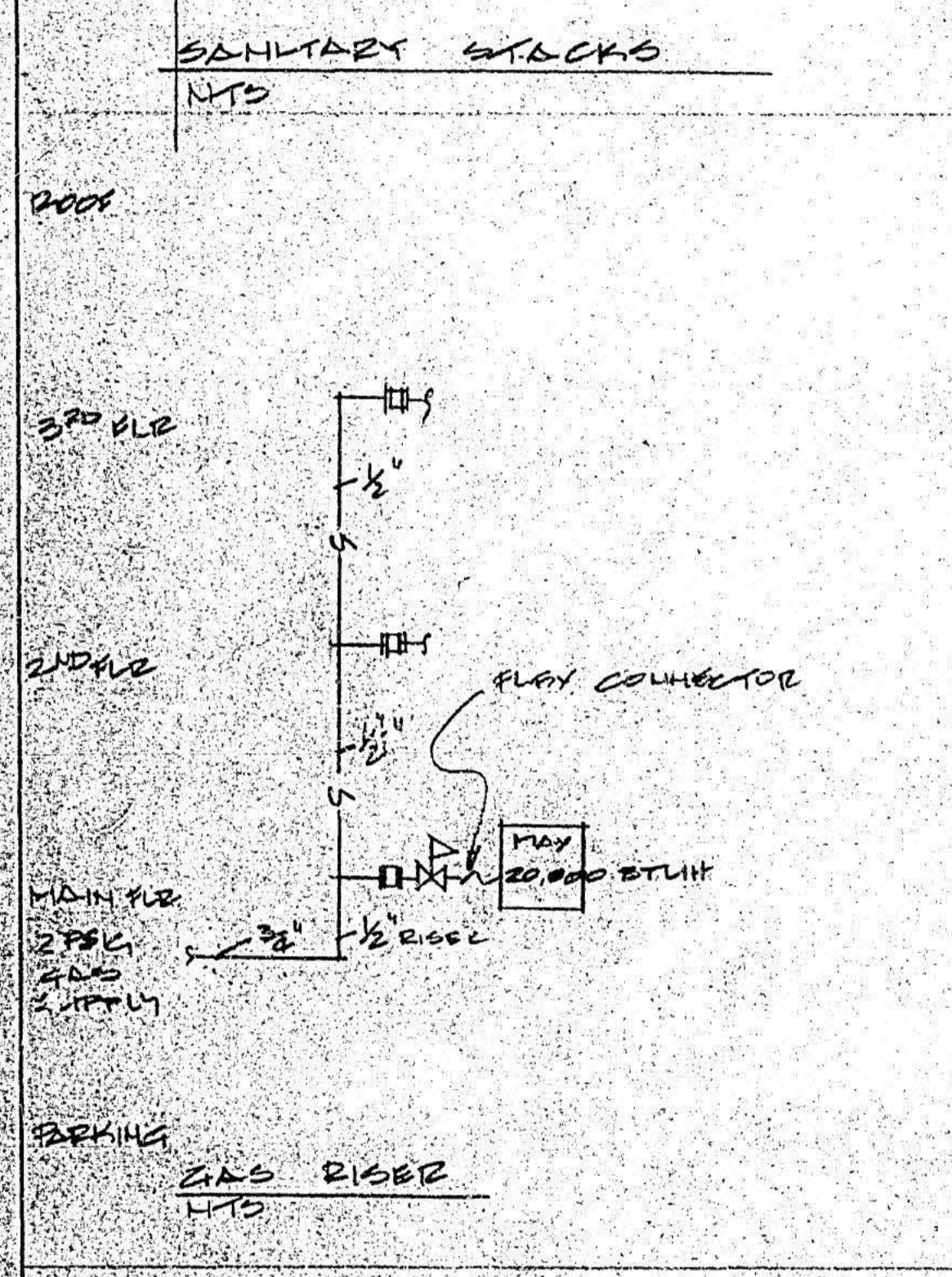
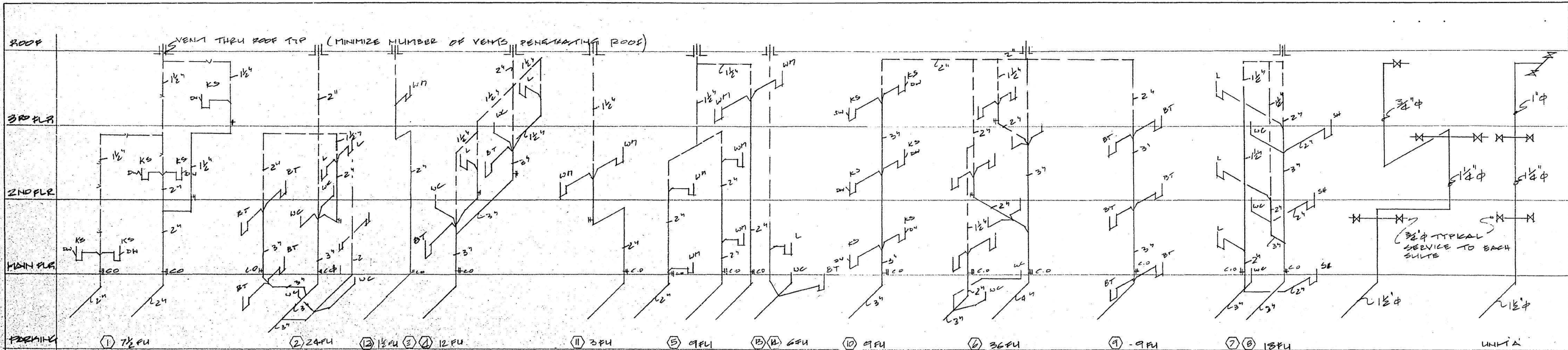
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Redacted S. 15(1)



PARKING FLOOR PLAN  
SCALE 1/8" = 1'-0"





VENTILATION EQUIPMENT SCHEDULE		
DWG. MK.	DESCRIPTION	ELECTRICAL/CONTROL
EF-1	KITCHEN RANGE EXHAUST FAN BROAN 7600 SERIES - 200CFM C.S. SOLID	110V/60/MANUAL
EF-2	BATHROOM EXHAUST FAN BROAN MODEL 360 - MIN. 100 CFM @ .5" SP	110V/60/MANUAL WITH OVERRIDE BY DEHUMIDISTAT
EF-2A	BATHROOM EXHAUST FAN BROAN MODEL 364 - 80 CFM	110/60/MANUAL
EF-3	PARKING EXHAUST FAN POWERLINE 24 BY 8F - 1/2 HP 4300 CFM @ 1/2" SP/4 GUARD	110/60/MANUAL
EF-4	MACHINE ROOM EXHAUST FAN BROAN MODEL 363 - 200CFM AT .5" SP	110/60/REVERSE ACTION LINE VOLTAGE THERMOSTAT
Y-1	MAKE UP AIR UNIT SEE DETAIL THIS DWG.	208/3/60 - OPERATES CONTINUOUSLY. DUCT THERMOSTAT MAINTAINS SUPPLY AIR TEMPERATURE

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Fax (604) 536-5774

proposed apts  
for arena construction  
white rock, b.c.

title  
RISERS &  
DETAILS  
scale AS NOTED  
date 01.05.1990  
drawn checked  
job no.  
sheet no. M-5  
consultant

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SURREY  
V4A 1K5 BC  
531-4476

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# Redacted S. 15(1)

HABGOOD STREET

legal description:  
lots 6, 7, 8 & 8 block  
1p, 1 plan 13334

SITE PLAN / PARKING LEVEL  
SCALE: 1/8" = 1'-0"

MARINE DRIVE

DIVISION 16  
ELECTRICAL SPECIFICATIONS

GENERAL: THE GENERAL CONDITIONS, SUPPLEMENTS, INSTRUCTIONS TO TENDERS, CONTRACT DOCUMENTS AND GENERAL REQUIREMENTS OF DIVISION 1 FORM AN INTEGRAL PART OF THIS DIVISION 16 - ELECTRICAL.

CODES, REGULATIONS & PERMITS: WORK IN ACCORDANCE WITH REQUIREMENTS OF THE NATIONAL BUILDING CODE AND CANADIAN ELECTRICAL CODE - CURRENT EDITION, AND PROVINCIAL ORDINANCES, CITY BY-LAWS, RULES, REGULATIONS FOR INSTALLATION OF ELECTRICAL EQUIPMENT.

BEFORE STARTING WORK, SUBMIT REQUIRED NUMBER OF PLANS AND SPECIFICATIONS TO THE ELECTRICAL INSPECTION DEPARTMENT AND OBTAIN NECESSARY PERMITS. INCLUDE IN TENDER COPIES FOR PLAN APPROVALS, PERMIT AND FEES. ARRANGE FOR INSPECTION OF THE WORK BY AUTHORITIES HAVING JURISDICTION. OBTAIN WRITTEN INSPECTION REPORTS BEFORE PROCEEDING WITH STAGES OF WORK. ON COMPLETION OF WORK BEFORE FINAL PAYMENT, OBTAIN THE CERTIFICATE OF UNCONDITIONAL APPROVAL FOR ELECTRICAL WORK FROM AUTHORITIES HAVING JURISDICTION.

RESPONSIBILITY: SUPPLY LABOUR, MATERIALS, EQUIPMENT, TOOLS, NECESSARY TO PROVIDE A COMPLETE ELECTRICAL INSTALLATION.

CHECK DRAWINGS OF OTHER TRADES AND COORDINATE INSTALLATION OF MATERIAL AND EQUIPMENT TO ENSURE ADEQUATE SPACE. COORDINATE WITH SUB-TRADES ON SITE DURING THE WORK, THE WORD "PROVIDE" SHALL MEAN "SUPPLY AND INSTALL". THE WORD "FURNISH" SHALL MEAN "ELECTRICAL CONSULTANT".

TRADESMEN: USE ONLY QUALIFIED PERSONS FOR WORK ON JOB IN ACCORDANCE WITH REQUIREMENTS OF TRADESMEN QUALIFICATION ACT.

BEFORE STARTING WORK, CONTRACTOR TO PROVIDE FORM LETTER INDICATING EMPLOYERS' NUMBER AND THAT EMPLOYEES ARE COVERED UNDER WORKERS COMPENSATION BOARD INSURANCE.

DRAWINGS & DIMENSIONS: CONSULT ARCHITECTURAL, STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS BEFORE LOCATIONS OF OUTLETS, DEVICES AND EQUIPMENT. FIELD MEASUREMENTS SHALL HAVE PRECEDENCE WHERE EQUIPMENT AND MATERIAL DIMENSIONS AND DEPENDENT UPON BUILDING DIMENSIONS.

SHOP DRAWINGS: SUBMIT SHOP DRAWINGS FOR LUMINAIRES, FIRE ALARM PANEL, POWER DISTRIBUTION AND LIGHTING PANELS TO ENGINEER FOR HIS REVIEW AND APPROVALS PRIOR TO PURCHASE. TWO COPIES WILL BE RETAINED BY ENGINEER. INDICATE ON SHOP DRAWINGS, PROJECT, MANUFACTURER NAMES, DATE, REVISIONS.

AS-BUILT DRAWINGS: MAINTAIN AT JOB SITE OFFICE SET OF WHITEPRINTS OF DRAWINGS, RECORD AND DIMENSION IN RED, "AS-BUILT" CONDITIONS. SHOW INSTALLATION OF FEEDERS, BRANCH CIRCUITS, UNDERGROUND SERVICES, CONDUITS, JUNCTION BOXES, CIRCUITS. ALLOW \$300.00 FOR ENGINEER TO PREPARE "AS-BUILT" DRAWINGS FROM CONTRACTOR'S RECORD DRAWINGS.

BEFORE WORK APPROVED FOR "SUBSTANTIAL COMPLETION" BY ENGINEER, CLEAN AND VACUUM LUMINAIRES, PANELBOARDS AND EQUIPMENT FREE OF DUST, PLASTER AND DEBRIS.

SUBSTANTIAL COMPLETION: INSPECTIONS SHALL BE COMPLETED WITH EQUIPMENT, SYSTEMS, DEVICES, COVERPLATES INSTALLED; CERTIFICATES OF "FINAL ACCEPTANCE" FROM AUTHORITIES HAVING JURISDICTION; MAINTENANCE MANUAL; RECORD COPIES FOR "AS-BUILT" DRAWINGS SUBMITTED TO ENGINEER.

GENERAL: MATERIALS TO BE NEW AND MEET CANADIAN STANDARDS ASSOCIATION APPROVAL TYPED. MATERIALS DESIGNED AND MANUFACTURED IN ACCORDANCE WITH APPLICABLE EEMAC AND IESA SPECIFICATIONS.

CONDUITS & FITTINGS: CAP AND IDENTIFY EMPTY CONDUITS. RIGID GALVANIZED STEEL CONDUIT USED IN WET LOCATIONS UNLESS OTHERWISE SPECIFIED.

DISCONNECT SWITCHES: PROVIDE FUSES AND NON-FUSED DISCONNECT OR SAFETY SWITCHES AS SHOWN OR REQUIRED BY CODE. SAFETY SWITCHES TO BE QUICK-BREAK, QUICK-BREAK WITH VOIDABLE INTERRUPTER RATED 250 VOLTS, SWITCHES TRIPPED WITH SOLID-STATE NEUTRAL BAR WHERE REQUIRED. SWITCHES WITH FUSE HOLDERS AND FUSES AS REQUIRED. WEATHERPROOF SWITCHES IN OUTDOOR MOUNTED LOCATIONS.

CONDUCTORS: USE APPROVED LUBRICANTS WHEN INSTALLING CONDUCTORS IN CONDUITS. BUILDING WIRE AND CABLE SHALL BE COPPER CONDUCTORS. CONDUCTORS #8 AWG AND LARGER TO BE STRANDED. WIRES TO BE TYPE R-90, CROSS LINK.

FINAL CONNECTIONS TO BE RECESSED INCANDESCENT FIXTURES AND SIMILAR HEAT-PRODUCING EQUIPMENT WITH TYPE COT WIRE WHERE HIGHER TEMPERATURE RATED INSULATION REQUIRED. GROUND TERMINALS WITH SOLDERED LUGS; DO NOT FEED GROUND CONDUCTORS THROUGH RECEPTACLES.

MOUNTING HEIGHTS: MOUNT OUTLETS ABOVE FROM FLOOR FINISHED TO CENTRE LINE OF DEVICE. WALL RECEPTACLES 18" ABOVE FLOOR; UNDERGROUND SLOT ORIENTED TO THE SIDE; TELEPHONE 18" ABOVE FLOOR; FIRE ALARM PULL STATIONS 5'0" ABOVE FLOOR; LIGHT SWITCHES 4'0" ABOVE FINISHED FLOOR INSTALLED ON STRIKE SIDE OF DOOR; LIGHTING & POWER PANELS 6'0" FROM FLOOR TO TOP OF PANEL.

GROUNDING: GROUND CONDUCTORS WITH INSULATION OR IDENTIFICATION AT ENDS. TERMINATE GROUNDING CONDUCTORS AT SWITCHBOARDS, EQUIPMENT, GROUND BUSES, WITH CABLE LUGS. GROUNDING TO CONFORM TO CGC AND REQUIREMENTS OF THE INSPECTION AUTHORITY AND AS PER THE DRAWINGS.

SEPARATE GROUND WIRE AND APPROVED CONNECTORS IN FLEXIBLE CONDUIT CONNECTIONS. FOR GROUNDING EQUIPMENT ENCLOSURES, ARRANGE CONDUCTORS SO THAT REMOVAL OF THE GROUNDING ITEM WILL NOT INTERRUPT THE GROUND CONDUCTOR TO OTHER EQUIPMENT.

RECEPTACLE GROUNDING CONDUCTOR INSTALLED BETWEEN GROUNDING OUTLET BOX AND GROUNDING TERMINAL ON RECEPTACLE.

TESTING: TEST MAIN DISTRIBUTION INSULATION-RESISTANCE MEGGER; TEST BUS PHASE TO PHASE, PHASE-TO-GROUND; PHASE ROTATION A, B, C AND AT PANELS.

LIGHTING SWITCHES: FLUSH TOGGLE TYPE, IVORY HANDLE, SINGLE POLE AND THREE-WAY 120 VOLTS, 20A RATING SILENT ACTING, SWITCH & STONE, HUBBELL, TIME CLOCK FOR EXTERIOR LIGHTING TO BE TORX 72002 - ASTRONOMIC 24-HOUR SPRING RECHARGEABLE.

RECEPTACLES: 120 VOLTS, 15A, SPECIFICATION GRADE, IVORY COLOUR, EQUIVALENT TO HUBBELL 5262-J, NARROW HART, SMITH & STONE.

COVERPLATES: IVORY FOR SWITCHES, RECEPTACLES, TELEPHONE OUTLETS, COMMUNICATION OUTLETS, SWITCH & STONE, PREMIUM QUALITY. FOR TWO OR MORE SWITCHES OR DEVICES, ADJACENT SINGLE COVERPLATE.

TELEPHONE & CABLE TV SYSTEMS: PRE-WIRE AND WITH BOXES AND COVERPLATES TO REQUIREMENTS OF TELEPHONE COMPANY. OBTAIN APPROVED DRAWINGS FOR LAYOUTS BEFORE PROCEEDING WITH THE WORK.

LUMINAIRES: AS SPECIFIED OR AS PER P.C. SUM. FLUORESCENT LUMINAIRES PLASTIC LENSES AND ARRANGEMENT TO COMPLY WITH SECTION 3.1.1.1. OF THE NATIONAL BUILDING CODE. LUMINAIRES COMPLETE WITH SUPPORTS, BALLASTS AND SWITCHES CONTROLLED.

LAMPS & BALLASTS: INCANDESCENT LAMPS RATED AT 125 VOLTS, INSIDE PROTECTED, FLUORESCENT LAMPS WARM WHITE, PREMIUM QUALITY, ONE MANUFACTURER, CANADIAN GENERAL ELECTRIC; CANADIAN WESTINGHOUSE, PHILLIPS OR SYLVANIA. FLUORESCENT LUMINAIRES WITH WATT HOUR BALLASTS TO PERFORM IN ACCORDANCE WITH IESA SPECIFICATION CS2.1 FOR LIGHT OUTPUT.

ELECTRIC HEATING: ELECTRIC RADIANT CEILING MOUNTED HEATING PANELS AND CONTROLS AS SHOWN ON DRAWINGS AND SPECIFIED HEREIN. PANELS CSA APPROVED, OUTPUT CAPACITY MAX 145 WATTS PER METER SQ. AT 208 VOLTS SINGLE PHASE, 20A CIRCUIT.

INSTALLED IN ACCORDANCE WITH "THE ELECTRIC RADIANT CEILING HEATING ELEMENT INSTALLATION MANUAL CSA LR 56397".

PANEL SUPPLIER TO PREPARE SCHEMATIC LAYOUTS FOR EACH AND EVERY AREA KN INDICATED. DIMENSIONED, THERMOSTAT - SUBMIT LAYOUTS TO ENGINEER FOR WRITTEN APPROVAL PRIOR TO ANY INSTALLATION WORK.

EACH ROOM AREA CONTROLLED BY WALL MOUNTED THERMOSTAT. PANELS INSTALLED BY SUPPLIER WHO SHALL EMPLOY ONLY QUALIFIED PERSONNEL FAMILIAR WITH CONSTRUCTION AND OPERATION OF ELECTRIC RADIANT CEILING HEATING ELEMENTS PANELS AND CONTROLS.

ELEMENTS FASTENED TO STUD WITH WJD 1/2" WAVE SCREWS PHILLIPS DRIVE. INSULATION INSTALLED BETWEEN STUDS BY OTHERS. SEE DETAIL.

SUPPLIER TO INSPECT, TEST, AND RECORD PRIOR TO AND AFTER INSTALLATION OF GYPROC WALL BOARD BY GENERAL CONTRACTOR.

TESTING BY "IRAM-AMPHOR" TEST TO EACH THERMOSTAT. TEST RESULTS CERTIFIED BY PANEL SUPPLIER BEFORE PROCEEDING FURTHER WITH WORK. TEST RESULTS AND CERTIFICATION AVAILABLE AT SITE FOR ENGINEER'S INSPECTION.

WORKMANSHIP AND RADIANT PANELS GUARANTEED FOR A PERIOD OF TWO YEARS AND WIRING AFTER DATE OF CERTIFICATE OF FINAL ACCEPTANCE HAS BEEN ISSUED BY ARCHITECT.

ELECTRIC RADIANT HEATING ELEMENT PANELS EQUAL TO BE 'ESHA' BRAND SUPPLIED BY SCANCAN INDUSTRIES CORP., BURNABY, TEL: 299-0775.

REFER TO 'ESHA' TECHNICAL MANUALS.

BASEBOARDS BY CHROMALOX; LIGHT BROWN COLOUR; LINE VOLTAGE THERMOSTATS, BUILT-IN THERMOSTATS WHERE SHOWN.

FIRE ALARM SYSTEM: PROVIDE ZONED ELECTRICAL SUPERVISED, FIRE ALARM SYSTEM AS INDICATED ON THE DRAWINGS AND TO BUILDING CODE STANDARDS. ALL EQUIPMENT SHALL BE JLC LISTED AND APPROVED.

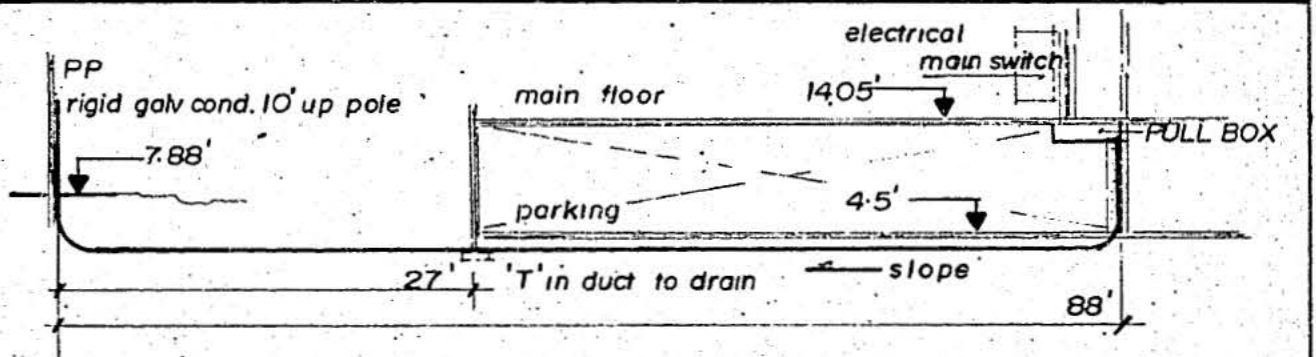
SYSTEM SHALL CONSIST OF CONTROL/ANNUNCIATOR PANEL, BREAKGLASS PULL STATIONS AT ALL SITES, FIRE ALARM 10" BELLS IN CORRIDORS AND PARKING, HEAT DETECTORS IN EACH SUITE, SMOKE DETECTORS IN CORRIDORS, STAIRWELLS AND CLOSETS, ZONES AS INDICATED.

SYSTEM SHALL BE VERIFIED, TESTED AND CERTIFIED BY EQUIPMENT SUPPLIER TECHNICAL REPRESENTATIVE. NOTIFY ENGINEER MIN 48 HOURS PRIOR TO VERIFICATION/ACCEPTANCE TEST.

PAYMENT: CONTRACTOR TO SUPPLY WITH HIS MONTHLY PROGRESS CLAIM, % COMPLETION OF EACH SYSTEMS AS LISTED: 1) INCOMING SERVICE; 2) MAIN DISTRIBUTION AND SUB PANELS & FEEDERS; 3) BRANCH CIRCUIT WIRING, OUTLET BOXES AND WIRING FOR POWER, LIGHTING, AND COMMUNICATION IN UNITS; 4) WIRING DEVICES; 5) FIRE ALARM SYSTEM; 6) LUMINAIRES AND CONTROLS; 7) PUBLIC AREAS; 8) TELEPHONE; 9) CABLEVISION.

LIST TO BE APPROVED BY ENGINEER PRIOR TO START OF WORK.

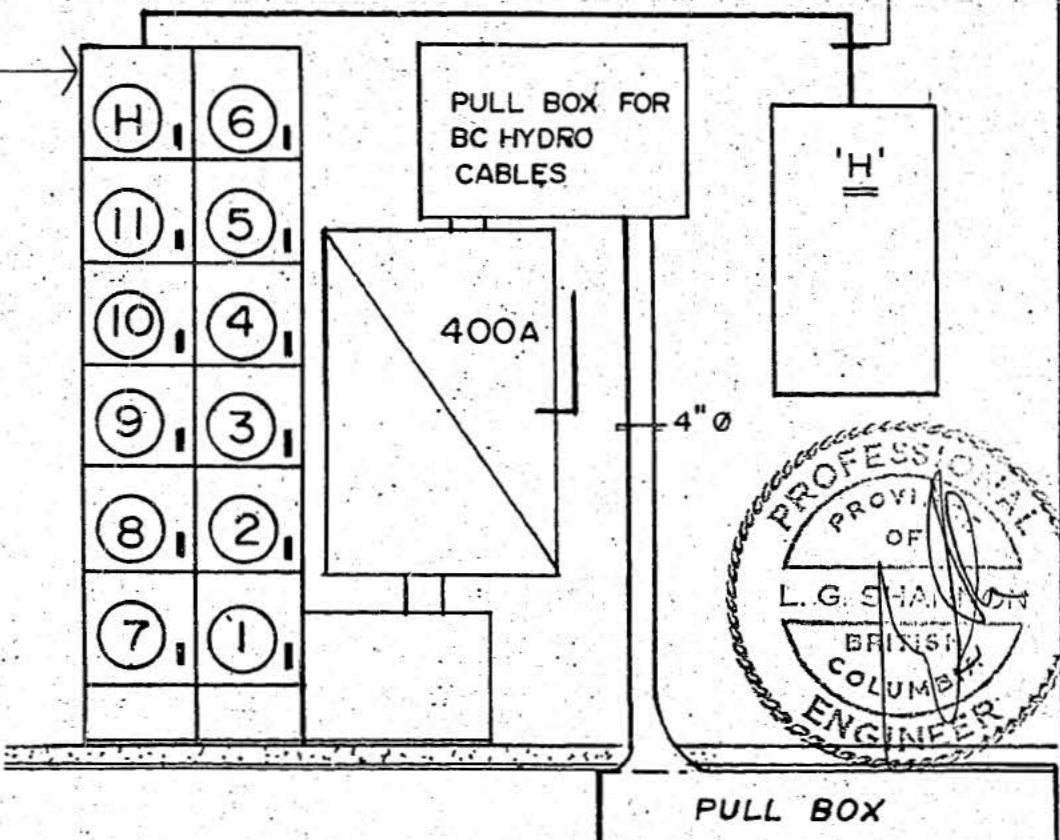
- LEGEND OF SYMBOLS
- FLUORESCENT LUMINAIRES
  - INCANDESCENT LUMINAIRE RECESSED OR CEILING MOUNTED
  - INCANDESCENT LUMINAIRE WALL MOUNTED
  - EXIT LIGHT 7AC + 1 DC LAMP C/W DIRECTIONAL ARROWS
  - POWER PANEL
  - EMERGENCY LIGHTING UNIT C/W CHARGEABLE BATTERIES, TRICKLE CHARGER, & CONNECTED TO 120 VOLT DUPLEX RECEPTACLE OUTLET. CONNECT TO BUILT-IN OR REMOTE BALCONY & HALL LAMPS & TO EXIT LAMP. UNITS SIZED FOR TOTAL LOAD. MOUNT 6" BELOW FINISHED CEILING
  - DUPLEX 15 AMP 170 VOLT RECEPTACLE MH 18" AFF
  - AS ABOVE BUT MOUNTED 6" ABOVE FINISHED COUNTER HG
  - AS ABOVE BUT SPLIT RECEPTACLE
  - HALF-RECEPTACLE SWITCHED
  - CONNECTION TO EQUIPMENT NOTED
  - RANGE OR DRYER OUTLET - 250 VOLT
  - AS ABOVE BUT 3-WAY SWITCH
  - FAN OR MOTOR SWITCH WITH PILOT LIGHT
  - ELECTRIC BASEBOARD 208 VOLT RATING, KW RATING AS SHOWN ON LAYOUT. MOUNT 3" TO BOTTOM ABOVE FLOOR. REMOTE CONTROL LINE VOLTAGE THERMOSTAT OR AS SHOWN BUILT IN TAMPER FLOOR TYPE
  - LINE VOLTAGE THERMOSTAT
  - MOTOR CONNECTION
  - DISCONNECT SWITCH: WP- WEATHERPROOF TYPE
  - BREAKGLASS FIRE ALARM PULL STATION
  - 10" DIA FIRE ALARM BELL
  - SMOKE ALARM:
  - SMOKE DETECTOR
  - HEAT DETECTOR
  - FIRE ALARM ANNUNCIATOR PANEL
  - TELEPHONE OUTLET MH 18" AFF, WITH CENTRE HOLE PLATE
  - T.C. TORX 72002 ASTRONOMIC TIME CLOCK WITH 24 HR RECHARGE
  - WIRING IN CONDUIT
  - OUTLET BOX ON JUNCTION BOX
  - CANALVISOR OUTLET & COVERPLATE TO TERMINAL PANEL
  - MAGNETIC BRUSH HOLDER CONNECTION 120 V. WIRE THROUGH CONTACTS IN FA PANEL
  - COMBINATION MAGNETIC STARTERS WITH 2-N/O & 2 N/C CONTACTS FOR
  - CABLE TV OUTLET
  - LOW VOLTAGE SWITCH



MAIN SERVICE DUCT PROFILE

LOAD CALCULATIONS	
UNIT 'D' (LARGEST UNIT)	3.5
	2.5
	2.0
	2.0
HEATING	13.0 KW
UNIT 'D' TOTAL	25.0 KW
UNIT 'B'	20.3 KW
UNITS 'A' & 'C'	19.0 KW
CODE LOAD (11 UNITS) 13(4.6)	59.3 KW
HEATING - PUBLIC	10.0 KW
SERVICE BASIC	59.8
10 + (.75)(13)	55.0 = 114.8
ELEVATOR, MISC.	15.0
SERVICE 400 A C 102/208 V	129.8 KW

400A 3Ø 4W METER STACK  
 1Ø 125 A 1Ø METER SOCKET - 'A'/'C' 2P 125 A BKR - 3# 1/0 AL R90  
 1Ø 150 A 1Ø " " 'D' UNIT 2P 150 A " - 3# 2/0 AL R90  
 1Ø 125 A 3Ø 4W " " 'HOUSE' 3P 125 A " - 4# 1/0 AL R90  
 BOLT EQUIPMENT TO WALL OR FLOOR



MAIN SERVICE DISTRIBUTION  
120 208V - 3 Ø - 4 W

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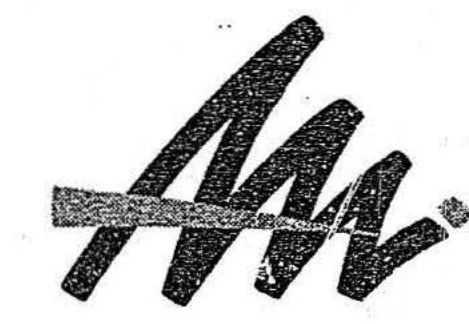
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**ELECTRICAL**  
 scale AS SHOWN  
 date 1990-04-20  
 drawn HY checked LGS  
 job no.  
 sheet no. **E** of 3  
 consultant

L.G. SHANNON ENGINEERING LTD.  
 CONSULTING ELECTRICAL ENGINEER  
 201 - 505 WESTBROADWAY TEL: (604) 574-5745  
 VANCOUVER, B.C. V6Y 1V7 FAX: (604) 574-5745

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EL. HOUSE		120/208 V 3Ø 4W	
T-O-R BREAKERS		NO. CWT 225 A	
L.O.A.D.	BRK	CCT	BRK
LIGHTING	15 1	2	15 RECEPTACLE 1.0
LIGHTING	3	4	15 RECEPTACLE 1.0
LIGHTING	5	6	15 RECEPTACLE 1.0
HEATING UNITS (ATTIC)	7	8	ELEVATOR
	15 9	10	100 15 HP 11.5
	11	12	
EX FAN PKG.	15 13	14	15 COMPRESSOR .5
	15	16	
	17	18	15 OVER'ND DOOR 1.0
	19	20	
LIGHTING O/D	15 21	22	15 ENVPHONE
LIGHTING O/D	15 23	24	15 FIRE ALARM
HEAT TRACE	15 25	26	15 SUMP PUMP GFI
R'ND HEATER	15 27	28	
	29	30	

— MARINE DRIVE —

**proposed apts**  
 for airta construction  
 white rock, b.c.

title  
**ELECTRICAL**

scale AS SHOWN

date 1990-04-20

drawn HY checked LGS

job no.

sheet no. **E 2 OF 3**

consultant



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SET OR STAIRWELL  
ERS 3 x 500 VA  
SET).

SCALE: 1/4" = 1'-0"



FLOOR - (KW LOAD)

UNIT TYPE 'A'	MAIN	2ND	3RD
BEDROOM	1.0	1.0	1.0
ENSUITE	.5	.5	.5
M. BEDROOM	1.25	1.0	1.25
BATH	.25	---	.25
LIVING/DINING	3.0	2.5	3.0
KITCHEN	.25	---	.25

UNIT TYPE 'B'	KW LOAD
NOOK	1.0
DINING	.75
LIVING ROOM	2.5
M. BEDROOM	1.5
BEDROOM	1.25
ENSUITE/BATH	.25
KITCHEN	.5

UNIT TYPE 'C'	KW LOAD
DINING	1.5
LIVING ROOM	2.5
BEDROOM	1.0
M. BEDROOM	1.5
BATH/UTILITY/ENSUITE	---

UNIT TYPE 'D'	KW LOAD
BEDROOM	2.0
M. BEDROOM	2.0
LIVING ROOM	2.5
DINING ROOM	2.5
FAMILY/KITCHEN	3.0
ENSUITE	.25
BATH	.25

LUMINAIRE SCHEDULE

A	INCANDESCENT SURFACE 1 x 100	APT ENTRANCE
B	INCANDESCENT WALL 1 x 100	ENTRANCE
C	INCANDESCENT SURFACE 1 x 100	BATHROOMS
D	INCANDESCENT CHANDELIER 1 x 150	DINING
F	INCANDESCENT RECESSED POT - LOW VOLTAGE 1 x 50 MR LAMP	CORRIDOR
G	INCANDESCENT RECESSED POT - LOW VOLTAGE 1 x 50 MR LAMP	CORRIDOR
K	INCANDESCENT RECESSED POT - LOW VOLTAGE 1 x 50 MR LAMP	KITCHEN
J	INCANDESCENT WALL 1 x 100	BALCONY, HDG EXIT
L	2 x 13W FL LAMP 6 ENCLOSURE	STAIRWELL
H	KITCHEN 2 x 4 - FLUORESCENT	KITCHEN
M	INCANDESCENT SURFACE 1 x 100	BLD ENTRANCE
P*	PORCELAIN KEYLESS RECEPT 1 x 100	PARKING
R*	FLUORESCENT 4 x 40 8'0" L. STRIP WITH WIRE GUARD MOUNTED REZELESS - 1 LG-96-96-248	
X	"EXIT" LIGHT 2 x 25 W AC + 1 x 25 W DC LAMPS. SIDE AND WALL MOUNTED WITH AEROGMS CONNECT TO EMERGENCY LIGHT UNIT	
*	PROVIDE UNDER BASE TENDER PRICE	

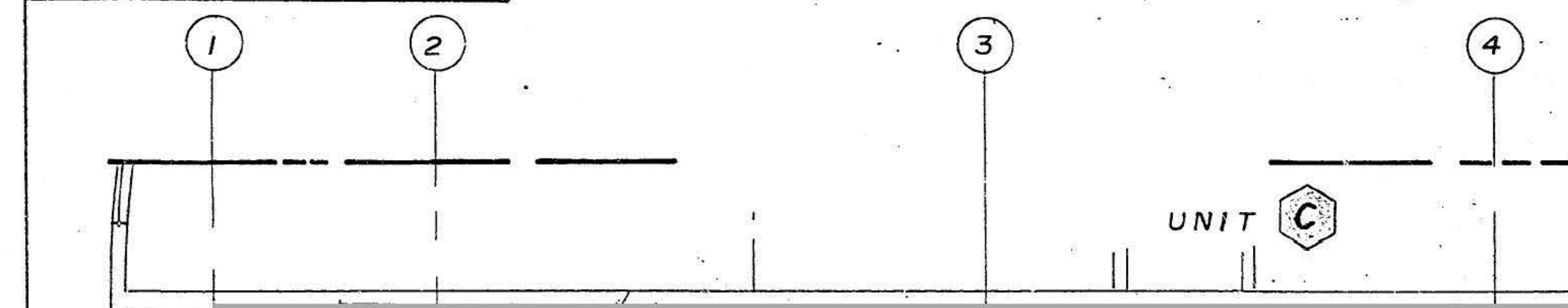
ALL OTHER LUMINAIRES SUPPLIED BY OWNER UNDER P.C. SUM. ALLOW IN BASE TENDER PRICE FOR INSTALLATION OF ALL LUMINAIRES UNDER LUMINAIRE SCHEDULE. CARRY P.C. SUM FOR LUMINAIRES \$11,000.

PROVIDE FOR LOW VOLTAGE TRANSFORMERS FOR TYPE 'G'. 'P', 'K' LUMINAIRES IN BASE TENDER PRICE.

NOTE TENDER FORM

REFER TO LAYOUTS FOR RTG ON STAIRS, CORRIDORS, VESTIBULES

ELECTRIC HEATING SCHEDULE



SECOND FLOOR  
SCALE: 1/4" = 1'-0"

Redacted S. 15(1)



Ankenman Associates Architects Inc.

Suite 306 - 1959 152nd St.  
White Rock, British Columbia  
Canada, V4A 4N6  
Tel (604) 536-1600  
Fax (604) 536-5774

proposed apts  
for ariana construction  
white rock, B.C.

title  
**ELECTRICAL**

scale AS SHOWN  
date 1990-04-20  
drawn HY checked LGS  
job no.  
sheet no. **E3** of 3  
consultant

L.G. SHANNON ENGINEERING  
CONSULTING ELECTRICAL ENGINEER  
201-555 WEST BROADWAY TEL (604) 87  
VANCOUVER, B.C. V6T 1A7 FAX (604) 87

Drawings are to be read in conjunction with each other. Any discrepancies found on any drawings are to be reported to the architect before commencing work.

Contractors are responsible to ensure that all work is executed to the requirements of the latest edition of the B.C. Building Code.

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FOR SITE LOCATIONS - ALL FLOORS

THIRD FLOOR  
SCALE: 1/4" = 1'-0"

TOTAL 11 UNITS A,B,C,D

PANEL SUITE	120/208 V 1Ø 3Ø		3Ø CCT 1ØØ A MAIN	
KW LOAD	RRR	CCT	RRR	LOAD KW
1.2 LIGHTING	15	3	2	20 HEATING 3.3
1.2 LIGHTING	3	4		
1.2 LIGHTING	5	6	20	HEATING 3.3
1.0 RECEPTACLE	7	8		
1.0 RECEPTACLE	9	10	20	HEATING ** 3.3
RECEPTACLE	11	12		
.5 RECEPTACLE	13	14	40	RANGE 6.0
RECEPTACLE	15	16		
1.2 FRIDGE	17	18	15	WASHER 1.2
5.4 DRYER	30	19	20	15 SMOKE ALARM
	21	22		RECEPTACLE
RECEPTACLE	15	23	24	RECEPTACLE
SPACE	25	26		
3.0 HOTWATER TR	20	27	28	20 HEATING *
	29	30		

\* UNIT 'D' ONLY





mark ankenman architects

201-1678-128th st  
ocean park, b.c.  
v40 3v3 538-600

proposed apts  
15907 marine dr.  
white rock, b.c.

title  
SITE PLAN

scale 1/8" = 1'-0"  
date JAN. 11/90  
drawn P.P./G.H.

sheet no **a 1**

job no. 8935

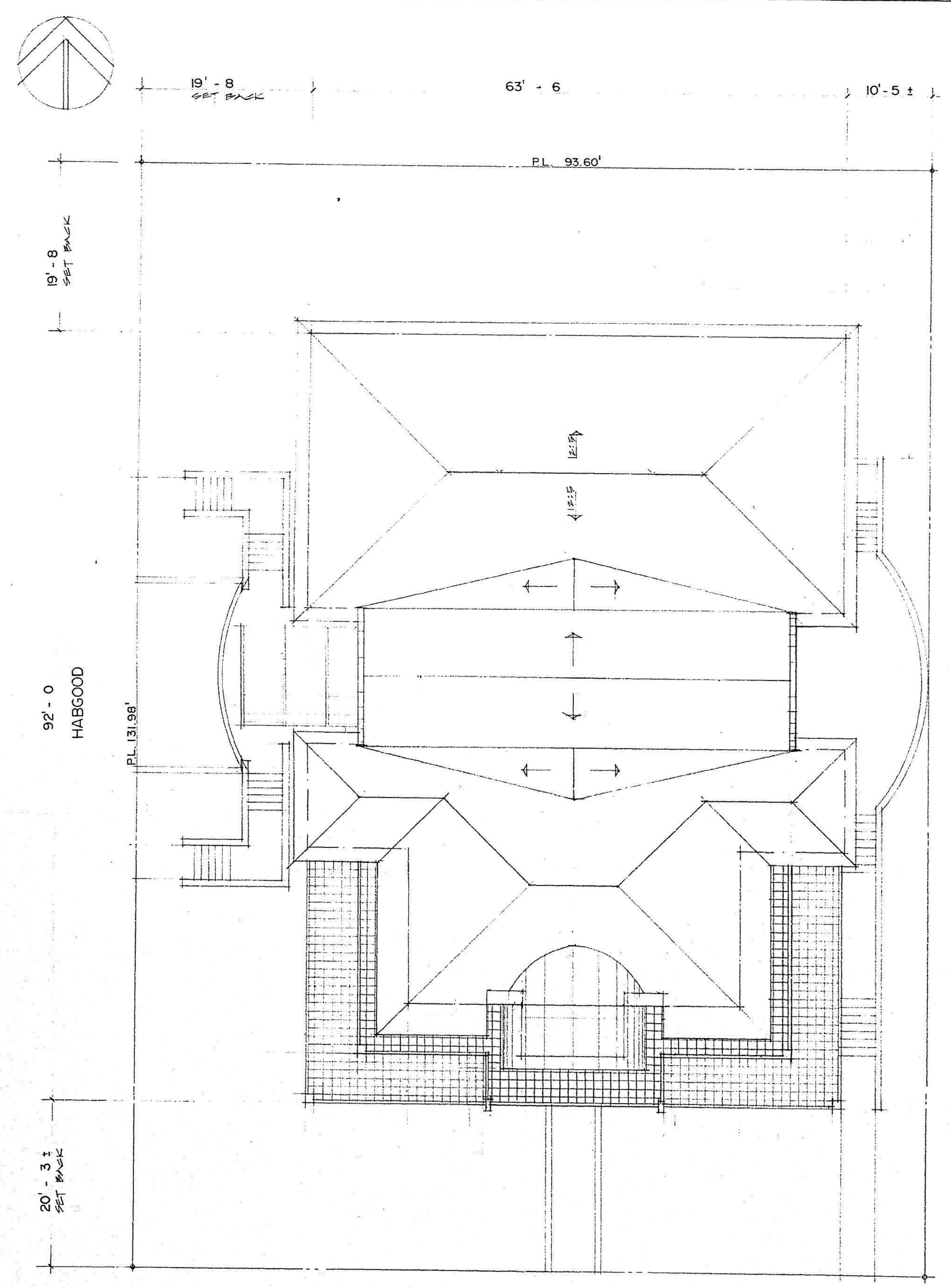
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THE CORPORATION OF THE CITY OF WHITE ROCK  
DEVELOPMENT  
PERMIT  
PLAN# 158  
APPROVAL DATE: \_\_\_\_\_

*D.P. Khan*

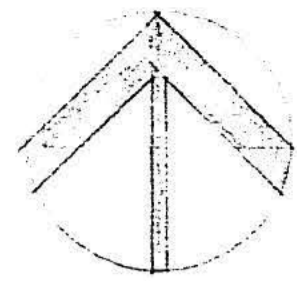
**SITE SYNOPSIS**

ZONING	:	RM - 2
LEGAL DESCRIPTION	:	LOTS 6, 7 & 8, BLOCK 2, SECT. 11, TP 1 PLAN 13334 N.W.P.
SITE AREA	:	12,353.228 S.F.
BLDG. SET BACK	:	<u>REQ'D</u> <u>PROVIDED</u>
FRONT	:	19.685 FT.      20.21 FT.
REAR	:	19.685 FT.      19.685 FT.
EXTERIOR SIDE	:	19.685 FT.      19.685 FT.
SITE COVERAGE	:	<u>ALLOWED</u> <u>PROVIDED</u>
	:	45% (MAX)      43.40%
BLDG. HT.	:	35.104 FT. (MAX)      35'-0" FT.
PARKING STALLS	:	<u>REQ'D</u> <u>PROVIDED</u>
	:	11 EA      14 EA
BLDG. AREA	:	GROUND FLOOR : 5,372 S.F. SECOND FLOOR : 5,042 S.F. THIRD FLOOR : 4,266 S.F.
UNIT AREA	:	TOTAL : 14,680 S.F.
	:	A : 1,030 S.F. x 6 = 6,180 S.F. B : 1,204 S.F. x 2 = 2,408 S.F. C : 1,081 S.F. x 2 = 2,162 S.F. D : 1,958 S.F. x 1 = 1,958 S.F.
FLOOR RATIO	:	TOTAL : 12,708 S.F.
	:	<u>ALLOWED</u> <u>PROVIDED</u>
	:	0.8 + (0.2 x 1/10)      12,708 / 12,353 = 1.03
	:	= 1.03



MARINE DR.  
**SITE PLAN**

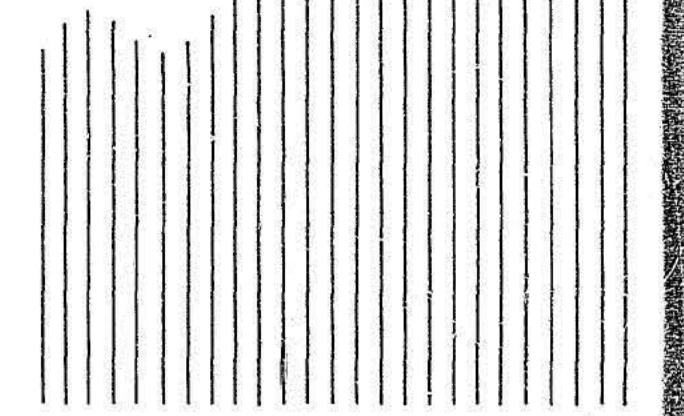




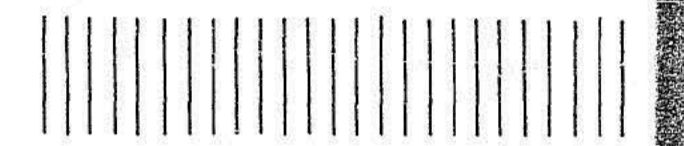
P.L. 93.60'

# Redacted S. 15(1)

mark  
ankenman  
architects



201-1678 ~ 128th St  
ocean park, b.c.  
V4A 3V3 536-1600



proposed apts  
15907 marine dr.  
white rock, b.c.

92' - 0

title  
PARKING/GROUND  
FLOOR PLANS

scale 1/8"  
date 12.1.92  
drawn P.D.

sheet no **02**

job no 8935

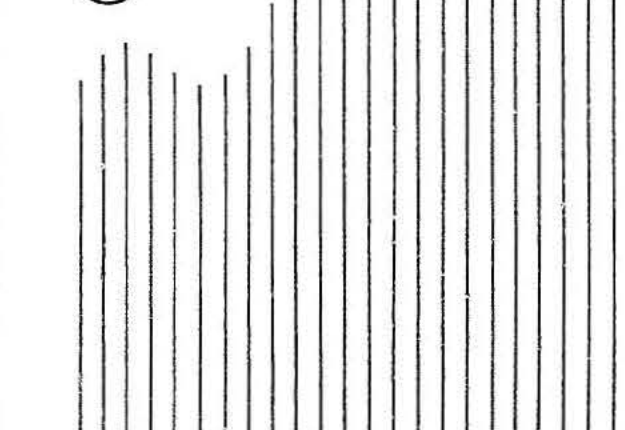
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PARKING LEVEL

GROUND FLOOR



mark  
ankenman  
architects



201-1678-128th st  
ocean park, b.c  
v4a 3v3 536-1600



proposed lots  
15907 marine dr. b.c.  
white rock, b.c.



title  
2nd / 3rd  
FLOOR PLANS



scale 1/8"  
date 10.01.90  
drawn P.D.



sheet no **a3**

job no **8935**



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63'-6

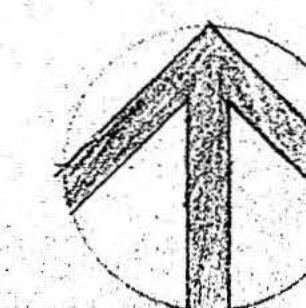
63'-6

# Redacted S. 15(1)

92'-0

SECOND FLOOR

THIRD FLOOR





mark  
ankenman  
architects

201-1678 ~ 128th st  
ocean park, bc  
V40 3V3 536-1600

proposed apts  
15907 marine dr. b.c.  
white rock,

title  
ELEVATIONS

scale 1/8" = 1'-0"  
date JAN. 11/90  
drawn P.S.

sheet no **a4**

job no 8935

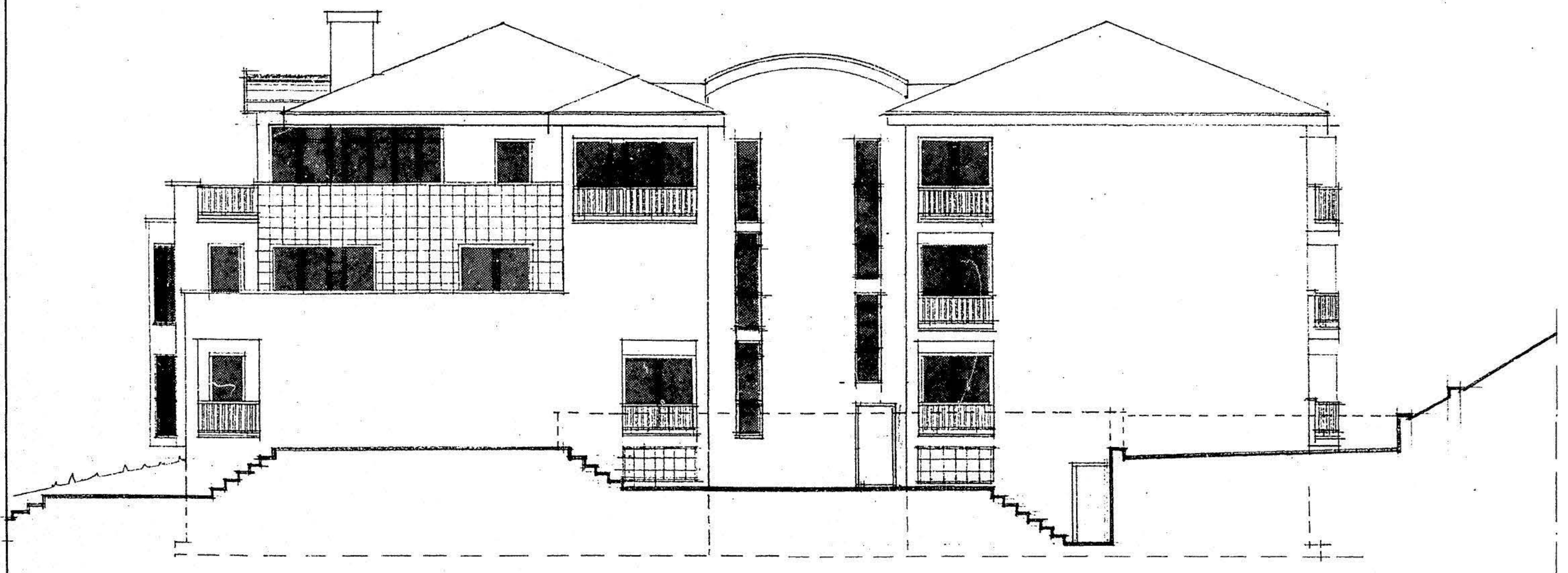
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SOUTH ELEV.



WEST ELEV.



EAST ELEV.



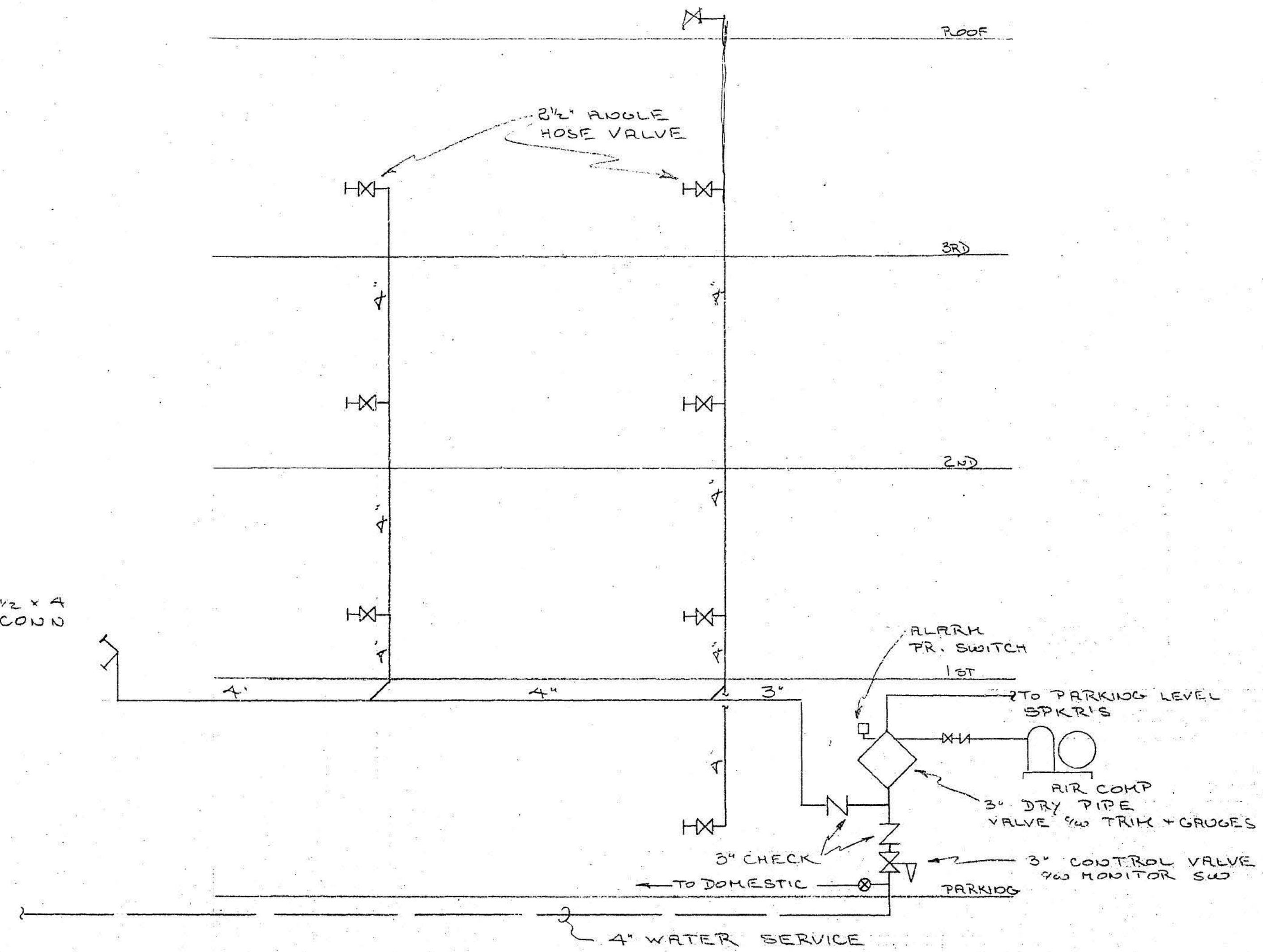
NORTH ELEV.



HYDRAULIC CALCULATION  
 NFPA 13 - ORDINARY HAZARD GP.1  
 DENSITY: 0.16 USGPM / SQ.FT.  
 AREA OF APPLICATION: 1288 SQ.FT.  
 COVERAGE / SPKR: 126.4 SQ.FT (VARIES)  
 # OF SPKR'S CALCD: 10  
 SYSTEM DEMAND AT DPV STATION:  
 426.2 USGPM AT 55 PSL

**Redacted S. 15(1)**

MUNICIPAL WATER SUPPLY  
 8" MAIN HARBOR ST  
 6" MAIN MARINE DRIVE  
 STATIC PRESSURE: 140 PSL

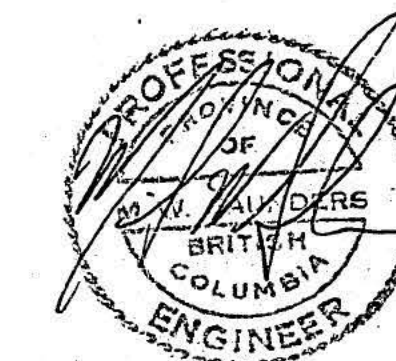


VALVE STATION + DRY STANDPIPE SCHEMATIC

LEGAL: LOTS 6, 7 + 8  
 BLOCK 2, SECT 11  
 TP.1 PLAN 1333A M.W.D.  
 SWAY BRACE TO  
 NFPA 13 SECT. 3-5.3.5

SSU BRASS 1600F  
 1/2" ORIFICE K=5.6 (54)

MARINE DRIVE  
 PARKING LEVEL  
 SCALE 1/8" = 1'-0"



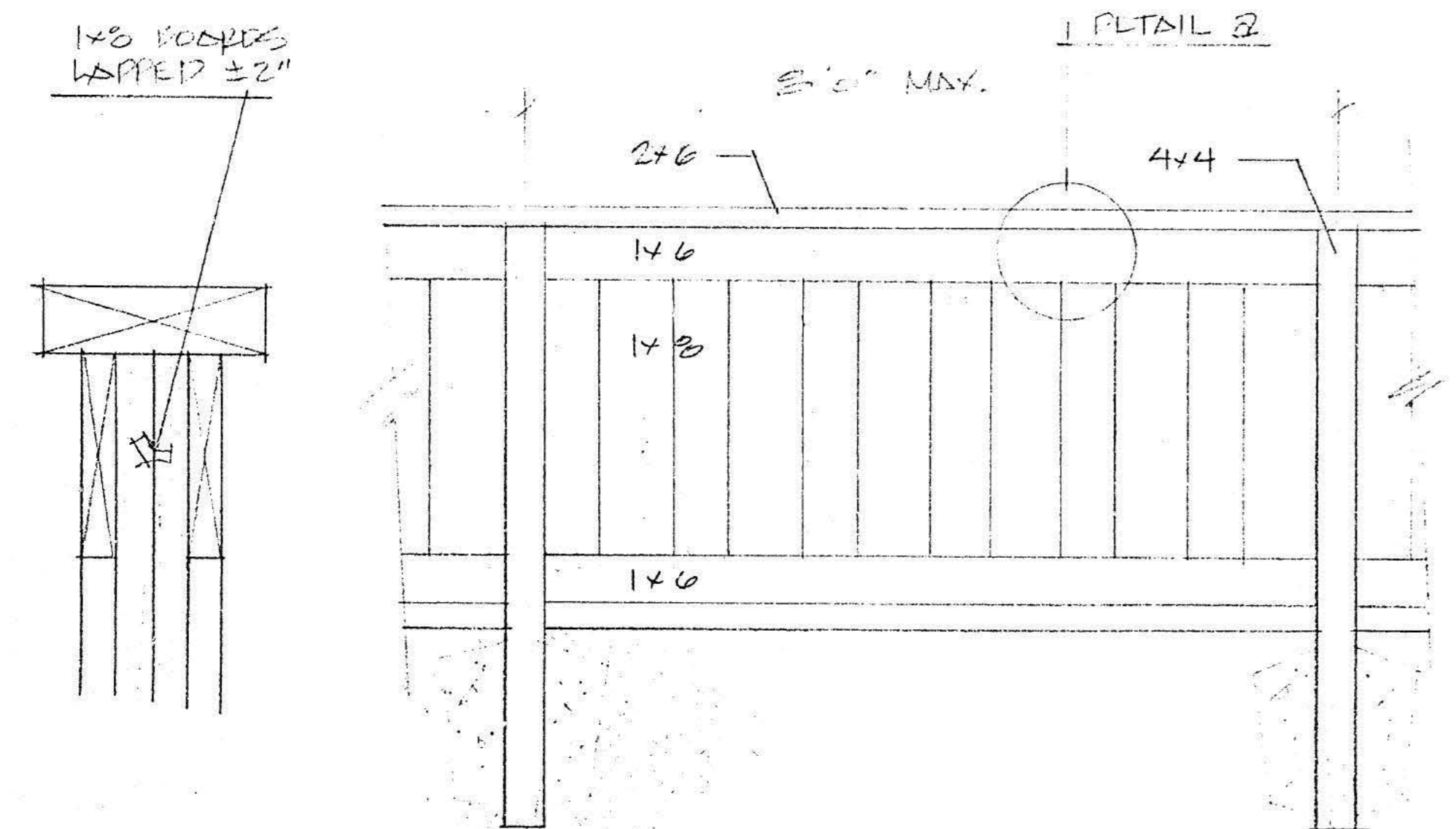
HEGER CONTRACTING 420-2361	
M.W. SAUNDERS ENGINEERING LTD. 4622 COVE CLIFF RD., NORTH VANCOUVER, B.C. V7G 1H6 PHONE/FAX: 929-3173	
VILLA D'ARDELLO HARBOR ST. WHITE ROCK B.C.	20-11-0 SP-100



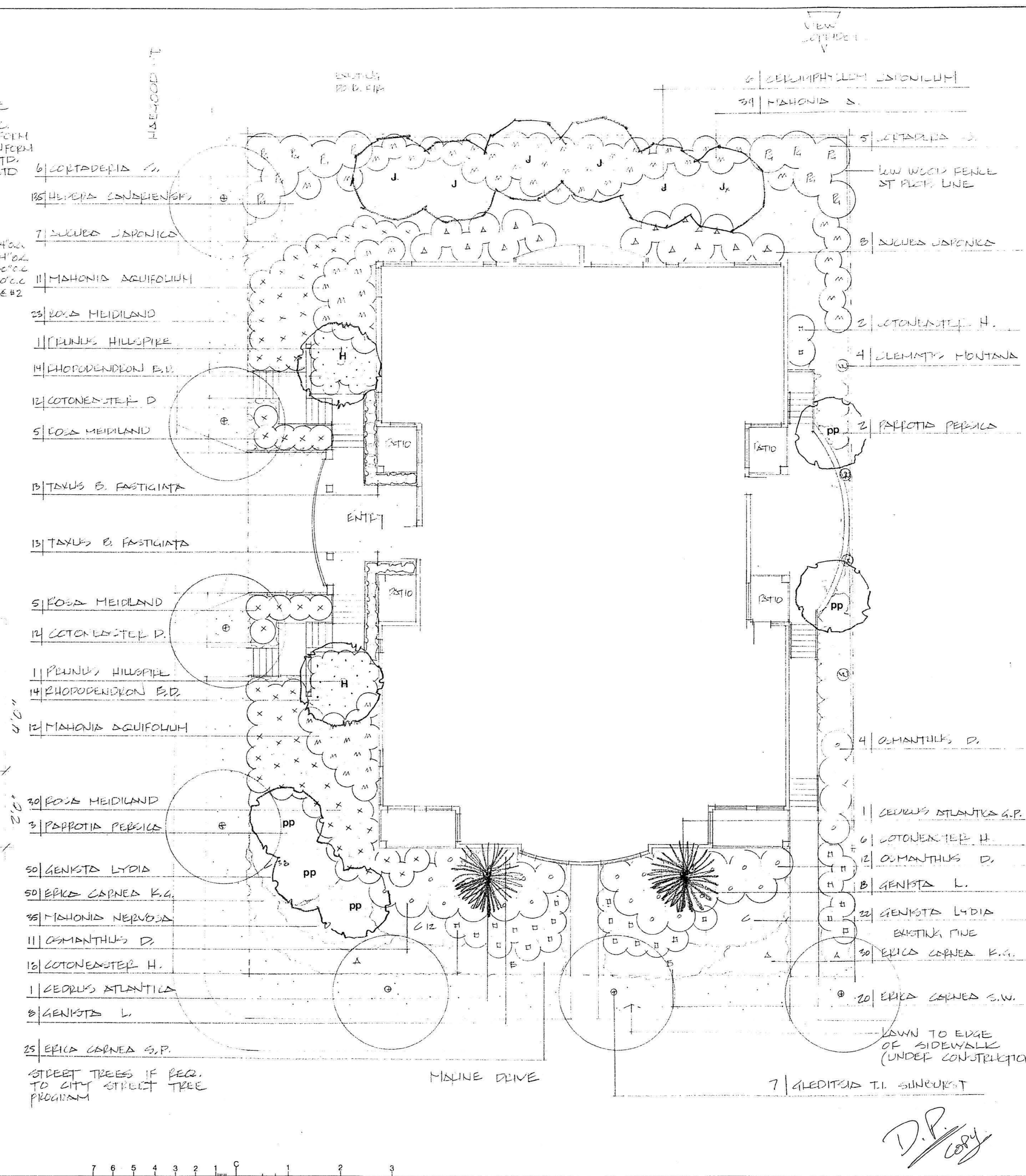
PLANT LIST TO BE PLANTED

LET	QUANTITY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
W	2	CELRUPHYLLUM JAPONICUM	WEeping STeeM CEdAR	8-10' W.P.
J	6	CELRUPHYLLUM JAPONICUM	KATADIN'S TREE	2" CAL. DUSH FORM
PP	5	PAPROTIA PERUICA	PERUVIAN WAXWOOD	2 1/2" CAL. DUSH FORM
H	2	PRUNUS HILLSPIRE	HILLSPIRE CHERRY	3" CAL. 5 STD.
S	7	QUERCUS ALBINA SUNBURST	HONEY LOCUST	3 1/2" CAL. 5 STD.
N	15	QUERCUS JAPONICA VESTITIFOLIA	SUGAR	# 2 POT
UN	4	CLEMATIS MONTANA DEUBENK	ANEMONE CLEMATIS	# 1 POT
PP	11	COTONEASTER BELLOSA	POMPONA ANNA	# 2 POT
UN	24	COTONEASTER DAMMERI	BEARBBIT COTONEASTER	# 1 POT
H	20	COTONEASTER HORIZONTALIS	FOURPOINT COTONEASTER	# 2 POT
UN	50	ERICA CARNEA KING GEORGE	HEATHER	# 1 POT @ 24" dia.
UN	45	ERICA CARNEA SPARKWOOD	WHITE HEATHER	# 1 POT @ 24" dia.
UN	85	GENISTA LYDIA	CRISP GENETA	# 1 POT @ 30" dia.
UN	85	HEDERA CANADENSIS	EUROPEAN IVY	# 1 POT @ 30" dia.
UN	62	MASHONIA AQUIFOLIUM	OVERSEA GRAPe	23 @ # 5 POT @ 39E #2
UN	30	MASHONIA NERVOSA	LOUISIANE MASHONIA	# 1 POT
UN	27	OSMANTHUS BELSVAI	FAVOR HOLLY	# 5 POT
UN	14	RHOPODENDRON ELME DIAMOND	RHOPODENDRON	# 5 POT
UN	63	BOSS MEIDLAND VNS HEINEBLE	RED MEIDLAND BOSS	# 2 POT
UN	23	TAXUS BACCOLTA FASTIGIATA	IRISH YEW	24-30"

5 FL. SPECIMENS : 5000 FTED ANNUALS 200 SPINDLE BULBS.



DETAIL 2  
3" = 1'0"  
FENCE DETAIL  
SCALE 3/4" = 1'0"



STREET TREES IF REQ. TO CITY STREET TREE PROGRAM

D.P. COPY

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NO.	DATE	REVISION	DESCRIPTION

MARK ANKENMAN ARCHITECTS

the dm group  
Landscape Architects & Park Planners  
A PARTNERSHIP OF  
DAN MATSUHITA ASSOCIATES LTD.  
J.D. MITCHELL & ASSOCIATES LTD.  
PATRICIA CAMPBELL MILLS CONSULTANTS LTD.  
Suite 200 - 6445 Bonar Avenue  
Burnaby, British Columbia V3H 1H3  
(604) 437-9942 FAX 437-8723

PROJECT:  
MULTIPLE RESIDENTIAL DEVELOPMENT  
MACHINE DR. & HARRISON WHITE ROAD  
DRAWING TITLE:  
LANDSCAPE PLAN

DATE: JUN 17/00 DRAWING NUMBER:  
SCALE: 1/8" = 1'0"  
DRAWN: J.D.M.  
DESIGN:  
CHK'D:  
PROJECT NUMBER: 10-00



**1. GENERAL REQUIREMENTS**

1. Read all articles in the General Conditions of Contract in conjunction with this section and make all necessary allowances for complying with the clauses set forth therein.
2. Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of soil by the Landscape Contractor constitutes acceptance of the subgrade.
3. All work and superintendence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities.
4. A site visit is required to become familiar with site conditions before bidding and before start of work.
5. Confirm location of all services before proceeding with any work.
6. Notify Landscape Architect of any discrepancies.
7. Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies.
8. Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance.
9. Where new work connects with existing, and where existing work is altered, make good to match existing work.
10. All work to be in compliance with the most recent edition of the B.C. Landscape Standard.
11. Topsoil is to be tested at an independent laboratory. Deliver soil test results to Landscape Architect for review prior to placement.
12. Contact Owners Representative to arrange inspections by the Landscape Architect at the appropriate times. Allow for a minimum of one day notice. The inspection schedule may include, but is not limited to, the following:

Preliminary Meeting/Inspection; Progress Inspections as required; Substantial Completion Inspection; Final Inspection; and Warranty Inspection.

**1.3 Scope of Work:**

Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:

1. Supply and placement of topsoil, preparation of planting, and sodding beds.
2. Sodding of lawn areas.
3. Supply of plant material and planting.
4. Supply and placement of bark mulch.
5. Maintenance of planted and sodded areas until accepted by Owner.

Other work as noted below.

**2. MATERIALS**

1. **Topsoil:** Conform to the B.C. Landscape Standard requirements; refer TABLE 1 below.

PROPERTIES OF TOPSOIL	APPLICATION		
PROPERTIES SHALL BE IN THE RANGES SHOWN FOR THEIR INTENDED USE	LOW TRAFFIC LAWN AREAS	HIGH TRAFFIC LAWN AREAS (as designated)	PLANTING AREAS PLANTS, SHRUBS AND GROUNDCOVER AREAS
<b>TEXTURE</b>			
Particle Size Classes by the Canadian System of Soil Classification, shown as percent of Dry Weight			
Mineral Fraction (%)			
Gravel - greater than 2 mm and less than 75 mm	0-10	0	0
Sand - greater than 0.05 mm and less than 2 mm	50-70	80-90	50-70
Silt - greater than 0.002 mm and less than 0.05 mm	10-30	5-20	10-30
Clay - less than 0.02 mm	7-20	2-5	7-20
<b>ACIDITY (pH)</b>	6.0-6.5	6.0-6.5	5.0-6.0
<b>DRAINAGE</b>			
Minimum saturated hydraulic conductivity (cm/hr) in place	2.0	7.0	2.0
<b>ORGANIC CONTENT</b>			
Percent of Dry Weight (%)	5-10	3-5	25-30

2. **Fertilizer:** An organic and/or inorganic compound containing Nitrogen (N), Phosphate (P), and Potash (soluble K) in proportions required by soil tests.
3. **Lime:** Ground agricultural limestone. Meet requirements of the "B.C. Landscape Standard".
4. **Peat:** Shredded horticultural peatmoss to meet requirements of the "B.C. Landscape Standard".
5. **Sand:** Clean, washed quarry sand to meet requirements of "B.C. Landscape Standard".
6. **Water:** potable
7. **Bark Mulch:** Course grade Fir/Hemlock bark mulch to meet requirements of the "B.C. Landscape Standard".
8. **Herbicides and Pesticides:** If used must conform to all federal, provincial and local statutes. Appliers must hold current licences issued by the appropriate authorities in the area.
9. **Filter Fabric:** A non biodegradable blanket or other filtering membrane that will allow the passage of water but not fine soil particles. (Such as PROPEX NON WOVEN 4703 or equal approved by the Landscape Architect.)

10. **Drain Rock:** Clean, round, inert and durable, and have a maximum size of 19 mm and shall contain no material smaller than 10 mm.
11. **Plant Material:** To the requirements of the "B.C. Landscape Standard".
12. **Pressure Treated Lumber:** To be treated to .40 lbs. per ft<sup>3</sup> (180 gm/02 m<sup>3</sup>) of wood for ground contact, and 25 lbs. per ft<sup>3</sup> (110 gm/02 m<sup>3</sup>) for above ground use.

**3. LANDSCAPE DEVELOPMENT**

1. **Grades**
  1. The subgrade shall be prepared to conform to depths specified in Section 3.2.4. Topsoil Supply below. Where planting is indicated close to existing trees, the Landscape Contractor will prepare suitable planting pockets for the material indicated on the planting plan. Shape sub-grade to eliminate free standing water and conform to the site grading and drainage plan.
  2. Scarify the entire subgrade immediately prior to topsoiling. Cultivate where vehicular traffic resulted in compaction during the construction procedures. Ensure that all planting areas are smoothly contoured after light compaction to finished grades.
  3. All finish grades must eliminate standing water and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum gradient defined by the "B.C. Landscape Standard".
2. **Topsoil Supply:**
  1. Topsoil testing: submit representative sample of soil proposed for use to an independent laboratory. Test results to include:
    1. Physical properties: % content of gravel, sand, silt, clay and organics.
    2. Acidity PH and quantities of lime required to bring within specified range.
    3. Nutrient levels of principle and trace elements and recommended fertilizer. Submit results of tests to Landscape Architect prior to placement.
  2. Supply all topsoil required for the performance of the Contract. Topsoil shall be as defined in Section 2.1. Topsoil. No topsoil shall be loaded, transported or spread when it is so wet that its structure is likely to be damaged.
  3. The finished grades shall conform to the elevations shown on landscape and site plans. All topsoil applied shall conform in slope to the approved sub-grade.
  4. The minimum depth of topsoil placed and compacted shall be as follows:
    1. Sodded lawn ..... 6" (15 cm)
    2. Mass planted shrubs & groundcovers ..... 15" (40 cm)
    3. Tree & large shrub pits 12" (30 cm) on sides and bottom of root ball
3. **Lawn Areas - Sodding**
  1. General: Treat all areas defined as lawn areas on the landscape plan between all property lines of the project including all boulevards to edge of roads and lanes.
  2. Topsoil: The topsoil shall be as specified in Section 2.1 Materials. Prior to sodding, request an inspection of the finished grade, and depth and condition of topsoil by the Landscape Architect.
  3. Time of Sodding: Sod from April 1 to October 1. Further extensions may be obtained on concurrence of the Landscape Architect.
  4. Sod Supply: All sod must be obtained from a recognized sod supplier.
  5. Sod: Local nursery field turf grass crop, #1 Grade consisting of:
    - 50% Kentucky Blue Grass
    - 45% Creeping Red Fescue
    - 5% perennial rye or Red Top
 Other mixtures to be approved by Landscape Architect. Thickness of sod, soil portion must be 1" maximum (2.5 cm).
  6. Lime: The lime shall be as defined in Section 2.3 Materials. Apply at rates recommended in required soil test. Mix Lime thoroughly into the top 5" (12 cm) of soil by means of cultivating or rototilling a minimum of two weeks prior to the application of fertilizer.
  7. Fertilizer: The fertilizer shall be as defined in Section 2.2 Materials. Apply at rates recommended in the required soil test. Apply with a mechanical spreader.
  8. Sodding:
    1. Prepare a smooth, firm, even surface for laying sod.
    2. Lay sod with sections closely butted, without overlapping or gaps, smooth and even with adjoining areas and roll lightly.
    3. Water to obtain moisture penetration of 3" to 4" (7 - 10 cm). Continue watering at intervals to maintain sufficient growth. Keep grass cut at height of between 1 1/2" (4 cm) and 2" (5 cm).
    4. Provide adequate protection of sodded areas against damage until the turf has been taken over by owner.
  9. Acceptance of Lawn Areas: The turf shall be reasonably well established, with no apparent dead spots or bare spots and shall be reasonably free of weeds. Use herbicides if necessary for weed removal unless other conditions of contract forbid their use. After the lawn has been cut at least twice, areas meeting the conditions above will be taken over by the Owner.

**3. Lawn Areas - Sodding**

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**4. Plants and Planting**

1. **Areas:**
  1. Areas to be planted shall be as indicated on the Landscape or Site Plan.
  2. Review layout and preparation of planting beds with Landscape Architect prior to commencement of planting operations.
2. **Time of Planting:**
  1. Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions, when seasonal conditions are likely to ensure successful adaptation of plants to their new location.
3. **Standards:**
  1. Quality of all trees and shrubs shall be in accordance with the "Guide Specification for Nursery Stock", guide standards set by the Canadian Nursery Trades Association and the "B.C. Landscape Standard".
  2. Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the site climate.
  3. Where both container size and plant size are specified both plant size and container size shall be regarded as minimum sizes.
4. **Inspection:**
  1. Inspection at the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stock at the site.

5. **Availability:**
  1. Supply proof of the availability of the specified plant material within 30 days of the award of the Contract.
  2. Substitution of plant material will only be allowed after review and approval by the Landscape Architect.
6. **Plant Species & Location:**
  1. Plants shall be true to name and of the height, caliper & size of root ball as shown on the landscape/site plan plant list. Caliper of trees is to be taken 5" (15 cm) above grade.
  2. Plant all specified species in the locations as shown on the landscape drawings. Notify Landscape Architect when rock or underground services are encountered.
  3. Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architect.
7. **Topsoil Mixtures:**
  1. Peat or sand or other amendment may be added to the planting soil for various plants. Refer to drawing notes and/or test results for instructions.
8. **Excavation:**
  1. Trees & Large Shrubs: Excavate a tree pit at least twice the volume of the root ball with a minimum depth of 12" (30 cm) under and on all sides of the root ball.
9. **Drainage of Planting Holes:**
  1. Advise the Landscape Architect where the drainage of planting holes is nonexistent or limited.
10. **Planting and Fertilizing Procedures:**
  1. Plant all trees and shrubs with the roots placed in their natural growing position. Loosen burlap, when used, around the top of the ball and cut away or fold under. Do not pull burlap from under the ball. Carefully remove containers without injuring the root balls.
  2. Thoroughly tamp topsoil around the root systems in 6" (15 cm) layers during backfilling. Leave no air voids. When 2/3 of the topsoil has been placed, apply fertilizer as recommended by the required soil test at the specified rates.
  3. Where planting is indicated adjacent to existing trees, use special care to avoid disturbance of the root system or natural grades of such trees.
11. **Staking of Trees:**
  1. Deciduous Trees over 6' Ht & Coniferous Trees up to 6'Ht (1.8m): Use one (1) 2"x2"x5" stained stake, set carefully vertical and away from root ball, tie with 11 gauge wire encased in 1/2" rubber or plastic hose. The stake is to be a minimum of 2' (60 cm) in soil. Leave the tree carefully vertical.
  2. Coniferous Trees over 6' Ht & Trees 6' + on Wood or Concrete Decks: Guy with three 2 strand wires (11 gauge). The wire must be encased with 1/2" rubber or plastic hose around the tree. Drive the stakes completely below grade. Leave the tree carefully vertical.
  3. For Trees on Decks: Use three deadmen (min. 2"x2"x4") buried to the maximum possible depth instead of stakes. Leave the tree supported on three sides and carefully vertical.
  4. All Trees Larger Than 2" (5 cm) Caliper: Use two, 3" diameter stained wood stakes set carefully vertical on opposite sides of the tree. Set away from root ball. Tie with 1/2" rubber or plastic hose. The stake is to be a minimum of 2'(60 cm) in soil. Stake height above grade is to be 3' (90 cm).
  5. Mark all guywires with visible flagging material.
12. **Pruning:**
  1. Limit pruning to the minimum necessary to remove dead or injured branches and to compensate for the loss of roots as a result of transplanting operations. Prune so as to preserve the natural character of the plants. Use only clean, sharp tools. Make all cuts clean and cut to the branch collar leaving no stubs. Trace all cuts, bruises, or scars back to living tissue and remove damaged material. Shape affected areas so as not to retain water.
  2. Prune existing trees preserved on site within the bounds of the Landscape Contract to remove dead and/or selective lower branches as indicated on the plan.
13. **Mulching:**
  1. After planting of an area is complete, place an even layer of coarse grade Douglas Fir or Hemlock bark mulch. The depth of placed bark mulch to be within a range of 2 1/2" - 3" (6.5 - 7.5 cm).
14. **Acceptance:**
  1. The establishment of all plant material is the responsibility of the Landscape Contractor.
15. **Plant Material Maintenance:**
  1. Maintain all plant material for 45 days after landscape work has been certified by the Landscape Architect as substantially complete.
  2. Water thoroughly once a week for the first few weeks, and then sufficiently to maintain optimum growing conditions. The owner is responsible to supply water at no extra cost to the Contractor.
  3. Use appropriate measures to combat pests or diseases damaging plant material. Refer to Section 2.8, Materials for chemical requirements.
  4. Plant material which fails to survive shall be removed immediately and the hole backfilled with topsoil awaiting replacement.
  5. Repair tree guards, guy wires, and tree wrapping as required.
  6. Maintain areas relatively weed free. (Appearance level 2, "BC Landscape Standard" Chapter 13)
  7. Maintain mulch to specified depths.
16. **Plant Replacement:**
  1. Replace for a period of one (1) year after substantial completion, all unsatisfactory trees and shrubs and continue to replace those until the specified number is complete and satisfactory to the Landscape Architect. Such replacement shall be subject to the notification, inspection and approval as specified for the original planting, and shall not constitute an extra to the Contract.
  2. Plants, specified by the Landscape Architect and installed by the Landscape Contractor which are killed through below normal temperatures, that is, below the average of the extreme minimum temperatures officially recorded in the area concerned, in the last 10 years, will not be replaced without cost of replacement borne by the owner.
  3. The Landscape Contractor may request an inspection during the latter part of the warranty growing season. All plant material showing well developed foliage, healthy growth and bud forming, will then be taken over.
  4. For all plant material, the Landscape Architect reserves the right to extend the Contractor's responsibility for another growing season, if, in his opinion, leaf development and growth is not sufficient to ensure future satisfactory growth.

5. Where the owner is responsible for plant maintenance and has not provided adequate maintenance, the plant replacement section of the contract may be declared void. The Landscape Architect shall determine whether maintenance has been satisfactory.
6. The Landscape Contractor is responsible to replace any plant material or repair any construction included in the Contract that is damaged or stolen until the landscape report indicates that substantial completion is accomplished.

**5. Landscape on Structures**

1. **Minimum Topsoil Depths:**
  - a) Irrigated lawn ..... 9" (210 mm)
  - b) Lawn without automatic irrigation ..... 12" (300 mm)
  - c) Shrub & ground cover areas ..... 15" (380 mm)
  - e) Trees and specimen shrubs ..... 30" (760 mm)
  - \* mound soil over columns and edge of slab, verify locations on site.
2. **Filter Cloth:**
  1. Refer to Section 2.8, Materials for requirement.
3. **Drain Rock:**
  1. Refer to Section 2.9, Materials for requirement.
  2. Install evenly to a minimum depth of 4" (100 mm).
  3. Provide access to roof drains with 12" (300 mm) diameter P.V.C upstands to meet finish grade. Fill with drain rock.
  4. Advise Landscape Architect where drainage is non-existent or limited.
4. **Protection of Waterproof Membrane**
  1. Verify that any protection material possibly specified under another contract is complete and acceptable before proceeding with work.

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NO.	DATE	REVISION	DESCRIPTION	DR.

NO. DATE REVISION DESCRIPTION DR.

MARK ANKENMAN ARCHITECTS



A PARTNERSHIP OF  
DAN MAINTSHITA ASSOCIATES LTD.  
J.D. MITCHELL & ASSOCIATES LTD.  
PATRICIA CAMPBELL-MILLS CONSULTANTS LTD.

Suite 300 - 6545 Bower Avenue  
Burnaby, British Columbia V5H 1H5  
(604) 437-0412 FAX 437-8723

PROJECT:  
MULTIPLE  
RESIDENTIAL  
DEVELOPMENT  
MIDLAND DR. & HERRWOOD  
WHITE ROCK B.C.

DRAWING TITLE:  
**Landscape Specification**

DATE: JAN 17/00 DRAWING NUMBER:

L-2  
OF 2

PROJECT NUMBER: 90-06



NO FINAL LETTERS RECEIVED



Ankenman Associates Architects Inc.

June 17, 1991

Our File: 8935.13

The City of White Rock  
15322 Buena Vista  
White Rock, B.C.  
V4B 5C6

RECEIVED  
JUN 21 1991

Attention: Colin Atchison

THE CORPORATION OF THE  
CITY OF WHITE ROCK

Dear Sir:

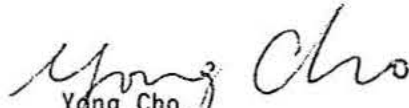
Re: Condominium Development  
15907 Marine Drive, White Rock, B.C.

Please find attached our job progress report #3 including site inspection reports from the architect, mechanical, structural, electrical, civil and geotechnical engineers, for your review as per the White Rock municipal assurance requirements.

Only recently did we receive some of the inspection reports prepared by the civil and geotechnical engineers and we would therefore like to apologize for not submitting these sooner to your office.

Should you have any questions please do not hesitate to contact the undersigned.

Yours truly,

  
Yong Cho,  
Associate

Attachs.

Suite 306 - 1959 152 Street, South Surrey, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600





# Ankenman Associates Architects Inc.

PROJECT: Condominium Development REPORT NO: 3  
ADDRESS: 15907 Marine Drive DATE: June 17, 1991  
OWNER: Drina Construction PROJECT NO: 8935  
CONTRACTOR: Drina Construction B.P. NO.: \_\_\_\_\_

**JOB PROGRESS:**

Installation of door hardwares was proceeding.

NO. OF INSPECTIONS: March 5, 1991 - May 23, 1991

Architect: 3 Mech. Cons.: 1 Soils Cons.: 5  
Struct. Cons.: 1 Elec. Cons.: 1 Others: 2 - Civil

ANY CHANGES TO PERMIT DOCUMENTS: Yes \_\_\_\_\_ No X

APPLICATION FOR MINOR AMENDMENT REQUIRED: Yes \_\_\_\_\_ No X

SHOP DRAWINGS REVIEWED:

**COMMENTS:**

Contractor was completing the project for the temporary occupancy permit.

Copy to: City of White Rock  
Architects File

REPORT BY: Myong Cha

Suite 306 - 1959 152 Street, South Surrey, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600





# Ankenman Associates Architects Inc.

## Site Report #20

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: March 5, 1991

Time: 5:00 p.m.

Weather: Sunny

Present: Mark Ankenman, Ankenman Associates Architects Inc.  
Mik Jahura, Drina Construction

1:00 Mark Ankenman discussed stucco window trims  
with Mik.

1:01 Mark Ankenman is to contact the building  
department of the City of White Rock to determine  
if window trim can be eliminated.

2:00 Additional vents are required for the concealed  
ceiling spaces under the decks of the Type 'C'  
units. One of the following may be installed to  
provide cross ventilation.

- 1) Two(2) of 4" x 8" aluminum louvered screened  
vents between grid 'B' and 'C' and another  
two(2) vents between grid 'E' and 'F' along  
Marine Drive.
- 2) 2"φ screened vent at 12" between grid 'B' and  
'C', & between grid 'E' and 'F' along Marine  
Drive.

----- E N D -----

Distribution: Architect's File  
Drina Construction

Suite 306 - 1959 152 Street, White Rock, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600





Ankenman Associates Architects Inc.

Site Report #21

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: April 15, 1991

Time: 3:30 p.m.

Weather: Sunny

Present: Yong Cho, Ankenman Associates Architects Inc.  
Mik Jahura, Drina Construction  
Bob Stubbs, Stubbs Engineering Ltd.

1:00 Discussed with Mik about terraced landscaping at  
the north of the building.

2:00 Yong advised Mik that electrical box mounted under  
the suspended slab in the parking garage shall be  
modified to meet headroom requirements.

----- E N D -----

Distribution: Architect's File  
Drina Construction

Suite 306 - 1959 152 Street, South Surrey, British Columbia, Canada, V4A 4N6 •  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600





# Ankenman Associates Architects Inc.

## Site Report #22

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: May 23, 1991

Time: 2:20 p.m.

Weather: Sunny

Present: Yong Cho, Ankenman Associates Architects Inc.

**1:00** The following items must be completed in every suite:

1. Overhead door closer to suite entry door.
2. Door stops to all doors.
3. Exhaust fans in washrooms.
4. Fire stopping around dryer vents and other pipes penetrating fire rated walls.
5. Adjustment required for most bi-fold doors.

**2:00** Elevator machine room generates high level of noise when elevator is in operation. It requires one or both items described as below to achieve the acceptable noise level:

1. Add additional wall with insulation to the machine room wall facing suites.
2. Insulate the oil tank, increase muffler size and replace starter block to small size.

- - - - - END - - - - -

**Distribution:** Drina Construction  
Architects File

Suite 306 - 1959 152 Street, South Surrey, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600



DAY-TIMER  
*Time Saver*

STUBBS ENGINEERING L.J.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6984

LETTER 8935.06  
IN REFERENCE TO:

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR PRINA CONSTRUCTION LTD.  
ATTN. MICK/RUDY JAHURA  
RE: 15909 MARINE DRIVE, WHITE ROCK

HOW TO USE THIS  
*DAY-TIMER Time Saver* LETTER TO SAVE TIME.  
Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE: APRIL 19<sup>th</sup> 1991

Inspected WWF and correction to elevator pit beam. Basically all OK to pour once you are finished around the driveway entrance.

Since the slab will be 5" to 6" thick and the under-slab drains are right at the underside of the slab, we would recommend doubling up the mesh, particularly over the drain lines. The second layer of mesh can go closer to the top of the slab (ie 1" to 1 1/2" cover) for extra strength.

Although no crack control joints are specified, since the WWF should control (but not eliminate) the cracking, if you wish to further confine the crack locations you can install Zip strips or put in saw cuts after pouring, 2 directions along the column lines.

REPLY

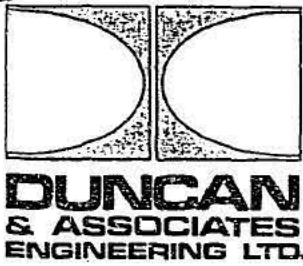
The grade and ~~gr~~ crushed gravel base appears to be quite well compacted and is, I understand from you over 90% Standard Proctor density.

*Robert Stiles*

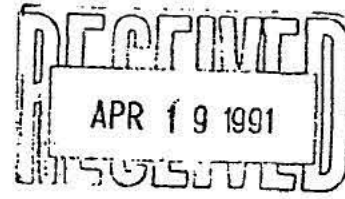
cc. Akanman Associates Architects Inc.

RECEIVED  
APR 22 1991





15483 - 104th Avenue, Surrey, B.C. V3R 1N9  
Telephone (604) 584-5457 Telefax (604) 584-0133



Nanaimo - Prince George - Surrey - Victoria

M1538-01

April 15, 1991

ANKENMAN ASSOCIATES ARCHITECTS  
#306 - 1959 152 St.  
White Rock, B.C.  
V4A 4N6

ATTN: Mr. Yong Chu

Dear Sir:

RE: APARTMENT BUILDING, 15097 MARINE DRIVE, WHITE ROCK

Enclosed please find inspection reports and photographs from site inspections carried out at the above mentioned project on September 21 and 22, 1990. We apologize for not forwarding these to you sooner. Please contact us if you have any questions.

Yours truly,

DUNCAN & ASSOCIATES ENGINEERING LTD.

John J. Lenahan, P.Eng.  
JJL/sw

Encl.



SITE VISIT RECORD

DATE: September 22, 1990  
PROJECT NO.: M1538-01  
PROJECT NAME: MARINE DRIVE APARTMENTS  
LOCATION: 15907 Marine Drive, White Rock, B.C.  
CLIENT: DRINA CONSTRUCTION  
REPORT:

Received call on Saturday from Rudy Jahura of Drina Construction and drove down to the site. I inspected the sanitary and storm drain service connections. The contractor had discovered 3 services in all, but realized that the third one, furthest from this site was in fact the storm connection for the adjacent property. The services were installed satisfactorily. The Contractor relocated the Storm sump over to the south east corner of the property nearer to the services. The footing drains would have to go under the sanitary and storm connections. Took some photos, including the drain arrangement around the water connection and these are attached. Also witnessed the pressure test on the water system and watched the pressure drop as the water was released. It was tested to well over 200 PSI.

Prepared by John J. Lenahan, P.Eng.



SITE VISIT RECORD

DATE: September 21, 1990  
PROJECT NO.: M1538-01  
PROJECT NAME: MARINE DRIVE APARTMENTS  
LOCATION: 15907 Marine Drive, White Rock, B.C.  
CLIENT: DRINA CONSTRUCTION

REPORT:

Was called to the site by Rudy Jahura of Drina Construction, the project supervisor. When I arrived he wanted me to inspect perimeter footing drains. I explained these should be inspected and certified by the Mechanical Engineer since he designed them. Rudy said the Mechanical Engineer will be around on Monday but requested that I take a look now so they could backfill with drain rock. I inspected the perimeter and found most of the drains installed. I took several photos shown on the following pages. The incoming water line conflicted with the footing drain and so the footing drain was installed around it as shown on the enclosed photos. The whole area was backfilled with drain rock.

Prepared by John J. Lenahan, P.Eng.



## DRINA CONSTRUCTION

M1538-01

Site Photos Taken on September 21, 1990 (Friday)

1. North end of site (away from Marine Drive) with footing drain installed and backfilled with drain rock.
2. Water service to building going through west footing. Note conflict with footing drain.
3. Footing drain being installed along west side of building. Note 2-45° bends were used at the corner, not a 90° bend.
4. Installed footing drain along east wall, not yet backfilled.
5. Footing drain along south wall, not yet completed.

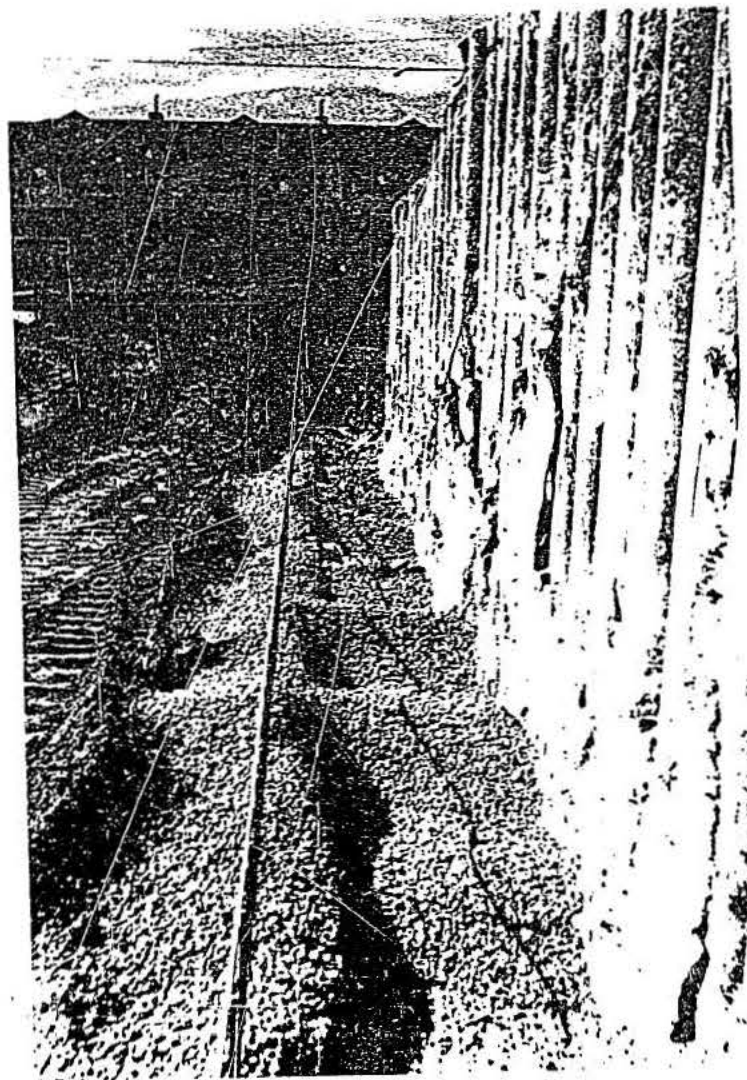
Site Photos Taken on September 22, 1990 (Saturday)

- 6 & 7. Pressure test on water system to 210 PSI.
8. Footing drain on west side brought out and under the water service to the building to get around a conflict at the footing.
- 9, 10 & 11. Sanitary and storm connections from the building to the municipal services at property line.



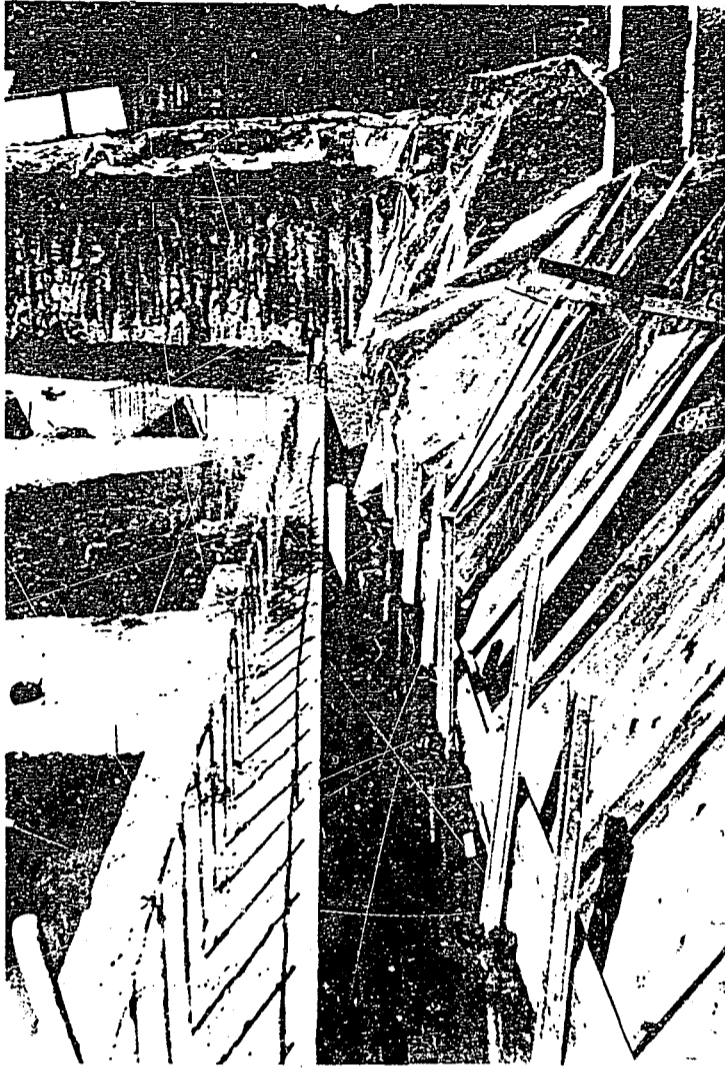


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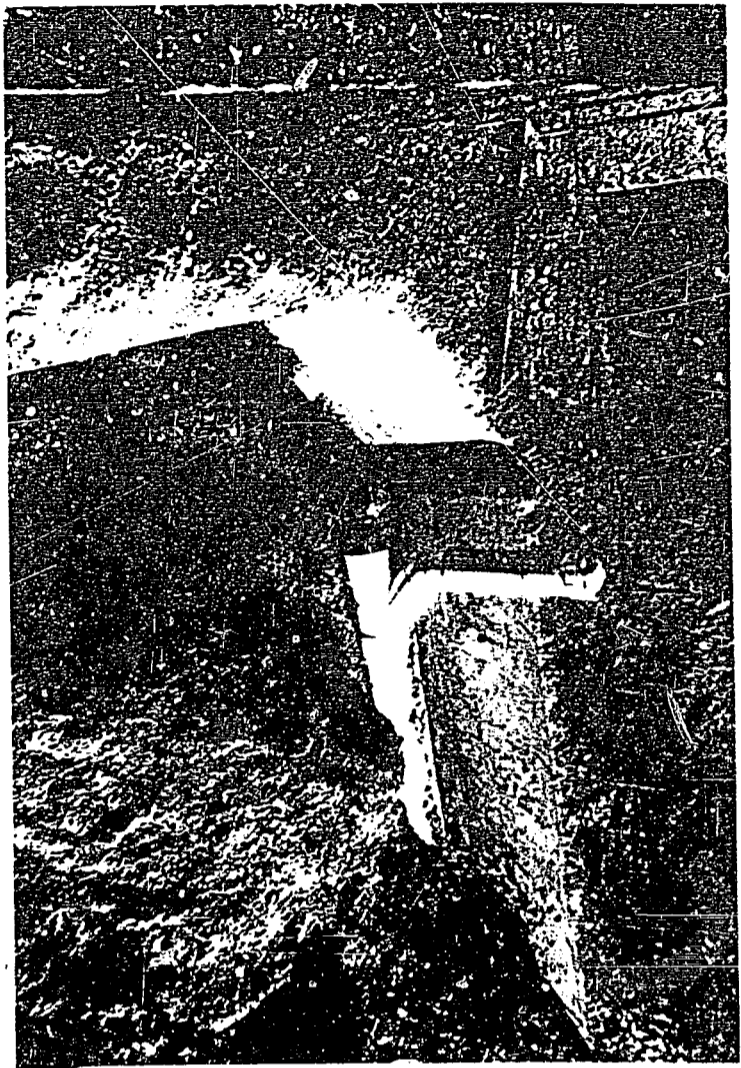


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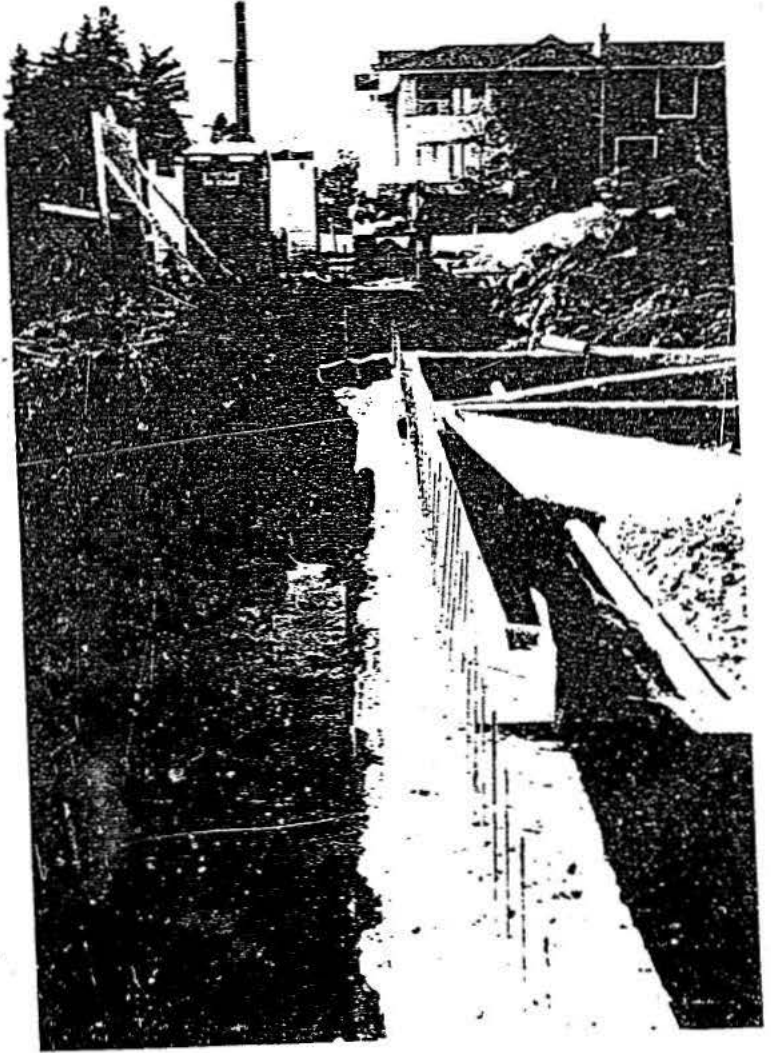


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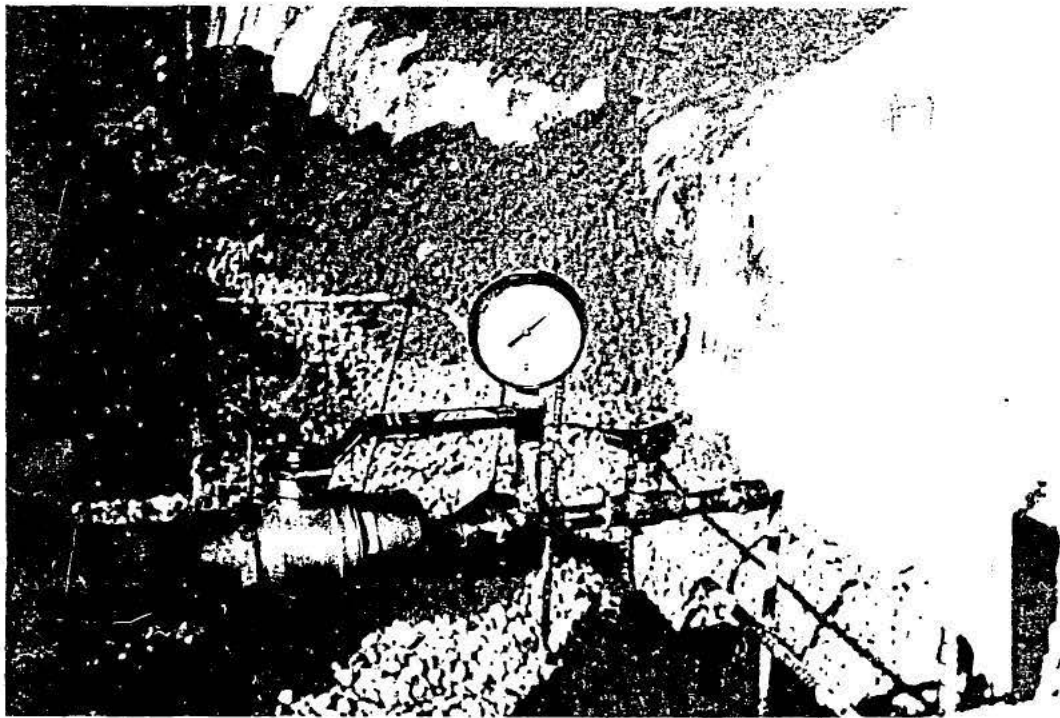
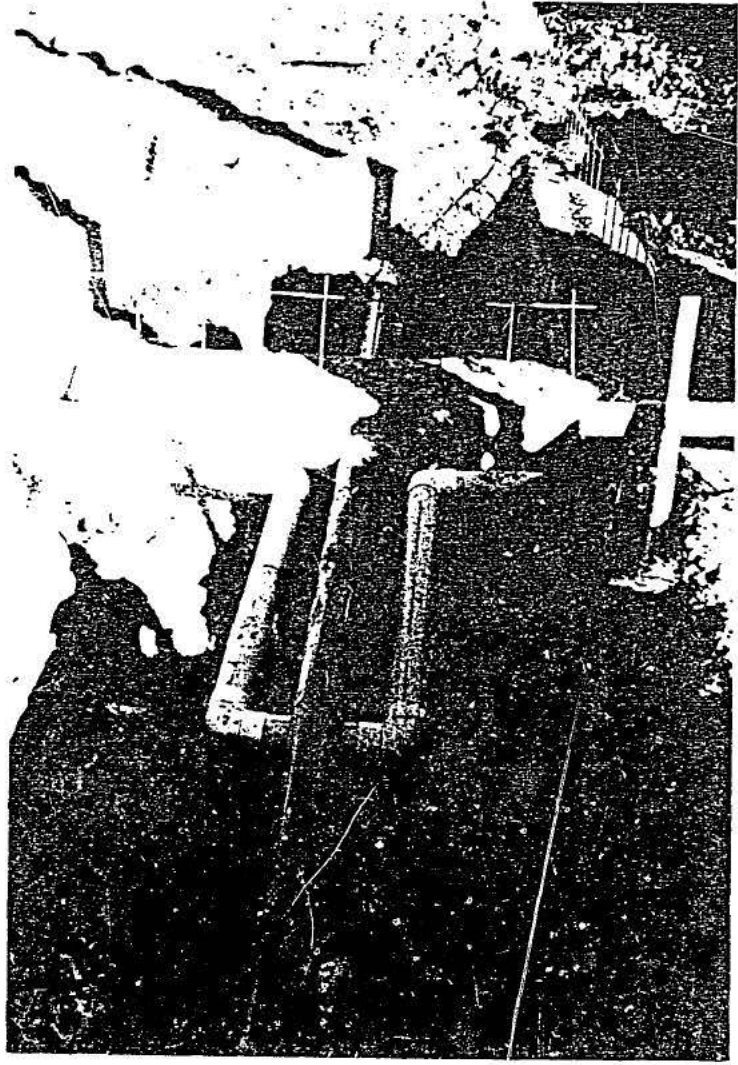


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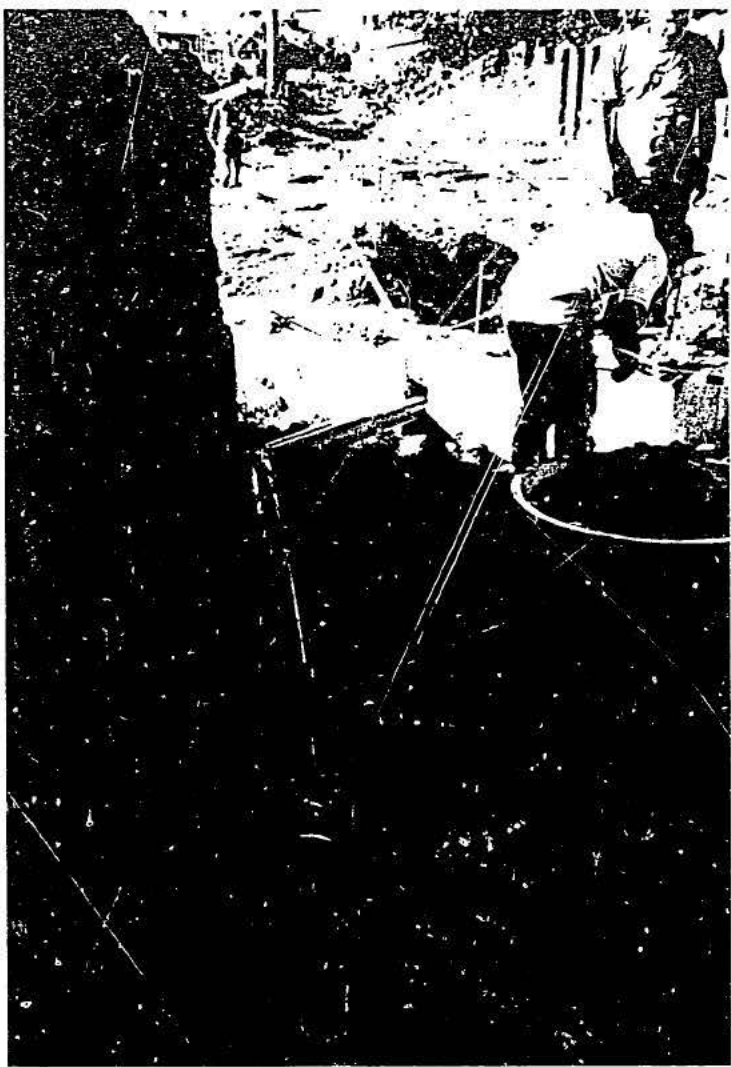
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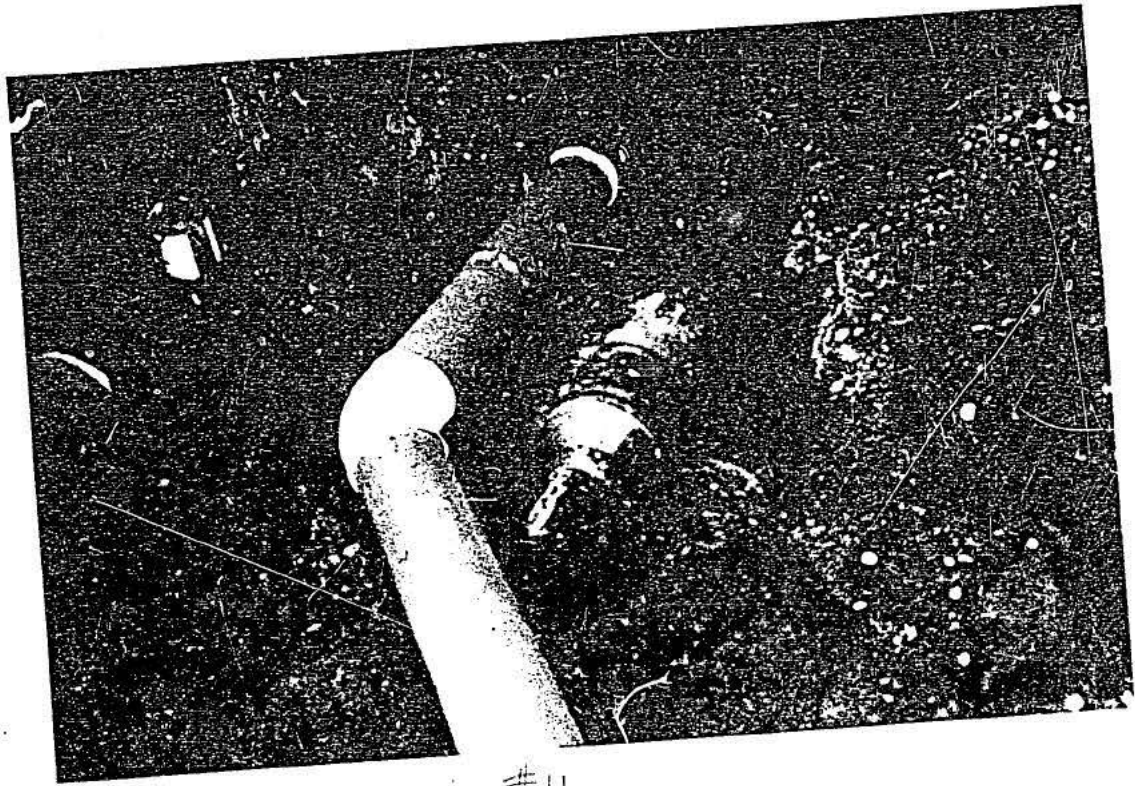
#9



#10







#11





**L.G. SHANNON ENGINEERING LTD.**

CONSULTING ELECTRICAL ENGINEERS

14046 MARINE DRIVE  
WHITE ROCK, B.C., V4B 1A7

OFFICE: 531-6996  
FAX: 531-7714

1991 June 3

VIA FAX: 536-~~1055~~

Ankenman Associates Architects  
Suite 306, 1959 - 152nd Street  
White Rock, British Columbia  
V4A 4N6

Re: Drina Construction  
Field Review Report  
ELECTRICAL JUNE 1, 1991

Gentlemen:

A field review was made to the above and the following are our observations and comments.

1. Main service, meters, panels and terminations are complete.
2. Units are complete, switches, luminaires, heaters and appliance outlets are installed.
3. Main cablevision cable to be installed.
4. Fire alarm system to be verified and tested and certified report submitted.

The mounting of the smoke detectors in the attic is questioned as to its effectiveness as it is below the attic vents. The Contractor is to verify and report accordingly.

5. It is to be confirmed on site that all power outlets to sprinkler room, including heater is, on ground fault interrupter breaker. The heat tracing of that portion of the water line between the sprinkler room and basement ceiling is to be verified by Contractor and reported.
6. It was noted that no electric baseboard heater was installed in the 'nook' in the 'Penthouse unit'. The Contractor is to verify and report to the Engineer accordingly.

2...





**L.G. SHANNON ENGINEERING LTD.**

CONSULTING ELECTRICAL ENGINEERS

14046 MARINE DRIVE  
WHITE ROCK, B.C., V4B 1A7

OFFICE: 531-5996  
FAX: 531-7714

1991 June 3  
Page 2

7. The outside main entrance luminaires were not installed as per drawing.

We question the location and type of column mounted luminaires used. The time clock and connections are to be made and the installation inspected after dark.

8. Generally the work is substantially complete.

9. The Contractor to provide copies of:

- 1) Final Electrical Inspector's Certificate
- 2) Fire Alarm system verification tests
- 3) Copy of RECORD Drawing for preparing "AS BUILTS".

Yours very truly,

L G SHANNON ENGINEERING LTD.

L G Bill Shannon, P. Eng.

LGS/ejs

c.c. Drina Construction  
Attn: Mr. Rudy Jahura

c.c. Tarra Electric  
Attn: Mr. Martin Kemp



**M. LIS ASSOCIATES LTD.**

**MECHANICAL ENGINEERS**

12869 14th AVE.  
SURREY, B.C. V4A 1H3

(604) 531-4478

Ankenman Associates Architects Inc.  
306 - 1959 152 Street,  
White Rock, B.C.

**PROJECT:**

15907 Marine Dr.  
White Rock, B.C.,  
Drina Construction

**INSPECTION REPORT NO: 3**

Date: MAY 29, 1991

**SUBSTANTIAL COMPLETION**

**PLUMBING:**

1. Replace slip joints down stream from trap on all automatic washer drains.
2. Install hose bibbs as per drawings.
3. Insulate bathtub traps located in parking.
4. Insulate and heat trace main domestic water pipe in parking.
5. Insulate domestic water main in sprinkler room.
6. Provide and wire remote readout for water meter.
7. Provide additional support to domestic water piping in the sprinkler room.
8. Install floor drain in sprinkler room and garbage bin.



**SPRINKLERS:**

1. Pipe system main drain to outside of sprinkler room.
2. Activate sprinkler system, provide Contractors Test certificate.
3. ELEVATOR SHAFT SPRINKLER

**GAS PIPING:**

1. Label/paint piping per gas code requirements.
2. Replace bent pipe hangers in parking.
3. Provide additional support and flexibility to piping serving ventilation unit in attic. Vent Pressure Reducing valve to outside.
4. Provide copy of Gas Inspection Certificate.

**VENTILATION:**

1. Ventilation unit;
  - a) install spring isolators
  - b) energize unit and balance air delivery to each floor
  - c) set controls to deliver air at 65 deg. F.
2. Install grille and fire damper in basement vestibule.
3. Provide rated enclosure to duct in East exit.
4. Provide fan grille in Suite 303.
5. Adequately secure grille in Lobby on Main Floor.
6. Provide discharge air plenum for parking exhaust fan.
7. Terminate all ventilation ducts outside of building.
8. THERMOSTAT FOR ELEV. NYC POOL EXHAUST.

.....  
M.Lis P.Eng

CC DRINA CORP.



VG-05453

October 5, 1990

Drina Construction  
c/o Ankenman Associates Architects Inc.  
Suite 306 - 1959 152 Street  
WHITE ROCK, B.C.  
V4A 4N6

ATTENTION: Mr. Rudy Jahura

Dear Sirs:

Re: Interim Progress Report, Proposed Condominium Development  
820 Habgood Street, White Rock, B.C.

At the request of Mr. Rudy Jahura, a soils technician visited the above-referenced site on October 2nd, 1990 to carry out density testing of fills required to raise the slab subgrade. It was understood that approximately 2 feet of imported fill had been placed between the concrete grade beams which tie the foundation frame together. The fill consisted of fine to medium grained sand with a trace to some silt. A total of 6 density tests were carried out approximately 6 inches below the design slab subgrade elevation. The preliminary results indicated that the average compaction density of the slab fills was approximately 98% of the Standard Proctor Maximum Dry Density (SPD). It was recommended in the soils report prepared by Hardy BBT Limited (VG-05376, dated March 30th, 1990) that slab fills should be compacted to a minimum of 98% of SPD. A technical memo was given to Mr. Jahura providing the preliminary density test results and that the final test results would be available in about 1 day.

Laboratory test results recieved on October 4, 1990 indicated that the actual densities achieved in the slab fills averaged 92% of SPD. These results were immediately reported to the site superintendent (Mick) and it was recommended that further compaction



an average compaction density of 92% of SPD) indicated that there was a potential of approximately 1/2 inch of settlement occurring beneath the slab.

The low compaction densities and estimated settlements were reported to Allan Aubert of Ankenman Associates Architects Inc. on October 4th, 1990. It was understood that 1/2 inch of settlement around the grade beams was unacceptable. Consequently, it was immediately reported to the site superintendent that further compaction efforts would be required to achieve the recommended compaction densities in the slab fills. A subsequent conversation with the site superintendent on the same day indicated that it was preferred to construct the main floor prior to recompacting the garage slab fills as weather conditions over the last few days have saturated the slab subgrade. This would also provide the time necessary to recompact the fills to the recommended minimum densities. However, a telephone conversation with Mr. Jahura on October 5th, 1990 indicated that it was their intention to place the slab on October 6th, 1990 and that further testing should be carried out as soon as possible.

It should be noted that the following tasks still need to be undertaken in order for Hardy BBT Limited to complete the assigned mandate in compliance with the letters of assurance,

1. Review and density testing of the basement wall backfill. It was recommended in the geotechnical report that the basement wall backfill should either consist of pea gravel or a well graded granular material containing less than 2% fines. If settlement around the building perimeter is to be minimized, it was recommended that the backfill be compacted to 100% of SPD. Otherwise the wall backfill should be compacted to a minimum 95% of SPD.
2. Design and field review of any retaining wall construction that is required to achieve the design final site grades.



3. Density testing of fills required to restore original grades on the site or adjacent properties.

Should you have any questions, or desire additional information, please call.

Yours truly,

Hardy BBT Limited

Per:



Randy R. Williams, P.Eng.  
Geotechnical Project Engineer

Reviewed by:



A.B. Good, P.Eng.  
Geotechnical Project Engineer

cc: Allan Aubert, M.I.B.C., M.R.A.I.C.  
Ankenman Associates Architects Inc.

cc: Bob Stubbs, P.Eng.  
Stubbs Engineering Limited

RRW:dc

c-23 5453.lct



DATE Oct 2/90 TIME 13:00

SUBJECT Compaction

TO Drama Construction CLIENT Drama Court PROJECT NO. UG05453  
 FROM Col Jamieson (NAME OF INSPECTOR) DESCRIPTION LOCATION Marine Dr + Halgood St White Rock

MESSAGE OR INSTRUCTIONS

6 Compaction tests were taken randomly over entire area. Fill used is a fine sand some silt, trace of organics and wood, brown in color. This was placed to 2' in depth. Results based upon an estimate of 1650 kg/m<sup>3</sup>. Results as follows:

- 1) 95.6%
  - 2) 99.7
  - 3) 96.5
  - 4) 101.3
  - 5) 96.3
  - 6) 98.7
- Avg 98%

Material appears dense and well compacted. Some areas need more compaction.

Results are estimates. Lab results will be available in 1 day.

NOTE: PRELIMINARY INFORMATION ONLY - SUBJECT TO CONFIRMATION

*[Signature]*  
(SIGNATURE)



DRINA CONSTRUCTION LTD.

PROJECT NO: V65453  
 DATE: 90.Oct.03  
 CLIENT P.O.:  
 CC:

PROJECT: MARINE DR. AND HARGOOD, WHITE ROCK

CONTRACTOR: DRINA CONSTRUCTION LTD.  
 AREA: BUILDING SLAB AREA  
 CONSTRUCTION TYPE: COMPACTED STRUCTURAL FILL  
 REFERENCE: 98% STANDARD PROCTOR DATE TESTED : 90.Oct.02

NO.	LOCATION	SOIL TYPE	MOISTURE CONTENT (%)		DRY DENSITY (kg/m3)			PERCENT MAXIMUM DENSITY
			FIELD	OPTM	FIELD	CORR	MAXMUM	
1	SLAB 10m.N. & 5m.E. OF S.W. CORNER OF BUILDING. AT GRADE	S.P.	8.9	14.7	1658	1572	1762	89
2	SLAB 5m.N. & 9m.E. OF S.W. CORNER OF BUILDING. AT GRADE	S.P.	10.6	14.7	1630		1762	92
3	SLAB 3m.N. & 20m.E. OF S.W. CORNER OF BUILDING. AT GRADE	S.P.	11.8	14.7	1697	1641	1762	93
4	SLAB 20m.N. & 10m.E. OF S.W. CORNER OF BUILDING. AT GRADE	S.P.	12.5	14.7	1703	1695	1762	96

FIELD METHOD: ASTM D2922 NUCLEAR

LABORATORY METHOD: ASTM D698 STANDARD PROCTOR

COMMENTS: AVG. COMPACTION = 91.8%



HARDY BBT LTD.  
 BURNABY, B.C., CANADA

FIELD DENSITY REPORT  
 (CONTINUED)

PROJECT: MARINE DR. AND HARGOOD, WHITE ROCK

PROJECT NO: V65453

DATE TESTED : 30.Oct.02

DATE: 30.Oct.03

PAGE: 2

NO.	LOCATION	SOIL TYPE	MOISTURE CONTENT (%)		DRY DENSITY (kg/m <sup>3</sup> )			PERCENT MAXIMUM DENSITY
			FIELD	OPTM	FIELD	CORR	MAXIMUM	
5	SLAB 27m.N. & 20m.E. OF S.W CORNER OF BUILDING. AT GRADE	S.P.	13.8	14.7	1577	1566	1762	89
6	SLAB 23m.N. & 3m.E. OF S.W CORNER OF BUILDING. AT GRADE	S.P.	11.7	14.7	1611		1762	91

LABORATORY METHOD: ASTM D698 STANDARD PROCTOR  
 COMMENTS: AVG. COMPACTION = 91.8%

END OF REPORT

HARDY BBT LTD. - PER:

Reporting of these test results constitutes a testing service only.  
 Engineering interpretation or evaluation of the test results is provided only on written request.

R.WILLIAMS P.ENG.



HARDY BBT LIMITED  
BURNABY, B.C.

MOISTURE - DENSITY  
RELATIONSHIP REPORT

DRINA CONSTRUCTION LTD.

PROJECT NO: V65453  
DATE: 90.Oct.04  
CLIENT P.O.:  
CC:

PROJECT: MARINE DRIVE AND HARGOOD, WHITE ROCK  
BUILDING SLAB AREA

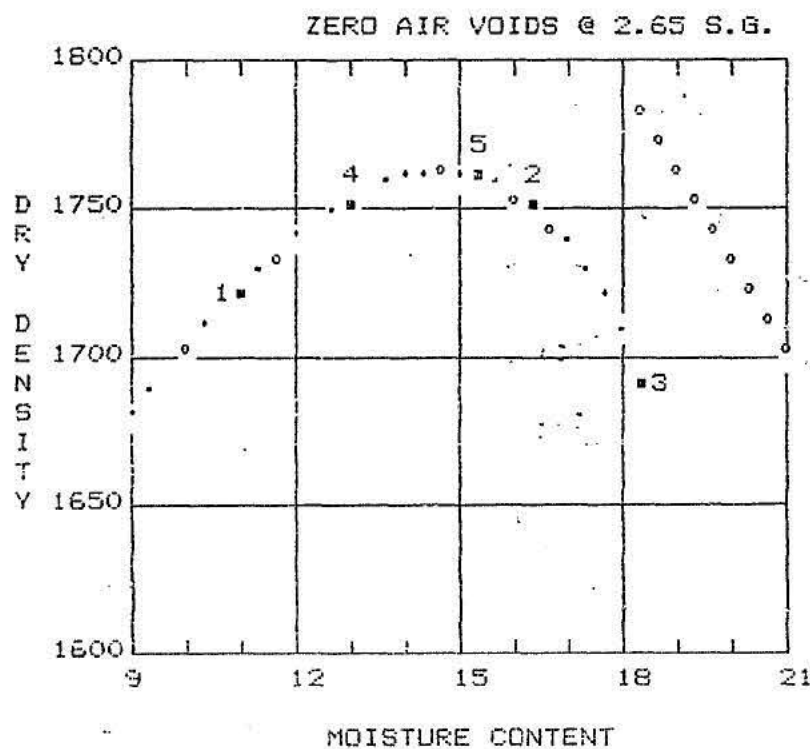
COMPACTION STANDARD - STANDARD PROCTOR ASTM D698 METHOD - A

WET DENSITY kg/m <sup>3</sup>	1907	2036	2004	1978	2028		
DRY DENSITY kg/m <sup>3</sup>	1720	1748	1693	1752	1756		
MOISTURE CONTENT %	10.9	16.5	18.4	12.9	15.5		

MAXIMUM DRY DENSITY - 1762 kg/m<sup>3</sup>

SOURCE: SITE FILL,  
F.D.'S 1-6

OPTIMUM MOISTURE - 14.7 %



DATE SAMPLED: 90.Oct.02  
SAMPLED BY: CF  
DATE RECEIVED: 90.Oct.03  
PROCTOR NO.: 1

RAMMER TYPE: MANUAL  
PREPARATION: MOIST  
PERCENT RETAINED:  
4.75 mm SCREEN  
19.0 mm SCREEN

SOIL DESCRIPTION:

S.P. - SAND, FINE TO MEDIUM  
GRAINED, TRACE TO SOME SILT,  
E. W. COLOR.

COMMENTS:

HARDY BBT LIMITED - PER:

Reporting of these test results constitutes a testing service only.

R. WILLIAMS P. ENG.

Engineering interpretation or evaluation of the test results is provided only on written request.



HARDY BBT LTD.  
 BURNABY, B.C., CANADA

FIELD DENSITY REPORT

MR. RUDY JAHURA

DRINA CONSTRUCTION  
 SUITE 306 - 1959 152nd STREET  
 WHITE ROCK B.C.  
 V4A 4N6

PROJECT NO: V65433  
 DATE: 91.Feb.22  
 CLIENT P.O.:  
 CC:

PROJECT: 820 HARGOOD STREET, WHITE ROCK B.C.

CONTRACTOR: DRINA CONSTRUCTION  
 AREA: SLAB AREA  
 CONSTRUCTION TYPE: COMPACTED STRUCTURAL FILL  
 REFERENCE: 98% STANDARD PROCTOR  
 DATE TESTED : 91.Feb.21

NO.	LOCATION	SOIL TYPE	MOISTURE CONTENT (%)		DRY DENSITY (kg/m <sup>3</sup> )			PERCENT MAXIMUM DENSITY
			FIELD	OPTM	FIELD	CORR	MAXIMUM	
1	SLAB 4m.W. OF LINE G AND 1.2m.N. OF LINE 5. AT GRADE	SP/ML	25.1	14.7	1563		1762	89
2	SLAB 1.7m.S. OF LINE C AND 3.5m.N. OF LINE 1. AT GRADE	SP/ML	24.3	14.7	1583		1762	90
3	SLAB 3.0m.S. OF LINE 9 AND 2.0m.W. OF LINE E. AT GRADE	SP/ML	21.0	14.7	1574		1762	89

FIELD METHOD: ASTM D2922 NUCLEAR

LABORATORY METHOD: ASTM D698 STANDARD PROCTOR

COMMENTS: AVG. COMPACTION = 89.3%

END OF REPORT

HARDY BBT LTD. - PER:

Reporting of these test results constitutes a testing service only.  
 Engineering interpretation or evaluation of the test results is provided only on written request.

R. WILLIAMS P. ENG.





DATE May 10/91 TIME \_\_\_\_\_

SUBJECT Site progress Review

TO <u>DRWA Coast</u>	CLIENT <u>DRWA Coast</u>	PROJECT NO. <u>VC05453</u>
<u>Roy</u>	DESCRIPTION <u>Townhouse Development</u>	
<u>R. Williams P.Eng</u> (NAME OF INSPECTOR)	LOCATION <u>300 Habascoo White Oak</u>	

**CONDITIONS**

A soils engineer FROM Hardy BBT LTD. VISITED the above referenced site to review the site conditions as part of the unexcused work as contracted by DRWA Construction. AT the time of the site visit Most of the structure was completed and some landscape work was also completed. The following items had been carried out without the knowledge of HBT;

1. The Basement walls have all been backfilled without the engineers review of the ~~back~~ backfill material along the NORTH AND EAST WALLS AN EXPOSED PORTION OF THE SOUTH END OF THE EAST RETAINING WALL indicates that native soils were backfilled over the drain tile.
2. The Garage floor slab had been installed. The last density tests carried out in the garage slab area indicated that the densities were well below the recommended densities. The Results were reported to Rudy who was to advise HBT when further tests were to be completed.
3. A timber crib retaining wall has been constructed without the knowledge or advisement of Hardy BBT LTD. Tension cracks were observed behind the wall.

NOTE: PRELIMINARY INFORMATION ONLY - SUBJECT TO CONFIRMATION

(SIGNATURE)





Hardy BBT Limited  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

TECHNICAL MEMO 23562

DATE May 10/91 TIME \_\_\_\_\_

SUBJECT Site Progress Review

TO <u>DRINA CONST</u>	CLIENT <u>DRINA CONST</u>	PROJECT NO. <u>UC05453</u>
<u>Russ</u>	DESCRIPTION <u>Towelfase Div.</u>	
FROM <u>R. Williams</u> (NAME OF INSPECTOR)	LOCATION <u>820 Habswood</u>	<u>2/2</u>

MESSAGE OR INSTRUCTIONS

4. The existing slopes at the northeast corner of the site are considered oversteepened for permanent slopes. These slopes should be immediately protected with polyethylene sheeting and measures should be taken to provide long term protection and stability to the exposed slopes.

*Spillway area being 30-*

Hardy BBT Limit cannot ~~app~~ render an opinion as to the long term performance of the items described above since HBT was not requested to be on site at the time of construction.

Should you have any questions, please call.

NOTE: PRELIMINARY INFORMATION ONLY - SUBJECT TO CONFIRMATION

HBLT 42-67.07

(SIGNATURE)



DAY-TIMER

Time Saver

LETTER

IN REFERENCE TO:

STUBBS ENGINEERING LTD.

2115 INDIAN FORT DRIVE

SURREY, B.C. V4A 3L7

Telephone (604) 531-6984

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE 

FOR DRINA CONSTRUCTION LTD.

RE:- 15907 Marine Drive, White Rock.

## HOW TO USE THIS

DAY-TIMER  
Time Saver LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

## MESSAGE

DATE

August 27, 1990

We understand from our telephone conversation of this morning that you plan to start driving piles this afternoon. We assume that you are using steel pipe piles based on previous conversations with yourselves and piling contractors. However to date we have not received any information from the piling contractor of your choice, or yourselves as to the piles being used.

The foundation plans specify that the pile design is to be completed once the contractor is established. Please inform us and the S.I.'s engineer, Randy Williams, P.Eng. of Hardy BBT Ltd, or have the piling contractor inform us of what he plans to use so that it can be approved and the design finalized.

BY

## REPLY

The pile driving should be monitored by the soil consultant to ensure proper length and resistances are achieved.

Also we would be interested in receiving plans of your proposed sloping. Come to see how it ties in with or may affect the design of the structure's foundations & parking garage.

Robert Stubbs

c.c. - Randy Williams, P.Eng, Hardy BBT Ltd.  
- Antkeman Associates Architects Inc.

BY



DAY/TIMER  
*Time Saver*

LETTER  
IN REFERENCE TO:

STUBBS ENGINEERING LTD.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6964

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR DRINA CONSTRUCTION LTD.  
RE: 15907 Marine Dr., White Rock  
Attention: ~~Paul~~ Mike & Rudy Jahura

HOW TO USE THIS

*DAY/TIMER*  
*Time Saver* LETTER TO SAVE TIME.

Type or write your reply in the space below. Then, mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE

September 7<sup>th</sup> 1990.

Inspected positioning of piles under elevator. It would appear as though the one on the south side is about 6" out of position. Also the elevator shaft has to be enlarged 3" by moving south wall 3" south on account of using Richmond Elevator Co. rather than Dove as specified.

We will thicken and redesign elevator footing to account for pile eccentricity. Deepen excavation to correct depth for pit, plus deepen to 24" for approximately 3' to 4' on south side in anticipation of redesign requirements.

BY

*Robert Stubbs*

REPLY

DATE

BY

REORDER FORM NO. 23530 DAY-TIMERS OF CANADA, LTD., 4875 KENT AVENUE, P.O. BOX 1028, NIAGARA FALLS, ONTARIO, CANADA

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DAY/TIMER

*Time Saver*

**LETTER**  
IN REFERENCE TO:

**STUBBS ENGINEERING LTD.**  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6964

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR *DRINA CONSTRUCTION LTD.*  
*Attention: Rudy and for Mick Jature*  
*RE 15907 Marine Drive, White Rock*

HOW TO USE THIS

DAY/TIMER  
*Time Saver* LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

**MESSAGE**

DATE: *# September 8<sup>th</sup> 1990*

*Inspected pouring of concrete for steel piles. Going OK.  
Remember to place dowels at top for attachment to grade beams.  
Elevator footing deepened to 24" throughout. OK.*

BY

*Robert Stubbs*

**REPLY**

DATE:

BY

REORDER FORM NO. 23530 DAY-TIMERS OF CANADA, LTD., 4875 KENT AVENUE, P.O. BOX 1028, NIAGARA FALLS, ONTARIO, CANADA

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DAY/TIMER  
*Time-Saver*

STUBBS ENGINEERING LTD.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6964

LETTER  
IN REFERENCE TO:

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR DRINA CONST. - 11 UNIT APT.  
15907 MARINE DR.  
WH. ROCK

HOW TO USE THIS

DAY/TIMER  
*Time-Saver* LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE 17 SEPT 90

INSPECTED GRADE BEAM REINF:

WORK IN PROGRESS, FOLLOWING ITEMS NEED ATTENTION:

- ① EXTERIOR WALL FOUNDATION - EXTRA BOT. REINF. REQ'D AT INTERIOR SPANS (2-15M x 4000) & EXTRA TOP REINF. INCOMPLETE SOME PLACES (1-25M x 3000 + 2-20M x 3000) SEE DETAIL ⊕. ALSO NEED EXTRA BOT. STEEL IN END SPAN AT ⊕ (GEG)
- ② TIE BEAMS TO BE SPLICED THRU AT PILES
- ③ TIES NOT SPACED RIGHT AT ⊕ PILE (COL.) INSIDE SW CORNER ✓ FIXED
- ④ AREA AROUND ELEV. SHAFT INCOMPLETE - WE WILL SPECIFY ELEV. PIT SLAB REINF. TOMORROW MORNING & RE-INSPECT BEFORE POURING CONC.
- ⑤ BE SURE TO TIE CAGES IN PLACE TO MAINTAIN CLEARANCES AS SPECIFIED ON DWG.

REPLY

- ⑥ DOWELS (& HORIZ. TIES) TO BE PLACED YET. (COLUMNS & WALLS)

*Ray Donight*



DAY-TIMER  
*Time Saver*

LETTER  
IN REFERENCE TO:

STUBES ENGINEERING LTD.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6964

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR *PRIMA CONSTRUCTION LTD.*  
*Attention: Mick/Rudy Japura.*  
*RE: 15907 Marine Drive, White Rock*

HOW TO USE THIS

*DAY-TIMER*  
*Time Saver* LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE:

*September 18/90.*

*Inspected and assisted in placing of concrete & rebar  
for grade beams. All approved.*

BY

*Albert Stubb*

REPLY

DATE:

BY

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STUBBS ENGINEERING LTD.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-8934

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR DRINA CONST. - 11UMT APT.  
15907 MARINE DR.  
W.H. ROCK

HOW TO USE THIS

*DAY/TIMER*  
*Time Saver* LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

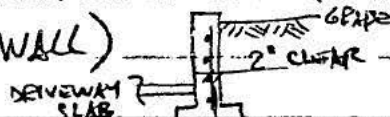
DATE: 26 SEPT 90

PRELIMINARY WALL REINF. INSPECTION

WORK IN PROGRESS, GENERALLY LOOKS GOOD, CHECK FOLLOWING ITEMS:

- ① HORIZ WALL STEEL TO LAP 6" INTO CORNERS (SEE DETAIL BELOW \*)
- ② SECURE STEEL CURTAIN TO FORM TIES TO MAINTAIN 1 1/2" CLEAR TO INSIDE FACE OF FORMS. (A BIT LOOSE YET IN SOME SPOTS)
- ③ DOWELS MISSING IN FOOTINGS FOR INSIDE WALLS BY STAIRWELL - DRILL MIN. 6" INTO FTG. FOR 10M DOWELS (2FT. LONG) @ 12" OC TO MATCH VERT. STEEL IN MIDDLE OF WALL.

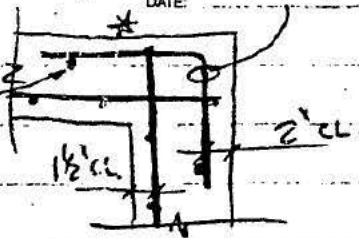
- ④ DRIVEWAY RET. WALL - WHERE WALL NOT SUPPORTED AT TOP BY ENTRY SLAB: MOVE STEEL TO OUTSIDE FACE OF WALL (BECOMES CANTILEVER WALL)



REPLY

- ⑤ WHERE CORNERS NOT YET DONE - PLACE CORNER BARS TO OUTSIDE FACE OF WALL:

(10M VERT. CARRY BARS REQ'D)



- ⑥ AT DOORS PROVIDE 2-15M ALL AROUND.
- ⑦ CALL FOR REINSP. BEFORE POURING.

BY

*Paul [Signature]*



**STUBBS ENGINEERING LTD.**  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6964

DAY/TIMER  
*Time Saver*

**LETTER**  
IN REFERENCE TO:

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR **DRINA CONST.**  
**15907 MARINE DR. (820 HARGOOD)**  
**WH. ROCK**

HOW TO USE THIS

DAY/TIMER  
*Time Saver* LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

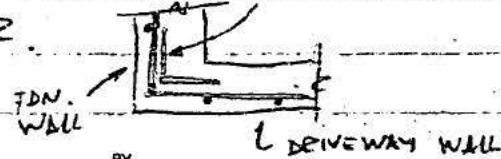
**MESSAGE**

DATE: **28 SEPT 90**

FINAL FDN. WALL REINF. INSPECTION

FOLLOWING ITEMS NEED ATTENTION:

- ① AT ALL DOORS, WINDOWS, & BLOCKOUTS IN WALL — 2-15M (OR 4-10M) REQ'D ALL AROUND OPENINGS.
- ② AT END OF DRIVEWAY RETAINING WALL — 2-15M (OR 4-10M) VERT. REQ'D.
- ③ AT SHORT COLUMN (GLASS BLOCK AT REAR EXIT) 1-10M VERT. MISSING (SEE DETAIL ⑤).
- ④ AT CORNER OF DRIVEWAY WALL — CORNER BARS SHOULD BE TO OUTSIDE OF CORNER.



**REPLY**

DATE:

⑤ OK TO POUR WHEN ABOVE ITEMS DONE.

BY

*Ray Knight*

REORDER FORM NO. 23530 DAY-TIMERS OF CANADA, LTD., 4875 KENT AVENUE, P.O. BOX 1028, NIAGARA FALLS, ONTARIO, CANADA

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LETTER

IN REFERENCE TO:

STUBBS ENGINEERING LTD.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6964

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR *DRINA CONSTRUCTION LTD.*  
*RE: 15907 Marine Drive, White Rock.*  
*Attention: Rudy Jalava*

HOW TO USE THIS

DAY/TIMER

*Time Saver*

LETTER TO SAVE TIME

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE:

*October 16, 1990*

*Inspected rebar for suspended slab. Not yet finished. Do corrections shown on accompanying slab plan in red. Clean up east side first to allow concrete pour to commence tomorrow. I would recommend delaying the start of the pour to 9 or 10:00 am. to allow the rebar crew to do sufficient of the corrections and avoid confusion on site.*

BY

*Bob*

REPLY

DATE:

BY

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LETTER  
IN REFERENCE TO:

STUBBS ENGINEERING LTD.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6954

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR *DRINA CONSTRUCTION LTD.*  
*Attention: Rudy Jalura*  
*RE 15907 Marine Drive, White Rock*

HOW TO USE THIS

*DAY/TIMER*  
*Time Saver* LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE *October 17<sup>th</sup> 1990.*

*Reinspected suspended slab rebar, assisted in doing corrections to finishing rebar, and monitored concrete pour.*  
*Note that concrete test cylinders were made by Ocean Cement and not an independent laboratory. However, since concrete higher strength than required it will be OK, and will be used as a guide for when forms can be stripped.*

BY

*Robert Stubb*

REPLY

DATE:

BY

REORDER FORM NO 23530 DAY-TIMERS OF CANADA, LTD. 4875 KENT AVENUE, P.O. BOX 1028, NIAGARA FALLS, ONTARIO, CANADA

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DAY/TIMER

Line Saver

LETTER

IN REFERENCE TO:

STUBBS ENGINEERING LTD.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6984

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR

DRINA CONSTRUCTION LTD.  
Attention: RUDY JAHURA

RE: 15907 MARINE DR., WHITE ROCK

HOW TO USE THIS

DAY/TIMER  
Line Saver LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE

November 15 1990.

Inspected rebar for elevator shaft 1<sup>st</sup> level. Block up to 1/2 way through 2<sup>nd</sup> storey.

Recommend after discussion with mason pouring one level only to prevent grout coming out of lintel beams.

Before grouting ensure following:-

- 1) Corner bars to be added, minimum 1-15M per course.
- 2) Add 1/4 ties to lintel beam as per plan, or pairs of 10M deformed ties  or .
- 3) Put in vertical bars as per plan. Note 20M's required in corners.

BY

Robert Stubbs

REPLY

DATE:

BY

REORDER FORM NO. 23530 DAY-TIMERS OF CANADA, LTD., 4875 KENT AVENUE, P.O. BOX 1028, NIAGARA FALLS, ONTARIO, CANADA

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DAY/TIMER

*Time Saver*

LETTER

IN REFERENCE TO:

STUBBS ENGINEERING LTD.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6964

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR *DRINA CONSTRUCTION LTD.*  
*ATTN. MICK JANURA*  
*RE: 15907 Marine Dr., W. Rock*

HOW TO USE THIS

DAY/TIMER

*Time Saver*

LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE: *November 16/1990*

*Inspected rebar for 2 lift (storey) of masonry for the elevator shaft. Basically OK to ground on Monday am. Note: corner bars still to go in each front corner at 1st floor level, (1 floor down).*

*Robert Stubbs*

BY

REPLY

DATE:

BY

REORDER FORM NO 23530 DAY-TIMERS OF CANADA, LTD., 4875 KENT AVENUE, P.O. BOX 1028, NIAGARA FALLS, ONTARIO, CANADA

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DAY-TIMER

*Time Saver*

LETTER  
IN REFERENCE TO

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2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-8964

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR *DRINA CONSTRUCTION LTD.*  
*ATTN. RUDY JAHURA*  
*RE: 15907 Marine Drive, White Rock*

HOW TO USE THIS

DAY-TIMER  
*Time Saver* LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE: *November 22 1990.*

*Inspected reinforcing in concrete block elevator for top floor & penthouse. All OK to grout.*

*Robert Stubbs*

BY

REPLY

DATE:

BY

REORDER FORM NO. 235-JO DAY-TIMERS OF CANADA LTD. 4875 KENT AVENUE, P.O. BOX 1028, NIAGARA FALLS, ONTARIO, CANADA

SENDER: KEEP PART TWO FOR YOUR FILE. MAIL WHITE AND PINK COPIES INTACT. REPLIER: RETURN WHITE COPY.



STUBBS ENGINEERING LTD.  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6964

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR DRINA CONSTRUCTION LTD.  
ATTENTION: MICK JAIKURA  
RE: 15967 Marine Drive, White Rock, B.C.

HOW TO USE THIS

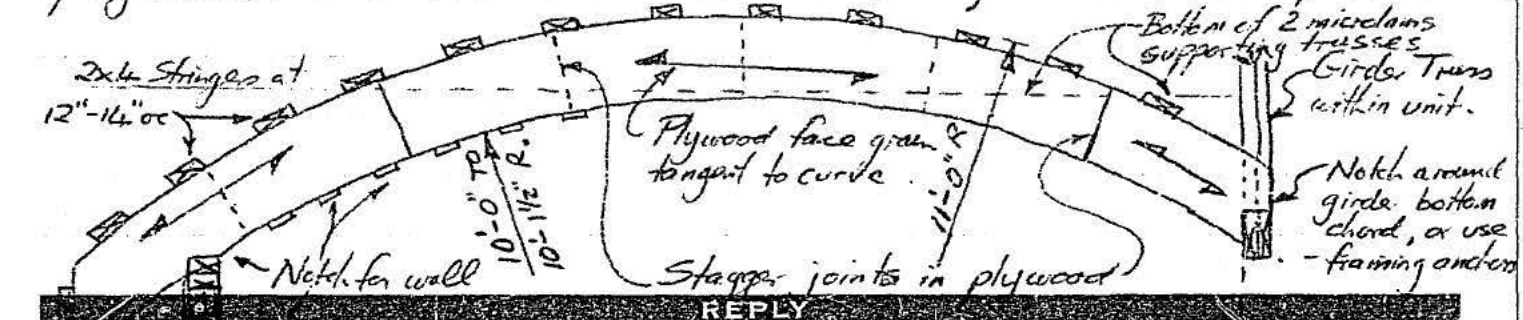
DAY/TIMER  
Time Saver LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE: November 26 1990

To confirm our telephone conversation of today the sketch below shows the alternative method of construction for the ribs of the barrel vault roof on the south side of the building. They can be placed at up to a maximum of 40" o.c. Based on the sketches I had from the truss supplier, you should have approximately 10 ft from the microlam beam supporting the trusses ~~are the~~ that come over the kitchen area, and which frames into the girder trusses either side, to the outside wall of the 6ft deep rock projection. I would recommend 4 ribs at 40" oc, or 4 at 32" oc plus 1 @ 24" oc.



REPLY

24" for 4 layers of 1/2" plywood, or  
32" oc for 3 layers of 3/4" plywood.

No more than 1 splice at any section through the members

Wall & 2x2wd  
Heads at  
6'-0" projection  
of rock (room)

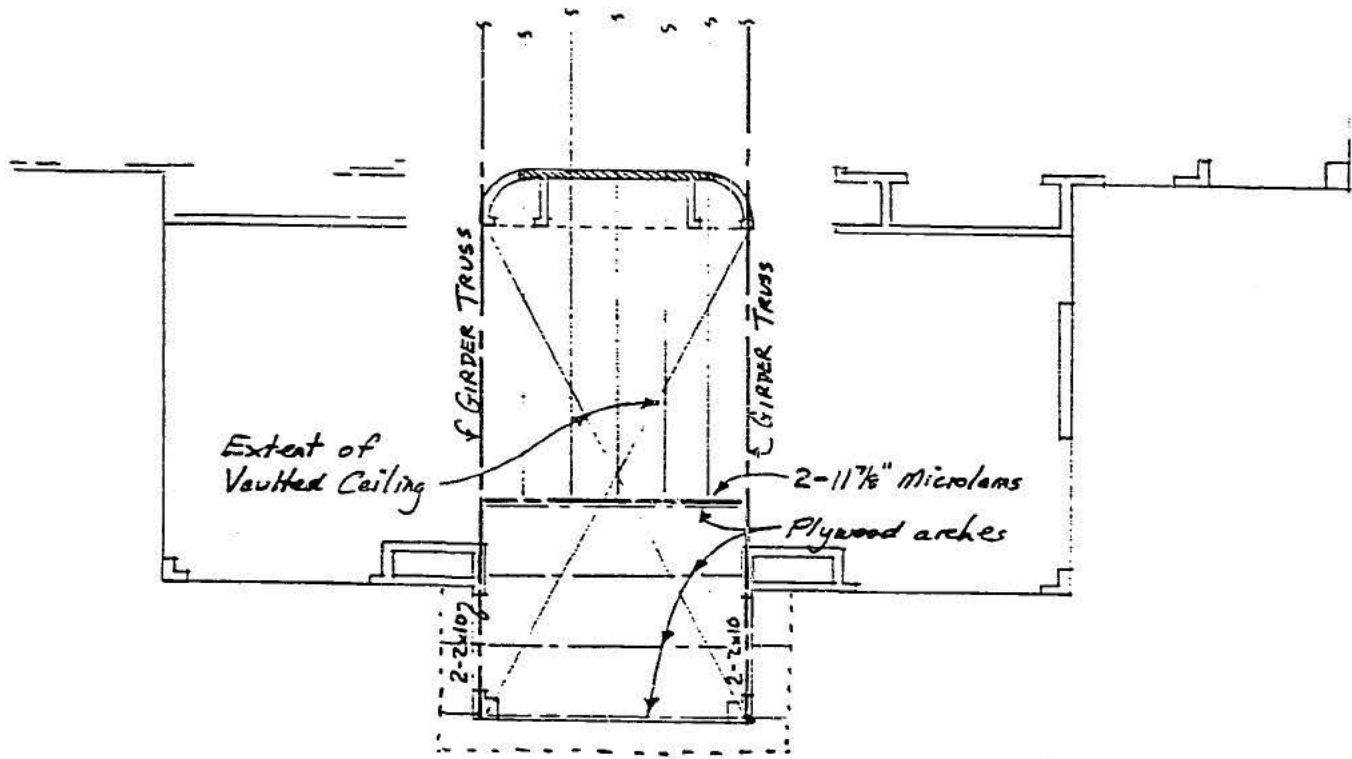
- Plywood to be either 5 ply, 1/2" DOUGLAS FIR PLYWOOD (4 laminations) or 5 ply or 7 ply 3/4" DOUGLAS FIR " (3 laminations)
- Fully glue with resorcinol glue all laminations to each other. (Alternatively use a wood glue & keep units dry. Do not use subfloor/joist glue.)
- For gluing pressure, nail laminations @ 5"-6" oc each way. /2



Page 2

To Mick Jahura  
Drina Construction Ltd.

November 26/90.



UNIT 'D' THIRD FLOOR

Robert Stubb

cc. Ankenman Associates Architects Inc.





**L.G. SHANNON ENGINEERING LTD.**

CONSULTING ELECTRICAL ENGINEERS  
1406 MARINE DRIVE  
WILLOWDALE ONTARIO M2H 3L7  
416-491-5000  
FAX: 491-5074

1990 November 26

VIA FAX: 536-5774

Aikenman Associates Architects  
Suite 306  
1959 - 130th Street  
White Rock, British Columbia  
V8A 3K6

Attention: Mr. Y. Cho

Re: Drina Construction - Electrical  
SITE INSPECTION: REPORT #1

Gentlemen:

After the commencement of construction, we visited the site and have been assured by Drina and the Electrical Contractor that they have coordinated with B.C. Hydro and V.I. Telephone for the location and the pick-up points for the main underground ducts.

The PVC ducts are installed under the slab, with T's for change to the catch basin in the parking level.

The ducts were to be inspected and approved by the utilities for the joining in of their cables.

Yours very truly,

L.G. SHANNON ENGINEERING LTD.

L.G. Shannon, P. Eng.

108/113









THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, P.O. Box 188, White Rock, B.C. V4B 5C6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: GORDIC ENTERPRISES PERMIT No. 113/90  
 ADDRESS: 920 HARBROOD SHEET No. 1  
 TYPE OF INSPECTION: FINAL DATE: OCT. 7 / 91  
 AREA OF INSPECTION: .....

- 1. LETTER READ FROM MECHANICAL ENGINEER CERTIFYING <sup>DOMESTIC</sup> WATER PIPE IS SIZED TO TABLE 6.3 as per Appeal P-306
- 2. 90° TRAP req'd. on OUTFALLS FROM PARKING SUMPS
- 3. Manhole covers to be flush (3)
- 4. More guard @ boxes 1/2" EAST to conform to code.
- 5. Copy of survey to verify height req'd.
- 6. EXTEND handrails @ entry x4
- 7. Keep drain @ west exit flush with slab
- 8. Fire dept final approval req'd. Verbal Dec 17/91

SIGNATURE: ..... INSPECTOR: Peter Green

DATE: .....

Please sign this form when the work is completed and return to the above department.





A113/90

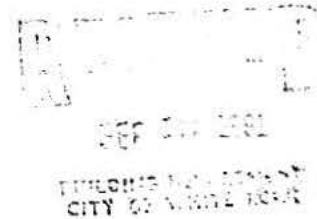
Ankenman Associates Architects Inc.

September 12, 1991

Our File: 8935.13

Director of Permits & Licences  
City of White Rock  
15322 Buena Vista Avenue  
White Rock, B. C.  
V4B 5C6

Attention: Mr. Colin Atchison  
Acting Director



Dear Sir:

RE: Condominium Development at 15907 Marine Drive,  
White Rock/820 Habgood Street, White Rock for  
Drina Construction


We are enclosing herewith the Letters of Assurances as below:

1. Assurance of "Field Review" and "Compliance" (WR 11)
2. Assurance of "Architectural" Field Review (WR 12)
3. Assurance of "Electrical" Field Review (WR 13)
4. Assurance of "Mechanical" Field Review (WR 14)
5. Assurance of "Plumbing" Field Review (WR 15)
6. Assurance of "Structural" Field Review (WR 16)
7. Assurance of "Structural" Field Review (WR 16) prepared by Hardy BBT Limited, Geotechnical Engineers.

The project has been completed with the exceptions stated on the individual Assurance Letter.

Should you require further assistance, please contact the undersigned.

Yours truly,

  
Yong Cho, B.Arch.Eng.  
Senior Associate

Enclosures

YC/cw

Suite 306 - 1959 152 Street, South Surrey, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600





# Ankenman Associates Architects Inc.

## CONFIRMATION OF PROFESSIONAL ASSURANCE

### ASSURANCE OF "FIELD REVIEW" AND "COMPLIANCE"

The Director, Permits & Licences,  
City of White Rock,  
15322 Buena Vista Avenue,  
P.O. Box 188,  
White Rock, B. C.  
V4B-5C6

Dear Sir:

RE: 820 Habgood Street, White Rock, B. C. /  
15907 Marine Drive, White Rock, B. C. /  
(Address of Project)

This is to advise that I am the Registered Professional and was retained by the Owner to undertake and coordinate all field reviews required with respect to this project and took all steps as regulated under Provincial Statute for my profession and required by good practice and by the definition of "field reviews" hereinafter set forth in order to issue the following certification.

As used herein, "field review" shall mean such reviews of the work at the project site and at fabrication locations where applicable as the Registered Professional, in his professional discretion, considered to be necessary in order to ascertain that the work substantially conformed in all material respect to the plans and supporting documents "accepted" by the City of White Rock.

The following aspects have been reviewed either by me or under my direction and to my satisfaction (cross out non-applicable items).

#### ARCHITECTURAL

- 1.1 Fire resisting assemblies (FRR)
- 1.2 Fire separations (continuity)
- 1.3 Architectural Closures (FPR and installation)
- 1.4 Interior and Exterior finishes (FSR and construction)
- 1.5 Egress system
- 1.6 Physical safety features (guardrails, handrails etc.)

WR11-1

Suite 306 - 1959 152 Street, South Surrey, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600



**AA**

WR11 (cont'd)

ASSURANCE OF "FIELD REVIEW" AND "COMPLIANCE" (cont'd)

ARCHITECTURAL RELATED

- 2.1 Roofing and flashings
- 2.2 Wall cladding systems (weather protection)
- 2.3 Dampproofing and/or waterproofing of walls and slabs below grade
- 2.4 Thermal insulation systems (including condensation control and cavity ventilation)
- 2.5 Sound insulation systems
- 2.6 Landscaping, screening and site grading
- 2.7 Requirements for Persons with Disabilities
- 2.8 Elevating devices (including fire-fighters controls where applicable)
- 2.9 Coordination of testing of fire emergency systems and maintenance programs
- 2.10 Development Permit and conditions therein

STRUCTURAL

- 3.1 Structural components
- 3.2 Excavation and Shoring
- 3.3 Backfill
- 3.4 Lateral load resistance of non structural parts of buildings and their anchorage as described in Table 4.1.9.D.

MECHANICAL

- 4.1 HVAC systems and devices (including high-rise requirements where applicable)
- 4.2 Fire dampers at required fire separations
- 4.3 Continuity of fire separations at HVAC penetrations
- 4.4 Testing of mechanically related fire emergency systems and devices
- 4.5 Mechanical maintenance manuals

PLUMBING

- 5.1 Roof drainage systems
- 5.2 Site drainage systems
- 5.3 Plumbing systems and devices
- 5.4 Sprinkler systems where applicable
- 5.5 Continuity of fire separations at plumbing penetrations
- 5.6 Testing of plumbing related fire emergency systems and devices
- 5.7 Plumbing maintenance manuals

ELECTRICAL

- 6.1 Electrical systems and devices (including high-rise systems where applicable)
- 6.2 Continuity of fire separations at electrical penetrations
- 6.3 Testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals.

WR11-2



~~AM~~

WR11 (cont'd)

ASSURANCE OF "FIELD REVIEW" AND "COMPLIANCE" (cont'd)

I certify that the foregoing areas substantially comply in all material respects with the plans and supporting documents, including all amendments thereto, which supported the issuance of Building Permit No. 113, which were "accepted" by the City of White Rock.

In addition, significant revisions to the accepted plans and supporting documents have been submitted to the City in order to depict, as nearly as possible, given my "field reviews" as defined herein, the building as finally designed and built.

Mark Ankenman  
Name of Registered Professional (Print)

Mark A. SEPT. 12. 91  
Signed Date

(PROFESSIONAL  
SEAL)

Suite 306-1959 152 Street, Surrey, B. C.  
Address (Print)

536-1600  
Phone

- Note:
- (1) The Professional must be registered in the Province of British Columbia as a member in good standing in either The Architectural Institute or The Association of Professional Engineers.
  - (2) Attached hereto you will find the appropriate "field review" assurance from each of the associated Professional consultants, who are registered in the Province of British Columbia as members in good standing in either The Architectural Institute or The Association of Professional Engineers as appropriate.



**AA.**

WR12

ASSURANCE OF "ARCHITECTURAL" FIELD REVIEW

820 Habgood Street, White Rock, B. C.  
RE: 15907 Marine Drive, White Rock, B. C.  
(Project Address)

This is to assure that I/We provided "field reviews" as defined herein of all architectural work including checklist items 1.1 to 1.6 inclusive and 2.1 to 2.10 inclusive except as specifically noted below.

EXCEPTIONS -

Parking Level

- 1. West exit from parking garage : landing shall be 12" <sup>CHECK</sup> wider than the width of the door.
- ✓ 2. Manhole covers shall be flushed with concrete floor. <sup>NOTES</sup>
- ✓ 3. Thresholds are required on some doors.

Suites

- ✓ 4. Entrance door : door closers do not close the doors properly when the doors are not open fully.
- OK 5. Portico over the parking entry : height of guardrail is 40 1/2" and curb height is 5 1/2" from finish floor. <sup>FWD</sup>
- OK 6. Retaining wall along east property : 3'-6" high guardrails are required.

Elevator

- ✓ 7. Further sound proofing is required in machine room.
- ✓ 8. Inspection report is required. <sup>LAGGED</sup>

Building Height

- 9. Survey plan is required to verify the height of the building. <sup>to come</sup>

Spot 1 East Surrey market to be provided  
16/91 2) East Surrey market to be provided (past door)

*Handwritten signature/initials*

Name (Print) Mark Ankenman

Signed *Mark Ankenman*

Date September 12, 1991

Address(Print) Suite 306-1959 152 Street  
Surrey, B. C.

Representing Ankenman Associates Architects Inc.



WR13

ASSURANCE OF "ELECTRICAL" FIELD REVIEW

RE: 15907 Marine Drive, White Rock, B.C.  
(Project Address)

This is to assure that I/We provided "field reviews" as defined herein of all electrical work including checklist items 6.1 to 6.4 except as specifically noted below.

EXCEPTIONS -

(PROFESSIONAL  
SEAL)



Name(Print) Lloyd G Shannon  
Signed *L. G. Shannon*  
Date 1991 August 13  
Address(Print) 14046 Marine Drive  
Representing L G SHANNON ENGINEERING LTD.

ENL/WR.13



WRL4

ASSURANCE OF "MECHANICAL" FIELD REVIEW

RE: 15907 MARINE DR, WHITE ROCK  
(Project Address)

This is to assure that I/We provided "field reviews" as defined herein of all mechanical work including checklist items 4.1 to 4.5 except as specifically noted below.

EXCEPTIONS -

4.5 MECHANICAL MAINTENANCE  
MANUALS



(PROFESSIONAL  
SEAL)

*M. Lis*

Name (Print) M. LIS P. ENG.

Signed *M. Lis*

Date 9.09.1991

Address (Print) 12669 14<sup>th</sup> AVE

Representing M. LIS ASSOCIATES LTD.



WR15

ASSURANCE OF "PLUMBING" FIELD REVIEW

RE: 15907 MARINE DR, WHITE ROCK  
(Project Address)

This is to assure that I/we provided "field reviews" as defined herein of all plumbing work including checklist items 5.1 to 5.7 except as specifically noted below.

EXCEPTIONS -

5.7 PLUMBING MAINTENANCE  
MANUALS



(PROFESSIONAL  
SEAL)

Name (Print) M. LIS P. ENG

Signed [Signature]

Date 9.09. 1991

Address (Print) 12669 14th AVE

Representing M. LIS ASSOCIATES LTD.



stubbs engineering ltd.  
consulting engineers



2115 Indian fort dr., ocean park, surrey, b.c. V4A 3L7

(604) 531-6964

The Director, Permits & Licenses  
City of White Rock  
15322 Buena Vista Avenue  
P.O. Box 188  
White Rock, B.C.  
V4B 5C6

WR16

ASSURANCE OF "STRUCTURAL" FIELD REVIEW

RE: 11 Unit Condominium Building for Drina  
Construction Ltd., at 15907 Marine Drive,  
White Rock, B.C.  
(Project Address)

This is to assure that I/We provided "field reviews" as defined herein on all structural work including checklist items 3.1 to 3.4 except as specifically noted below.

EXCEPTIONS - Items 3.2, 3.3, 3.4 and the landscaping/retaining structures on the north and east sides of the building (since they were not designed by ourselves).



Name (Print) Robert M. Stubbs

Signed Robert Stubbs

Date August 14, 1991

Address (Print) 2115 Indian

Fort Drive, Surrey, B.C.



WR16

ASSURANCE OF "STRUCTURAL" FIELD REVIEW

PE: 15907 Marine Drive, White Rock, B.C.  
( Project Address)

This is to assure that I/We provided "field review" as defined herein on all structural work described in checklist items 3.2 and 3.3 except as specifically noted below.

EXCEPTIONS

Hardy BBT Limited (HBT) has only partially reviewed the backfill placed around the perimeter of the structure. Specifically, HBT has reviewed the placement of the drainage provisions around the perimeter of the building and the backfill placed along the west wall. However, HBT did not review the backfill placed behind the north, east and south building walls. Shallow hand excavated test holes adjacent to the basement walls encountered wet fills consisting of fine grained native soils which is not consistent with the recommendations in the geotechnical report.



PROFESSIONAL

SEAL)

Company Name Hardy BBT LimitedEngineer's Name (Print) Randy R. Williams, P. Eng.Signed *Randy R. Williams*Date August 16, 1991Address (Print) 2227 Douglas RoadBurnaby, B.C. V5C 5A9



LANDSCAPING



THE CORPORATION OF THE CITY OF WHITE ROCK

Permits & Licences DEPARTMENT  
TEL. NO: 531 9111

CITY HALL  
15322 Delta Vista Ave.,  
WHITE ROCK, B.C.  
V4B 1Y5.

NAME OF CONTRACTOR: DRINA CONSTRUCTION PHONE #

JOB ADDRESS & TYPE OF CONSTRUCTION: 820 HARBOR PERMIT # DATE OF ISSUE:

TRADE (SUB) SUB-CONTRACTOR ADDRESS PHONE #

EXCAVATING: TEREX 863A-112A ST. 594-8357

CONCRETE/CONC. PUMPING: TERREYS PUMPING/OCEAN CO. 657-7360

DRAIN TILE/SEWER:

FRAMING: DRINA

✓ MASONRY: M G GIBBONS MASONRY.

✓ ROOFING: CANACON 524-6311

✓ INSULATION: 4-SEASONS ROOF + INSULATION

✓ RE-BAR PLACEMENT: DRINA

✓ PLUMBING: NORDEN 7626 GARFIELD DELTA. 596-6905

✓ ELECTRICAL: TARA 536-7123

✓ DAMP PROOFING: WAYNES DAMPROOFING 888-2410

✓ DRYWALL: SCOTTSDALE INTERIOR 597-4772

✓ STUCCO: HARRY & WHITE 733 4889

✓ HEATING: D+M HEATING.

VINYL DECKING: RD: RR 4 ABBOTSDALE ✓

X GUTTERS: TYEE BUTLER SIG: 3705-McDERMOTT 854-6900 V2S4A4 ✓

SKYLIGHTS: KENTON SID.

X CARPETING: RAMCO CARPETS

✓ CABINETS: INTERIOR HITECH 53A-8500

INTERIOR FINISH: DRINA CONSTRUCTION

X CERAMIC TILE: J+V TILE. JOHN 531-2478 left message ✓

PAINTING: 13525-13A AVE SY. VADICS.

✓ FIREPLACE: D+M HEATING

✓ IRON WORK: WHITE ROCK IRON + THREE-D PAINTING.

INTERCOMS:

✓ SPRINKLER SYSTEMS: HEGEK CONTRACTING. 420-2361

BLACKTOP/PAVING:

LANDSCAPING: S. 22 BOX 336 IMPERIAL-DASK: 509 2 JO

CLEAN-UP: 597-3123 ✓

OTHER WORK: SIERRA STONE BOX 71055- PINE-120 CT DELTA V4B 1Y5

NOTE: To be completed in full and returned to the Permits & Licences Dept. before final inspection for Occupancy Approval.

The above information is to the best of my/our belief and is true and correct.

SIGNED: \_\_\_\_\_

S. 22 PLEASE COMPLETE AND PHONE ME AND ILL PICK IT UP.

FOR: \_\_\_\_\_ BUILDING CONTRACTOR

THANKS Redacted S. 22





THE CORPORATION OF THE CITY OF WHITE ROCK

S. 22

JOB SITE

DEPARTMENT 535-2027  
TEL. NO: 5319111 SUB-TRADES LIST

531-8139

CITY HALL  
P.O. BOX 188  
WHITE ROCK, B.C.  
V4B 6C8

15907015907 MAR 21 1984

NAME OF CONTRACTOR: DRINA CONST. (Signature)

JOB ADDRESS & TYPE: JOB-870 HARGOOD PERMIT# DATE ISSUED:

TRADE (SUB)	SUB-CONTRACTOR	ADDRESS	PHONE:
EXCAVATING	CONSTRUCTION SUPPLIES LTD.		261-2211
CONCRETE WORK	OCEAN VANCOUVER (91-01-14)	1120	
RAIN TILE/SEWER		9092 T.D.	
PAVING		(3310 Tm pumps)	
PLUMBING	PUMPING MACHINES OWNED BY:		
ROOFING			
INSULATION	Redacted S. 22		
HEAVY METAL			
PLUMBING			
ELECTRICAL			
PLASTER			(MAYBE ADD TO)
GYPSUM WALL			
STUCCO			
HEATING			
GLAZING	BAND A ROBOT SERVICE:		298-3694
DOORS			
FLOORING	P.O. BOX 429 N/W/85:		V3L4Y7
CARPETING			
CABINETS	SCAFFOLDING:		
ARBORITE			
CERAMIC TILE			
PAINTING	STUCCO: PLASTERING & STUCCO		
CHIMNEYS	TRICK AND WHALLEY LTD.		
IRON WORK			
INTERCOMS	737-4889	(91-02-04)	1037
SPRINKLER SYSTEMS			
BLACKTOP/PAVING	3660 EAST BOULEVARD.		V
LANDSCAPING	6241		
CLEAN-UP	VAN. V6J4B1.		

NOTE: An explanation must be provided where any of the spaces marked SUB-TRADE are not entered. The above information to the best of my/our belief is true and correct.

Where a SUB-TRADE is not described by above list, please include in blank space at bottom.

SIGNED: \_\_\_\_\_  
FOR: BUILDING CONTRACTOR

THANK YOU.





THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT 535-2027 11 90195  
JOB SITE  
TEL. NO: 531911 SUB-TRADES LIST  
1507 MARINE. OWNER/BUILDER 531-8139  
CITY HALL  
P.O. BOX 109  
WHITE ROCK, B.C.  
V4B 5C8

NAME OF CONTRACTOR: DRINA CONSTRUCTION  
JOB ADDRESS & TYPE OF CONSTRUCTION: 820 HARGOOD (MARINE DRIVE)  
GRADE (SUB) SUB-CONTRACTOR ADDRESS PHONE:

- ✓ EXCAVATING
- ✓ CONCRETE WORK BOBROWNIK CONST. 14518 114 BLVD W.R. V4B 5S1 - 538-0786
- RAIL TILE/SEWER
- ✓ FRAMING DRINA CONST: 1441 VIDAL ST. (AND BOBROWNIK CONST) 531-8139
- ASPHRY
- ✓ ROOFING CANA-CON - 6455 - TRAPP RD BY V3N 2V5 - 524-6311
- INSULATION
- ROOF METAL
- ✓ PLUMBING NORDEL 596-6907
- ✓ ELECTRICAL TERA ELECTRIC: 17030 - 30AAN: 596-7727
- PLASTER
- ✓ BRICK WALL SCOTTSDALE INT / 13267 - 72 AV SY V3N 2N9 591-4772 ✓
- PLUCCO
- ✓ HEATING NORDEL
- GLAZING MILLWORK: J. SCHRODER FINISHING 854-7040 ✓
- OUTTERS
- FLOORING
- CARPETING
- CABINETS SELF
- ARBORITE SELF
- CERAMIC TILE
- PAINTING
- CHIMNEYS
- IRON WORK
- INTERCOMS
- ✓ SPRINKLER SYSTEMS HEGER CONTRACTING: 1932 MADISON ST CIRCLE BGY V5A 3Z1 ✓ 420-2361
- BACKTOP/PAVING
- LANDSCAPING
- ✓ CLEAN UP W/ DRAIN DAMP PROOFING 888-2410 ✓

NOTE: An explanation must be provided where any of the spaces marked SUB-TRADE are not entered. The above information to the best of my/our belief is true and correct.

Where a SUB-TRADE is not described by above list, please include in blank space at bottom. SIGNED: \_\_\_\_\_ FOR: BUILDING CONTRACTOR 839-7604

✓ s. 22 CALL CONST: LTD: 2094 - KUGLER MFC COOP. V3K 296  
THANK YOU LTD  
✓ WEST COAST PILE DRILLING PILES. 991-8692  
2579 JASMIN COURT COOP.





THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITTING  
TEL. NO: 531-1111 SUB TRADES LIST

CITY HALL  
P.O. BOX 100  
WHITE ROCK, B.C.  
V4B 6C0

NAME OF CONTRACTOR:	PERMIT#	DATE ISSUED:		
JOB ADDRESS & TYPE OF CONSTRUCTION:	TRADE (SUB)	SUB-CONTRACTOR	ADDRESS	PHONE
EXCAVATING				Redacted S. 22
CONCRETE WORK				
DRAIN TILE/SEWER				
FRAMING				
MASONRY				
ROOFING				
INSULATION				
SHEET METAL				
PLUMBING				Redacted S. 22
ELECTRICAL				
PLASTER	578-8956	EXPRESS MAID		
DRYWALL		16973 ROPER	WR	(APP/LEFT ON SITE)
STUCCO		V4B 249		
HEATING				
PAINTING				
GUTTERS		LANDSCAPER		
FLOORING				
CARPETING		PACIFIC WESTERN LANDS		PAGER: 667-9100 CELL: 644-9648
CABINETS				
ARBORITE				
CERAMIC TILE		TILES		S. 22 : 531-2478
PAINTING				
CHIMNEYS				
IRON WORK		PIRE PLACES		
INTERCOMS				
SPRINKLER SYSTEMS		RAILINGS	R.D. RAILINGS	599-0700
BLACKTOP/PAVING				
LANDSCAPING				
CLEAN-UP				

NOTE: An explanation must be provided where any of the spaces marked SUB-TRADE are not entered. The above information to the best of my/our belief is true and correct.

Where a SUB-TRADE is not described by above list, please include in blank space at bottom.

SIGNED: \_\_\_\_\_  
FOR: BUILDING CONTRACTOR

THANK YOU.



To Peter Creech  
Date Dec 18/91 Time 1:10

WHILE YOU WERE OUT

**Redacted S. 22**

PHONE	Area Code	Number	Extension
TELEPHONED	<input type="checkbox"/>	RETURNED YOUR CALL	<input type="checkbox"/>
CALLED TO SEE YOU	<input type="checkbox"/>	PLEASE CALL	<input type="checkbox"/>
WANTS TO SEE YOU	<input type="checkbox"/>	WILL CALL AGAIN	<input type="checkbox"/>

Message \_\_\_\_\_  
disput with  
contractor re:  
san sewer outfall  
backfill. URGENT





Ankenman Associates Architects Inc.

March 6, 1991

Our File: 8935.03

The City of White Rock  
15322 Buena Vista  
White Rock, B.C.  
V4B 5C6

Attention: Colin Atchison

Dear Sir:

Re: Condominium Development  
15907 Marine Drive, White Rock, B.C.

Since our recent discussions, Mark Ankenman of this office, visited the site and concluded that in his opinion the window trim would not necessarily improve the exterior features of the building and that he recommends the trim not be added.

Mark suggested that if you wish to further review this matter, he would be more than happy to meet with the Design Panel and/or Council; whichever committee would be appropriate.

We look forward to hearing from you at your earliest convenience.

Yours truly,

**Redacted S. 22**

*Yong Cho*  
Yong Cho  
Senior Associate

YC:smb

c.c. Drina Construction

*SEE ME  
PLEASE @ 9/12*





# THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT

TEL. NO: 531-9111

CITY HALL  
P.O. BOX 188  
WHITE ROCK, B.C.  
V4B 5C6

1991 March 07

Ankenman Associates Architects Inc.,  
Ste. 306, 1959 152nd St.,  
Surrey, B. C.  
V4A 4N6

ATTENTION: YONG CHO

Dear Sir:

RE: Condominium Development - 15907 Marine Drive, White Rock:

With regards to your letter of March 06, 1991 regarding the window trim around all the windows on the above project, it is the position of the Permits and Licence Department that this is a requirement of the development permit. If you wish to change the design of the building, you would have to submit an addendum to us for review. If it were to be determined a nonsubstantial change we could then allow you to proceed with that change.

However, if it were to be considered a substantial design change we would submit the change proposal to Council and recommend that it be taken to a Public Hearing for an amendment to the development permit. There, of course, would be costs involved which would have to be paid by the developer.

If you wish to proceed with an absence of window trim, it is our position that this would not be supported, and we would recommend that Council take it to a development permit amendment process.

I must advise you, as the professionals in charge of ensuring the building is built to the requirements of the development permit, that the exterior finish work must stop until this matter is resolved.

Please advise me as soon as possible of your intentions with regards to this matter.

Yours truly,

A handwritten signature in cursive script, appearing to read 'C. G. Atchison'.

C. G. Atchison,  
Acting Director, Permits & Licences

CGA/mm  
p.c. D. Janczewski, City Planner  
Drina Construction, 1441 Vidal St.,  
White Rock, B. C.  
V4B 3T6



VG-05453

HABGOOD STREET AND MARINE DRIVE  
LOTS 6, 7 & 8, BLOCK 2, SECTION 11  
PLAN 13334  
WHITEROCK, B.C.

NOTES:

**1.0**        GENERAL

- 1.1        In these notes the Engineer is Hardy BBT Limited. These notes together with Dwgs. #VG-05453-1/RO to VG-05453-4/RO represent specifications for excavation and slope support at this site.
- 1.2        In these notes the Site is located at the northeast quadrant of the intersection between Habgood Street and Marine Drive, Whiterock, B.C.
- 1.3        Written permission for infringement on private property on the east (for cut slopes) side of the property must be obtained from the Landowner prior to construction of the excavation works. A copy of the written permission must be available for examination at the site.
- 1.4        The work described and shown involves temporary support of oversteepened cuts on the north side, and self-supporting cut slopes on the south, east and west. Temporary support is required for a private residence located along the north property line. Temporary excavation support will consist of steel pipe piles driven contiguously along the northern portion of the subject site. The pipe piles must be driven to a depth of 26 feet below the proposed excavation grade where unsupported wall heights exceed 10 feet and 20 feet below the proposed excavation subgrade where the unsupported wall height is 10 feet or less. All remaining areas may achieve stability by cutting the excavation slopes back at 1H:1V (horizontal:vertical) where cut heights do not exceed 10 feet and 1.5H:1V



where cut heights exceed 10 ft. Cut slopes behind the pipe pile wall must not exceed 2H:1V. Cut slopes less than 4 ft high may be cut vertically. A minimum working space of 1.5 feet should be provided between the shoring or excavated slope and the outside edge of the proposed building.

- 1.5 All exposed cut slopes shall be protected over the full height of the cut against water infiltration by covering with 6 mil polyethylene sheeting securely fastened at the top and bottom of the slope, pinned on the face as required to resist wind.
- 1.6 Surficial run-off shall be directed away from all cut slopes by use of drainage swales or other such measures.
- 1.7 Utilities and Foundations. The contractor should confirm the locations of all man-made elements which may be damaged as a result of the installation of the proposed excavation support system. The actual depth of the wall footings of the adjacent buildings should be determined prior to construction of the support system. Similarly, any private underground utilities should be located on the adjacent property within the limits of the tie back anchors and cut slopes.
- 1.8 It is the contractor's responsibility to install the proposed support system as detailed in the drawings. Any problems or anomalies encountered during construction shall be immediately reported to the geotechnical Engineer and any further construction shall be delayed until the problem is resolved. Telephone 294-3811.
- 1.9 The Contractor will be responsible for all setting out, including lines for cuts, excavation grades, location of anchors, etc. Any site measurements taken by Hardy BBT Limited will be to determine whether the intent of the design has



been achieved. Such measurements by Hardy BBT Limited will not constitute acceptance of responsibility for any setting out or survey work.

- 1.10 While the contractor may employ subcontractors to undertake work outlined on these drawings and amendments thereto, it is the Contractor's responsibility to ensure that the subcontractors are aware of these requirements and that all such work is adequately executed.
- 1.11 The attached drawings are based on the architectural drawings provided. It is the contractor's responsibility to verify all dimensions and report discrepancies to the Engineer.
- 1.12 The contractor shall erect and maintain a secure, closed fence around the excavated areas for the safety of all persons in the vicinity of these areas. The fence should have a minimum height, meeting with the requirements of the City engineer.
- 1.13 The Engineer shall visit the Site at regular intervals to monitor the installation of the support system. However, the contractor shall inspect the reinforced shotcrete panel and slope cuts at least daily and shall immediately report any irregularities or deterioration to the Engineer.
- 1.14 A geotechnical study has been carried out for the site by Hardy BBT Limited dated March 30, 1990, for the owners use in design of the proposed development. This geotechnical study is available to the contractor for information only and does not form part of the contract documents.



**2.0**        **MATERIALS**

**2.1**        **PIPE PILES**

Pipe piles shall consist of 16 inch (outside diameter) steel pipe piles having a minimum ultimate yield strength of 36 ksi. The wall thickness of the pipe piles should be a minimum of 1/4 inch.

**2.2**        **SAND**

Clean, washed uniform grained sand shall be placed inside the pipe piles over the full length of the pile.

**3.0**        **INSTALLATION**

**3.0.1**       Hardy BBT Limited is to be notified by the Contractor at least two working days before excavation is to start. Hardy BBT Limited is to have access to the site whenever required and is the sole judge of when its presence is necessary and whether a technician, engineer or principal is required on site.

**3.1**        **SEQUENCE**

The contractor is responsible for determining the optimum sequence of the events to maintain excavation stability during installation of the pipe pile wall and to achieve the design requirements presented in these drawings. The Contractor must not proceed with any stage of excavation until Hardy BBT Limited has provided written confirmation that the Contractor's proposed methods and sequencing are in general agreement with the intent of the design. Pertinent



factors include:

- Maintaining the existing residential structure along the north perimeter of the property.
- Locating any existing underground utilities on the north sides and east of the proposed excavation.

### 3.2 SLOPE MONITORING

- a minimum of 2 slope inclinometers should be installed on the north side of the pipe pile wall. The inclinometers should consist of 2-3/4" O.D PVC pipe with 2 sets of orthogonal grooves along the inside of the pipe. The inclinometers should extend a minimum of 50 feet below the site grade on the north side of the wall.
- the inclinometers should be backfilled around the outside pipe wall with a bentonite/cement grout. The bentonite grout mix ratio should be 1:10. The bentonite/cement mix should be allowed to set for at least 24 hours before excavation can commence in front of the pipe pile wall.
- installation of the inclinometers shall be carried out by a contractor who has considerable experience with inclinometer placement.
- slope monitoring pins consisting of #10 bar should also be placed behind the proposed wall to monitor surficial slope movement. The pins should be driven into the subsurface a minimum depth of 4 feet and should extend about 6 inches above the slope surface.



- slope monitoring pins and slope indicators should be monitored for settlement and lateral movement at least 3 times prior to excavation of the soil on the south side of the wall. The slope monitoring pins must be surveyed by a licensed surveyor. The slope indicator measurements should be carried out by a geotechnical engineer from Hardy BBT Ltd.
- monitoring should continue several times per day as required during excavation to verify that ground movements are within acceptable limits. Monitoring shall continue on a bi-weekly basis until the excavation is backfilled.
- all survey results should be immediately provided to the geotechnical engineer for review.
- the contractor must be prepared to backfill the front of the wall immediately if the wall movements are determined to be excessive. Remedial support measures would include installation of rakers designed to resist the wall movements. It is recommended that a contingency fund be set up for the purpose of providing additional support to the wall, if needed.

#### 4.0 BACKFILL

- 4.0.1 Backfill shall be clean, free-draining granular material as recommended in the geotechnical report.
- 4.0.2 Hardy BBT Limited must be notified by the Contractor prior to any backfill being placed. The schedule for placing backfill must be such that Hardy BBT Limited



- 7 -

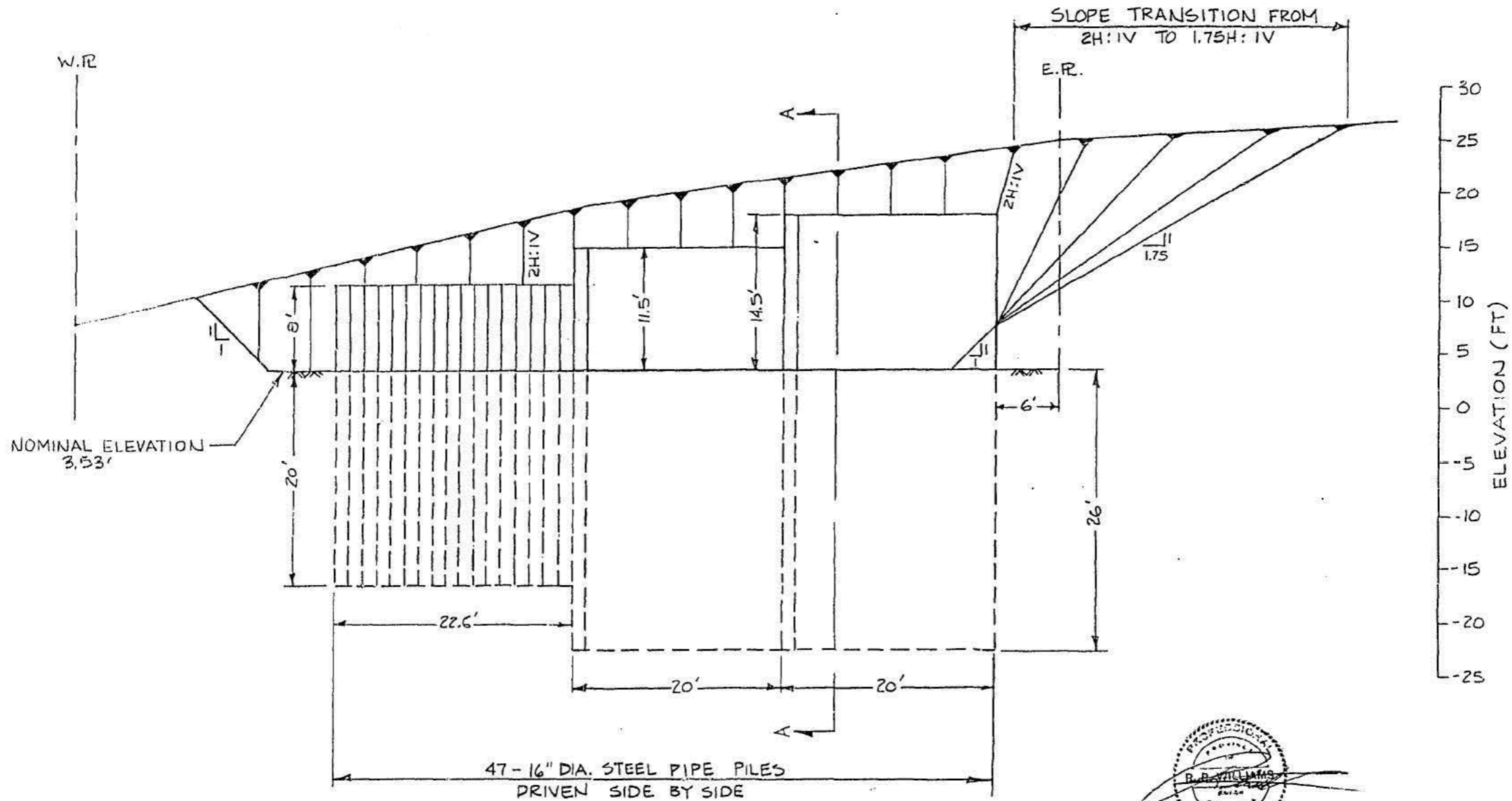
can review and test the material. To satisfy City/Municipal requirements, backfill that has been placed without review and approval by Hardy BBT Limited may have to be removed and replaced.

C-20 5453.no3









NO.	DESCRIPTION	DATE	BY
REVISIONS			

**Hardy EBT Limited**  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

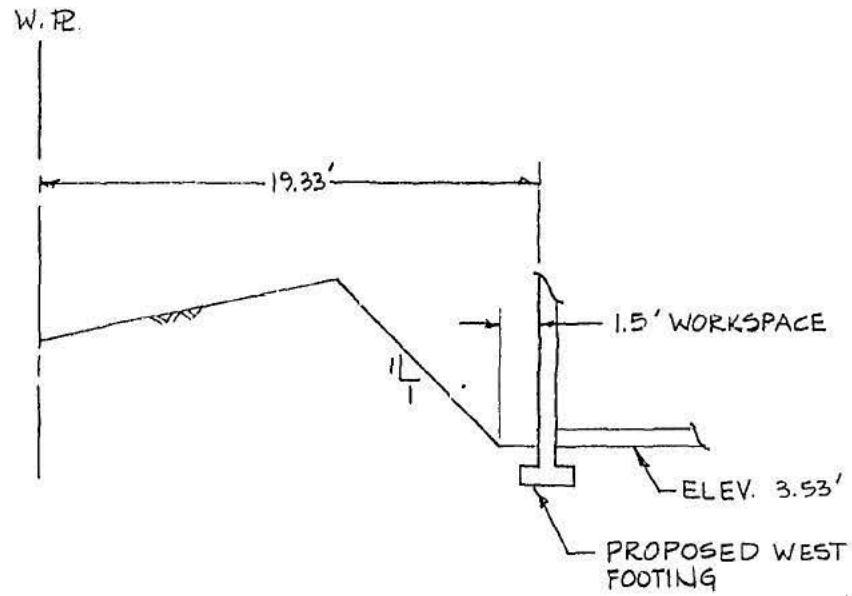
**NORTH ELEVATION**  
PROPOSED EXCAVATION DETAIL  
HABGOOD STREET & MARINE DRIVE  
WHITE ROCK, B.C.

Scale: 1" = 10'  
Date: AUG 24, 1990  
Drawn By: DLC  
Approved By: RW/  
VG05453-2/R0

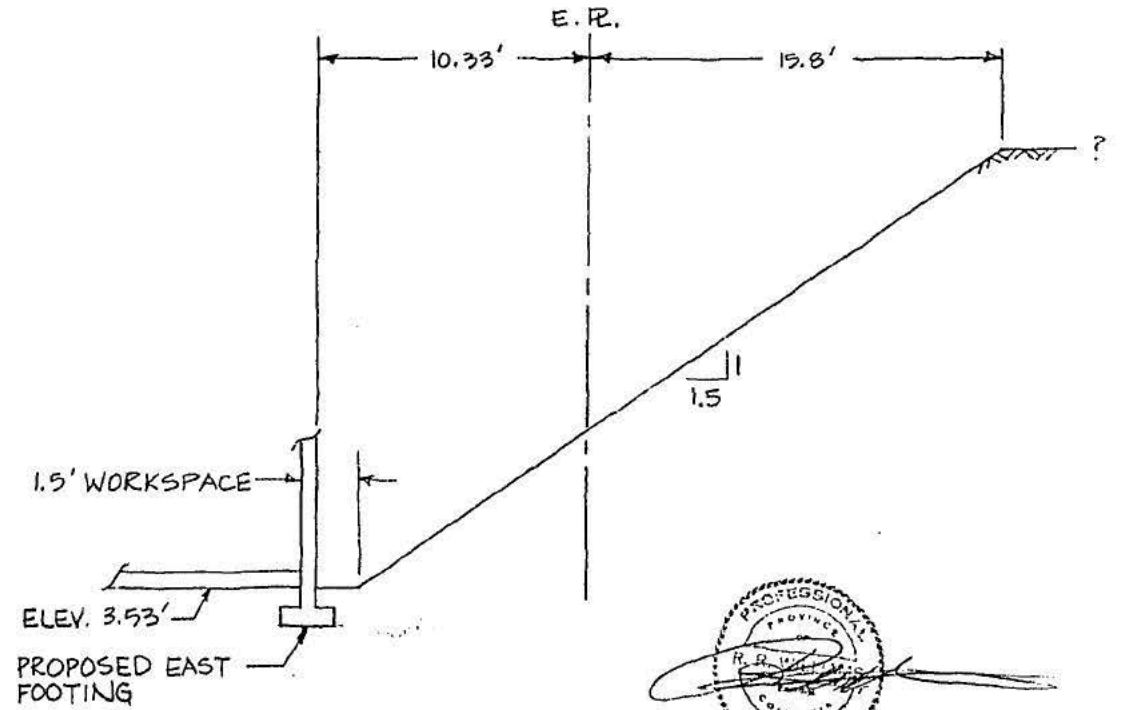




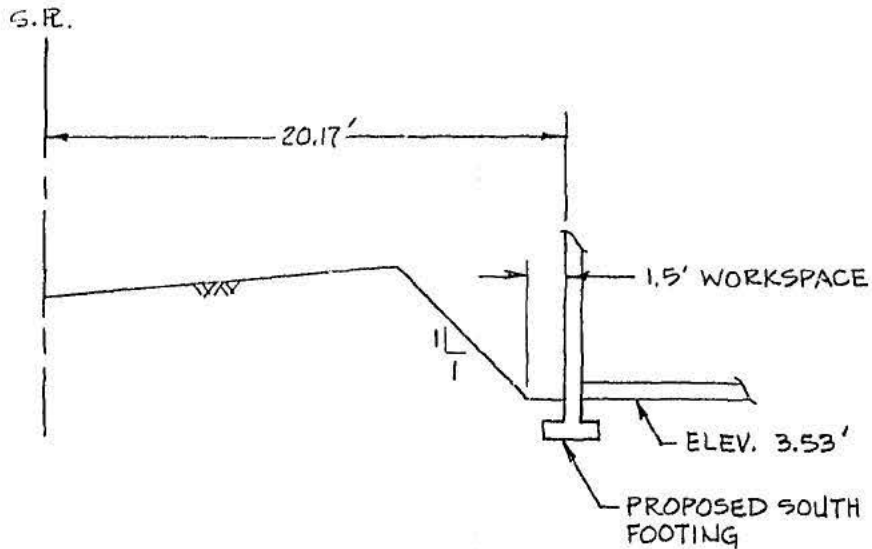
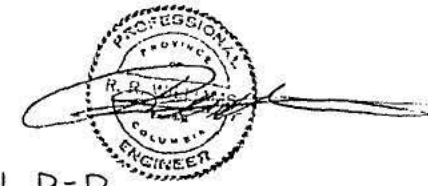




SECTION B-B



SECTION D-D



SECTION C-C

NO.	DESCRIPTION	DATE	BY
REVISIONS			



**Hardy BBT Limited**  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

**SECTION DETAIL**  
PROPOSED EXCAVATION DETAIL  
HABGOOD STREET & MARINE DRIVE  
WHITE ROCK, B.C.

Scale: 1" = 6'  
Date: JULY 5, 1990  
Drawn By: DLC  
Approved By: RW/SS  
VG05453-4/R0





Ankenman Associates Architects Inc.

March 23, 1991

Our File: 8935.03

Drina Construction  
1441 Vidal Street  
White Rock, B. C.  
V4B 3T6

RECEIVED

APR -2 1991

THE CORPORATION OF THE  
CITY OF WHITE ROCK

Attention: Mr. Rudy Jahura

Dear Rudy:

Re: Condominium Development at 15907 Marine Drive,  
White Rock, B. C. for Drina Construction

We wish to bring to your attention the following matters of concern.

Firstly, we have attached for you a statement of your account. There are currently two outstanding amounts totalling \$1,855.50.

Secondly, after many attempts to contact you by telephone with respect to the window trims, Mr. Yong Cho visited your construction site on March 22, 1991 to review the exterior window trims and construction progress since his last site visit February 22, 1991. Immediately upon his arrival at the site you greeted Mr. Cho by questioning his reasons for being at the site and "who" requested his presence.

As in the past, you once again expressed your displeasure over our invoices and site review procedure. As a result of your discussion with Mr. Cho he left the site without completing the inspection. If these invoices are not paid within (10) days, and we are not allowed to carry out our duties, we will have to withdraw our services.

As per the attached confirmation of professional assurance, we must inspect as we feel necessary. We have at no time shirked our responsibility, or misused the power entrusted in us.

. . . . 2/

Suite 306 - 1959 152 Street, South Surrey, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600

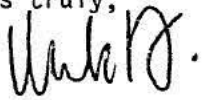


*AA*

March 28, 1991  
Drina Construction  
Page Two

We would ask that you submit prompt payment of the overdue invoices. We further wish to advise you that all invoices must be paid in full prior to our final submission of the municipal assurance package requirements to the City of White Rock.

Yours truly,



Mark Ankenman  
B.E.S., B.Arch., MAIBC.  
Attach.

✓ c.c. Colin Atchison, City of White Rock





Ankenman Associates Architects Inc.

GST Registration #R121108914

Project 8935 Drina Construction Ltd.

March 28, 1991  
Page number 1

**Redacted S. 22**

FOR PROFESSIONAL SERVICES RENDERED

	<u>Document</u>	<u>Date</u>	<u>Debit</u>	<u>Credit</u>
Invoice	1598	2-10-91	378.90	
Invoice	1599	2-10-91	1,476.60	
Invoice	1603	3-10-91	560.77	
		Balance due	2,416.27	
Current	31-60 days	61-90 days	91-120 days	121+ days
560.77	1,855.50			

Suite 306 - 1959 152 Street, South Surrey, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600



Arch copy

WR1

Note: To be submitted prior to issuance of a Building Permit

CONFIRMATION OF PROFESSIONAL ASSURANCE

CONFIRMATION OF "COMMITMENT BY OWNER"  
RE: DESIGN AND FIELD REVIEW OF CONSTRUCTION  
BY A REGISTERED PROFESSIONAL

The Director, Permits & Licences,  
City of White Rock,  
15322 Buena Vista Avenue,  
P.O. Box 188,  
White Rock, B. C.  
V4B 5C6

Dear Sir:

RE: Condominium Apt. Bldg. at 15907 Marine Dr., White Rock for Drina Constructor  
(Address of Project)

The undersigned has retained as his Registered Professional, Ankenman

Associates Architects Inc.  
(the "Consultant"), to undertake and/or co-ordinate and review all associated design criteria and "field reviews" required for this Project. It is understood that he will take all such steps as regulated under the Provincial Statute for his profession and by the definition of "field reviews" herein-after set forth, to ascertain that the design will comply and construction of the project will substantially conform in all material respects with the current B.C. Building Code including the Development Permit and other applicable By-laws, Acts and Regulations which apply to the Project. This representative will ascertain that only qualified personnel are retained to carry out tests, inspect or carry out design work, detailing or "field reviews."

As used herein, "field reviews" shall mean such reviews of the work at the project site and at fabrication locations, where applicable as the "Consultant", in his professional discretion, considers to be necessary in order to ascertain that the work substantially conforms in all material respects to the plans and supporting documents "accepted" by the City of White Rock. This will include keeping records of all site visits and any corrective actions taken as a result thereof.

WR1-1



CONFIRMATION OF "COMMITMENT BY OWNER" (cont'd)

The undersigned has given a contractual mandate to the "Consultant" to review reports of other testing and inspection agencies and disciplines where necessary, comment on their acceptability, determine the corrective action to take if unacceptable, and maintain a detailed record of every such report and comments. The "Consultant" will automatically submit a monthly summary progress report to the Director of Permits & Licences.

NOTE: The owner will notify the Director of Permits & Licences in writing 30 days prior to any intended termination of or by the "Consultant". It is understood that work on the above project will cease as of the effective date of such termination, until such time as a new appointment is made, and a "Stop Work Order" shall be posted upon the said project by the City.

\_\_\_\_\_  
Witness Name(Print)

DRINA CONSTRUCTION LTD  
Owner's Name(Print)

\_\_\_\_\_  
Witness Signature

By: R. JOKULLIQ PRES  
(Owner or Owner's appointed Agent) Signature

\_\_\_\_\_  
Address(Print)

Date: April 12<sup>th</sup> 1990

\_\_\_\_\_  
Title of Agent (if applicable)

\_\_\_\_\_  
Occupation

1441 VIDAL STREET  
Address(Print)  
WHITE ROCK. B.C. V4B 3T6

The Corporate Seal of \_\_\_\_\_  
DRINA CONSTRUCTION LTD  
was hereunto affixed in the presence of:

name x Rudy JAHURA R. Jokullig  
Company Position OLSA JAHURA

The above must be signed by the Owner or his appointed Agent. The signature must be witnessed. If the Owner is a company, the corporate seal of the company must be affixed to the document in the presence of its duly authorized officers. The officers must also sign, setting forth their positions in the company.



CONFIRMATION OF "COMMITMENT BY OWNER" (cont'd)

This "Consultant" acknowledges that he has been retained to ascertain that the design will comply and construction of the project will substantially conform in all material respects with By-laws as set out above and will submit letters of Confirmation of Professional Design Assurance from others, as needed, for the issuance of the Building Permit such as Assurance of Structural Design, Excavation and Shoring, Backfill on adjacent public property, Sprinkler, Backfill, Mechanical, Plumbing, Electrical, "Persons with Disabilities" and others as required by the Director of Permits & Licences.

or

(PROFESSIONAL  
SEAL)

Ankeriman Assoc. Arch. Inc.  
Name of Professional (Print)

  
Signature of Professional

Date APR. 11.90

306-1959-152 St., White Rock, B.C., V4A 4N6  
Mailing Address(Print)

Phone (604) 536-1600

Note: The Professional must be registered in the Province of British Columbia as a member in good standing in either The Architectural Institute or The Association of Professional Engineers.





Ankenman Associates Architects Inc.  
Suite 306 - 1959 152nd Street, South Surrey, B.C., Canada, V4A 4N6



RECEIVED

APR - 2 1991

THE CORPORATION OF THE  
CITY OF WHITE ROCK

The City of White Rock  
15322 Buena Vista  
White Rock, B.C.  
V4B 5C6

Att'n: Colin Atchison



Ankenman Associates Architects Inc.

March 4, 1991

Our File: 8935.13

The City of White Rock  
15322 Buena Vista  
White Rock, B.C.  
V4B 5C6

Attention: Colin Atchison

Dear Sir:

Re: Condominium Development  
15907 Marine Drive, White Rock, B.C.

Please find attached our job progress form including site inspection reports from the architect, and the mechanical, structural, and electrical engineers, for your review as per the White Rock municipal assurance requirements.

Should you have any questions please do not hesitate to contact the undersigned.

Yours truly,

  
Yong Cho,  
Associate

Attachs.

RECEIVED

MAR 4 1991

PLANNING DEPARTMENT  
CITY OF WHITE ROCK

Suite 306 - 1959 152 Street, White Rock, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600





# Ankenman Associates Architects Inc.

PROJECT: Condominium Development REPORT NO: 2  
ADDRESS: 15907 Marine Drive DATE: March 4, 1991  
OWNER: Drina Construction PROJECT NO: 8935  
CONTRACTOR: Drina Construction B.P. NO.: \_\_\_\_\_

### JOB PROGRESS:

Application of base coat of stucco was proceeding.

NO. OF INSPECTIONS THIS MONTH: November 15, 1990 - March 1, 1991

Architect: 9 Mech. Cons.: 1 Soils Cons.: 0

Struct. Cons.: 2 Elec. Cons.: 4 Others: 0

ANY CHANGES TO PERMIT DOCUMENTS: Yes X No \_\_\_\_\_

APPLICATION FOR MINOR AMENDMENT REQUIRED: Yes \_\_\_\_\_ No X

### SHOP DRAWINGS REVIEWED:

Batt insulation was installed under the decks instead of rigid insulation as specified.

### COMMENTS:

Construction is progressing well and so far conforms to the B. C. Building Code and White Rock zoning by-law requirements.

Copy to: City of White Rock  
Architects File

REPORT BY: Young Cho

RECEIVED

MAR 4 1991

BUILDING DEPT. STAFF  
CITY OF WHITE ROCK

Suite 306 - 1959 152 Street, White Rock, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600

**STUBBS ENGINEERING LTD.**  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-2304

*Time Saver*

**LETTER**  
REFERENCE TO:

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR *DRINA CONSTRUCTION LTD.*  
*RE:- 15907 Marine Drive.*  
*White Rock*

HOW TO USE THIS

*Time Saver* LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE: *JANUARY 29, 1991*

- Reinspected framing for above building. All approved structurally except as follows:-
- Columns/posts still required to be installed in the kitchens of units type A on the 1<sup>st</sup> & 2<sup>nd</sup> floors. To be installed prior to drywall going on. As discussed, on the 1<sup>st</sup> floor drill a 1/4" or 3/8" hole through the concrete topping to determine if insulation under topping or if curb under. If styrofoam insulation, remove sufficient styrofoam & topping to be able to put the post (3-2x4, 6x4 or 6" spindle) directly on the structural slab. Grout back in around post after placing.
  - The plywood sheathing on the exterior walls, as well as alternate bracing has been omitted. Although the omission does not comply with the plans, it does comply with Part 9 of the B.C. Building

Code.

DATE:

*Robert Stubbs*

RECEIVED

MAR 4 1991

BUILDING DEPARTMENT  
CITY OF WHITE ROCK

BY

REORDER FORM NO 23530 DAY-TRACERS OF CANADA LTD. 4675 KENT AVENUE, PO BOX 1026 SAARATA FALLS, ONTARIO M2H 1A2

SENDER: KEEP PART TWO FOR YOUR FILE. MAIL WHITE AND PINK COPIES INTACT. REPLIER: RETURN WHITE COPY.



**STUBBS ENGINEERING L.D.**  
2115 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6384

DAYTIMERS  
*Time Saver*

**LETTER**  
IN REFERENCE TO:

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR DRINA CONSTRUCTION LTD.  
ATTN. RUDY AND/OR MICK JAHURA  
RE:- 15907 Marine Drive, White Rock

HOW TO USE THIS

*DAYTIMERS*  
*Time Saver* LETTER TO SAVE TIME

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE: FEBRUARY 15<sup>TH</sup> 1991

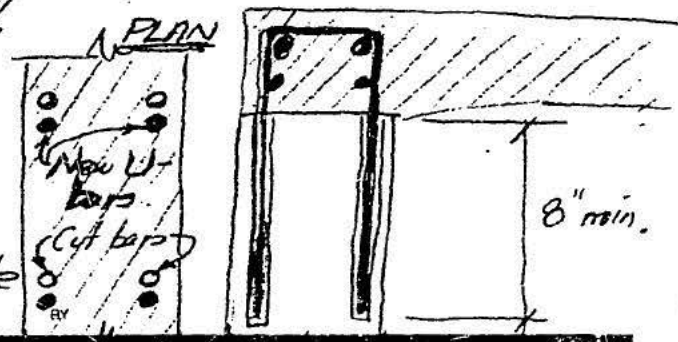
1) Inspected elevator shaft in basement re fitting of elevator door. Beam/wall under door has been cut down 4-6", leaving 2-20M top bars intact, but cutting stirrups. Before repouring contact us for the detail to repair stirrups, or repair as per sketch at bottom. To fit elevator door it is OK to cut the 4"-5" lip off the bottom of the slab and above the door to accommodate the door frame. When placing infill concrete block, fit tight to underside of slab and over.

2) In regard to the entrance canopy, the beams are now 14' apart rather than 12' as on the plan. As a result make the arched joists from 4 laminations of 3/4" plywood well glued & nailed together as per previous detail. Put arches at 24" oc. Arches to be 10" deep in radial direction. Nail laminations at 3" oc each

REPLY

way for glueing pressure. Use resorcinol or water proof glue. Beams to span 13ft plus overhang and to be 4-2x10, #2 or better D. Fir.

3) Repair detail for elevator pit beam/wall. Drill 3/4" holes, minimum 8" deep beside each cut stirrup bar. Clean out with air. Grout in 10M U Bars of correct height & width using Hilti's Blit system grout. After grouted in, repour concrete as part of the floor slab. All + state



REORDER FORM 110 2-85-90 DAYTIMERS OF CANADA LTD. 4875 KENT AVENUE, PO BOX 1028 TEL AVA FALLS, CANADA  
SENDER: KEEP PART TWO FOR YOUR FILE. MAIL WHITE AND PINK COPIES INTACT. REPLIER: RETURN WHITE COPY.



**L.G. SHANNON ENGINEERING LTD.**  
CONSULTING ELECTRICAL ENGINEERS  
14046 MARINE DRIVE  
WHITE ROCK, B.C., V4B 1A7  
OFFICE: 631-6996  
FAX: 631-7714

1991 February 19

VIA FAX: 536-5774

Ankenman Associates Architects  
Suite 306, 1959 - 152nd Street  
White Rock, British Columbia  
V4A 4N6

Attention: Mr. Yong Cho

Re: Drina Construction  
11-Unit Apartment  
Electrical - Field Report #4

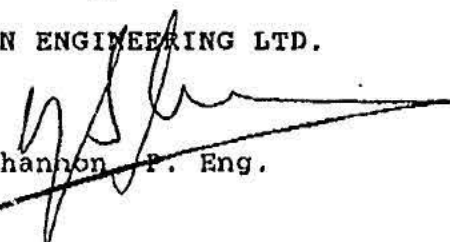
Gentlemen:

A field review was made on week of January 28, 1991, of the rough in of the electrical systems and the following are our observations in the presence of Mr. Rudi Jahura:

1. All openings in floors for electrical services, feeders, conduits have been sealed with compound approved by Architect.
2. Insulation is being applied to walls.
3. Gyprocing is started on first floor units.
4. The main service cables are due to be installed presently.

Yours very truly,

L G SHANNON ENGINEERING LTD.

  
L G Bill Shannon, P. Eng.

LGS/ejs

RECEIVED

MAR 4 1991

BUILDING DEPARTMENT  
CITY OF WHITE ROCK





**L.G. SHANNON ENGINEERING LTD.**

CONSULTING ELECTRICAL ENGINEERS

14045 MARINE DRIVE  
WHITE ROCK, B.C., V4B 1A7

OFFICE: 531-6996  
FAX: 531-7714

8735.13

1990 December 10

Ankenman Associates Architects  
306, 1959 - 152nd Street  
White Rock, British Columbia  
V4A 4N6

VIA FAX: 536-5774

Attention: Mr. Yong Cho

Re: Drina Construction  
Electrical

Gentlemen:

Field reviews were held during the weeks of November 26 and December 3, 1990, and the following has been discussed with the Contractor and/or observed:

1. Drina has decided to install baseboard electric heating vs ceiling radiant panels specified. Revised drawings indicating heaters were forwarded to the site. The Electrician is to discuss the requirements for mounting below sliding doors.
2. First and second floor rough-in wiring is in progress.
3. Locations of switches, thermostats, and generally, the "lining" up of wall mounted devices were reviewed with the Electrician.
4. The main meter stack and some suite panels have been installed.
5. The incoming service pull box at parking level has been installed. (Electrician has indicated that they have coordinated work with B.C. Hydro and B.C. Tel. B.C. Tel. requested installation of a telephone cabinet at the parking level with conduit risers from this level for both telephone and cablevision.
6. The pool's water membranes and building's windows are being installed.

Yours very truly,

L G SHANNON ENGINEERING LTD.

L G Bill Shannon, P. Eng.  
LGS/ejs  
c/o Drina Construction  
Tarra Electric

RECEIVED  
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CITY OF WHITE ROCK



**L.G. SHANNON ENGINEERING LTD.**  
CONSULTING ELECTRICAL ENGINEERS  
14046 MARINE DRIVE OFFICE: 531-6996  
WHITE ROCK, B.C., V4B 1A7 FAX: 531-7714

8735.13

1990 December 10

Ankenman Associates Architects  
306, 1959 - 152nd Street  
White Rock, British Columbia  
V4A 4N6

VIA FAX: 536-5774

Attention: Mr. Yong Cho

Re: Drina Construction  
Electrical

Gentlemen:

Field reviews were held during the weeks of November 26 and December 3, 1990, and the following has been discussed with the Contractor and/or observed:

1. Drina has decided to install baseboard electric heating vs ceiling radiant panels specified. Revised drawings indicating heaters were forwarded to the site. The Electrician is to discuss the requirements for mounting below sliding doors.
2. First and second floor rough-in wiring is in progress.
3. Locations of switches, thermostats, and generally, the "lining" up of wall mounted devices were reviewed with the Electrician.
4. The main meter stack and some suite panels have been installed.
5. The incoming service pull box at parking level has been installed. (Electrician has indicated that they have coordinated work with B.C. Hydro and B.C. Tel. B.C. Tel requested installation of a telephone cabinet at the parking level with conduit risers from this level for both telephone and cablevision.
6. The floor's water membranes and building's windows are being installed.

Yours very truly,

L G SHANNON ENGINEERING LTD.

L G Bill Shannon, P. Eng.  
LGS/ejs  
Drina Construction  
Tarra Electric

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8435.06

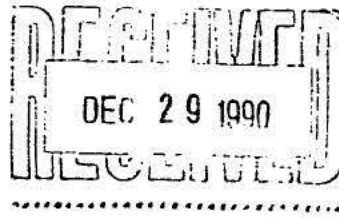


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CONSULTING ELECTRICAL ENGINEERS

14046 MARINE DRIVE  
WHITE ROCK, B.C., V4B 1A7

OFFICE: 531-6996  
FAX: 531-7714



1990 December 27

VIA FAX: 536-5774

Ankenman Associates Architects  
Suite 306, 1950 - 1<sup>st</sup> End Street  
White Rock, British Columbia  
V4A 4N6

Attention: Mr. Yong Cho

Re: Drina Construction  
11-Unit Apartment  
Electrical - Field Report #3

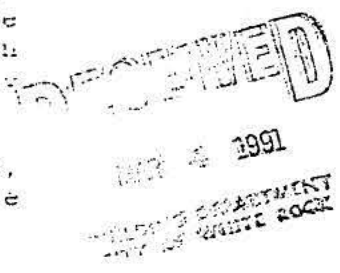
Gentlemen:

A field review was made on December 18 and 20th, 1990, of the rough in of the electrical systems and the following are our observations:

Rough in complete on all floors for electric baseboard heating and controls, lighting outlets and switching controls, convenience outlets, telephone outlets, TV outlets, in public areas and suites.

It was noted that outlets for locations were changed for:

- (1) Baseboard heaters located in nook on units facing south, and in bedrooms - as indicated on the drawings.
  - (2) Changes in layout for lighting in kitchen area for 3rd floor unit. The layout indicates outlets for surface mounted luminaires in the dining and family rooms which are identical on either side of the kitchen. This should be corrected.
- The main service terminal pan.'s, conduit, meter centre suite panels and feeders are installed.





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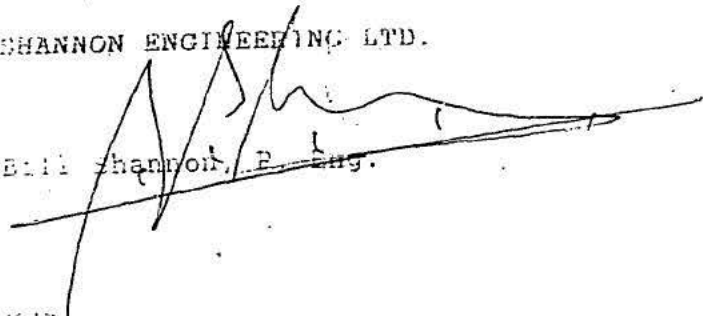
1990 December 27  
Ankenman Associates Architects  
Page 2

(4) The corridor light outlets located in front  
suite panels are not all of equal distance from  
the front doors and should be corrected.

In general, the work is approved for close-in subject to  
correcting the above.

Yours very truly,

L. G. SHANNON ENGINEERING LTD.

  
L. G. Shannon, P. Eng.

1990/12/27



8935.00

M. LIS ASSOCIATES LTD.  
12669-14TH AVENUE  
SURREY, B.C.  
V4A 1H3

531 - 4476

Ankenman Associates Architects Inc.  
306 - 1959 152 Street  
White Rock, B.C.

PROJECT:

15907 Marine Dr.  
White Rock  
Drina Construction

INSPECTION REPORT NO: 3

DATE: JANUARY 31, 1991

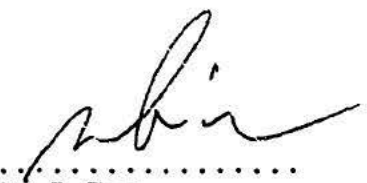
PLUMBING:

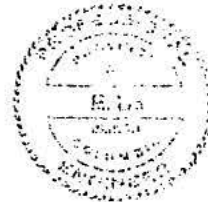
1. Sanitary drainage and vent piping tested in December, 1990. No leaks observed on upper floors. One length of pipe in parking requires replacement.

2. Domestic water piping hydraulically tested January 16, 1991. No leaks observed.

VENTILATION:

1. Ductwork inspected on February 1, 1991. Ducts installed in drywall lined shafts and sealed at floor penetrations. Asked Contractor to relocate supply air grilles to middle of corridor and to provide access panels to fire dampers. Note left on site.

  
.....  
M. Lis P. Eng.





# Ankenman Associates Architects Inc.

Site Report #19

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: February 22, 1991

Time: 2:30 p.m.

Weather: Sunny

Present: Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

- 1:00 Application of the base coat of stucco was proceeding.
- 2:00 All walls and ceilings were drywalled.
- 3:00 Yong instructed Rudy that the ceiling of the electrical room must be firestopped properly and that the required fire rating (3/4 hr.) must be maintained behind the vertical sprinkler pipes at the West staircase.
- 4:00 Yong instructed Rudy that 1/2" drywall on the South wall of the West staircase shall be replaced with 5/8" type X drywall.

----- E N D -----

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Drina Construction

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8935.13

# Ankenman Associates Architects Inc.

## Site Report #18

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: February 1, 1991

Time: 2:30 p.m.

Weather: Rainy

Present: Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

- 1:00 Re-inspected all drywall chaseways for exhaust pipes, hall pressurization ducts and floor firerating at fireplaces. Fire separations and firestops have been installed adequately and walls and ceilings are ready to receive drywall.
- 2:00 The ceiling space below the decks facing Marine Drive require cross ventilation before installing drywall.
- 3:00 The vapour barrier must be installed on the warm side for all decks.
- 4:00 Roof insulation above the third floor ceiling is to be inspected after the ceiling boards are installed.

----- E N D -----

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Site Report #17

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: January 28, 1991

Time: 4:00 p.m.

Weather: Clear

Present: Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

1:00 Reinspected all drywall chaseways for exhaust pipes, hall pressurization ducts, and floor firerating at fireplaces. Fire separation for ducts and floors was not done properly in many areas, so that further site inspections are required for fire separation.

- - end - -

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# Ankenman Associates Architects Inc.

## Site Report #16

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: January 24, 1991

Time: 3:30 p.m.

Weather: Clear

Present: Yong Cho, Ankenman Associates Architects Inc.  
Mik Jahura, Drina Construction

1:00 Installation of insulation is proceeding.

2:00 The following items were inspected:  
- Drywall chaseways for hall pressurization.  
- Drywall chaseway for kitchen and  
bathroom exhausts  
- Flue shafts and fireplaces.

3:00 Chaseways for ducts shall be cladded with 5/8"  
gypsum wallboard.

4:00 Flue shafts shall be cladded with 5/8" gypsum  
wallboard.

5:00 3/4 hr. fire rating of floor shall be maintained  
where fireplaces are.

- - end - -

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Ankenman Associates Architects Inc.

Site Report #15

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: January 4, 1991

Time: 1:30 p.m.

Weather: Clear - Freezing

Present: Mark Ankenman, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

- 1:00 Installation of roof tile is complete.
- 2:00 Installation of rough-in plumbing is complete;  
awaiting warmer weather before pressure testing.
- 3:00 Rudy advised Mark Ankenman that the White Rock  
municipal planner has been on site, and the roof  
and exterior wall tile were found to be  
acceptable.
- 4:00 Installation of touch applied waterproofing  
membrane on decks is complete.
- 5:00 No firestopping has been installed at floor  
penetrations for either piping, electrical wiring  
or ductwork.
- 6.00 Drywall chaseways for ductwork on the second floor  
were partially constructed.
- 7.00 Drywall chaseways for ductwork on the third floor  
were partially constructed on 2 ducts, but absent  
on 2 ducts. Mark A. advised Rudy J. that the  
studs would have to be moved in order to  
install drywall.
- 8.00 All piping and ductwork in the roof space were  
exposed. Mark A. advised Rudy that they are all  
to be enclosed in drywall chaseways to the  
underside of the roof.

- - end - -

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Ankenman Associates Architects Inc.

Site Report #14

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: December 19, 1990

Time: 2:15 p.m.

Weather: Cloudy

Present: Rudy Jahura, Drina Construction  
Yong Cho, Ankenman Associates Architects Inc.

- 1:00 Installation of roof tile has started from the north side of the building.
- 1.01 Eave and chimney flashings have been installed.
- 2:00 Concrete topping is placed on third floor.
- 3:00 Yong advised Rudy J. that the Architect should be informed when fire stops, pipe and flue chases are ready for inspection.
- 3:01 Yong suggested to Rudy that approved caulking type fire stopping materials may be used instead of metal fire stop.

- - - - END - - - -

Distribution - Rudy Jahura - Drina Construction  
- Architects File

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Site Report #13

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No.: 8935.13

Date: December 7, 1990

Time: 2:00 p.m.

Weather: Cloudy

Present: Yong Cho, Ankenman Associates Architects Inc.  
Mik Jahura, Drina Construction

- 1:00 Installation of aluminum windows is proceeding.
- 2:00 Installation of guard rails for decks is proceeding.
- 3:00 Installation of torch applied waterproofing membrane on decks and roofs is proceeding.
- 4:00 Yong advised Mik to raise patio doors in penthouse unit, so that door sill shall be 4 1/2" above the plywood sheathing on the deck.
- 5:00 Yong advised Mik that shafts for hall pressurization unit ducts, kitchen and washroom exhaust ducts, and fireplace flues shall be separated by 3/4 hr. fire resistance rating.
- Piping, tubing, ducts and chimneys shall be firestopped at each floor.
- 6:00 Yong requested Mik to provide specifications for torch applied roofing membrane.

- - - - END - - - -

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Site Report #12

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: November 30, 1990

Time: 4:00 p.m.

Weather: Rainy

Present: Mark Ankenman, Ankenman Associates Architects Inc.  
Yong Cho, Ankenman Associates Architects Inc.  
Mik Jahura, Drina Construction

- 1:00 Fire separation at drop ceiling between partywall has been inspected. Yong instructed Mik to install 5/8" drywall to studwall and ceiling before framing drop ceilings, to maintain fire separation.
- 2:00 Yong advised Mik that 3/4 hr. fire rated shafts for the kitchen exhaust vents are required in the attic space.

- - - - E N D - - - -

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**Ankenman Associates Architects Inc.**

Site Report #11

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: November 26, 1990

Time: 2:30 p.m.

Weather: Cloudy

Present: Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

1:00 Installation of roof trusses and rafters is  
proceeding.

2:00 Yong agreed, with Rudy, the additional door to  
the east washroom from the hallway is required  
in the penthouse suite.

- - - - E N D - - - -

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Ankenman Associates Architects Inc.

March 4, 1991

Our File: 8935

Drina Construction  
1441 Vidal Street  
White Rock, B. C.  
V4B 3T6

Attention: Mr. Rudy Jahura

Dear Rudy:

Re: Condominium Development at 15907 Marine Drive,  
White Rock, B. C. for Drina Construction

Further to our telephone conversation on March 1, 1991 pertaining to window trims, we suggest to you that either one of the following may be used to achieve the design intent.

1. Stucco trims as specified on the drawings.
2. 4" x 4" ceramic tile trims, colour to match 12" x 12" wall tiles.

Should you choose to use the tile trims please submit the tile sample to our office for approval and submission to the Building Department of White Rock.

Yours truly,

*Yong Cho*  
Yong Cho  
Senior Associate

YC:smb

c.c. Colin Atchison, City of White Rock

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Ankenman Associates Architects Inc.

December 6, 1990

Our File: 8935.13

The City of White Rock  
15322 Buena Vista  
White Rock, B.C.  
V4B 5C6

Attention: Colin Atchison

Dear Sir:

Re: Condominium Development  
15907 Marine Drive, White Rock, B.C.

Please find attached our job progress form including site inspection reports from the architect, and the mechanical, structural, electrical and soils engineers, for your review as per the White Rock municipal assurance requirements.

Should you have any questions please do not hesitate to contact the undersigned.

Yours truly,

  
Yong Cho,  
Associate

Attachs.

Suite 306 - 1959 152 Street, White Rock, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600





# Ankenman Associates Architects Inc.

PROJECT: Condominium Development REPORT NO: 1  
ADDRESS: 15907 Marine Drive DATE: November 15/90  
OWNER: Drina Construction PROJECT NO: 8935  
CONTRACTOR: Drina Construction B.P. NO.: \_\_\_\_\_

**JOB PROGRESS:**

Roof Trusses have been installed.

**NO. OF INSPECTIONS THIS MONTH:** During August through November/90.

Architect: 12 Mech. Cons.: 2 Soils Cons.: 3  
Struct. Cons.: 13 Elec. Cons.: 1 Others: \_\_\_\_\_

ANY CHANGES TO PERMIT DOCUMENTS: \*Yes X No \_\_\_\_\_

APPLICATION FOR MINOR AMENDMENT REQUIRED: Yes \_\_\_\_\_ No X

**SHOP DRAWINGS REVIEWED:**

\* Exterior wall system has been changed to insulwall system.

**COMMENTS:** Construction is progressing well and so far conforms to the B.C. Building Code and White Rock Zoning by-law.

Copy to: City of White Rock  
Architects File

REPORT BY: Mong Cho

chk1st.en1

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Facsimile: (604) 536-5774 • Telephone (604) 536-1600



# Ankenman Associates Architects Inc.

## Site Report #1

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: September 20, 1990

Time: 8:15 a.m.

Weather: Sunny & Dry

Present: Allen Aubert, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

- 1:00 Shoring piles are in place in accordance with the design, the soils consultant Hardy BBT Ltd.
- 1:01 Rudy Jahura confirmed that the soils consultant has carried out regular field reviews of the installation of the shoring piles and the building foundation piles.
- 1:02 Rudy Jahura confirmed that the monitoring devices behind the shoring piles were in place and minimal movement had been recorded.
- 1:03 Rudy Jahura advised that his land surveyor was monitoring a datum line on the adjacent house to the north of the property line to check if any movement had taken place during the piling operation. Rudy Jahura confirmed that no movement had been recorded.

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AAW.

- Site Report #1  
Page 2 of 2

2:00 Allen Aubert reminded Rudy Jahura that the City of White Rock, Permits and Licenses Department will require a Land Surveyors site plan showing the location of the building as related to the property lines.

Rudy Jahura confirmed that he was expecting to have his Land Surveyor check the positioning of the foundation as set in place within the next day or so. Rudy Jahura confirmed that he would send a copy of the surveyors site plan to the Municipality with one copy to the Architects as soon as received.

3:00 Rudy Jahura confirmed that Stubbs Engineering the structural consultant had made site inspections of the grade beam reinforcing prior to concrete placement and had approved the installation.

4:00 Rudy Jahura confirmed that he had communicated with both the civil and mechanical consultants to arrange for field reviews of the drain tile and site services installation.

- - end - -



Ankenman Associates Architects Inc.

Site Report #2

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: September 21, 1990

Time: 8:15 a.m.

Weather: Sunny & Dry

Present: Allen Aubert, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

- 1:00 Installation of perimeter drain tile proceeding.
- 2:00 Installation of water line proceeding.
- 3:00 Rudy Jahura confirmed that he expected the civil and mechanical consultants to make site reviews today or tomorrow.

- - end - -

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# Ankenman Associates Architects Inc.

## Site Report #3

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: October 5, 1990

Time: 2:00 p.m.

Weather: Sunny & Dry

Present: Allen Aubert, Ankenman Associates Architects Inc.  
Yong Cho, Ankenman Associates Architects Inc.

- 1.00 No construction workers on site.
- 2.00 Form work for walls of parking garage have been removed. Concrete quality appears good.
- 3.00 Exit door from stair #2 has been set too low. The door sill must be at the half(1/2) landing to achieve head room.
- 4.00 Crushed rock and under-slab drain tile have been placed.
- 4.01 Visual evidence that recent compaction of the sub-base has taken place(Note: The soils compaction tests have shown that further compaction is required)

- - end - -

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Ankenman Associates Architects Inc.

Site Report #4

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Date: October 9, 1990

Time: 8:30 a.m.

Weather: Dry

Present: Allen Aubert, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction  
Mik Jahura, Drina Construction

- 1.00 Reviewed with Rudy and Mik the matter of the position of the exit door in stair #2 being too low and must exit off the 1/2 landing. Rudy Jahura agreed to change the doorway.
- 2.00 Reviewed the matter of further consolidation of under-slab soil with Rudy and Mik. The slab will not be poured until the first floor slab is poured and garage floor sub-soil has had a chance to dry out.
- 3.00 Reviewed with Rudy J. and Mik; conversation held with Peter Creech(White Rock Building Inspector) re: clear height in parking garage. White Rock By-law requires 7'-0", B.C. Building Code will accept 6.56 feet(2 metres). Peter Creech has indicated that local heights under pipes and sprinkler heads can be accepted at 6.56 feet.

- - end - -

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Facsimile: (604) 536-5774 • Telephone (604) 536-1600





# Ankenman Associates Architects Inc.

## Site Report #5 - REVISED

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: October 16, 1990

Time: 4:15 p.m.

Weather: Partly cloudy

Present: Mark Ankenman, Ankenman Associates Architects Inc.  
Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction  
Bob Stubbs, Stubbs Engineering  
Marian Lis, M.Lis Associates

- 1:00 Opening for exit door from stair #2 has been changed to meet the landing height.
- 2:00 Reviewed with Rudy insulation type and R Value for Main Floor. Bob Stubbs has agreed with 1 1/2" concrete topping placed directly on rigid insulation. Bob also has advised Rudy all bearing walls shall be placed on the suspended concrete slab.
- 2:01 Yong Cho has recommended either minimum 2" of phenolic insulation with R value=16 or 3" of roof mate with R value=15.
- 2:02 Yong advised Rudy that 6 mil poly shall be placed on the insulation, and joints and pipe penetrations shall be taped and sealed.
- 3:00 Installation of re-bars for the suspended concrete slab was proceeding.
- 3:01 Concrete placement for the slab has been scheduled at 10:00 a.m. October 17, 1990.

- - - - - END - - - - -

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# Ankenman Associates Architects Inc.

## Site Report #6

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: October 19, 1990

Time: 5:00 p.m.

Weather: Cloudy

Present: Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

- 1:00 Concrete placement for suspended slab has been completed.
- 2:00 Installation of 3" rigid insulation (SM board) on suspended concrete slab was proceeding.
- 2:01 Yong instructed Rudy that pressure treated plates (2 x 4's and 2 x 6's) shall be installed directly on the suspended concrete slab for the interior bearing wall.
- 2:02 Yong instructed Rudy that 6 mil poly shall be placed on the insulation, and joints and pipe penetrations shall be taped and sealed.
- 3:00 Yong advised Rudy to consult with Stubbs Engineering regarding dowel size and spacing for 6" concrete curb on suspended concrete slab.

- - - - E N D - - - -

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Ankenman Associates Architects Inc.

Site Report #7

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: October 25, 1990

Time: 1:30 p.m.

Weather: Stopped raining

Present: Yong Cho, Ankenman Associates Architects Inc.

1:00 Placement of 1 1/2" concrete topping on 3" rigid  
insulation (SM board) has been completed.

- - - - END - - - -



# Ankenman Associates Architects Inc.

## Site Report #8

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: October 29, 1990

Time: 1:30 p.m.

Weather: Cloudy

Present: Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

- 1:00 2" x 6" pre-fabricated exterior walls (Insulwall), pre-fabricated by North Coast Building Products on main floor were 75% complete.
- 1:01 3 1/2" expanded polystyrene, R Value = 14, was installed between 2"x 6" exterior studs.
- 2:00 2" x 4" wood framing of interior walls on main floor is proceeding.
- 3:00 Yong discussed with Rudy regarding patio door details. Rudy agreed to consult with Aluminum window supplier and report to AAAI if patio doors and windows cannot be installed as detailed on the drawings.

- - - - E N D - - - -

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# Ankenman Associates Architects Inc.

## Site Report #9

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: November 3, 1990

Time: 2:00 p.m.

Weather: Cloudy

Present: Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction  
Mik Jahura, Drina Construction

- 1:00 2" x 6" prefabricated exterior walls(Insulwall)  
for 2nd floor were delivered at site.
- 1:01 Installation of 3/4" plywood subfloor proceeding.
- 1:02 Dampproofing on parking garage walls have been  
completed.
- 2:00 Yong advised Rudy that patio door shall be  
installed so that sill is 3" above the floor.
- 3:00 Yong advised Rudy that 20 min. fire rated doors  
can be used for suite entry doors. Doors can be  
made of either wood or metal.
- 4:00 Rudy phoned Yong and stated the main floor  
elevation is higher than the floor elevation shown  
on the drawing by 1 1/2".

- - - - E N D - - - -

Suite 306 - 1959 152 Street, White Rock, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600



# Ankenman Associates Architects Inc.

## Site Report #10

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: November 13, 1990

Time: 10:30 a.m.

Weather: Cloudy

Present: Mark Ankenman, Ankenman Associates Architects Inc.  
Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction  
Mik Jahura, Drina Construction

- 1:00 Installation of exterior walls on 3rd floor proceeding.
- 1:01 Installation of 8" concrete block walls for elevator shaft proceeding.
- 1:02 Formworks for south exit stair retaining wall have been completed.
- 2:00 Metal firestops on party walls on all floors have been completed.
- 3:00 Yong discussed with Rudy window opening alignment on west elevation.

- - - - E N D - - - -

Suite 306 - 1959 152 Street, White Rock, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600





Ankenman Associates Architects Inc.

Site Report #11

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: November 26, 1990

Time: 2:30 p.m.

Weather: Cloudy

Present: Yong Cho, Ankenman Associates Architects Inc.  
Rudy Jahura, Drina Construction

- 1:00 Installation of roof trusses and rafters is proceeding.
- 2:00 Yong agreed, with Rudy, the additional door to the east washroom from the hallway is required in the penthouse suite.

- - - - E N D - - - -

Suite 306 - 1959 152 Street, White Rock, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600



# Ankenman Associates Architects Inc.

## Site Report #12

Project: Condominium Development at  
15907 Marine Drive, White Rock  
for Drina Construction

Project No: 8935.13

Date: November 30, 1990

Time: 4:00 p.m.

Weather: Rainy

Present: Mark Ankenman, Ankenman Associates Architects Inc.  
Yong Cho, Ankenman Associates Architects Inc.  
Mik Jahura, Drina Construction

1:00 Fire separation at drop ceiling between partywall has been inspected. Yong instructed Mik to install 5/8" drywall to studwall and ceiling before framing drop ceilings, to maintain fire separation.

2:00 Yong advised Mik that 3/4 hr. fire rated shafts for the kitchen exhaust vents are required in the attic space.

- - - - E N D - - - -

Suite 306 - 1959 152 Street, White Rock, British Columbia, Canada, V4A 4N6  
Facsimile: (604) 536-5774 • Telephone (604) 536-1600



**M. LIS ASSOCIATES LTD.**

MECHANICAL ENGINEERS

12669 14th AVE.  
SURREY, B.C. V4A 1H3

(604) 531-4476

Ankenman Associates Architects Inc.  
306 - 1959 152 Street,  
White Rock. B.C.

PROJECT:

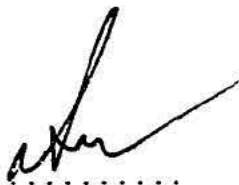
15007 Marine Dr.  
White Rock. B.C..  
Drina Construction

INSPECTION REPORT NO: 1

Date: SEPTEMBER 21. 1990

PLUMBING:

1. Footing drains installed. 6" Dia. rigid, perforated  
PVC pipe. Approximately 6" to 12" of 3/4" rock on top  
of pipe.



M. Lis P. Eng



23. 11. 1990

**M. LIS ASSOCIATES LTD.**

MECHANICAL ENGINEERS

12669 14th AVE.  
SURREY, B.C. V4A 1H3

(604) 531-4476

Ankenman Associates Architects Inc.  
306 - 1959 152 Street.  
White Rock. B.C.

PROJECT:

15907 Marine Dr.  
White Rock. B.C..  
Drina Construction

INSPECTION REPORT NO: 2

Date: SEPTEMBER 24. 1990

PLUMBING:

1. Underground storm and sanitary piping installed OK.  
Some overhead piping relocated to under the slab.

2. Footing drain sump pump not required, sufficient  
grade available for gravity flow.

3. Under slab drainage installed.



23. 11. 1990

M. Lis P. Eng





# Hardy BBT Limited

CONSULTING ENGINEERING & ENVIRONMENTAL SERVICES

VG-05453

September 27, 1990

Ankenman Associates Architects Incorporated  
Suite 306 - 1959 - 152nd Street  
WHITE ROCK, B.C.  
V4A 4N6

ATTENTION: Mr. Allan Aubert, M.I.B.C., M.R.A.I.C.

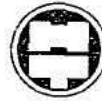
Dear Sirs:

Re: Progress Report  
Excavation Support Design and Construction Review  
Proposed Apartment Building  
820 Habgoode Street, White Rock, B.C.

At the request of Mr. Allan Aubert, Hardy BBT Ltd (HBT) has provided a summary of events that have occurred between the period of August 10th to September 24, 1990. In summary, Hardy BBT Limited has prepared a revised set of shoring drawings during this time period. This was completed to avoid obtaining an encroachment agreement with the property owners to the north of the site. It was understood from Mr. Aubert as well as from Rudy Jahura (HBT's Client) on August 10th, 1990 that an encroachment agreement between the property owner to the north and the client would most likely not be obtained.

The revised shoring system was to incorporate the use of piles brought to the site which were originally intended to be used for foundation support of the proposed structure. The preliminary design concept was to use the pipe piles driven into the subgrade side by side which were to be cantilevered to support the western portion of the alignment and possibly braced with external rakers to support the eastern portion if required. The pipe pile wall would be located as far as practical from the northern property line to minimize disturbance on the adjacent property.

4052 GRAVELEY STREET, BURNABY, BRITISH COLUMBIA V5C 3T6 TELEPHONE (604) 294-3811 FAX (604) 294-4364  
GEOTECHNICAL AND MATERIALS ENGINEERING — ENVIRONMENTAL MATERIALS AND CHEMICAL SCIENCES  
BONNYVILLE CALGARY EDMONTON FORT McMURRAY KAMLOOPS LETHBRIDGE LLOYDMINSTER MEDICINE HAT  
NANAIMO PEACE RIVER PRINCE ALBERT PRINCE GEORGE RED DEER REGINA SASKATOON VANCOUVER VICTORIA



In the interim, a preparation of the revised drawings, Hardy BBT Limited had prepared a document on August 17th, 1990 which provided a design for temporary excavation to permit commencement of construction in the southern portion of the site. Earthwork activities at the site commenced on August 20th, 1990.

Photographs of the earthwork activities and shoring installations were taken during periodic site visits by the projects geotechnical engineer (Randy Williams, P.Eng.) during the above-mentioned time frame. Copies of the photographs with a brief discussion of each photo are attached at the end of this report. Copies of all documents prepared by Hardy BBT are also attached. A chronology of the construction events, telephone conversations and other pertinent factors have been tabulated below;

DATE	CORRESPONDENCE
August 10, 1990	A telephone conversation with Allan Aubert indicated that an alternative shoring design would most probably be required as the owners on the north side of the property may not give authorization to proceed with the original design concept of using shotcrete and ground anchors.
August 15, 1990	Rudy Jahura delivered a letter from the landowner to the east of the site (W.J.L. Investments Ltd.) authorizing an encroachment agreement for cut slopes on that property.
August 17, 1990	Submitted a letter and sketched detailing temporary excavation design for the north perimeter of the site to permit commencement of construction in the southern portion of this property. The document was hand delivered to Rudy Jahura at the end of the day. A brief description of the proposed shoring method was also discussed.





DATE	CORRESPONDENCE
August 20, 1990	Start of earthworks (excavation).
August 21, 1990	Site visit by the project geotechnical engineer. Some aspects of the excavation were not in compliance with the temporary excavation design. These aspects were pointed out to the superintendent (Mick) and a memo was left indicating that the corrections must be completed by the following day. Pile installation had commenced at the east end of the proposed shoring wall alignment. The pile alignment was located at least 15-1/2 feet from the property line which was judged to be satisfactory. It was recommended to the site superintendent that the piles must be driven flush to one another with no more than 1 inch of spacing between each pile. All piles were to be driven to a depth of at least 26 feet below the proposed finished subgrade of the building until the design of the proposed wall has been completed. Pile driving records were to be kept by the pile driving contractor and were to be readily available for the project geotechnical engineers review.
August 22, 1990	Site visit at the end of the day by the project geotechnical engineer indicated that the cut slope were now in compliance with the temporary design. Pile installation proceeding to the satisfaction of the engineer.



DATE	CORRESPONDENCE
August 25, 1990	Site visit by the project engineer to review construction progress. The excavation adjacent to the existing hotel on the east side of the property was cut steeper than the design drawings indicated. Apparently, the building foundation edge was 6 to 12 inches over the existing property line. The exposed soil consisted of stiff to very stiff native silt. It was recommended that the slope be protected with polyethylene sheeting secured with plywood and rakers. It was also recommended that the building be monitored by a survey and that any movements be immediately reported to the geotechnical engineer.
August 27, 1990	Received a fax memo by Bob Stubbs (structural engineer) indicating that installation of the foundation piles will likely commence in the afternoon.
August 30, 1990	Submitted final shoring construction drawings to Rudy Jahura. Shoring design comprised of all cantilever piles with two inclinometers installed behind the wall to monitor the wall performance. Survey pins driven into the slope behind the wall is also recommended for further monitoring.
August 31, 1990	The project geotechnical engineer visited the site to review construction performance protection to the exposed slope face adjacent to the abandoned hotel had been placed to the satisfaction of the engineer.





DATE	CORRESPONDENCE
August 31, 1990 - September 7, 1990	An engineer from Hardy BBT Limited was on site on a full time basis to monitor installation of the inclinometers and foundation piles. Foundation pile installations were completed on September 7th and were all driven to refusal.
September 4, 1990	Site visit by the project geotechnical engineer to review the completed excavation. The excavation had been completed with some minor variations (i.e. cut slope on the west side of the pile wall was higher and longer than the design specifications and over steepened slopes at the northeast corner of the site). However, based on the stiff to very stiff condition of the exposed soils (better than expected) it was judged that the excavation was satisfactory and was in general compliance with the design. It was recommended to the site superintendent that all slopes must be fully protected with polyethylene sheeting.



DATE	CORRESPONDENCE
September 6 to September 24, 1990	Soil completely removed from the front of the wall on September 6th, 1990. Results of inclinometer readings as of September 24th, 1990 indicated that approximately 1/4 inch of movement had occurred at the top of the wall at the east end and approximately 3/8 of an inch at the top of the wall near the centre of the wall. Most of the movements occurred during foundation pile installation adjacent to the pipe pile wall.

Continued inclinometer monitoring will be carried out on a periodic basis. Should you have any questions, or desire additional information, please call.

Yours truly,

Hardy BBT Limited

Per: 

Randy R. Williams, P.Eng.  
Geotechnical Project Engineer

Reviewed by:



A.B. Good, P.Eng.  
Geotechnical Project Engineer

RRW:dc

C-23 5453.1a



DEVELOPER  
MANAGEMENT  
CONTRACTOR

# WJL Investments Ltd.

13795 - 31 Avenue, Surrey, B.C. V4A 7M5

536-0545

August 14, 1990

Ginther & Cleveland Barristers & Solicitors  
Suite 204-15225 Thrift Ave.  
White Rock, B.C. V4B 2K9

Dear Sirs:

Re: 15941 Marine Dr., White Rock, B.C. - Your letter of Aug. 13/90


Permission for excavation and work easement as per Hardy BBT Ltd. site plan dated July 6, 1990 will be given providing W.J.L. Investments will not be liable and the following items are guaranteed by Redacted S. 22.

1. Any damage resulting to the property or houses at 829 Stevens Street or 832 Habgood Street due to s. 22 and or construction company excavating at 15941 Marine Drive will be the sole responsibility of Redacted S. 22.
2. If back filling at 15941 Marine Dr. to the existing stage is requested by W.J.L. Investments Ltd. this to be done at the expense of Redacted S. 22.
3. If unnecessary use of 15941 Marine Dr. is encountered the easement privilege will be withdrawn.
4. Registration at land titles office against 15941 Marine Dr. will not be granted.
5. Please note there is a correction to Hardy BBT Ltd. site plan referring to 15941 Marine Dr. "the existing building may NOT be removed", and any damage to the building due to excavation or construction to be made good at Redacted S. 22 expense.
6. In case of new construction on 15941 Marine Dr. that the same easements be granted to W.J.L. Investment Ltd.

If the permission for easement and the conditions are acceptable please have Redacted S. 22 sign and return one copy.

**Redacted S. 22**

Yours truly,

  
W. JAEHRLICH

VG-05453

August 17, 1990

City of White Rock  
15322 Buena Vista  
P.O. Box 188  
WHITE ROCK, B.C.  
V4P 5C6

ATTENTION: Mr Bruce Hall

Dear Sirs:

Re: Proposed Shoring Excavation Revision  
820 Habgood Street, White Rock, B.C.

At the request of Mr. Rudy Jahura, with Drina Construction, Hardy BBT Limited had prepared a set of excavation drawings and specifications for the proposed development at the above-referenced site (Drawing No. VG05453-1/RO to 4/RO). The proposed excavation design required encroachment agreements for soil anchors along the north perimeter of the property and for slope cuts along the eastern perimeter of the property. An encroachment agreement was established between the eastern property owner (W.J.L. Investments Limited) on August 14th, 1990. A copy of the agreement is attached. However, an encroachment agreement between Drina Construction and the northern property owner has not been established at this time. Consequently, Drina Construction had requested that Hardy BBT Limited develop an alternative method of excavation support along the northern portion of the site to preclude the requirement of an encroachment agreement between Drina Construction and the northern property owner.

An alternative method of providing support to the required cuts along the northern portion of the site will most likely include a combination of externally braced piles and cantilever piles. Design drawings for the proposed alternative shoring support system



- 2 -

will be completed in approximately a week. However, in the meantime, Hardy BBT Limited has prepared a temporary excavation design for the northern portion of the property so that construction can commence at the site as soon as possible.

The proposed alternative temporary excavation design will consist of a 2H:1V (horizontal:vertical) slope starting approximately 6 inches south of the northern property line and will extend a distance of approximately 16-1/2 feet where the proposed cantilever and externally braced piles will be located. At this point an approximately 15 foot wide horizontal bench will be cut to provide access for the pile driving equipment. A slope will then be cut a 2H:1V slope from the south edge of the bench and extend down to the proposed nominal design elevation of the excavation. The design cuts for the eastern, western, and southern portions of the proposed development will remain as shown in the original design drawings. A drawing showing the proposed design section along the northern perimeter of the property has been attached for your review.

Should you have any questions, or desire additional information, please call.

Yours truly,

Hardy BBT Limited

Per:

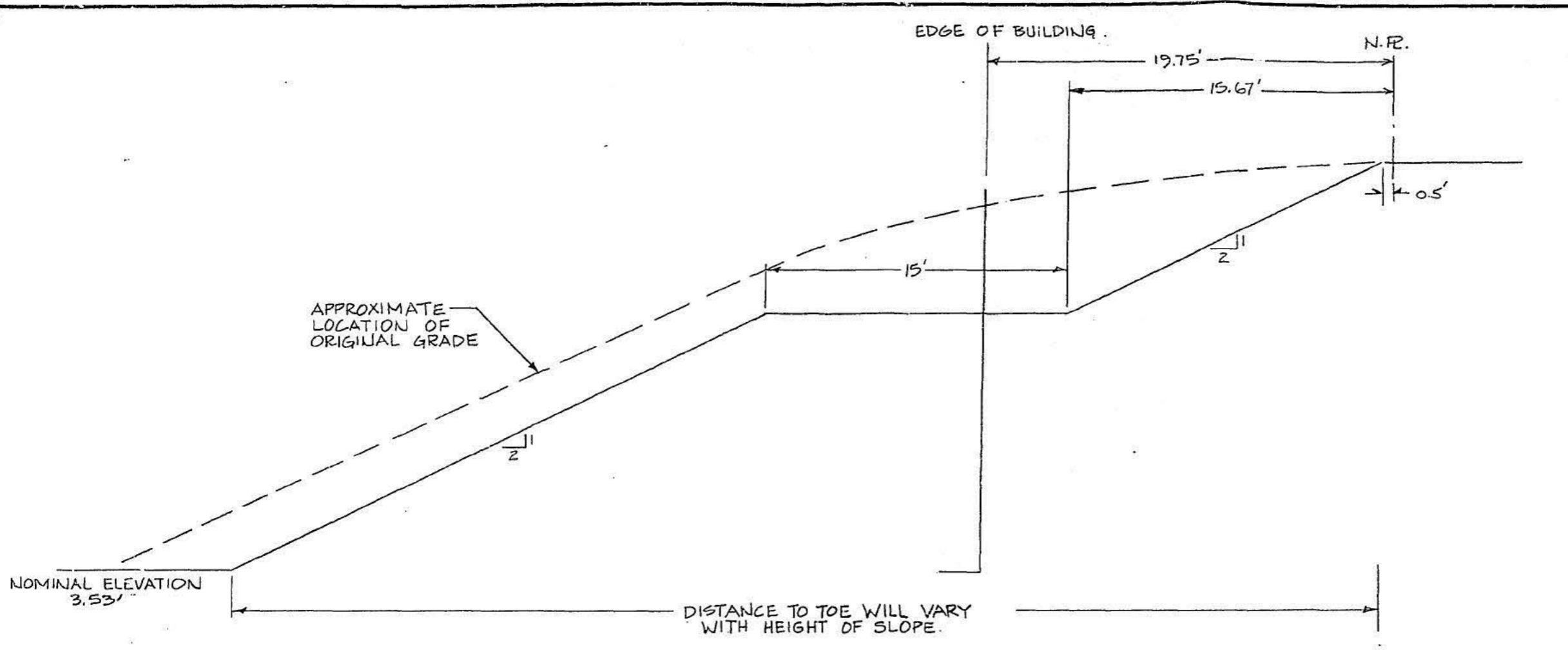



Randy R. Williams, P.Eng.  
Geotechnical Project Engineer

Reviewed by:

A.B. Good, P.Eng.  
Geotechnical Project Engineer

RRW:dc  
C-19 5453.let



 <b>Hardy BBT Limited</b> CONSULTING ENGINEERING & PROFESSIONAL SERVICES	Scale: 1" = 5'
	Date: AUG. 17, 1990
<b>PROPOSED TEMPORARY EXCAVATION SLOPE - PHASE I</b> NORTH PROPERTY PERIMETER HARGOOD STREET & MARINE DRIVE WHITE ROCK, B.C.	Drawn By: DLC
	Approved By: RW/S.S.
	VG05453



**Harris, Stuart & Tomy**  
LAWYERS

7929 - 120 Street  
Delta, B.C. V4C 6P6

DAVID G. HARRIS  
CHRISTOPHER R. TEMPLE

LORNE M. STUART  
ROD ELLARD

HARRY F. TOMYN  
JOHN B. TOMÉ

Telephone (604) 591-1166  
Extended Area Toll Free 525-1608  
Fax 591-8722

By Courier

**COPY**

August 23, 1990

File: 40969 - J

Drina Construction Ltd  
c/o Ginther & Cleveland  
Barristers & Solicitors  
204 - 15225 Thrift Avenue  
White Rock, B.C.  
V4B 2K9

RECEIVED  
AUG 27 1990  
Ans'd.....

Dear Sirs:

Re: 820 Habgood Street, White Rock, B.C. (the "Property").

We act for Redacted S. 22

s. 22 has advised us as follows. He is the registered owner of 828 Habgood Street, White Rock, B.C, a property which is adjacent to the Property. You intend to build a townhouse development on the Property and have commenced excavation. Several weeks ago you asked Redacted S. 22 permission to install ground anchors on his property to support the bank created by the excavation. He refused to allow the installation. As a result, you have indicated to s. 22 that you have adopted another method of support for the bank.

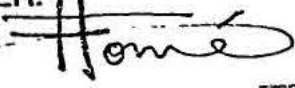
s. 22 has asked us to advise you that any trespass by you or your contractor, sub-contractors, suppliers, workers or agents on his property will result in immediate legal action.

s. 22 has also asked us to advise you that any damage to his property which is caused directly or indirectly by construction of the townhouse development will result in immediate legal action.

We trust that s. 22 position is clear and that you will govern yourself and the construction accordingly.

Yours very truly,

HARRIS, STUART & TOMYN  
PER:



JOHN B. TOMÉ

cc. **Redacted S. 22**

✓ Hardy BBT Limited

Atkinson & Terry Real Estate  
Attention: Mike Craver

City of White Rock  
Attention: Bruce Hall



stubbs engineering ltd.  
consulting engineers



215 indan fort dr, ocean park, surrey, bc V4A 3L7

(604) 531-6964

### FAX TRANSMITTAL

DATE : AUGUST 27, 1990 CLIENT FAX # : 294-4664  
TO : HARDY BBT LTD.

ATTENTION : RANDY WILLIAMS P. Eng.  
SUBJECT : DRINA CONSTRUCTION LTD, 15907 MARNE DR.  
SENT BY : BOB STUBBS

We are transmitting 2 pages including this page, if you do not receive all pages please call us at 531-6964.

Your Use  
 As Requested  
 For Comment

For Approval/Review  
 For Information  
 Other

#### NOTES:

Rudy is apparently planning on starting pile driving this afternoon, so I am writing him the enclosed note. Of interest or concern to you would be:-

- 1) ~~Approval of the piling being used~~
- 2) ~~Inspection/monitoring of the pile driving~~

I would also be interested in getting a plan of your final design for the site shoring please.  
Bob

\*\*\* Facsimile: (604) 538-7277 \*\*\*

DAY/TIMER

Time Saver

LETTER

IN REFERENCE TO:

STUBBS ENGINEERING LTD.  
2118 INDIAN FORT DRIVE  
SURREY, B.C. V4A 3L7  
Telephone (604) 531-6964

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR DRINA CONSTRUCTION LTD.

HOW TO USE THIS

DAY/TIMER  
Time Saver LETTER TO SAVE TIME.

Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

RE:- 15907 Marine Drive, White Rock.

MESSAGE

DATE

August 27, 1990

We understand from our telephone conversation of this morning that you plan to start driving piles this afternoon. We assume that you are using steel pipe piles based on previous conversations with yourselves and piling contractors. However to date we have not received any information from the piling contractor of your choice, or yourselves as to the piles being used.

The foundation plans specify that the pile design is to be completed once the contractor is established. Please inform us and the soils engineer, Randy Williams, P.Eng. of Hardy BBT Ltd, or have the piling contractor inform us of what he plans to use so that it can be approved and the design finalized.

REPLY

The pile driving should be monitored by the soil consultant to ensure proper lengths and resistances are achieved.

Also we would be interested in receiving plans of your proposed staging scheme to see how it ties in with or may affect the design of the structure's foundations & parking gear.

Robert Stubbs

c.c. - Randy Williams, P.Eng, Hardy BBT Ltd.  
- Antkeman Associates Architects Inc.





**Hardy BBT Limited**  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

TECHNICAL MEMO

13277

DATE Aug 21/90 TIME \_\_\_\_\_

SUBJECT SITE REVIEW

CLIENT <u>DRINA Construction</u>	PROJECT NO. <u>1205453</u>
DESCRIPTION <u>Mick</u>	
NAME OF INSPECTOR <u>P. Williams</u>	LOCATION <u>Habersham Marine Wharf</u>

MESSAGE OR INSTRUCTIONS

The property approximately 15' from the property line. It is recommended that the piles be driven ~~at~~ to a depth of at least 26' below the proposed base of excavation while the detailed well design analysis ~~has been~~ is being carried out. The piles must be driven flush with one another to allow a walrus to be attached to all the piles. The existing pile cap in front of the well must extend horizontally ~~to~~ towards the south for a minimum distance of 15', and then be sloped down toward the proposed excavation subspace. The slope should remain in place until the shoring construction has been completed in accordance with the design.

NOTE: PRELIMINARY INFORMATION ONLY - SUBJECT TO CONFIRMATION

HSLY 42-87/07

(SIGNATURE)



**Hardy BBT Limited**  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

TECHNICAL MEMO

13276

DATE Aug 21/90 TIME \_\_\_\_\_

SUBJECT Site Review

TO <u>Diana Coast</u>	CLIENT _____	PROJECT NO. <u>VC-0542</u>
<u>Mick</u>	DESCRIPTION _____	
FROM <u>P Williams</u>	LOCATION _____	
(NAME OF INSPECTOR)		<u>1/2</u>

MESSAGE OR INSTRUCTIONS

A SOILS ENGINEER FROM HARDY BBT LTD VISITED THE ABOVE MENTIONED site to review the construction progress. AT THE TIME OF THE SITE VISIT, the north excavated concrete, had been cut at a slope varying from about 1:1.5H:1V to 1H:1V at the NORTHEAST corner. The cut exposed very soft soils (approx 24.5% moisture) the cut height varied up to 11'. It was recommended that the north face be cut back at 2H:1V AND covered with polyethylene sheeting. The east face was cut nearly vertical for a maximum height of about 12 feet. It was recommended that the east bank be cut back at 1.75H:1V and protected with polyethylene sheeting. The slopes must be cut back as recommended above by 10<sup>00</sup> am, Aug 22, 1990.

Piles were driven into place along the north portion of

NOTE: PRELIMINARY INFORMATION ONLY - SUBJECT TO CONFIRMATION.

142-87/01 \_\_\_\_\_ (SIGNATURE)





**Hardy BBT Limited**  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

TECHNICAL MEMO

14848

DATE Aug 25/92 TIME \_\_\_\_\_

SUBJECT Construction Review

TO DANA Construction CLIENT \_\_\_\_\_ PROJECT NO. 160545  
R. Williams / M. H. DESCRIPTION \_\_\_\_\_  
FROM R. Williams LOCATION HAGWOOD: Marvie Prairie  
(NAME OF INSPECTOR)

MESSAGE OR INSTRUCTIONS

A soils engineer visited the subject site to review the construction progress. AT the time of the site visit, an excavation was observed at the south end of the site which was about 45' wide and 60' long by about 9 to 10' deep. The east perimeter of the excavation was along the existing structure on the east side of the property and ground was cut near vertical. In the absence of the site superintendent, it was recommended to the backhoe operator that the excavation be backfilled along the east perimeter to within 5' of the top of the excavation. The fill should be sloped to the design subgrade elevation at 2H:1V. ANY cut should not exceed a slope of 1H:1V during excavation. As an alternative to backfilling along

NOTE: PRELIMINARY INFORMATION ONLY - SUBJECT TO CONFIRMATION



**Hardy BBT Limited**  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

TECHNICAL MEMO

14840

DATE August 25/90 TIME \_\_\_\_\_ SUBJECT \_\_\_\_\_

TO \_\_\_\_\_ CLIENT \_\_\_\_\_ PROJECT NO. \_\_\_\_\_  
 DESCRIPTION \_\_\_\_\_  
 FROM \_\_\_\_\_ LOCATION \_\_\_\_\_  
 (NAME OF INSPECTOR) 2/2

MESSAGE OR INSTRUCTIONS

The east property line. It is recommended that the cut be laterally supported with plywood sheets and raker boxes. The raker boxes should consist of 6"x6" Hemlock or Douglas Fir and be anchored into the subgrade with a <sup>2x2x2</sup> concrete block. The rakers should be sloped at 1H:1V or shallower and should be secured at both ends. The base of the plywood sheeting should also be secured at the base of the excavation.

INFORMATION ONLY - SUBJECT TO CONFIRMATION

*[Signature]*

SIGNATURE





**Hardy BBT Limited**  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

TECHNICAL MEMO 13219

DATE Aug 31/90 TIME \_\_\_\_\_

SUBJECT Excavation Review

TO <u>DRINA Co</u>	CLIENT _____	PROJECT NO. <u>VC05453</u>
<u>Mick</u>	DESCRIPTION _____	
FROM <u>R. Williams</u> (NAME OF INSPECTOR)	LOCATION <u>Harcourt - Manire Cr. Whiterock</u>	

MESSAGE OR INSTRUCTIONS

A soils engineer visited the above referenced site to review the excavation progress. At the time of the site visit 3 piles had been driven via the subgrade at the south end of the excavation. All the remaining wall piles have been installed. The soil bench in front of the wall is about 15' wide and slopes down towards the excavation at about 1H:1V. It was judged that this slope was stable and should be safe ~~until~~ for a period of one week.

The excavation adjacent to the existing building has shored with sheet piling and 2x4 with timber rakers secured at the top and bottom. Polyethylene sheeting has been placed beneath the plywood for protection against inclement weather.

NOTE: PRELIMINARY INFORMATION ONLY - SUBJECT TO CONFIRMATION

  
(SIGNATURE)



**Hardy BBT Limited**  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

TECHNICAL MEMO

15280

DATE Aug 31/90 TIME \_\_\_\_\_

SUBJECT Excavation Review

TO <u>Dunn Co.</u>	CLIENT _____	PROJECT NO. _____
<u>Mich</u>	DESCRIPTION _____	
FROM <u>R. Williams</u> (NAME OF INSPECTOR)	LOCATION _____	<u>2/c</u>

MESSAGE OR INSTRUCTIONS

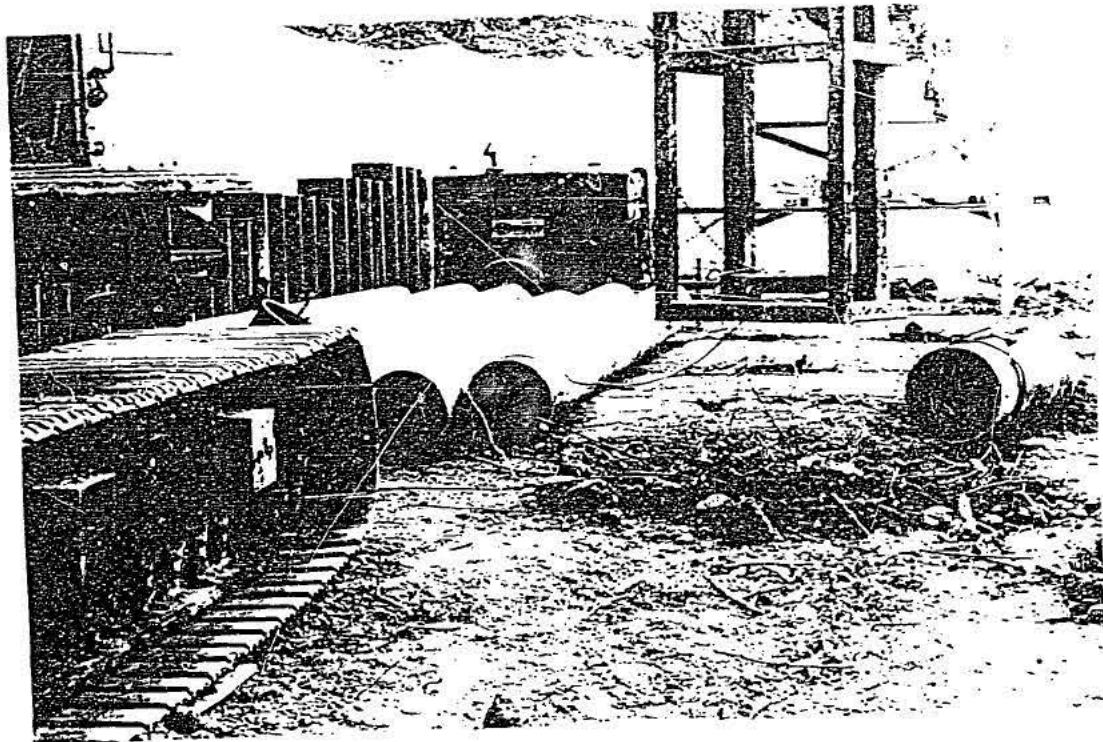
It is judged that the plywood and timber raker braced excavation is stable and is safe for workmen in the excavation for a period of two months. If deformation is observed in the rakers, the geotechnical engineer should be immediately contacted at 294-3811 and the excavation should be must be backfilled above the building area until a solution is developed by the engineer.

NOTE: PRELIMINARY INFORMATION ONLY - SUBJECT TO CONFIRMATION

  
(SIGNATURE)

UNIT NO. 0000

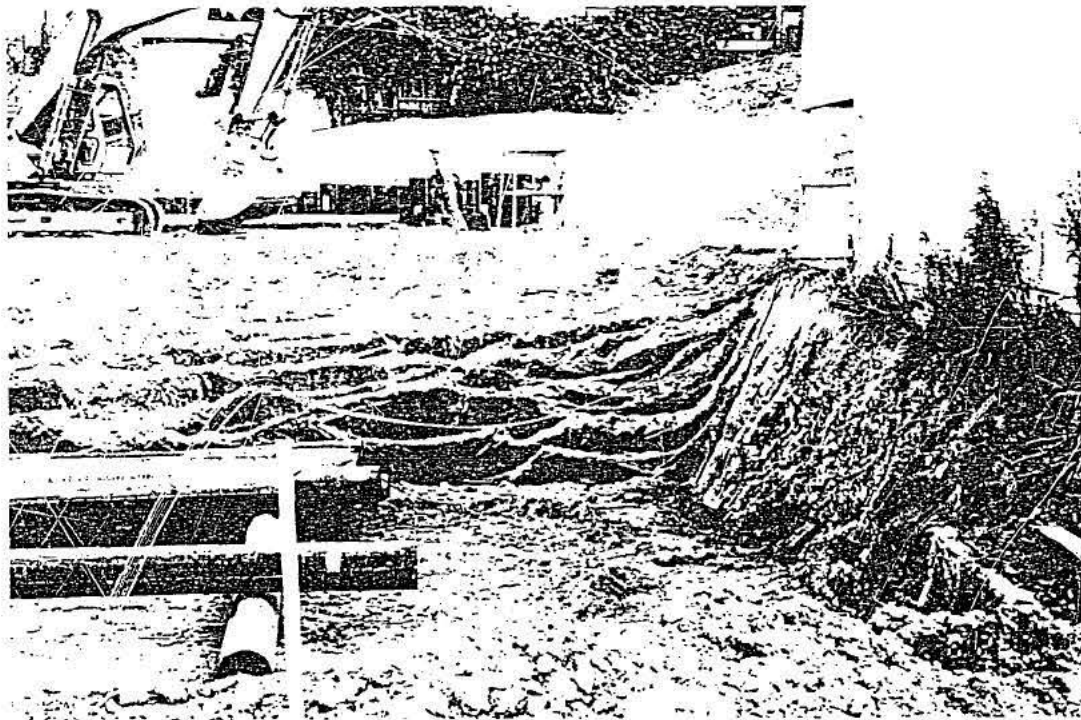




1. Looking towards the east. Pipe pile wall to the left. Aug. 25, 1990



2. Looking towards the southwest. Excavation walls show some organics mixed with the native silt material. Aug. 25, 1990.

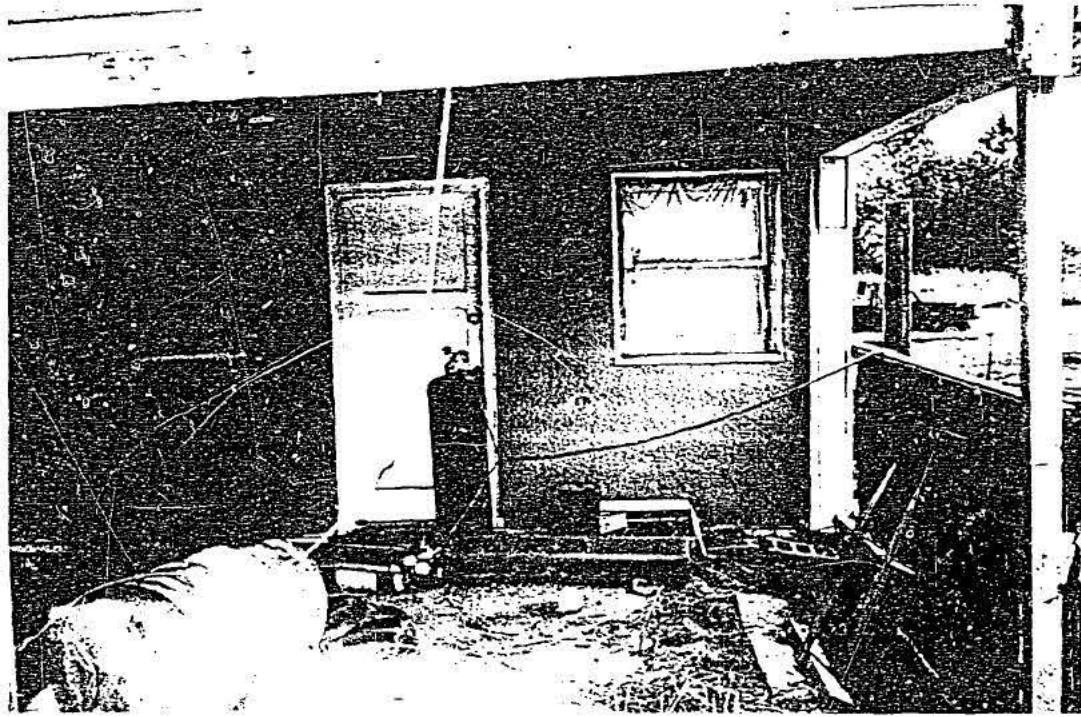


3. Looking towards the north end of the site. Excavation in the foreground shows the oversteepened cut adjacent to the abandoned hotel. Initial cutting of permanent slopes in background. Aug. 25, 1990.

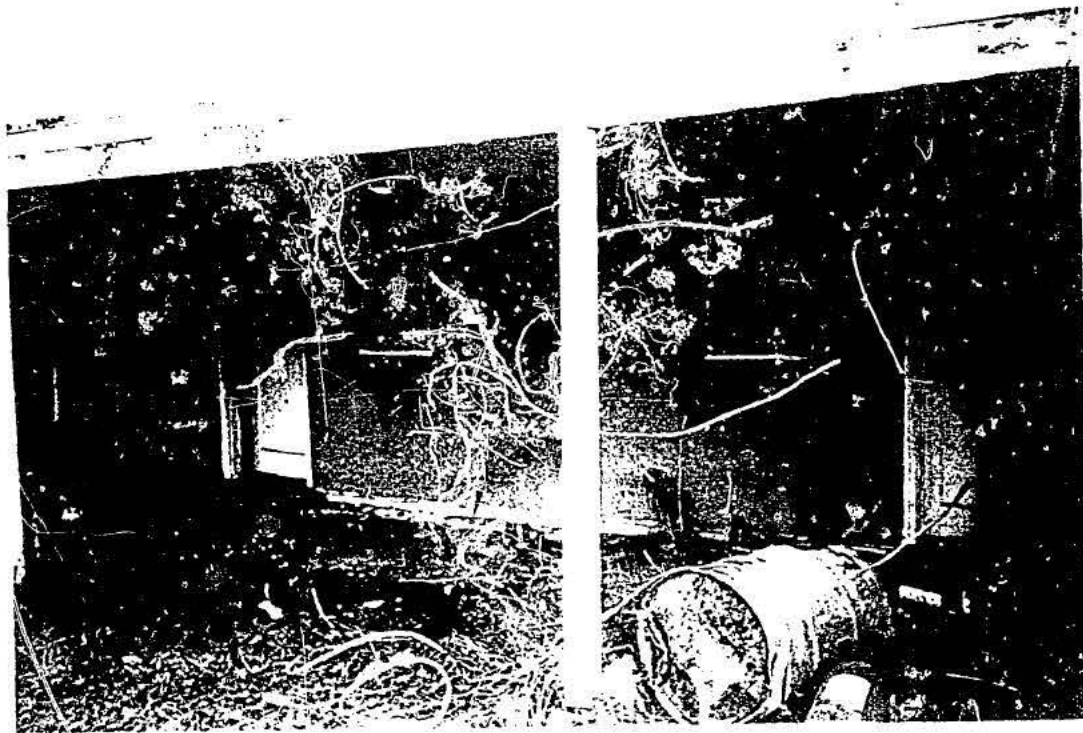


4. Looking along the pipe pile wall alignment. Backslope behind the wall cut at a slope of approximately 2H:1V (Horizontal:Vertical) with a 1 to 2 foot high vertical cut at the base. Pipe pile diameters are 16 inch. Aug. 25, 1990.

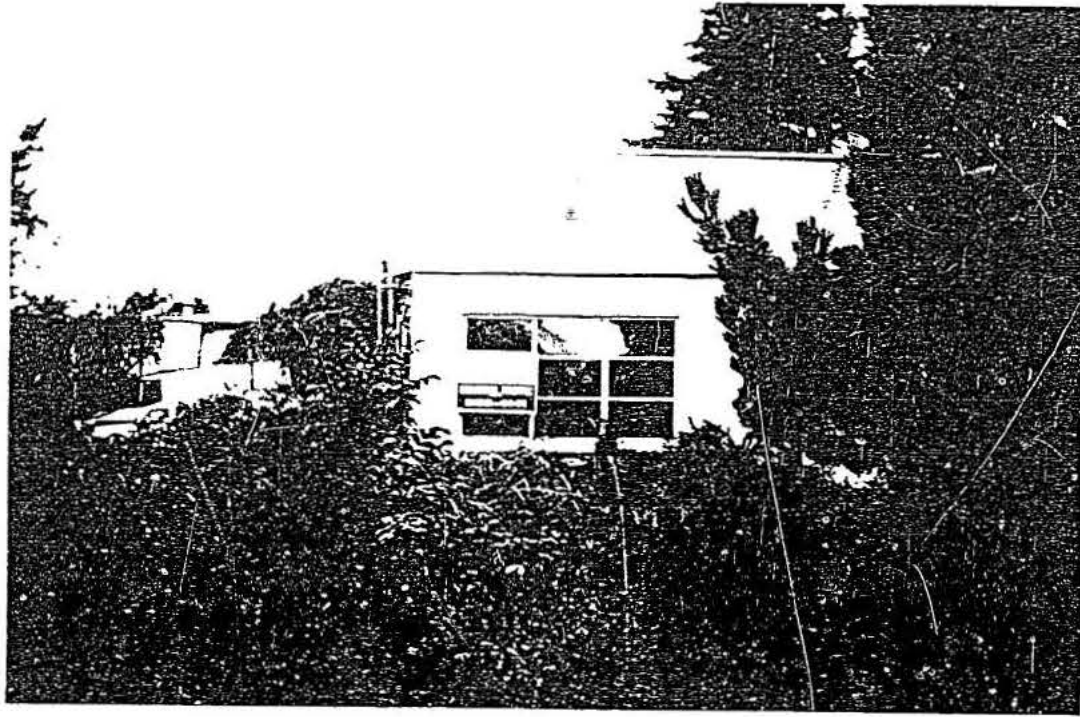




5. Looking towards the north face of the abandoned hotel showing the existing condition of the structure immediately after excavation adjacent to the west building wall. Aug. 31, 1990



6. Looking towards the north face of building, east of picture #5. Aug. 31, 1990



7. Looking at the southwest corner of the hotel along the south face. Repaired cracks are evident in the stucco exterior wall. Aug. 31, 1990.

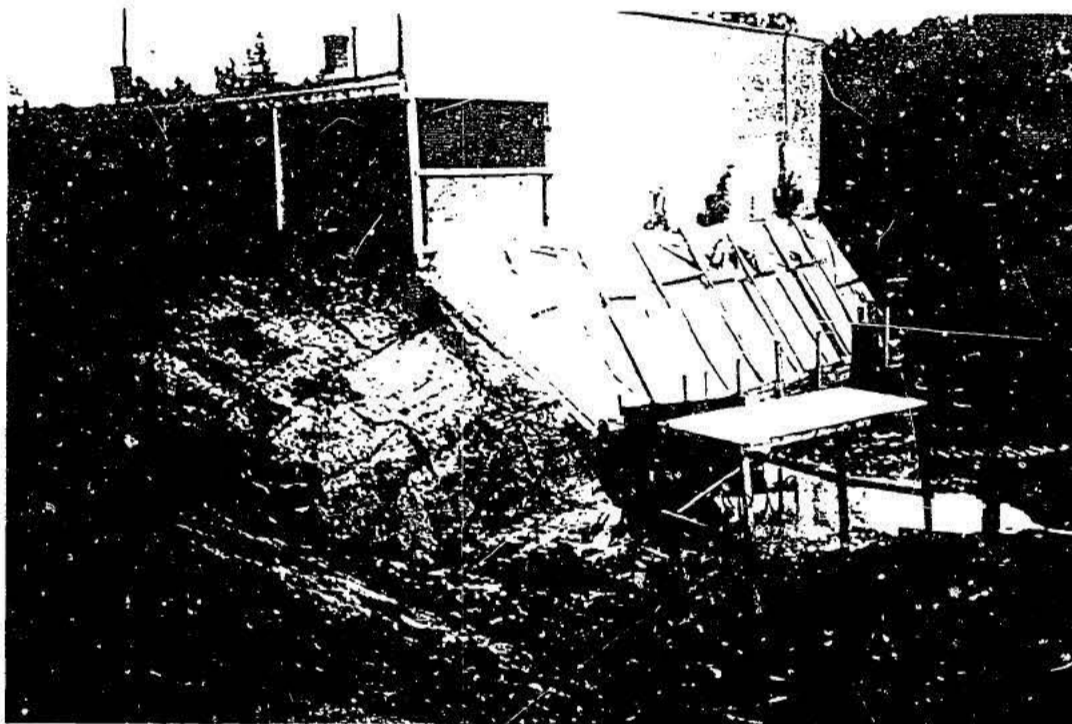


8. Looking at the south wall of the hotel immediately east of picture#7. Aug. 31, 1990.

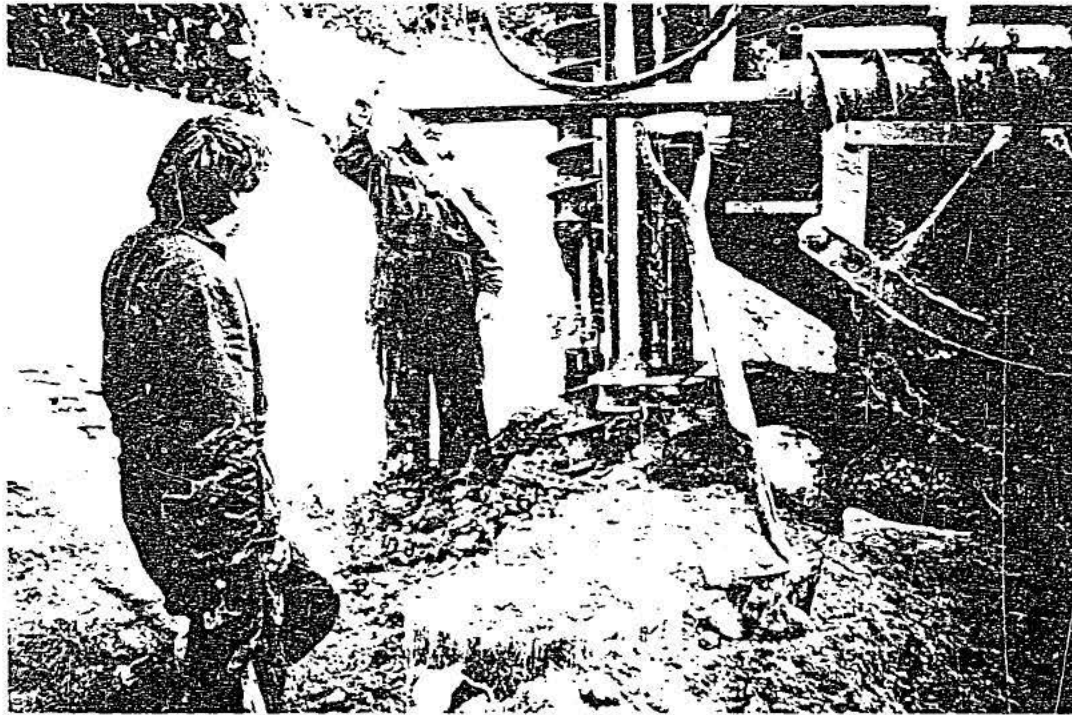




9. Looking towards the south showing condition of excavation base after a heavy rainfall. Slope cut height along south excavation wall was approximately 5 to 6 feet.



10. Looking towards the east, showing the installation of the erosion protection as required by the project geotechnical engineer.

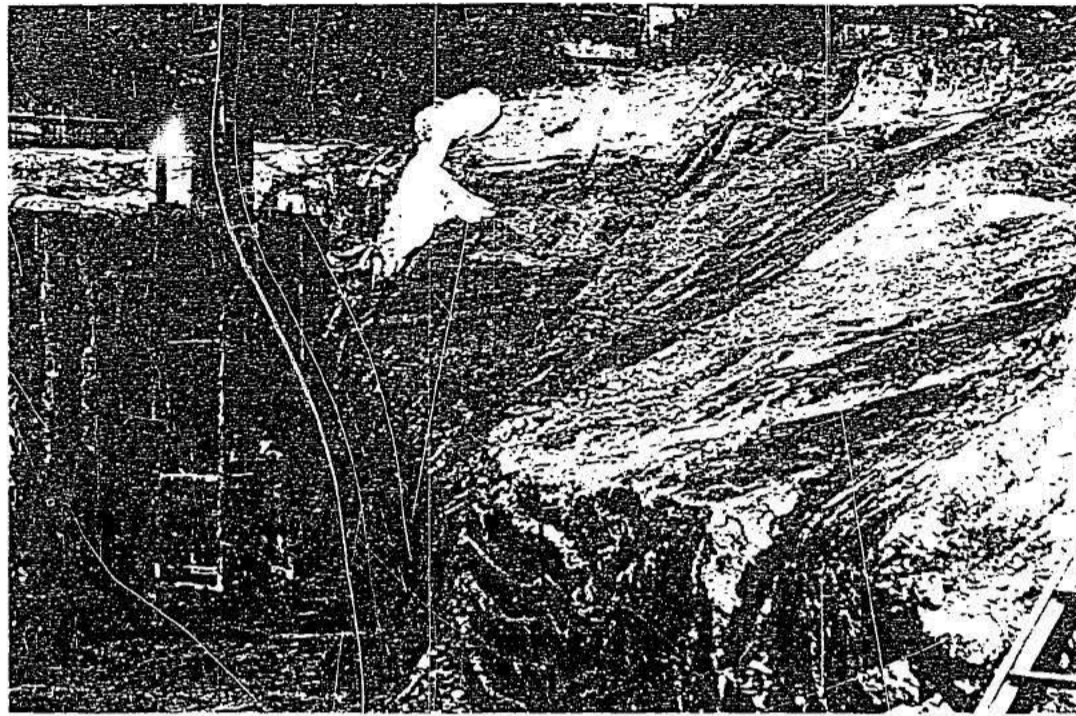


11. Installation of the slope inclinometer behind the east end of the pipe pile wall. Aug. 31, 1990.



12. First stage of excavation in front of the pipe pile wall. Inclinometer readings were taken immediately prior to, and after completion of the first stage excavation. Sept 6, 1990.





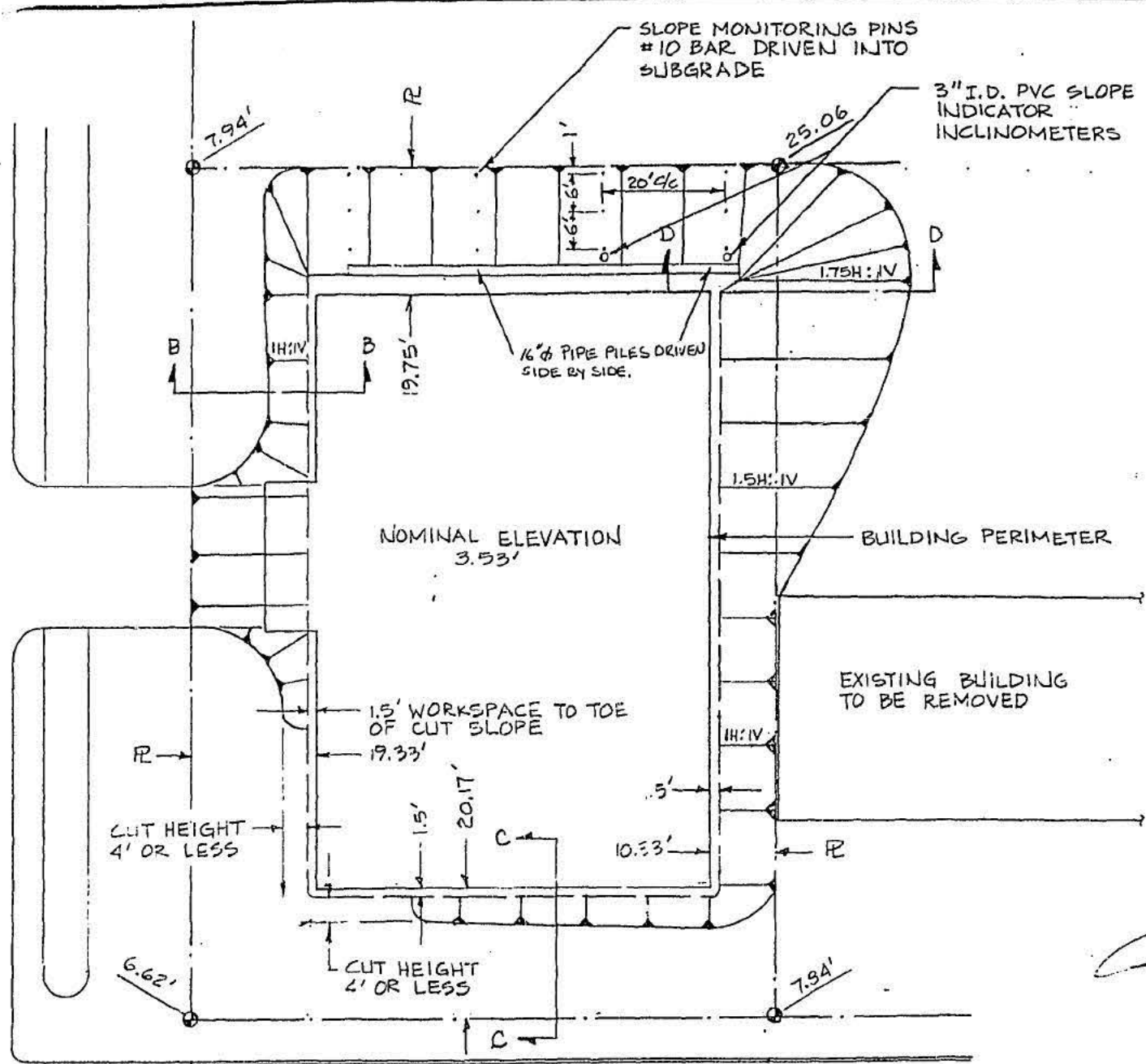
13. Looking towards the northeast corner of pipe pile wall. Excavation cut completed to design subgrade elevation. This photograph shows the transition from the stiff silts (brown) to the softer, more sensitive silts (grey) near the base of the excavation. Sept 6, 1990.



14. Looking towards the east, showing the placement of the foundation forms and the plastic sheet protection of the cut slopes adjacent to the retaining wall.

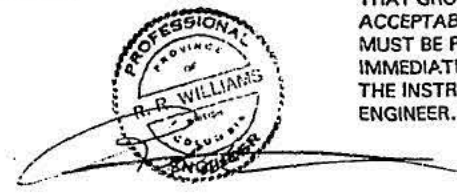


HABGOOD STREET



NOTES

1. CONTRACTOR TO CONFIRM LOCATIONS AND ELEVATIONS OF ALL FOUNDATIONS AND UTILITIES WHICH MAY BE AFFECTED BY THE WORK AND REPORT DISCREPANCIES TO HARDY BBT LIMITED.
2. ALL SLOPES TO BE COVERED BY POLYETHYLENE SHEETING TO PREVENT EROSION.
3. EXTENT OF EXCAVATION TO BE BASED ON ARCHITECTURAL/STRUCTURAL DRAWINGS INCLUDING SLOPES, WHICH ARE SPECIFIED IN THESE DOCUMENTS, CONTRACTOR TO CONFIRM EXCAVATION ELEVATIONS ON THESE DRAWINGS.
4. HOARDING MUST BE INSTALLED AT LEAST 1.0 FOOT CLEAR FROM THE DESIGNATED SIDEWALK, AS REQUIRED BY THE CITY ENGINEER.
5. CONTRACTOR MUST OBTAIN PRIOR PERMISSION IN WRITING TO CARRY OUT WORK ON ANY ADJACENT PRIVATE OR PUBLIC PROPERTY. THIS INCLUDES THE ENCROACHMENT OF SOIL ANCHORS.
6. ALL TEMPORARY CUT SLOPES SHALL BE CUT AT A GRADIENT OF 1H:1V (HORIZONTAL: VERTICAL) OR SHALLower.
7. EXCAVATION ADJACENT TO THE CANTILEVER PIPE PILE WALL MUST BE CONDUCTED UNDER THE DIRECT SUPERVISION OF A HBT REPRESENTATIVE. SLOPE MONITORING AND SLOPE INDICATORS SHOULD BE MONITORED FOR SETTLEMENT AND LATERAL MOVEMENT AT LEAST THREE TIMES PRIOR TO EXCAVATION. MONITORING SHOULD CONTINUE SEVERAL TIMES PER DAY AS REQUIRED DURING EXCAVATION TO ENSURE THAT GROUND MOVEMENTS ARE WITHIN ACCEPTABLE LIMITS. THE CONTRACTOR MUST BE PREPARED TO BACKFILL IMMEDIATELY OR TO PLACE RAKERS UPON THE INSTRUCTION OF THE GEOTECHNICAL ENGINEER.



MARINE DRIVE

NO.	DESCRIPTION	DATE	BY
REVISIONS			



**Hardy BBT Limited**  
CONSULTING ENGINEERING & PROFESSIONAL SERVICES

**SITE PLAN**  
PROPOSED EXCAVATION DETAIL  
HABGOOD STREET & MARINE DRIVE  
WHITE ROCK, B.C

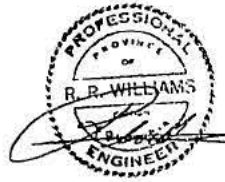
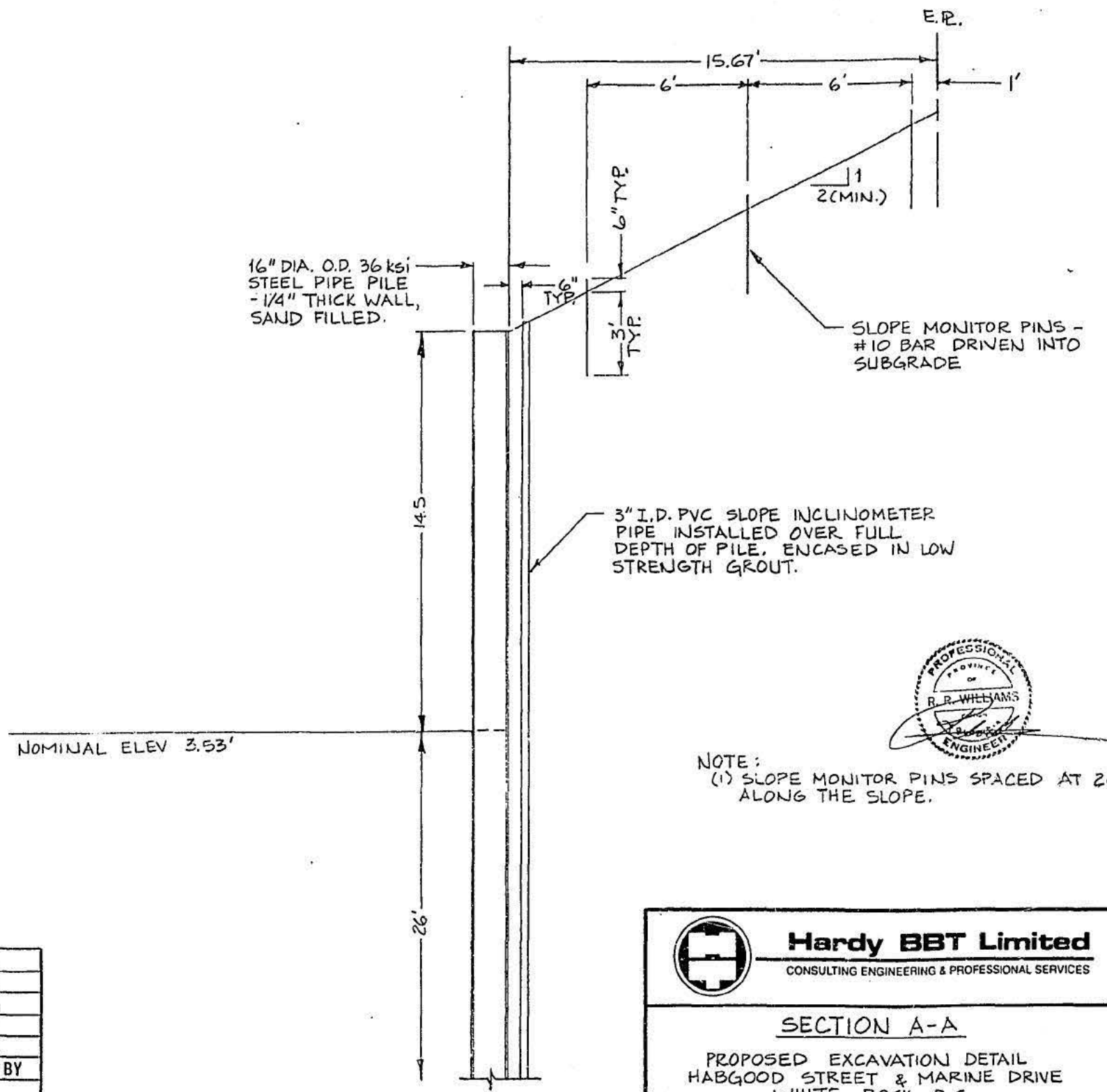
Scale: 1" = 20'  
Date: JULY 6, 1990  
Drawn By: DLC  
Approved By: R.W./SS  
VG05453-1/RO






NO.	DESCRIPTION	DATE	BY
REVISIONS			

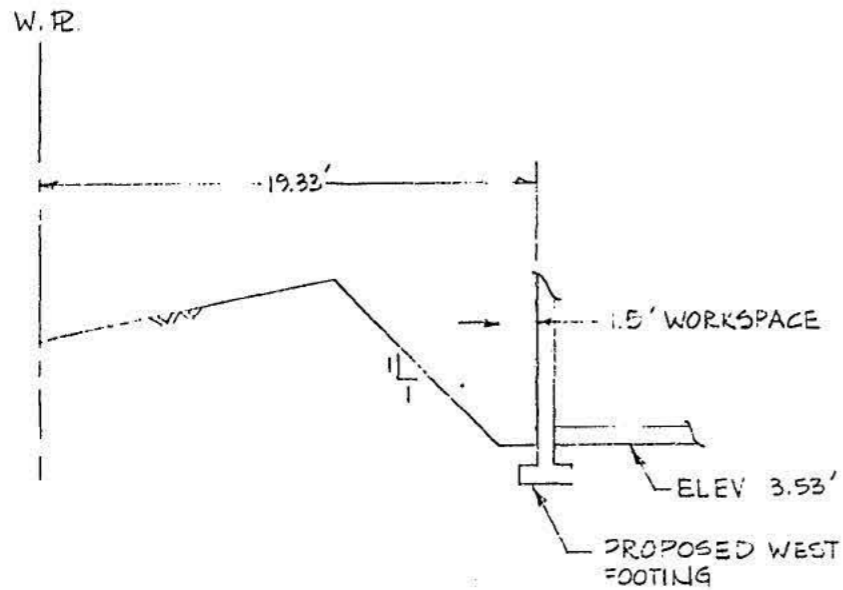
HOLT 13-87/05



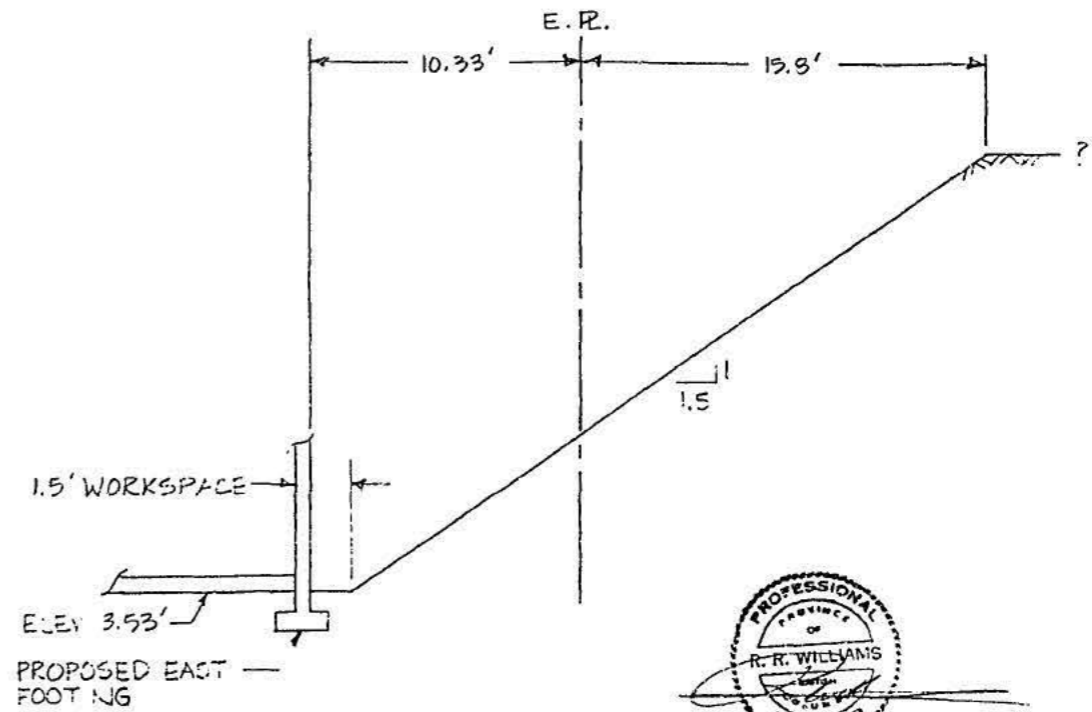
NOTE:  
 (1) SLOPE MONITOR PINS SPACED AT 20' C/C ALONG THE SLOPE.

 <b>Hardy BBT Limited</b> CONSULTING ENGINEERING & PROFESSIONAL SERVICES	Scale: 1" = 4'
	Date: AUG. 24, 1990
<b>SECTION A-A</b> PROPOSED EXCAVATION DETAIL HABGOOD STREET & MARINE DRIVE WHITE ROCK, B.C.	Drawn By: DLC
	Approved By: RW
	VG05453-3/R0

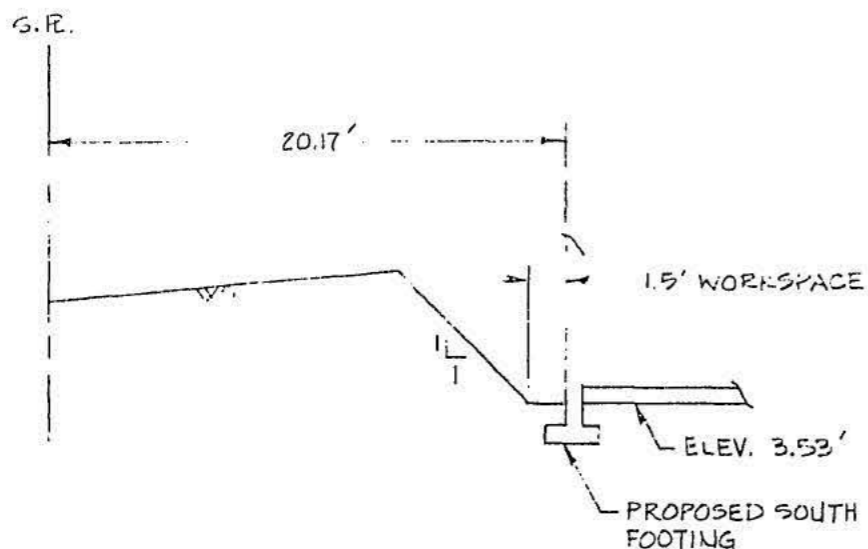
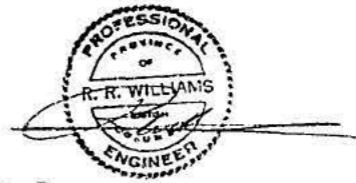




SECTION B-B




SECTION D-D



SECTION C-C

NO.	DESCRIPTION	DATE	BY

 <b>Hardy BBT Limited</b> CONSULTING ENGINEERING & PROFESSIONAL SERVICES	Scale: 1" = 6'
	Date: JULY 5, 1990
<b>SECTION DETAIL</b> PROPOSED EXCAVATION DETAIL HABGOOD STREET & MARINE DRIVE WHITE ROCK, B.C.	Drawn By: DLC
	Approved By: RW/SS
	VG05453-4/R0

# THE CITY OF WHITE ROCK PERMIT TO BUILD

Date: May 26 19 98 Roll # \_\_\_\_\_ Dev. Permit No. \_\_\_\_\_ Permit No. 98042

Owner: SPRATA COUNCIL Location: 820 HARBOR ST.  
 Address: \_\_\_\_\_ Legal: \_\_\_\_\_  
 Architect: GORDON SPRATT & ASSOCIATES Dev. Permit Area: SPRATA APARTMENT Zone: \_\_\_\_\_  
 Contractor: MARTEL + SON WATER PROOFING Occupancy: \_\_\_\_\_  
 Contractor's Address: TONY 916 3150 Name of Project: REPAIR EXTERIOR CLADDING / ROOF

Description of Construction: IRM 5000 / STUCCO Lot Size: \_\_\_\_\_  
 Truss Plan Req'd: \_\_\_\_\_ Survey Plan Req'd: \_\_\_\_\_ Max. Height: \_\_\_\_\_  
 Size: EXISTING Storeys: 3 Min. Yards: Front: \_\_\_\_\_ R. Side: \_\_\_\_\_ L. Side: \_\_\_\_\_ Rear: \_\_\_\_\_

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				
Ext. Walls				
Floors, Joists				
Live Loads				

*Handwritten notes:*  
 AS Per  
 21-11  
 NO.

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ 24000-
Permit Fee	\$ 216-
	\$
	\$
Total Fees	\$ 216-

Owner or Authorized Agent: [Signature] Building Inspector: [Signature] (OVER)



DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SURVEY PLAN REC'D:  
TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY  
BUILDING COMPLETE  
GRANTED

*March 8/99*

# GORDON SPRATT & ASSOCIATES LTD.

CONSULTING PROFESSIONAL ENGINEERS  
2348 Yukon Street, Vancouver, British Columbia  
V5Y 3T6 Phone (604) 872-1211  
Fax (604) 872-1274

Our File No. M-522-98

March 8, 1999

## VIA COURIER

THE CORPORATION OF THE CITY OF WHITE ROCK  
15322 Buena Vista Avenue  
White Rock, B.C.  
V4B 1Y6 (Fax: 541-2153)

Attention: Mr. Peter Creech, A.Sc.T.  
Senior Building & Plumbing Inspector

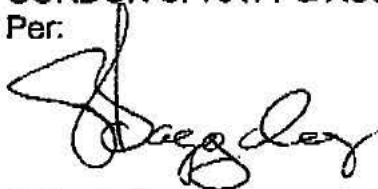
Dear Sir:

Re: STRATA CORP. LMS 56 – VILLA DARDENELLES  
820 Habgood Street, White Rock, B.C.  
- Stucco Repairs to South and East Elevations

Attached please find the Professional Letter of Assurance, Schedule C, for stucco repairs to the south and east elevations of the building exterior at the above complex, as required by the Corporation of the City of White Rock.

If you have any questions, please call me.

Yours truly,  
GORDON SPRATT & ASSOCIATES LTD.  
Per:



Peter F. Baggaley  
General Manager  
PFB/lb  
Encl.

c.c. Mr. Anthony Hall, Martel & Son Water Proofing (Fax: 944-1326)



**BRITISH COLUMBIA BUILDING CODE**

Our File No. M-522-98

**SCHEDULE C**  
Forming Part of Section 2.6 of the  
British Columbia Building Code

**ASSURANCE OF PROFESSIONAL FIELD REVIEW  
AND COMPLIANCE**

- Note:
1. This letter must be submitted after completion of the project but before the *occupancy* permit is issued, or a final inspection is made, by the *authority having jurisdiction*. A separate letter must be submitted by each *registered professional*.
  2. This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Inspectors Association of B.C., and Union of B.C. Municipalities.
  3. In this letter the words in *italics* have the same meaning as in the British Columbia Building Code.

Attention: Mr. Peter Creech, A.Sc.T.

To: The Building Inspector

Date: March 2, 1999

The Corporation of the City of White Rock

Address (Print)

15322 Buena Vista Avenue

White Rock, B.C.

V4B 1Y6

Dear Sir: Strata Corp. LMS 56 -- Villa Gardenelles  
820 Habgood Street, White Rock, B.C.

South, East Elevations)

Re: Address of Project (Print)

Legal Description of Project (Print)

I hereby give assurance that

- (a) I have fulfilled my obligations for *field review* as outlined in Section 2.6 of the British Columbia Building Code and in the previously submitted Schedule B-1, "ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW," and Schedule B-2, "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS," and
- (b) those components of the project opposite my initials in Schedule B-2 substantially comply in all material respects with
  - (i) the applicable requirements of the B.C. Building Code and other applicable enactments respecting safety, not including construction safety aspects, and
  - (ii) the plans and supporting documents submitted in support of the application for the *building* permit,
- (c) I have enclosed the final design plans and supporting documents prepared by me for this project, and
- (d) I am a *registered professional* as defined in the British Columbia Building Code.

**NOTE:** This Schedule C applies to the stucco repairs to the south and east elevations.

BRITISH COLUMBIA BUILDING CODE

Our File No. M-522-98

Schedule C — Continued

(Each registered professional shall complete the following:)

Gordon W. Spratt, M.Eng., P.Eng.

Name (Print)

March 3, 1999

Signed

Date

2348 Yukon Street

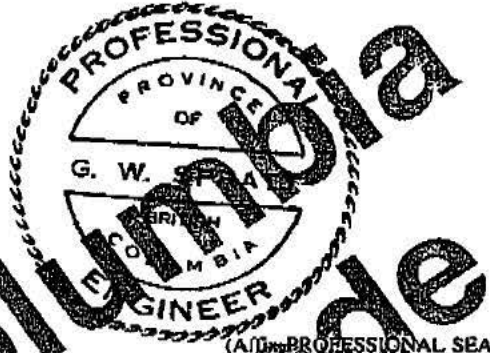
Address (Print)

Vancouver, B.C.

V5Y 3T6

(604) 872-1211

Phone



(Affix PROFESSIONAL SEAL here)

(If the Registered Professional is a member of a firm, complete the following.)

I am a member of the firm Gordon Spratt & Associates Ltd. and I sign this letter on behalf of the firm. (Print name of firm)

NOTE: The above letter must be signed by a registered professional. The British Columbia Building Code defines a "registered professional" to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
(b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.





THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: MARTEL + SONS WATERPROOFING PERMIT No. ....

ADDRESS: 420 HARBOR SHEET No. 1

TYPE OF INSPECTION: STOP WORK DATE: May 6/98

AREA OF INSPECTION: .....

Don Reimas Stucco - 941-8770

MARTEL + SONS WATERPROOFING

- ① Business Permit Req'd - LIST DEFICIENCIES
- ② THIRD-PARTY REVIEW OF PROJECT REQ'D BY BUILDING ENVELOPE SPECIALIST - A LIST OF ACCEPTED SPECIALISTS IS AVAILABLE AT CITY HALL
- ③ CHANGE TO EXTERIOR TO APPROVAL OF CITY PLANNER

BUSINESS LICENSE REQ'D FOR BOTH COMPANIES.

pen req'd

SIGNATURE: ..... INSPECTOR: Peter [Signature]

DATE: .....

Please sign this form when the work is completed and return to the above department.



# APPLICATION FOR BUILDING PERMIT

## FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. May 6, 1998

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to Alter the building as follows:

Repair building envelope

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: R.M. 2 Development Permit #

Correct description of property

Street 820 HARGREAVES Size of land

Survey Plan required No  Yes

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for? STRATA Condominium

How heated? N/A

Entire value, when completed \$ 24,000.00

Name and mail address of owner STRATA Council Phone:

Name and mail address of builder BC LTD. 461099 MARTEL + SON WATER PROOFING Phone: 944 1303

1610 Langan Ave, UNIT 102, Port Coquitlam

Name and address of architect (if any)

Name and address of person or persons to whom permit is to be issued:

Name Contractor Address

Do you require to use street for placing material? No

How long? Days

And I agree to conform to all requirements of said By-Law.

Roll No. Signature of Applicant: [Signature]

Building Permit Fee: \$216.00

Plan Checking Fee:

Permit No. 98048

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



**GORDON  
SPRATT & ASSOCIATES LTD.**

CONSULTING PROFESSIONAL ENGINEERS  
2348 Yukon Street, Vancouver, British Columbia  
V5Y 3T6 Phone (604) 872-1211  
Fax (604) 872-1274

Our File No. M-522-98

May 14, 1998

**FAXED**

THE CORPORATION OF THE CITY OF WHITE ROCK  
15322 Buena Vista Avenue  
White Rock, B.C.  
V4B 1Y6 (Fax: 541-2153)

Attention: Mr. Peter Creech, A.Sc.T.  
Senior Building & Plumbing Inspector

Dear Sir:

Re: STRATA CORP. LMS 56 – VILLA DARDENELLES  
820 Habgood Street, White Rock, B.C.  
- Repairs to Building Exterior

**RECEIVED**  
MAY 20 1998

THE CORPORATION OF THE  
CITY OF WHITE ROCK ✓

We have been engaged on behalf of the Owners of the above Strata property to provide inspection services for the repairs to the exterior of the building, 2nd Floor south elevation that is currently the subject of a Stop Work Order.

An inspection of the work to date was carried out on Wednesday, May 13, 1998, in company with the contractor and **Redacted S. 22**, a Strata Council member.

It is our opinion that the work carried out to date is good and satisfactory, but we have requested improvements be made to the window head flashings and directed certain details be applied at locations not yet addressed.

We will be carrying out inspections when a permit is issued and attach Letters of Assurance, Schedules B-1 and B-2.

I trust you will see a way to issue a permit, but if you have any questions please call me.

Yours truly,

GORDON SPRATT & ASSOCIATES LTD.

Per:



Peter F. Baggaley  
General Manager  
PFB/as  
Encl.

c.c. Mr. Anthony Hall, Martel & Son Water Proofing (Fax: 944-1326)

SCHEDULE B-1  
Forming Part of Section 2.6 of the  
British Columbia Building Code

ASSURANCE OF PROFESSIONAL DESIGN AND  
COMMITMENT FOR FIELD REVIEW

- Note: 1. This letter must be submitted along with Schedule B-2 before issuance of a *building* permit. A separate letter must be submitted by each *registered professional*.
2. This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Inspectors Association of B.C., and Union of B.C. Municipalities.
3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

Attention: Mr. Peter Creech, A.Sc.T.  
To: The Building Inspector (Fax: 541-2153)

Date: May 14, 1998

The Corporation of the City of White Rock  
Address (Print)  
15322 Buena Vista Avenue  
White Rock, B.C. V4B 1Y6

Dear Sir: Strata Corp. LMS 56 - Villa Dardenelles  
Re: 820 Habgood Street, White Rock, B.C.  
Address of Project (Print)

Legal Description of Project (Print)

The undersigned hereby gives assurance that the design of the  
(Initial those of the items listed below that apply to this *registered professional*.  
All the disciplines will not necessarily be employed on every project.)

- lwp*  ARCHITECTURAL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- FIRE SUPPRESSION SYSTEMS
- ELECTRICAL
- GEOTECHNICAL — temporary
- GEOTECHNICAL — permanent

components of the plans and supporting documents prepared by this *registered professional* <sup>others</sup> in support of the application for the *building* permit substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction as indicated on the attached "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" (SCHEDULE B-2).



Schedule B-1 — Continued

The undersigned also undertakes to notify the authority having jurisdiction in writing as soon as possible if the undersigned's contract for field review is terminated at any time during construction.

I certify that I am a registered professional as defined in the British Columbia Building Code.

Michael J. Morgan, M.Sc., P.Eng.  
Name (Print)

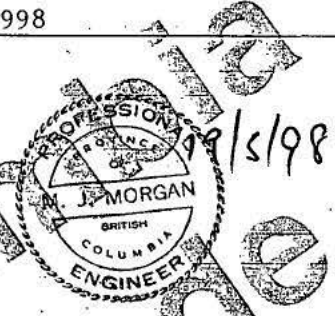
*[Signature]*  
Signed

May 14, 1998  
Date

2348 Yukon Street  
Address (Print)  
Vancouver, B.C.

V5Y 3T6

(604) 872-1211  
Phone



(Affix PROFESSIONAL SEAL here)

(If the Registered Professional is a member of a firm, complete the following.)

I am a member of the firm Gordon Spratt & Associates Ltd.  
and I sign this letter on behalf of the firm. (Print name of firm)

NOTE: The above letter must be signed by a registered professional. The British Columbia Building Code defines a "registered professional" to mean:

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

c.c. Mr. Anthony Hall, Martel & Son Water Proofing (Fax: 944-1326)

**SCHEDULE B-2**

Forming Part of Section 2.6 of the  
British Columbia Building Code

**SUMMARY OF DESIGN AND FIELD REVIEW  
REQUIREMENTS**

- Note: 1. This form must be submitted with Schedule B-1 before issuance of a *building* permit.  
2. This form is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Union of B.C. Municipalities and Building Inspectors Association of B.C.  
3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

Date: May 14, 1998

(Initial applicable discipline below and cross out and initial non-applicable items within the discipline.)

X **ARCHITECTURAL**

- ~~1.1 Fire resisting assemblies~~
- ~~1.2 Fire separations and their continuity~~
- ~~1.3 Closures, including tightness and operation~~
- ~~1.4 Interior and exterior finishes~~
- ~~1.5 Egress systems, including access to exit within suites and floor areas~~
- ~~1.6 Performance and physical safety features (guardrails, handrails, etc.)~~
- ~~1.7 Structural capacity of architectural components, including anchorage and seismic restraint~~
- ~~1.8 Roofing and flashings~~
- ~~1.9 Wall cladding systems~~
- ~~1.10 Dampproofing and/or waterproofing of walls and slabs below grade~~
- ~~1.11 Thermal insulation systems including condensation control and cavity ventilation~~
- ~~1.12 Sound control~~
- ~~1.13 Landscaping, screening and site grading~~
- ~~1.14 Provisions for fire fighting access~~
- ~~1.15 Access requirements for persons with disabilities~~
- ~~1.16 Elevating devices~~
- ~~1.17 Coordination of testing of fire emergency systems and maintenance programs~~
- ~~1.18 Development Permit and conditions therein~~
- ~~1.19 Exterior glazing~~
- ~~1.20 Interior signage, including acceptable materials, dimensions and locations~~
- ~~1.21 Review of all applicable shop drawings~~

**STRUCTURAL**

- 2.1 Structural capacity of structural components of the *building*, including anchorage and seismic restraint
- 2.2 Structural aspects of *deep foundations*
- 2.3 Review of all applicable shop drawings

**MECHANICAL**

- 3.1 HVAC systems and devices, including high *building* requirements where applicable
- 3.2 *Fire dampers* at required *fire separations*
- 3.3 Continuity of *fire separations* at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings



Schedule B-2 — *Continued***PLUMBING**

- 4.1 Roof *drainage systems*
- 4.2 Site and *foundation drainage systems*
- 4.3 *Plumbing systems* and devices
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings

**FIRE SUPPRESSION SYSTEMS**

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and materials
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Functional testing of fire suppression systems and devices

**ELECTRICAL**

- 6.1 Electrical systems and devices, including high *building* systems where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings

**GEOTECHNICAL — Temporary**

- 7.1 *Excavation*
- 7.2 *Shoring*
- 7.3 *Underpinning*
- 7.4 Temporary construction dewatering

**GEOTECHNICAL — Permanent**

- 8.1 Bearing capacity of the *soil*
- 8.2 Geotechnical aspects of *deep foundations*
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of *soil*, including slope stability and seismic loading
- 8.5 *Backfill*
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning

SCHEDULE B-1  
Forming Part of Section 2.6 of the  
British Columbia Building Code

ASSURANCE OF PROFESSIONAL DESIGN AND  
COMMITMENT FOR FIELD REVIEW

- Note: 1. This letter must be submitted along with Schedule B-2 before issuance of a *building* permit. A separate letter must be submitted by each *registered professional*.
2. This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Inspectors Association of B.C., and Union of B.C. Municipalities.
3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

Attention: Mr. Peter Creech, A.Sc.T.  
To: The Building Inspector (Fax: 641-2153)

Date: May 14, 1998

The Corporation of the City of White Rock

Address (Print)

15322 Buena Vista Avenue

White Rock, B.C. V4B 1Y6

Dear Sir: Strata Corp. LMS 56 - Villa Dardenelles  
Re: 820 Habgood Street, White Rock, B.C.

Address of Project (Print)

Legal Description of Project (Print)

The undersigned hereby gives assurance that the design of the  
(Initial those of the items listed below that apply to this *registered professional*.  
All the disciplines will not necessarily be employed on every project.)

- WJG  ARCHITECTURAL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- FIRE SUPPRESSION SYSTEMS
- ELECTRICAL
- GEOTECHNICAL — temporary
- GEOTECHNICAL — permanent

components of the plans and supporting documents prepared by WJG <sup>others</sup> ~~this registered professional~~ in support of the application for the *building* permit substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction as indicated on the attached "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" (SCHEDULE B-2).



Schedule B-1 — Continued

The undersigned also undertakes to notify the authority having jurisdiction in writing as soon as possible if the undersigned's contract for field review is terminated at any time during construction.

I certify that I am a registered professional as defined in the British Columbia Building Code.

Michael J. Morgan, M.Sc., P.Eng.  
Name (Print)

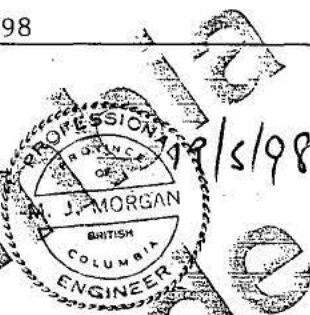
*[Handwritten Signature]*  
Signed

May 14, 1998  
Date

2348 Yukon Street  
Address (Print)  
Vancouver, B.C.

V5Y 3T6

(604) 872-1211  
Phone



(Affix PROFESSIONAL SEAL here)

(If the Registered Professional is a member of a firm, complete the following.)

I am a member of the firm Gordon Spratt & Associates Ltd.  
and I sign this letter on behalf of the firm. (Print name of firm)

NOTE: The above letter must be signed by a registered professional. The British Columbia Building Code defines a "registered professional" to mean:

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

c.c. Mr. Anthony Hall, Martel & Son Water Proofing (Fax: 944-1326)

## SCHEDULE B-2

Forming Part of Section 2.6 of the  
British Columbia Building Code

### SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

- Note: 1. This form must be submitted with Schedule B-1 before issuance of a *building* permit.  
2. This form is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Union of B.C. Municipalities and Building Inspectors Association of B.C.  
3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

Date: May 14, 1998

(Initial applicable discipline below and cross out and initial non-applicable items within the discipline.)

X **ARCHITECTURAL**

- 1.1 ~~Fire resisting assemblies~~  
1.2 ~~Fire separations and their continuity~~  
1.3 ~~Closures, including tightness and operation~~  
1.4 ~~Interior and exterior finishes~~  
1.5 ~~Egress systems, including access to exit within suites and floor areas~~  
1.6 Performance and physical safety features (guardrails, handrails, etc.)  
1.7 ~~Structural capacity of architectural components, including anchorage and seismic restraint~~  
1.8 Roofing and flashings  
1.9 Wall cladding systems  
1.10 ~~Dampproofing and/or waterproofing of walls and slabs below grade~~  
1.11 Thermal insulation systems including condensation control and cavity ventilation  
1.12 Sound control  
1.13 Landscaping, screening and site grading  
1.14 Provisions for fire-fighting access  
1.15 Access requirements for persons with disabilities  
1.16 Elevating devices  
1.17 Coordination of testing of fire emergency systems and maintenance programs  
1.18 Development Permit and conditions therein  
1.19 ~~Exterior glazing~~  
1.20 Interior signage, including acceptable materials, dimensions and locations  
1.21 ~~Review of all applicable shop drawings~~

**STRUCTURAL**

- 2.1 Structural capacity of structural components of the *building*, including anchorage and seismic restraint  
2.2 Structural aspects of *deep foundations*  
2.3 Review of all applicable shop drawings

**MECHANICAL**

- 3.1 HVAC systems and devices, including high *building* requirements where applicable  
3.2 *Fire dampers* at required *fire separations*  
3.3 Continuity of *fire separations* at HVAC penetrations  
3.4 Functional testing of mechanically related fire emergency systems and devices  
3.5 Maintenance manuals for mechanical systems  
3.6 Structural capacity of mechanical components, including anchorage and seismic restraint  
3.7 Review of all applicable shop drawings



Schedule B-2 — *Continued***PLUMBING**

- 4.1 Roof *drainage systems*
- 4.2 Site and *foundation drainage systems*
- 4.3 *Plumbing systems* and devices
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings

**FIRE SUPPRESSION SYSTEMS**

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Functional testing of fire suppression systems and devices

**ELECTRICAL**

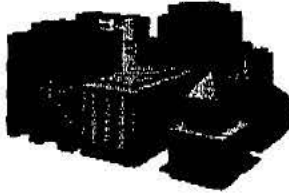
- 6.1 Electrical systems and devices, including high *building* systems where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings

**GEOTECHNICAL — Temporary**

- 7.1 *Excavation*
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

**GEOTECHNICAL — Permanent**

- 8.1 Bearing capacity of the *soil*
- 8.2 Geotechnical aspects of *deep foundations*
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of *soil*, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



B.C. Ltd. 461099

**MARTEL & SON**

**WATER PROOFING**

#102 - 1610 Langan Ave  
Port Coquitlam V3C 6G5  
Phone: (604) 944-1303  
Fax: (604) 944-1326

**FAX**

**ATTN:** Peter Creed

**COMPANY:** Business Dept White Rock

**FAX NUMBER:** (604) 541-~~2136~~ 2153

**DATE:** May 98

**PAGE 1 OF** 1

**MESSAGE:**

See attached  
820 Habygood  
White Rock

**FROM:** ANTHONY HALL  
B.C. LTD. 461099  
MARTEL & SON WATER PROOFING  
UNIT 102 - 1610 LANGAN AVENUE  
PORT COQUITLAM, B.C. V3C 6G5



MAY-12-1998 09:08

MORRISON HERSHFIELD LTD.

604 454 0403 P.01/02

**MORRISON HERSHFIELD**4299 Canada Way, Ste. 247, Burnaby, British Columbia V5G 1H3  
Tel. (604) 454-0402 Fax. (604) 454-0403 www.mhgroup.ca

May 12, 1998

Mr. Tony Hall  
Martel & Son Water Proofing  
102, 1610 Langan Avenue  
Port Coquitlam, B.C.  
V3C 6G5

By Facsimile: 944-1362

Dear Sir:

**Re: Building Envelope Restoration at:  
820 Habgood Street, White Rock**

Martel & Son Waterproofing (Martel) retained Morrison Hershfield (MH) by requesting our attendance at the site to review the work in progress of the building envelope restoration at 820 Habgood in White Rock. Accordingly, Phil Johnson of MH carried out a visual site inspection on Friday, May 8 at 13:00.

The building is a three storey, timber frame, multi-unit residential complex that is substantially clad with face-sealed stucco. The repair site is at the second floor on the south elevation and the scope of repairs includes deck membrane replacement and stucco cladding replacement.

Martel has requested that we provide an opinion of the technical merits of the work in progress. We understand that the work has proceeded without permit and without professional design input. We therefore provide the following based only on our visual review and on the description of the work provided by Martel.

**Field Observations**

1. **Deck Repair** We understand the existing concrete topping and membrane was removed. The new membrane is a urethane, liquid applied product that was applied in two lifts to an average thickness of 50 mil. The concrete topping was reinstated and we therefore could not review the membrane installation. It was clear however that the membrane extended up the exterior face of the walls and the deck parapet wall.
2. **Stucco Restoration** The work in progress indicated that face-sealed stucco cladding was to be reinstated. It was apparent that the details were improved since the new application included self-adhering membrane around the windows and sliding patio doors, double layer of building paper, etc. The first application of stucco had been installed in some areas.

**Recommendations**

1. **Deck Parapet Repair** Complete the deck repairs by installing a membrane over the top of the deck parapet walls and lapping the membrane down the inside of the deck parapet wall

MAY-12-1998 09:09

MORRISON HERSHFIELD LTD.

604 454 0403 P.02/02

- 2 -

so that the membrane meets and laps over the urethane deck membrane. Protect the vertical face of the membrane with a new application of stucco or pre-painted metal flashing. The cap flashing should be replaced with pre-painted metal flashing with site fabricated saddle flashings where the parapet wall terminates at the building wall.

2. Window Repair The existing repairs do include sealing of the windows into the openings utilizing self-adhering membrane. Unfortunately, the sill of the window is sealed as well which will prevent drainage of incidental moisture from draining out of the window unit.

For restoration work of this type we recommend the following procedure: Remove each window from the wall opening and install a membrane flashing into the sill of the rough opening. Include up-stands at the interior edge of the sill and at the jambs. Replace building paper in the rough opening with membrane, as required. Replace window with extreme care so as not to rupture the sill flashing membrane. Seal the head and jambs only with membrane applied to the aluminum flanges. Do not seal the sill, to allow for drainage. A metal head flashing is still required installed under the building paper.

To account for the increased depth of the drained cavity stucco, block out the window to the same depth of the furring or provide wood or metal trim around the frame, as required.

3. Stucco Repair We cannot endorse the installation of face-sealed stucco according to the work in progress. It is our opinion that this is a short-term repair and in five to ten years time, the wall will be experiencing water penetration and deterioration again. The only wall system that we can recommend is a drained cavity or rain-screen system. Accordingly, we recommend that the existing new stucco and lath be removed and vertical furring be installed over the building paper. Paper-backed lath can be installed over the furring followed by the stucco application in three lifts.

We can provide diagrams of the installation described above for clarification for your client and for the City. We are available to assist you further with design and field review on this project should it be required.

Yours very truly,  
Morrison Hershfield Limited



Phil Johnson, P.Eng.  
Building Science Specialist



May 12/98

Tom, The contractor wants to  
switch from glazed tile to stone  
finish. I need direction on if  
this is OK. or if he needs to  
go to variance development permit.  
PC

Pete -  
DVP not req'd. what is the rationale for  
the change?  
There is no conflict with ADP rec's, so the change  
is D.K.  
Tom.

820 Habgood

CITY OF WHITE ROCK  
Permits & Licences

MAY 11 1998

**RECEIVED**



East Elevation  
replacement of tile walls TO STUCCO  
(Stucco to be same colour as BLUE TILE)



CITY OF WHITE ROCK  
Permits & Licences

MAY 11 1998

RECEIVED

TOP OF RIDGE  
EL. 47.05'

1/4 OF RAFTERS  
EL. 40.15'

THIRD FLOOR  
EL. 32.09'

SECOND FLOOR  
EL. 23.07'

MAIN FLOOR  
EL. 14.05'

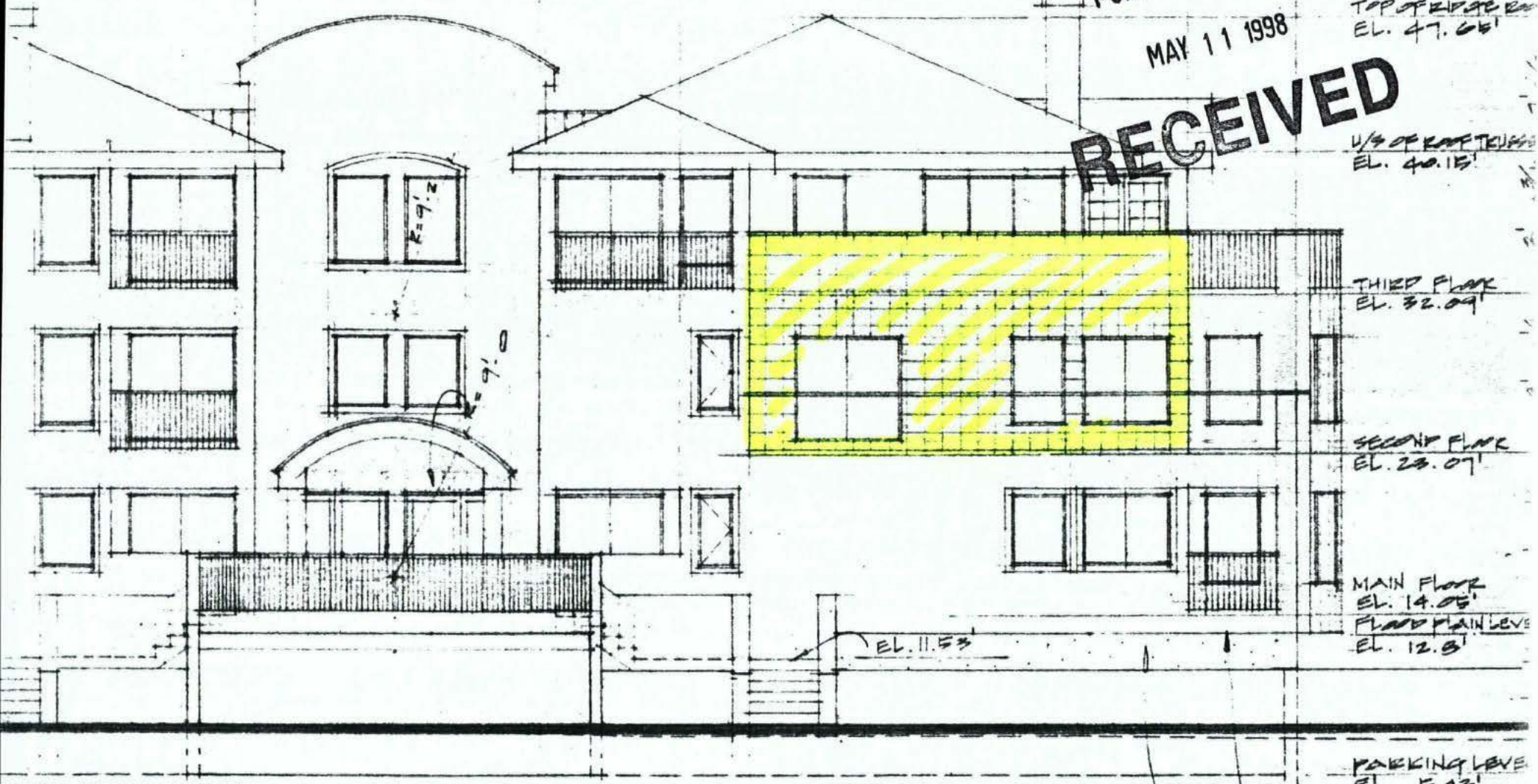
FLOOR PLAIN LEVEL  
EL. 12.8'

PARKING LEVEL  
EL. 5.03'

END OF STUCCO  
EXPOSED  
CONC.

replacement of tile on  
walls to stucco  
(colour of stucco to be the  
same blue as tile)

WEST ELEVATION

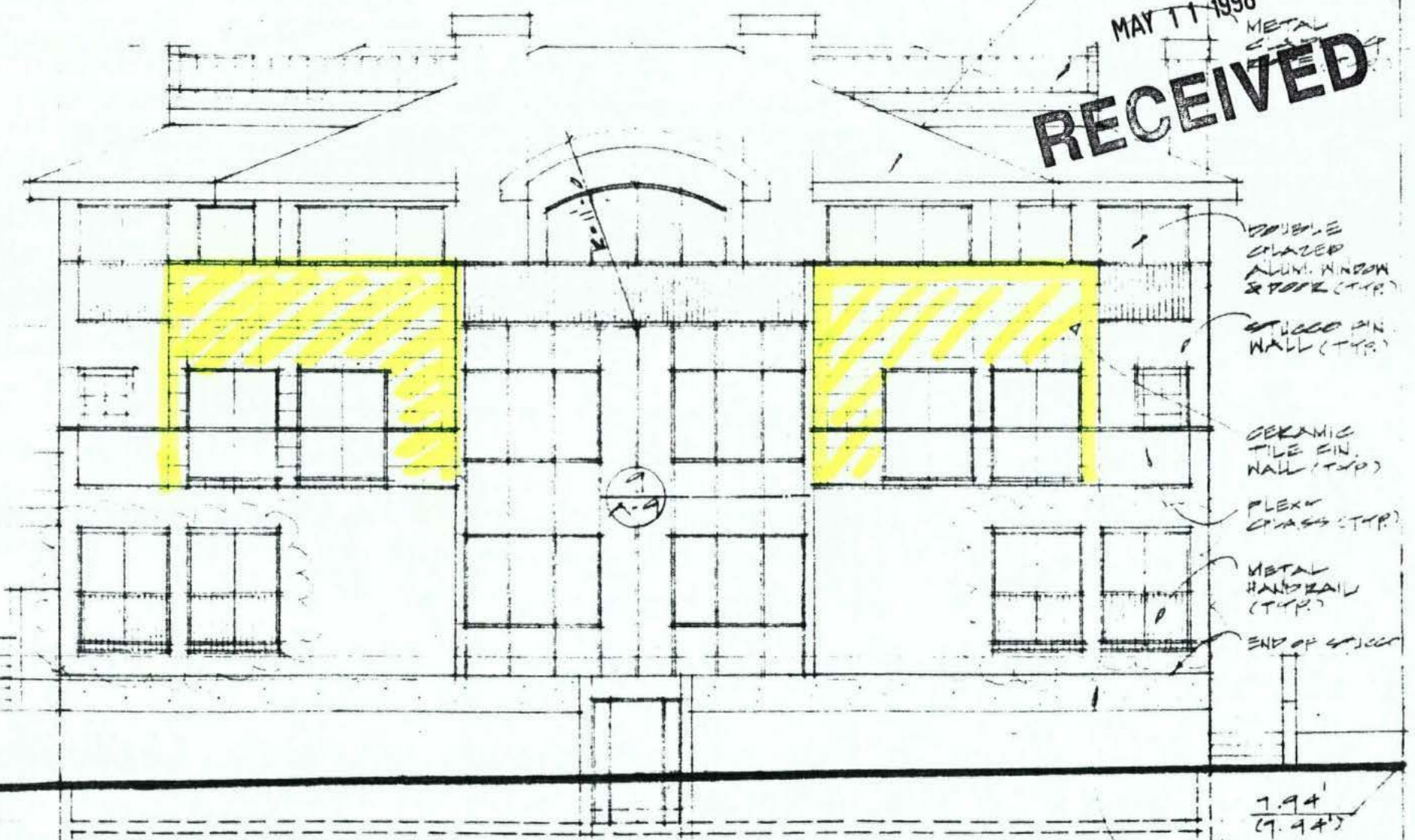




CITY OF WHITE ROCK  
Permits & Licences

MAY 11 1998

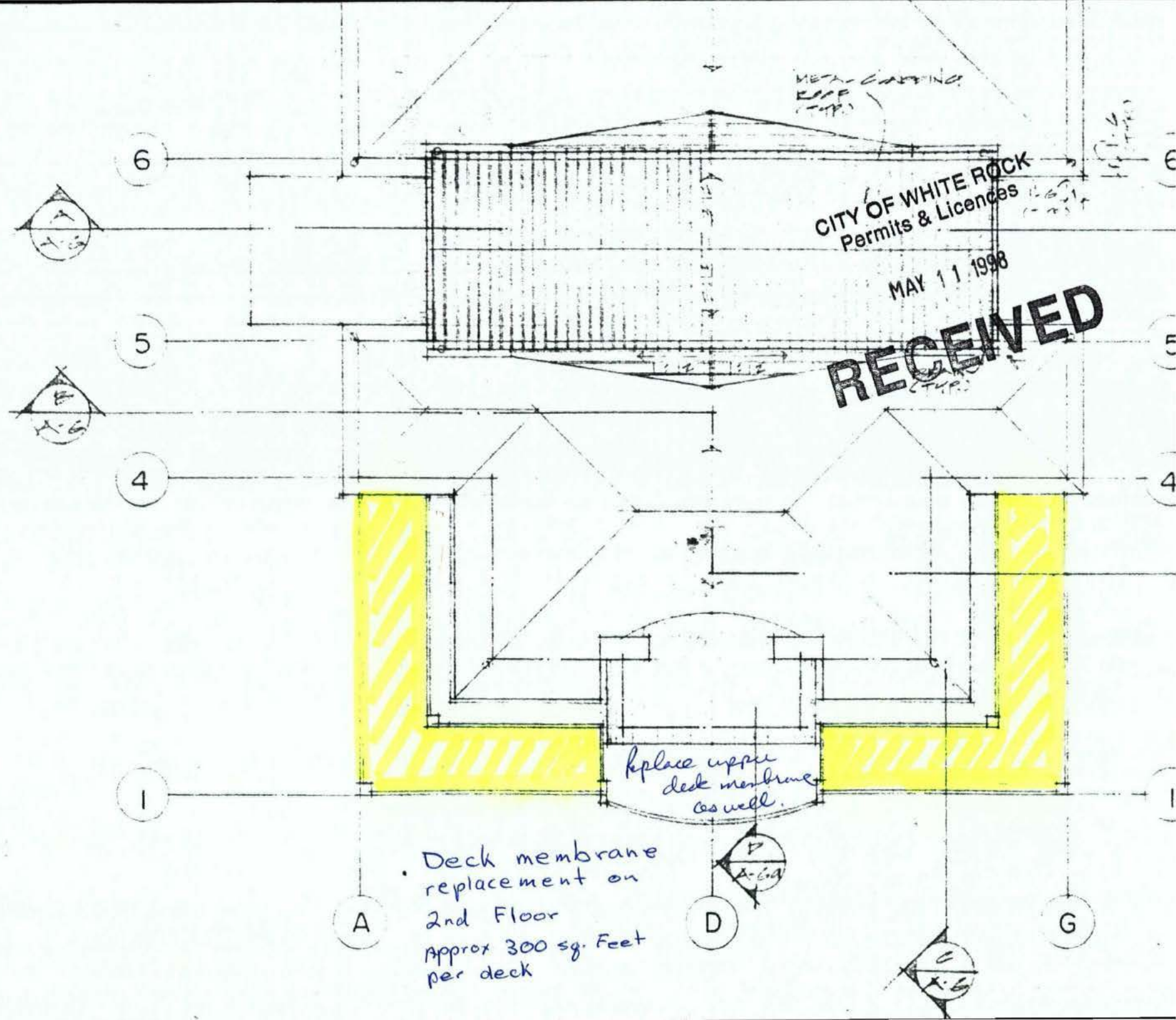
RECEIVED



SOUTH ELEVATION  
replacement of tile on walls to stucco.  
(STUCCO TO BE SAME COLOUR AS Blue tile)

EXPOSED CONC.





METAL-CORRUGATED  
ROOF  
(TOP)

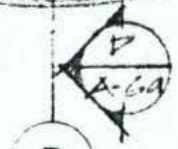
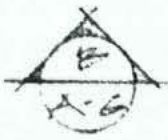
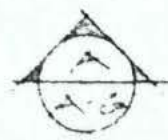
CITY OF WHITE ROCK  
Permits & Licences

MAY 11 1998

**RECEIVED**

replace upper  
deck membrane  
as well.

Deck membrane  
replacement on  
2nd Floor  
Approx 300 sq. Feet  
per deck



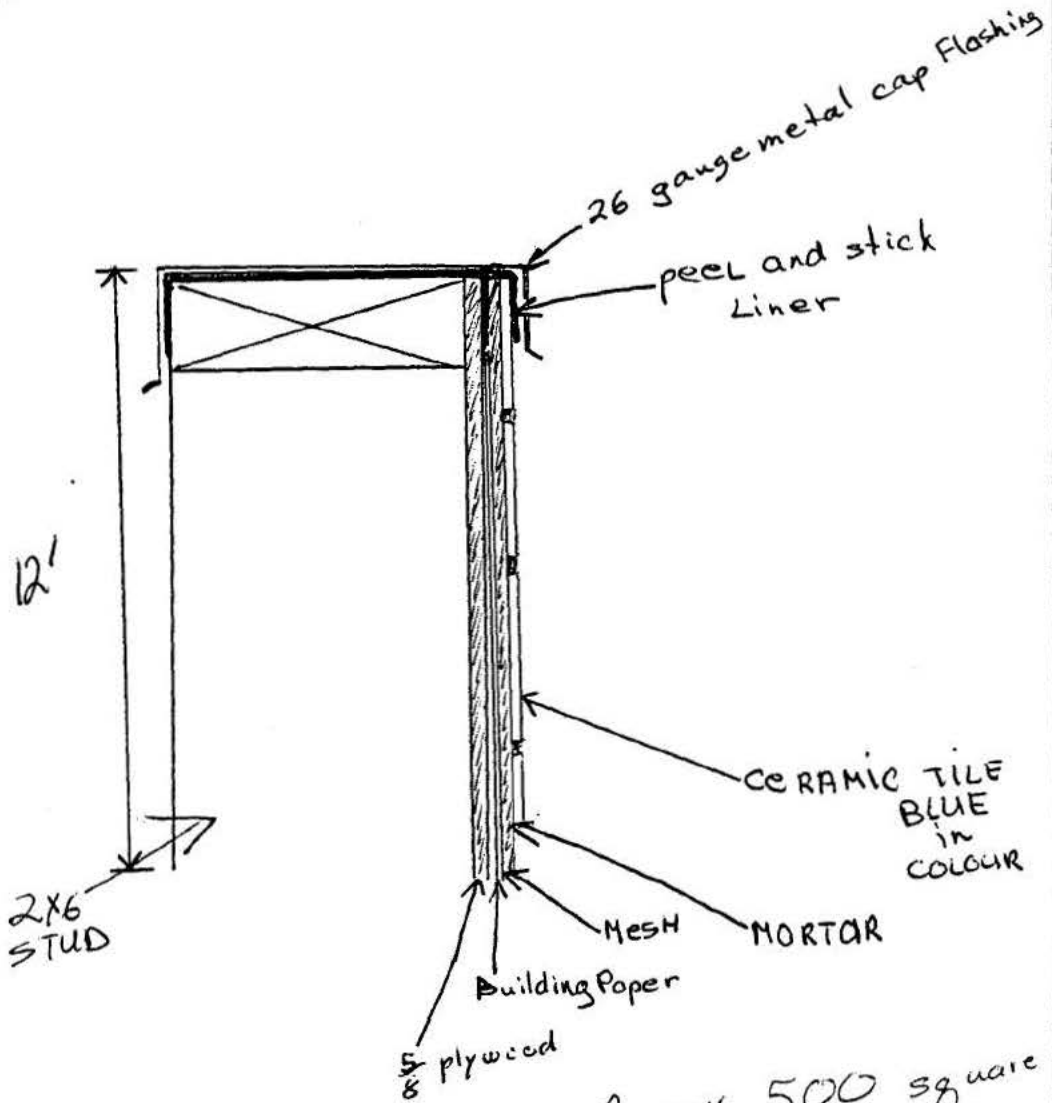
820

Habgood.

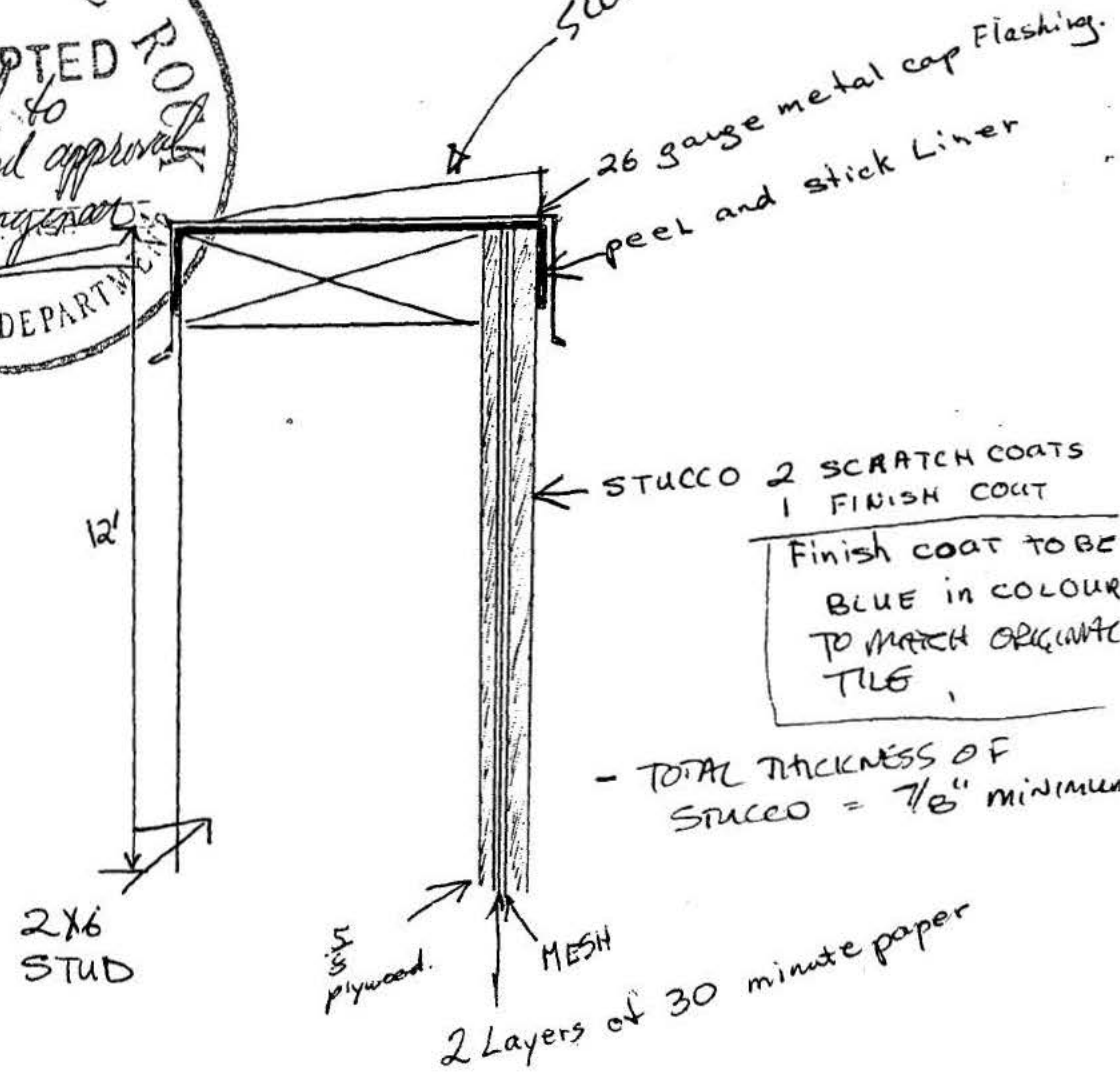
96053

Existing

Proposed



Aprox 500 square foot tile to stucco conversion per deck (2 decks)



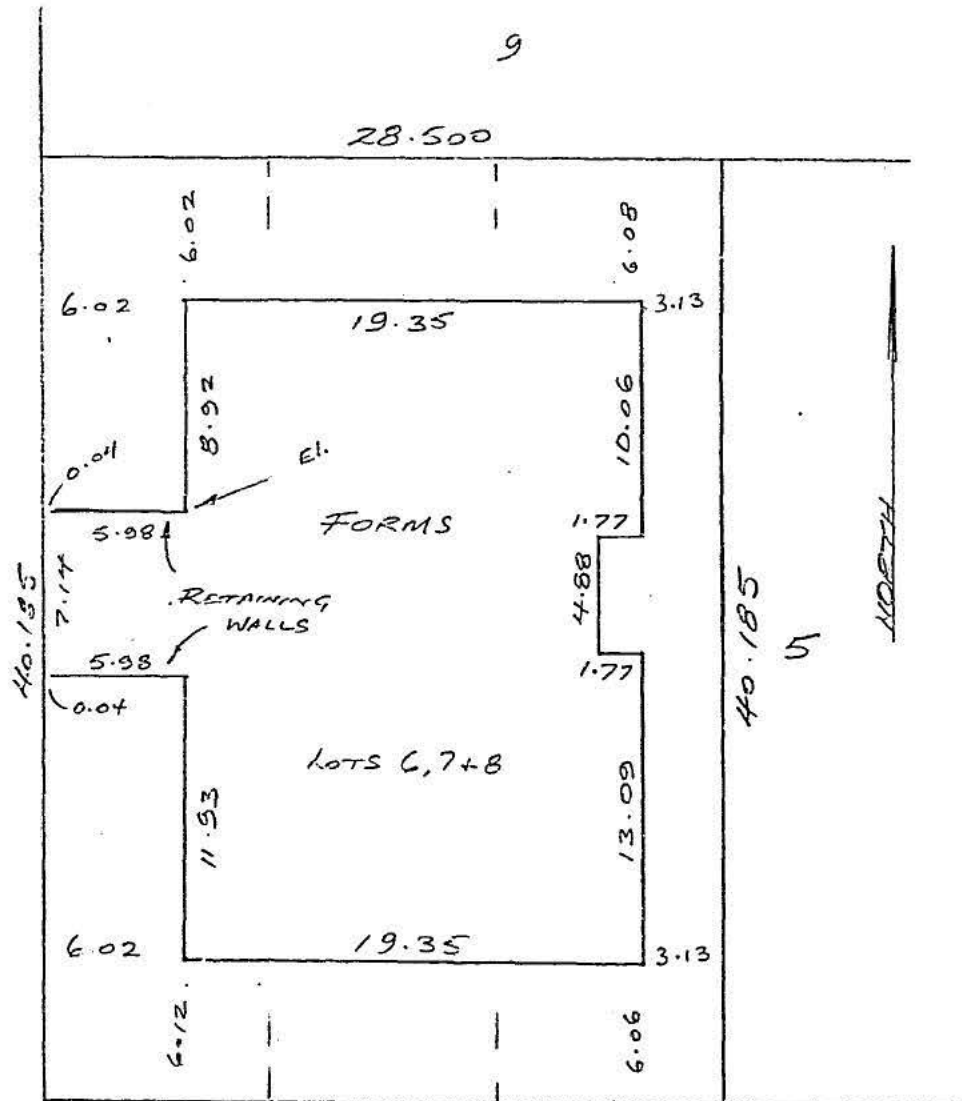


### Survey Certificate

for

LOTS 6, 7 + 8, BLOCK 2,  
SECTION 11, TPI PLAN 1334,  
N.W.D.

CIVIC  
15907 MARINE DRIVE  
WHITE ROCK



ELEVATION OF  
FOUR STRIP 4.00

28.500

LOT  
DIMENSIONS DERIVED  
FROM PLAN 30471

MARINE DRIVE

Christopher J James  
British Columbia Land Surveyor  
2822 Gordon Avenue  
Surrey BC V4A 3J4  
535 3261

certified correct

*[Signature]*  
BCLS  
this 26<sup>th</sup> day of SEPTEMBER  
1990

THE CORPORATION OF THE CITY OF WHITE ROCK

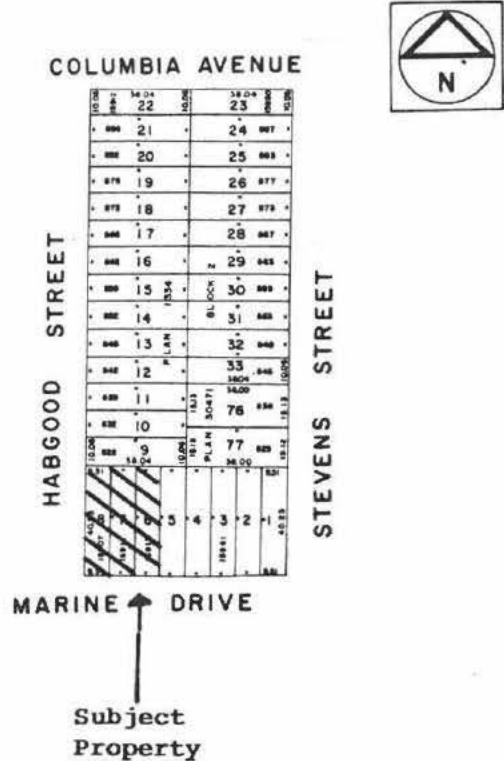
DEVELOPMENT PERMIT

NOTICE OF PUBLIC MEETING

NOTICE IS HEREBY GIVEN that City Council will hold a Public Meeting in the COUNCIL CHAMBERS, City Hall, 15322 Buena Vista Avenue, White Rock, B.C. on MONDAY, May 14, 1990 at 7:00 p.m. to consider approval of the following proposed Development Permit:

1. DEVELOPMENT PERMIT NO. 158

The purpose of Development Permit No. 158 is to permit the construction of an (11) unit strata apartment building at 15907/11/17 Marine Drive. The building will meet all requirements of the RM-2 Medium Density Apartment Residential zone.



Persons who deem their interest in property affected by the above mentioned proposed Development Permit may attend the Public Meeting when they will be afforded an opportunity to be heard on matters concerning the said Development Permit.

A copy of the proposed plans for Development Permit No. 158 may be inspected in the Office of the Director of Permits & Licences between the hours of 8:30 a.m. and 4:30 p.m. during the weeks of Monday, April 30th through Friday, May 4th, 1990 and from Monday, May 7th through Friday, May 11th, 1990 and on Monday, May 14th, 1990.

1990 April 27  
City Hall, White Rock, B.C.

D. A. Middler  
Deputy City Clerk

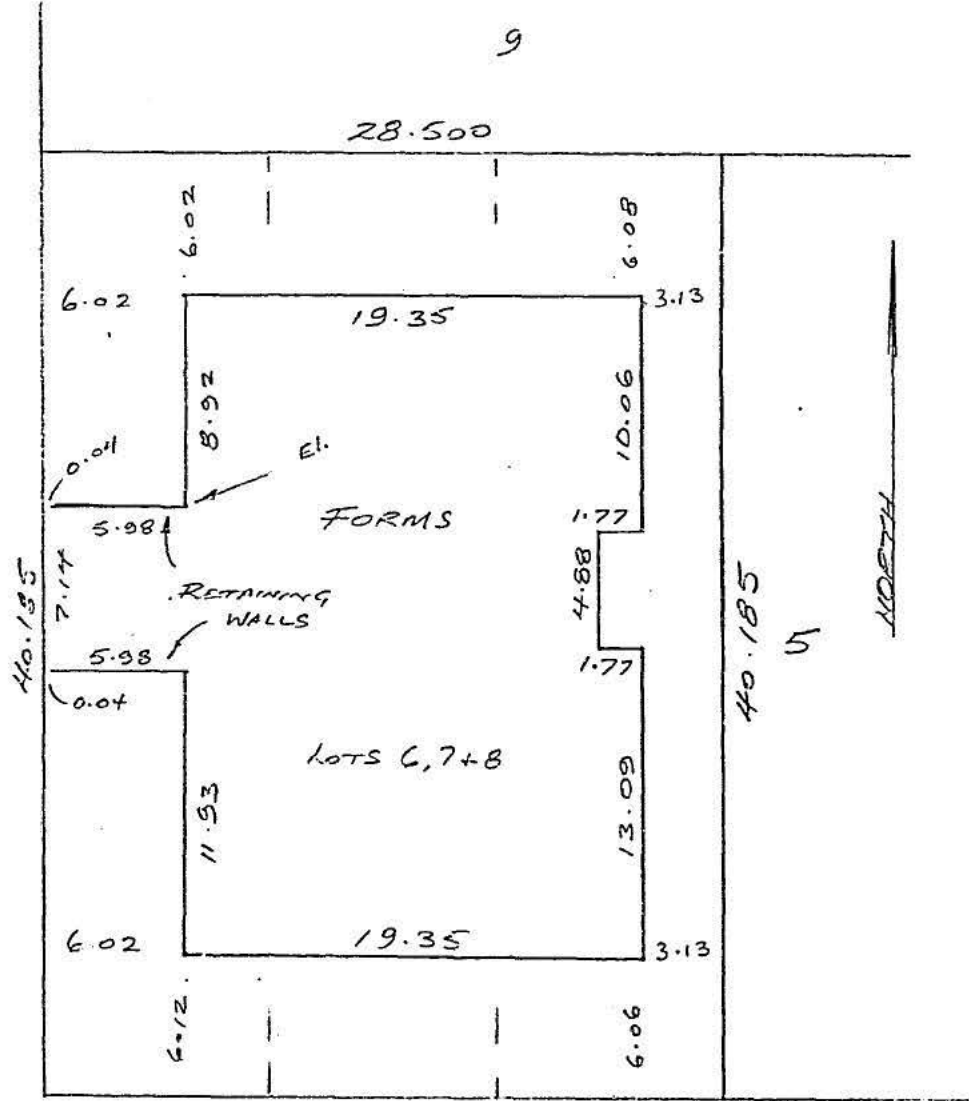


### Survey Certificate

for

LOTS 6, 7 + 8, BLOCK 2,  
SECTION 11, TPI PLAN 1334,  
N.W.D.

CIVIC  
15907 MARINE DRIVE  
WHITE ROCK



© c james b.c.l.s. 1990

ELEVATION OF  
FOUR STRIPS 4.00

LOT  
DIMENSIONS DERIVED  
FROM PLAN 30471

Christopher J James  
British Columbia Land Surveyor  
2822 Gordon Avenue  
Surrey BC V4A 3J4  
535 3261

certified correct

*[Signature]*  
BCLS  
this 26<sup>th</sup> day of SEPTEMBER  
1990

V18180695T

# BRITISH COLUMBIA BUILDING CODE 2012

## SCHEDULE B

Forming Part of Subsection 2.2.7, Division C of the  
British Columbia Building Code

Building Permit Number  
(for authority having jurisdiction's use)

### ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW

- Notes: (i) This letter must be submitted prior to the commencement of construction activities of the components identified below. A separate letter must be submitted by each *registered professional of record*.
- (ii) This letter is endorsed by: Architectural Institute of BC, Association of Professional Engineers and Geoscientists of BC, Building Officials' Association of BC, and Union of BC Municipalities.
- (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The *authority having jurisdiction*

City of White Rock

Name of Jurisdiction (Print)

Re: Villa Dardanellis Balcony Repairs - 3rd Floor Only

Name of Project (Print)

820 Habgood Street, White Rock, BC

Address of Project (Print)

The undersigned hereby gives assurance that the design of the  
(Initial those of the items listed below that apply to this *registered professional of record*. All the disciplines will not necessarily be employed on every project.)

- B.C. ARCHITECTURAL
- B.C. STRUCTURAL
- MECHANICAL
- PLUMBING
- FIRE SUPPRESSION SYSTEMS
- ELECTRICAL
- GEOTECHNICAL — temporary
- GEOTECHNICAL — permanent



October 12, 2018

Date

components of the plans and supporting documents prepared by this *registered professional of record* in support of the application for the *building* permit as outlined below substantially comply with the British Columbia Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction, as indicated on the "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" below.

CRP's Initials



# BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - *Continued*

\_\_\_\_\_  
Building Permit Number  
(for authority having jurisdiction's use)

820 Habgood Street, White Rock, BC

\_\_\_\_\_  
Project Address

Architectural and Structural

\_\_\_\_\_  
Discipline

The undersigned also undertakes to notify the *authority having jurisdiction* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during construction.

I certify that I am a *registered professional* as defined in the British Columbia Building Code.

Doru Cornescu, P.Eng.

\_\_\_\_\_  
Registered Professional of Record's Name (Print)

1003 Brunette Avenue

\_\_\_\_\_  
Address (Print)

Coquitlam, BC V3K 6Z5

604-553-4774

\_\_\_\_\_  
Phone No.



(Professional's Seal and Signature)

October 12, 2018

\_\_\_\_\_  
Date

(If the *Registered Professional of Record* is a member of a firm, complete the following.)

I am a member of the firm \_\_\_\_\_  
and I sign this letter on behalf of the firm.

McIntosh Perry Limited

\_\_\_\_\_  
(Print name of firm)

Note: The above letter must be signed by a *registered professional of record*, who is a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

\_\_\_\_\_  
CRP's Initials

# BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - *Continued*

Building Permit Number  
(for authority having jurisdiction's use)

820 Habgood Street, White Rock, BC

Project Address

Architectural and Structural

Discipline

## SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

D.C. ARCHITECTURAL

- 1.1 Fire resisting assemblies
- ~~1.2 Fire separations and their continuity~~
- ~~1.3 Closures, including tightness and operation~~
- ~~1.4 Egress systems, including access to exit within suites and floor areas~~
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- ~~1.7 Sound control~~
- ~~1.8 Landscaping, screening and site grading~~
- ~~1.9 Provisions for firefighting access~~
- ~~1.10 Access requirements for persons with disabilities~~
- ~~1.11 Elevating devices~~
- ~~1.12 Functional testing of architecturally related fire emergency systems and devices~~
- 1.13 Development Permit and conditions therein
- ~~1.14 Interior signage, including acceptable materials, dimensions and locations~~
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- ~~1.17 Dampproofing and/or waterproofing of walls and slabs below grade~~
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)
- 1.24 Building envelope, Part 10 – ASHRAE, NECB or Energy Step Code requirements
- 1.25 Building envelope, testing and/or confirmation of Part 10 requirements

D.C. STRUCTURAL

- 2.1 Structural capacity of structural components of the *building*, including anchorage and seismic restraint
- ~~2.2 Structural aspects of deep foundations~~
- 2.3 Review of all applicable shop drawings
- ~~2.4 Structural aspects of unbonded post-tensioned concrete design and construction~~

~~MECHANICAL~~

- ~~3.1 HVAC systems and devices, including high building requirements where applicable~~
- ~~3.2 Fire dampers at required fire separations~~
- ~~3.3 Continuity of fire separations at HVAC penetrations~~
- ~~3.4 Functional testing of mechanically related fire emergency systems and devices~~
- ~~3.5 Maintenance manuals for mechanical systems~~
- ~~3.6 Structural capacity of mechanical components, including anchorage and seismic restraint~~
- ~~3.7 Review of all applicable shop drawings~~
- ~~3.8 Mechanical systems, Part 10 – ASHRAE, NECB or Energy Step Code requirements~~
- ~~3.9 Mechanical systems, testing and/or confirmation of Part 10 requirements~~



October 12, 2018

Date

CRP's Initials



# BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - *Continued*

Building Permit Number  
(for authority having jurisdiction's use)

820 Habgood Street, White Rock, BC

Project Address

Architectural and Structural

Discipline

## PLUMBING

- 4.1 Roof *drainage systems*
- 4.2 Site and foundation *drainage systems*
- 4.3 *Plumbing systems* and devices
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing systems, Part 10 – ASHRAE, NECB or Energy Step Code requirements
- 4.10 Plumbing systems, testing and/or confirmation of Part 10 requirements

## FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

## ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical systems, Part 10 – ASHRAE, NECB or Energy Step Code requirements
- 6.10 Electrical systems, testing and/or confirmation of Part 10 requirements

## GEOTECHNICAL — Temporary

- 7.1 *Excavation*
- 7.2 *Shoring*
- 7.3 *Underpinning*
- 7.4 Temporary construction dewatering

## GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the *soil*
- 8.2 Geotechnical aspects of deep *foundations*
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of *soil*, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



October 12, 2018

Date

CRP's Initials



# Proof of Professional Liability Insurance

Planning and Development Services Department  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2136 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

## Form "B"

RE: Address: 820 Habgood Street, White Rock, BC

Building Permit Application No.: \_\_\_\_\_

The undersigned hereby gives assurance that:

- a) I have fulfilled my obligation to obtain a subsisting policy of professional liability or errors and omissions insurance as outlined in the City of White Rock **Building Bylaw**.
- b) I have enclosed a copy of my certificate of insurance indicating the particulars of such coverage.
- c) I am a registered professional as defined under Section 1.4 of the British Columbia Building Code.
- d) I will notify the Building Official immediately if this insurance coverage is reduced, expired or terminated at any time during construction.

Signed this 12 day of October.



Doru Cornescu, P.Eng.

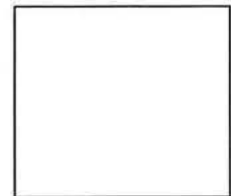
Print Name of Registered Professional

Signature of Registered Professional

Architectural & Structural  
Professional's Discipline

Professional's seal

or



Signed this 12 day of Oct. 2018.

Witness Signature





## Owners Acknowledgement of Responsibility and Undertakings

Planning and Development Services Department  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2136 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

### Form "A"

RE: Address: 820 HARGOOD ST.

Building Permit Application No.: \_\_\_\_\_

1. I am the owner of the land and premises located at \_\_\_\_\_ WHITE ROCK BC.
2. I understand and acknowledge that I am fully responsible for carrying out the work or having the work carried out, in accordance with the requirements of the **British Columbia Building Code**, the City of White Rock **Building Bylaw** and all other bylaws of the City of White Rock.
3. I will comply with, or cause those whom I employ to comply with the **British Columbia Building Code** and all bylaws of the City of White Rock and other statutes and regulations relating to the development, work, undertaking or permission in respect of which this application is made.
4. I understand and acknowledge that neither the issuance of a permit under the City of White Rock **Building Bylaw**, the review of plans and supporting documents, nor inspections by a building official shall, in any way, constitute a representation, warranty, or statement that the **British Columbia Building Code**, City of White Rock **Building Bylaw**, or any other bylaw of the City of White Rock has been complied with.
5. If the material submitted in support of the application for this Building Permit included certification provided by Registered Professionals in the form of Schedules B as part of the **British Columbia Building Code**, I understand and acknowledge that the City of White Rock and its building officials have relied on those letters of assurance as certification that the design and plans to which they relate comply with the **British Columbia Building Code** and other applicable enactments relating to safety.
6. In particular, I understand and acknowledge that the City of White Rock has relied on the letters of "Assurance of Professional Design and Commitment for Field Review" provided by:
  - Insert the name of the Registered Professionals where applicable below:

Architectural: M<sup>c</sup>INTOSH PERRY LIMITED.

Building Envelope: \_\_\_\_\_

Structural: M<sup>c</sup>INTOSH PERRY LIMITED.

Mechanical: \_\_\_\_\_

Plumbing: \_\_\_\_\_

Fire Suppression Systems: \_\_\_\_\_

Electrical: \_\_\_\_\_

Geotechnical: \_\_\_\_\_

In reviewing the plans and supporting documentation submitted with this application for a Building Permit.

- 7. I am authorized to make this acknowledgement of responsibility and give these undertakings to the City of White Rock.
- 8. I understand that it would be prudent for me to seek independent legal advice with respect to the responsibilities I am assuming upon the granting of a Building Permit by the City of White Rock pursuant to this application and in respect of the execution of this acknowledgement.

Signed this 18 day of Oct. 2018.

**Redacted S. 22**

Print Name Redacted S. 22

Signature of \_\_\_\_\_  
(or signing officer if owner is a corporation)

Signed this 18 day of Oct/2018.

William A. Lee  
Witness

Occupation \_\_\_\_\_



**Villa Dardanelles MLS 56**  
**Strata Council**

Subject: Authorization Letter to repair the deck unite 303

Oct. 18, 2018

To whom it may concern,

Villa Dardanelles Strata Council, hereby authorize DEAD LEVEL CONSTRUCTION LTD, to proceed the repair of deck unite 303.

This authorization shall be valid until December 31, 2018

Respectfully yours

**Redacted S. 22**

Villa Dardanelles Strata Council President



# Authorization Form

Planning and Development Services

P: 604-541-2136 | F: 604-541-2153

[www.whiterockcity.ca](http://www.whiterockcity.ca)

15322 Buena Vista, White Rock B.C. V4B 1Y6

Application Type(s)	
Site Address(es)	820 HARGOOD ST White Rock
PID(s)	
Legal Description(s)	

This document shall serve to notify the City of White Rock ("City") that I am / we are the legal owner(s) of the property described above and do authorize the person indicated below ("Agent") to act on my / our behalf on all matters pertaining to the stated application type(s) for the above referenced property/ies. In addition, I / we have read and understood the application requirements for the above application(s) and authorize the Agent to act on our behalf.

All registered property owners shall sign this Authorization Form. Company-owned properties must be represented by Agents. Use additional sheets if necessary. Changes in ownership will require the submission of new Authorization Forms.

Name of Property Owner(s) If company-owned, please also provide a contact name.	MSC 56 Villa Derrelles -
Mailing Address	202-820 Hargood St White Rock -
Main & Cell Phone Number	<b>Redacted S. 22</b>
E-Mail Address	

Name of Agent	
Company Name (if applicable)	DEADLEVEL CONSTRUCTION.
Mailing Address	8661 201 STREET (2ND FLOOR) LANGLEY, B.C.
Main & Cell Phone Number	(OFFICE 604-536-8124)
E-Mail Address	INFO@DEADLEVEL.CA

I hereby consent ...	Input Signature Below:	Date (YY/MM/DD)
Property Owner	<b>Redacted S. 22</b>	Oct. 18. 2018
Property Owner		
Authorized Agent	<i>Duane D Lee</i>	OCT/19/2018



## Application for Building Permit

Planning and Development Services  
 15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
 Phone: 604 541 2135 Fax: 604 541 2153  
 Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

Date: OCT 19, 2018. Folder # BPO20346  
 Access Code # \_\_\_\_\_

Landslide Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Development Permit Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Board of Variance:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Floodplain:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Pumping Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Demolition Permit:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following address. Copy of Plans for the Proposed Building or Alteration to Accompany this Application.

### PROPERTY INFORMATION

Civic Address: 820 HABGOOD ST. White Rock, BC V4B AW3  
 Zoning: RM-2 Usage of Property: SFD  Multi  LUC: Yes  No   
 Legal Description: LT 1/SEC 11/NWD/PL LMS56/TWP 1 Roll number: 003940.001  
 Description of Work: ENVELOPE REPAIRS. Project Value: \$ 45,000  
 (majority in common area)

### OWNER INFORMATION

Name on Title: **Redacted S. 22** stratg Council President  
 Address of Owner: 202-820 Habgood St. White Rock  
 Owner's Phone: **Redacted S. 22** Owner's Email: **Redacted S. 22**

### BUILDER INFORMATION

Name and address of builder or agent: DEADLEVEL CONSTRUCTION  
 Phone: 604-837-1534 Email: INFO@DEADLEVEL.CA  
 Business Licence #: 21797 1ST FLOOR -> RYAN@DEADLEVEL.CA.

I agree to conform to all requirements of The City of White Rock Bylaws

Print Applicant Name: DVANE A. JEE.  
 Signature of Applicant: [Signature]

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

City of White Rock  
 15322 Buena Vista Ave  
 White Rock BC V4R 1Y6

Receipt: 11068/1                      Oct 19, 2018  
 Dated: Oct 19, 2018                      09:00:26 AM  
 Station: CASH 4/JASON

CDPMT    BPO20346                      1,028.00  
 Total    1,028.00  
 MASTERCARD                                      -1,028.00

Thank You for Your Payment

Plans Examiner Information

Maximum Building Height: \_\_\_\_\_

Angle of Containment: \_\_\_\_\_

Comments: \_\_\_\_\_

Building Permit Fees	Building Permit	948.00
	Secondary Suite	
	Microfiche	16 x 80.00
	Total	1028.00



**CITY OF WHITE ROCK - FEE SLIP**

15322 Buena Vista Ave  
White Rock, BC V4B 1Y6



**Folder: BP020346**  
BUILDING PERMITS  
RESIDENTIAL PERMIT (MULTI) - MFD-ALT

Summary	Outstanding
Fees	1,028.00
<b>TOTAL</b>	<b>\$1,028.00</b>

Receipt: 11068/1      Oct 19, 2018  
 Dated: Oct 19, 2018      09:00:06 AM  
 Station: CASH 4/3ASDN  
 CIPMT MP020346      1,028.00  
 Total      1,028.00  
 MASTERCARD      -1,028.00

Thank You for Your Payment

City of White Rock  
15322 Buena Vista Ave  
White Rock BC V4B 1Y6

15322 BUENA VISTA LOWER L  
WHITE ROCK, BC

Term ID: M2652832

**Purchase**

XXXXXXXXXXXX5257

MASTERCARD

Entry Method: C

**Total: \$ 1,028.00**

2018/10/19      08:58:34

Seq #: 001-622001-0

Appr Code: 050492

Resp Code: 01/027

MASTERCARD  
A0000000041010  
E2 BC E2 3E 1C 6B 6E 67  
00 00 00 00 00  
E8 00  
BE 3D A1 08 09 2D B8 20

**APPROVED**  
**Thank You**  
**Verified By Pin**

Merchant Copy  
- IMPORTANT -  
retain this copy for your records

## James Nyhus

---

**From:** James Nyhus  
**Sent:** October 30, 2018 1:28 PM  
**To:** 'Ryan Mills'  
**Subject:** RE: 820 Habgood St.

Hi Ryan,

So it sounds like an existing EPDM type membrane that will have Torch On spliced to it; not sure how that will work out. Can Cornescu comment further on that?

Is the Guard going to be the responsibility of another Engineer or is Cornescu going to provide a detail of the new Guard?

James

---

**From:** Ryan Mills [mailto:ryan@deadlevel.ca]  
**Sent:** October 30, 2018 1:24 PM  
**To:** James Nyhus <JNyhus@whiterockcity.ca>  
**Subject:** Re: 820 Habgood St.

Hi James,

The existing waterproofing is a 1/4" rubber with a poured over waterproofing liquid.

The new membrane will be a torch on material

If need to tie into existing we will overlap and have complete seal.

A new parapet wall and guard will be installed

Thanks  
Ryan

On Oct 30, 2018, at 1:13 PM, James Nyhus <[JNyhus@whiterockcity.ca](mailto:JNyhus@whiterockcity.ca)> wrote:

Hi Ryan,

A couple of questions;

- 1 What is the existing waterproof membrane?
- 2 Is the new membrane the same material?
- 3 If not, how is it being connected?
- 4 The detail submitted by Cornescu omitted the Guard; is it new or re-installed?



Let me know when you have a chance.

James

**JAMES NYHUS**

**Manager of Building and Bylaw Enforcement  
Planning and Development, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2145 | [www.whiterockcity.ca](http://www.whiterockcity.ca)

<image001.jpg>

The information transmitted, including attachments, is intended only for the individual(s) or entity to which it is addressed and may contain information that is confidential and/or privileged or exempt from disclosure under applicable law. Any review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by individual(s) or entities other than the intended recipient is prohibited. Please notify the City of White Rock and destroy any copies of this information. Thank you.

## James Nyhus

---

**From:** James Nyhus  
**Sent:** October 30, 2018 1:13 PM  
**To:** 'ryan@deadlevel.ca'  
**Subject:** 820 Habgood St.

Hi Ryan,

A couple of questions;

- 1 What is the existing waterproof membrane?
- 2 Is the new membrane the same material?
- 3 If not, how is it being connected?
- 4 The detail submitted by Cornescu omitted the Guard; is it new or re-installed?

Let me know when you have a chance.

James

**JAMES NYHUS**  
**Manager of Building and Bylaw Enforcement**  
**Planning and Development, City of White Rock**  
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6  
Tel: 604.541.2145 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



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**THE CORPORATION OF THE CITY OF WHITE ROCK**  
**BUILDING PERMIT**



DATE OF ISSUANCE:

**NOV 16 2018**

BUILDING PERMIT No: BP020346

ROLL No: 903940.000

PROJECT ADDRESS: 820 HABGOOD ST  
 ZONE:

DESCRIPTION OF PROJECT:

OWNER: OWNERS OF STRATA PLAN LMS56 Phone: 604 385 2242 ext 6  
 ADDRESS: C/O PENINSULA STRATA MGMT 316-1959 152 ST SURREY, BC V4A 9E3

BUILDER: DEAD LEVEL CONSTRUCTION Phone: 604 837 1534  
 ADDRESS: PO BOX 61696 - 4030 200 ST LANGLEY BC V3A 8C8

*[Handwritten Signature]*

*[Handwritten Signature]*

Owner or Authorized Agent

Building Official

**B.C.B.C. 1.1.2.4 Responsibility of Owner**

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

<b>PERMIT FEES:</b>	<b>Project Value:</b>	45,000.00
BP SCAN & COPY	16.00	80.00
BP APPL FEE	45,000.00	948.00
	<b>Total:</b>	<b>\$1,028.00</b>

**CONDITIONS:**

- ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE.
- ARCHITECTURAL SCHEDULE B ON FILE FROM D. CORNESCU
- FIELD REVIEWS ARE REQUIRED
- A HAZARDOUS MATERIALS REPORT AND AN ASBESTOS ABATEMENT REPORT MUST BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO ANY INSPECTIONS BEING CONDUCTED.
- INSPECTION IS REQUIRED PRIOR TO COVERING ANY WORK
- NO INSPECTION OF THE ENVELOPE REPAIR WILL BE CONDUCTED BY CITY STAFF, RP TO SUBMIT FIELD REVIEWS.
- GUARDS TO MATCH THE EXISTING ONES.
- STRUCTURAL SCHEDULE B ON FILE FROM D. CORNESCU.
- STRUCTURAL SCHEDULE B ON FILE FROM P. Y. H. YEE FOR GUARDS.

OCCUPANY / FINAL GRANTED: .....

Date: .....

The City of White Rock, in issuing this Building Permit, has relied upon (a) Registered Professional(s) for certification to the B. C. Building Regulations for the plans or aspects of the plans.

Neither the issuance of a permit under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the City shall in any way relieve the owner or his or her representatives from full and sole responsibility to perform the work in strict accordance with the Building Code, this Bylaw, and any other applicable enactments respecting safety.

It shall be the full and sole responsibility of the owner (and where the owner is acting through a representative, the representative) to carry out the work in respect of which the permit was issued in compliance with the Building Code, this Bylaw and any other applicable enactments respecting safety.

Neither the issuance of a permit under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the City constitute in any way a representation, warranty, assurance or statement that the Building Code, this Bylaw or any other applicable enactments respecting safety have been complied with.





# AREA SPECIFIC ASBESTOS SURVEY



Prepared by:

**OMNI HAZMAT  
CONSULTING**

Michael Dandurand

Cert: CABIR-18-052

6322 Broadway, Burnaby

V5B 2Y2

604-868-8378

Prepared for:

**DEAD LEVEL  
CONSTRUCTION**

Site: 103 & 203 - 820 Habgood St.

City: White Rock, BC

Date: November 30, 2018

- 1 - Site Description
- 2 - Scope of Work
- 3 - Conclusion

- A - Standard Limitation
- B - Site Photos
- C - Floor Plan
- D - Laboratory Reports

## INTRODUCTION

OMNI Hazmat survey under current applicable Regulations of The Worker's Compensation Board of British Columbia and Occupational Health and Safety Regulation: 20.112 regarding ACM hazardous building material assessments by a qualified person.

Dead Level Construction retained OMNI Hazmat Consulting Inc. to perform an inspection of ceiling materials and stucco at 103 & 203 - 820 Habgood St., White Rock to extract samples and to provide lab analysis data to determine if asbestos is present in building materials in need of repair.

OMNI Hazmat staff Alicia Rhyno carried out the survey on November 28, 2018. The findings of this survey are applicable only to the areas and materials investigated. Further testing is required for work involving other areas of the building.



# SITE DESCRIPTION

## SITE SUMMARY

Estimated year of construction:	1991
Estimated square footage of repair:	200 ft <sup>2</sup>
Number of floors involved in repair:	2
Asbestos found during survey:	No
Exterior finish:	Stucco
Roofing materials:	Not in scope
Window type:	Not in scope
Insulation above ceiling:	Not in scope
Insulation behind walls:	Not in scope
Interior condition:	Moderate, Water Damage
Exterior condition:	Good
Occupied:	Yes

## OBSERVATIONS

820 Habgood St., White Rock is a multi-level residential building built in 1991. Water damage has caused damage to ceiling materials in units 103 and 203. Samples of drywall joint compound, ceiling textures and stucco were collected from the affected areas and was later confirmed by laboratory analysis to be free of asbestos fibres. Further testing is required for future work involving other areas and materials not investigated.

## MATERIAL SUMMARY

### LIVING / DINING ROOMS

Flooring:

Wall:

Ceiling:

### MATERIAL

Ceramic tile, Carpet

Drywall

Texture, Drywall

### ASBESTOS CONTENT

Not investigated

Tested negative


Tested negative

# SITE DESCRIPTION

## SURVEYED AREA

The building materials displayed below will be impacted by the current scope of restoration plans. The location, condition, and asbestos concentration of the materials are also featured. The total quantity of items have not been calculated throughout the entire building only the estimated amount of materials that require removal in the affected areas are shown.


## NON-ASBESTOS MATERIALS

DRYWALL	LOCATION	CONDITION	QUANTITY FT <sup>2</sup>	CONCENTRATION
	#203 living room	Moderate- Water damage	150	Tested negative
	#103 living room	Moderate- Water damage	50	

TOTAL: 200 ft<sup>2</sup>

CEILING TEXTURE	LOCATION	CONDITION	QUANTITY FT <sup>2</sup>	CONCENTRATION
	#103 living	Moderate- Water damage	100	Tested negative

TOTAL: 100 ft<sup>2</sup>

STUCCO	LOCATION	CONDITION	QUANTITY	CONCENTRATION
	Exterior	Good	-	Tested negative



# SCOPE OF WORK

## SCOPE OF INSPECTION

The purpose of this inspection is to determine if asbestos is present within materials that will be handled or otherwise disturbed during restoration activities. It must be emphasized that this survey is used exclusively for the property titled and only the areas tested. Inaccessible areas such as wall cavities, below floors or areas that otherwise require dismantling part of the building, may not have been investigated. If new materials are discovered that were not sampled or otherwise referenced in this report, OMNI Hazmat must be contacted to sample and provide consultation to ensure appropriate measures are taken to handle and dispose of the material safely.

## METHODOLOGY

Samples of materials suspected to contain asbestos were collected from accessible areas of the building for laboratory analysis. Due to home occupancy sampling procedures were non-destructive in nature to avoid consequential property damage and potential exposure to occupants. Sample methods were performed in accordance with AHERA protocol (Asbestos Hazardous Emergency Response Act) and current WorkSafe BC regulations. A total of 7 bulk samples were collected from the restoration areas during the survey and submitted for analysis utilizing Polarized Light and Binocular Stereo Microscopy at an AIHA Proficient laboratory in accordance with NIOSH 9002 methods.

## PROJECT MANAGEMENT

Items requiring repair were not found to contain asbestos within the restoration area of the building during our inspection. In the event that materials are uncovered that were not tested or otherwise referenced in this report OMNI Hazmat is to be contacted to provide testing and consultation.

If hazardous or unsafe materials are discovered it is important to note that only properly trained and certified personnel are authorized to handle their removal. A qualified company must be retained and are required to maintain public safety and implement an exposure control plan, submit site specific work procedures that mitigate risk and remove hazardous materials in a manner consistent with WorkSafe BC and Occupational Health & Safety Regulations. Hazardous and banned materials are to be handled and disposed of in accordance with the Special Waste and Regional municipality regulations.

Hazardous and banned materials include but are not limited to asbestos, drywall (banned from disposal), Polychlorinated Biphenyls (PCBs), abandoned chemicals (gasoline, pesticides, herbicides, flammable and combustible substances), all refrigerant from cooling equipment, lead products, smoke detectors, and mercury containing switches.

# CONCLUSION

## CLOSING

The location, description and analytical results of the collected bulk samples are summarized in the attached lab reports and displayed on the included floor plan. Based on the analytical results of the 7 collected bulk samples 0 tested positive for Asbestos.

Restoration work that involves the disruption of drywall, ceiling texture and stucco may commence in the area(s) tested. In the event future work requires the removal, augmentation or disruption of materials suspected to contain asbestos they must first be tested before such work may be performed.

This document does not offer warranty against potentially hazardous materials and is specific only to the areas tested. Further consultation is required in the event of uncertainty regarding the findings in this report.



Prepared by:  
Michael Dandurand  
Cert: CABIR-18-052



Reviewed by:  
Alicia Rhyno  
Cert: CABI-18-104



# APPENDIX A

## STANDARD LIMITATIONS

This report represents only accessible areas of the property and is specific to only the areas tested. The findings of this report are based solely on data collected on site during this survey and on the condition of the site at the time of inspection and are only applicable to the current scope of work. Further testing is compulsory in the event materials are uncovered that were not tested or referenced in this report and if the scope of work increases unless all materials are handled and treated as hazardous waste.

The samples collected identified the potential asbestos-containing materials in only accessible locations and without causing severe damage to the building. If new information is developed in future work that effects the conclusion of this report, OMNI Hazmat Consulting Inc. should be contracted to re-evaluate and provide amendments as required.

Liability of the site is not transferred to OMNI Hazmat Consulting Inc. as a result of our services. OMNI Hazmat Consulting Inc. does not make recommendations regarding the purchase, sale or investment in the property tested. Any hazardous materials or waste present within the home or building is the exclusive responsibility of the property owner to whom is ultimately liable for the materials present on site.

OMNI Hazmat Consulting Inc. does not assume responsibility for any decisions made by the Abatement Contractor, Trades or other Parties. ALL hazardous materials identified in this report must be removed per current OSHR standards. If any further potentially harmful materials are discovered during the abatement, renovation or demolition, they too must be handled appropriately. No survey can eliminate uncertainty regarding the potential for hazardous materials on site.

## APPENDIX B



Site Photo



#203



#203 Living Room



#203 Kitchen



#203 Dining Area



#203 Damaged Area



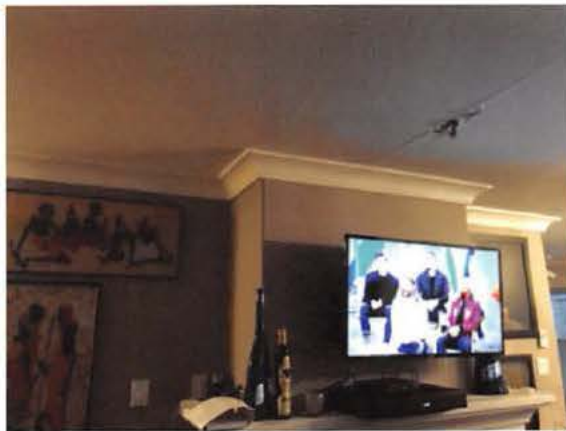
## APPENDIX B



#103



#103 Living Room



#103 Damaged Area



#103 Kitchen

# APPENDIX C

## FLOOR PLAN





**Sample Map**  
103 - 820 Habgood St, White Rock  
Living Room  
Floor plan not to scale

- Neg Floor Sample
- Negative Sample
- Pos Floor Sample
- Positive Sample
- Survey Boundary

**Redacted S. 15(1)**





**Sample Map**  
203 - 820 Habgood St, White Rock  
Living Room  
Floor plan not to scale

- Neg Floor Sample
- Negative Sample
- Pos Floor Sample
- Positive Sample
- Survey Boundary

**Redacted S. 15(1)**





## APPENDIX D

### LABORATORY REPORTS

# ***Coastal Laboratories Ltd.***

**10100 Railway Avenue, Richmond BC**

**Phone: (778) 999-5701**

November 29, 2018

**Omni Hazmat Consulting**

RE: Bulk Asbestos Identification Results for:

**#103 & 203 - 820 Habgood St., White Rock**

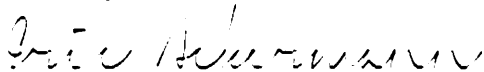
We have tested the 7 sample(s) submitted for analysis on November 27, 2018.

The sample(s) were analyzed using stereo binocular microscopy and polarized light microscopy by following the #9002 method as outlined by the National Institute for Occupational Safety and Health (NIOSH). All samples will be kept for a minimum of three months after analysis, unless otherwise instructed. Coastal Laboratories Ltd. actively participates in the bulk asbestos proficiency analytical testing quality control program via the American Industrial Hygiene Association (AIHA).

The results provided are for the submitted sample(s) only. Any extrapolation by the client of any of the results is the sole responsibility of the client. The proper guidelines for removal must be followed if asbestos is found in any of the samples provided, in accordance with the requirements of part 6.0 & 20.112 of the WorksafeBC Occupational Health and Safety Regulation.

Please find the attached results provided by the analyst. If you have any further questions, please contact us by phone or email.

Sincerely,



**Eric Ackermann**

**Coastal Laboratories Ltd.**



# Coastal Laboratories Ltd.

Phone: (778)999-5701

## Bulk Sample Analysis

OHC215 - #103 & 203 - 820 Habgood St., White Rock

Client:	Omni Hazmat Consulting Ltd.
Date:	November 29, 2018
Address:	#103 & 203 - 820 Habgood St., White Rock
Analyst:	Eric Ackermann
Samples:	7

Sample Number	Sample Location	Material Type	Layer Number	Layer Description	Other Materials	Asbestos Amount
OHC215-1	Upper parapet wall	Stucco	1	Grey cementitious mix	Non-fibrous – 99% Cellulose – 1%	None
OHC215-2	Front #203	Stucco	1	Grey cementitious mix	Non-fibrous – 99% Cellulose – 1%	None
OHC215-3	#203 living room	Drywall filler compound	1	Brown paint	Non-fibrous – 100%	None
			2	White chalky mix	Non-fibrous – 99% Cellulose – 1%	None
OHC215-4	#203 living room near kitchen	Drywall filler compound	1	Brown paint	Non-fibrous – 100%	None
			2	White chalky mix	Non-fibrous – 99% Cellulose – 1%	None
OHC215-5	#203 kitchen	Drywall filler compound	1	Grey paint	Non-fibrous – 100%	None
			2	White chalky mix	Non-fibrous – 99% Cellulose – 1%	None
OHC215-6	#103 living room	Textured ceiling	1	White paint	Non-fibrous – 100%	None
			2	White chalky mix	Non-fibrous – 96% Cellulose – 4%	None
OHC215-7	#103 living room	Textured ceiling	1	White paint	Non-fibrous – 100%	None
			2	White chalky mix	Non-fibrous – 96% Cellulose – 4%	None

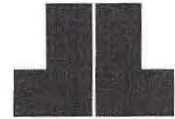
\*Samples were analyzed according to the process outlined by the NIOSH 9002 Polarized Light Microscopy methods.

**RECEIVED**

DEC 03 2018

CITY OF WHITE ROCK  
DEVELOPMENT SERVICES





December 24, 2018

LLA File No. 2018-230  
**Structural Report No. 2**

**Dead Level Construction**

c/o Ryan Mills

[ryan@deadlevel.ca](mailto:ryan@deadlevel.ca)

Attention: Ryan Mills

**Re: Villa Dardanells – 820 Habgood Street White Rock – Deck Repairs**  
Consulting Structural Engineering Services – Structural Field Report No. 2

Further to your request a site visit was conducted on December 18, 2018 to review areas of the exposed deck structure of Unit #303 (above Units #203 and #204) for structural decay and damage caused by water ingress.

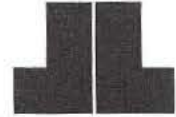
Based on the above the following items were noted:

**A. Observations: Deck #303 (above #203 & #204)**

1. Extensive decay and damage was observed to the ends of numerous 2 x 10 joists requiring reinforcing.  
**N.B.** All rot to be cut out, Borocal treat and reinforced c/w 2 x 10 D. Fir No.1/2 filer block and 3/4" plywood gusset fastened to each face glued and nailed c/w 4 rows 3" nails @ 8" o.c. Alternatively, reinforce c/w new 2 x 10 D. Fir KD No. 1/2 'sistered' to existing.
2. **Reviewed & Approved** new 3 ply 1 3/4" x 9 1/4 LVL Microllam 2.0E fastened c/w 3 rows 3 1/2 x 1/4" Simpson SDS screws at 12" o.c spacing installed to replace existing damaged 3 – 2 x 10 beams
3. Remove and replace existing 4 ply Microllam floor beam new 3 ply 1 3/4" x 9 1/4 LVL Microllam 2.0E fastened c/w 3 rows 3 1/2 x 1/4" Simpson SDS screws at 12" o.c spacing. Provide temporary shoring of existing roof and remove wall that is partially above the beam to accommodate installation of new beam.
4. Numerous areas of deck pony wall and end of deck frame components are damaged. (2 x 4 studs, plates, box joist, deck and wall sheathing) requiring replacement.

Page 1 of 2





**Dead Level Construction**  
Villa Dardanells – 820 Habgood St. White Rock

Structural Field Report No. 2  
December 24, 2018

**Observations: Deck #303 (above #203 & #204)** cont'd...

- Existing 2 x 10 deck assembly over living space lacks 2 x 4 strapping for ventilation. See building envelope details by MP.
- Existing 2 x 10 deck assembly lacks adequate and proper slope for drainage. See building envelope details by MP.

**General:**

- Provide engineered shoring of floor and wall to facilitate beam repairs.
- Provide existing structural drawings for review.
- All decay damaged components to be removed from structure.
- Notify for inspection prior to concealment for structural re-certification of structural repairs.
- All construction to comply with BCBC 2018 building code, City of White Rock Building Bylaws and WCB rules and regulations.
- All work to be completed in conjunction with (MP) McIntosh Perry) Building Envelope Consultant's details and recommendations.

**Luiz Leon & Associates Ltd.**

Site Review & Report By

C.R. F. McLEAN  
# 43668  
BRITISH COLUMBIA  
ENGINEER

Cameron McLean P. Eng.  
CM:pml

Reviewed By

L.G. LEON  
19668  
BRITISH COLUMBIA  
ENGINEER

Luiz Leon P. Eng.







January 2, 2019

LLA File No. 2018-230  
**Structural Report No. 3**

**Dead Level Construction**

c/o Ryan Mills  
[ryan@deadlevel.ca](mailto:ryan@deadlevel.ca)

Attention: Ryan Mills

**Re: Villa Dardanells – 820 Habgood Street White Rock – Deck Repairs**  
Consulting Structural Engineering Services - Structural Report No. 3


Further to your request a site meeting to discuss the existing scope of work and a new expanded scope of work was attended on January 2, 2019. The site meeting was required for all consultants to meet with the strata councils' financier to review the existing building and the requirements for the existing scope of work to include the entire building rather than a partial remediation.

**General:**


1. Provide engineered shoring of floor and wall to facilitate beam repairs.
2. Provide existing structural drawings for review.
3. All decay damaged components to be removed from structure.
4. Notify for inspection prior to concealment for structural re-certification of structural repairs.
5. All construction to comply with BCBC 2018 building code, City of White Rock Building Bylaws and WCB rules and regulations.
4. All work to be completed in conjunction with (MP) McIntosh Perry) Building Envelope Consultant's details and recommendations.

**Luiz Leon & Associates Ltd.**

Site Review & Report By:

  
Cameron McLean P. Eng.  
CM:pml

Reviewed By:

  
Luiz Leon P. Eng.



## Ken Overton

---

**From:** Sherry Searle  
**Sent:** Tuesday, January 15, 2019 3:29 PM  
**To:** 'Ryan Mills'  
**Cc:** James Nyhus  
**Subject:** 820 Habgood- Envelope and Rot repair- requirements for amending BP020346

Hi Ryan,

Thanks for submitting two sets of original sealed revised envelope drawings this afternoon and structural report (email). As discussed earlier, sealed structural drawings may be required depending on the extent of the repair. The sealed envelope drawings provided today do not include the details noted in the structural report from Luis Leon and Associates. We have a Schedule B for this project from Doro Cornescu that includes the structural design and review, but we will need a new Schedule B if another engineer seals the drawings.

Please provide the following items to amend the current building in permit application BP020346:

1. Please provide two sets of sealed structural drawings, Schedule B, Form B and certificate of liability insurance from the engineer who sealed the drawings.
2. Revised scope of work

Regards,

**SHERRY SEARLE**

**Plans Examiner 2, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2295 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



---

**From:** Ryan Mills [mailto:ryan@deadlevel.ca]  
**Sent:** Tuesday, January 15, 2019 12:26 PM  
**To:** Sherry Searle <SSearle@whiterockcity.ca>  
**Subject:** 820 habgood structural report

Hi Sherry  
Here is a report from structural engineer.

Regards,  
Ryan Mills

Dead Level Construction Group Ltd.

Construction, Custom Homes & Design, Electrical, HVAC, Decks & Rails, Disposal.

WE DO IT ALL!!!



Office - 604-536-8124

Email - [info@deadlevel.ca](mailto:info@deadlevel.ca)

Website - [www.deadlevel.ca](http://www.deadlevel.ca)

## Ken Overton

---

**From:** Sherry Searle  
**Sent:** Tuesday, February 05, 2019 2:40 PM  
**To:** 'Ryan Mills'  
**Cc:** James Nyhus; 'villadardanellesstratacouncil@gmail.com'  
**Subject:** RE: 820 Habgood- Envelope and Rot repair- requirements for amending BP020346

Hi Ryan,

In response to your question, we require sealed structural drawings and letters of assurance.

I have copied **Redacted S. 22** from the strata council as well on this as well.

Regards,

**SHERRY SEARLE**  
Plans Examiner 2, City of White Rock  
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6  
Tel: 604.541.2295 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



---

**From:** Sherry Searle  
**Sent:** Tuesday, January 15, 2019 3:29 PM  
**To:** 'Ryan Mills' <ryan@deadlevel.ca>  
**Cc:** James Nyhus <JNyhus@whiterockcity.ca>  
**Subject:** 820 Habgood- Envelope and Rot repair- requirements for amending BP020346

Hi Ryan,

Thanks for submitting two sets of original sealed revised envelope drawings this afternoon and structural report (email). As discussed earlier, sealed structural drawings may be required depending on the extent of the repair. The sealed envelope drawings provided today do not include the details noted in the structural report from Luis Leon and Associates. We have a Schedule B for this project from Doro Cornescu that includes the structural design and review, but we will need a new Schedule B if another engineer seals the drawings.

Please provide the following items to amend the current building in permit application BP020346:

1. Please provide two sets of sealed structural drawings, Schedule B, Form B and certificate of liability insurance from the engineer who sealed the drawings.
2. Revised scope of work

Regards,

**SHERRY SEARLE**  
Plans Examiner 2, City of White Rock  
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6  
Tel: 604.541.2295 | [www.whiterockcity.ca](http://www.whiterockcity.ca)





---

**From:** Ryan Mills [<mailto:ryan@deadlevel.ca>]  
**Sent:** Tuesday, January 15, 2019 12:26 PM  
**To:** Sherry Searle <[SSearle@whiterockcity.ca](mailto:SSearle@whiterockcity.ca)>  
**Subject:** 820 habgood structural report

Hi Sherry  
Here is a report from structural engineer.

Regards,  
Ryan Mills

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Construction, Custom Homes & Design, Electrical, HVAC, Decks & Rails, Disposal.

WE DO IT ALL!!!

Office - 604-536-8124

Email - [info@deadlevel.ca](mailto:info@deadlevel.ca)

Website - [www.deadlevel.ca](http://www.deadlevel.ca)

Application Type(s)	BUILDING PERMIT + ACCESS TO EXISTING PLANS
Site Address(es)	820 HABGOOD ST.
PID(s) N: # 203	CA 5213336 BT 228832
Legal Description(s)	STRATA LOT 6 SECTION 11 TOWNSHIP 1 NEW WESTMINSTER DISTRICT STRATA PLAN LMS 56 TOGETHER WITH AN INTEREST IN THE COMMON PLOTS IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM 1

This document shall serve to notify the City of White Rock ("City") that I am / we are the legal owner(s) of the property described above and do authorize the person indicated below ("Agent") to act on my / our behalf on all matters pertaining to the stated application type(s) for the above referenced property/ies. In addition, I / we have read and understood the application requirements for the above application(s) and authorize the Agent to act on our behalf.

All registered property owners shall sign this Authorization Form. Company-owned properties must be represented by Agents. Use additional sheets if necessary. Changes in ownership will require the submission of new Authorization Forms.

Name of Property Owner(s) If company-owned, please also provide a contact name.	Redacted S. 22 - PRESIDENT OF STRATA COUNCIL. Redacted S. 22 - SECRETARY, STRATA COUNCIL
Mailing Address	203-820 HABGOOD ST. // #301 - 820 Habgood WHITE ROCK, BC V4B 4W3 // White Rock, BC
Main & Cell Phone Number	Redacted S. 22 (cell) // Redacted S. 22
E-Mail Address	Redacted S. 22

Name of Agent	DEAN POMEROY OR RYAN PANKRATZ
Company Name (if applicable)	P. POMEROY RESTORATION + CONSTRUCTION (BC) INC
Mailing Address	18-2075 BRIGANTINE DRIVE, COQUITLAM, BC V3K 7B8
Main & Cell Phone Number	604-529-9200, B. ? 604-992-3618 (cell)
E-Mail Address	dpomeroyp@prconstruction.ca // rpankratzy@prconstruction.ca

I hereby consent ...	Input Signature Below:	Date (YY/MM/DD)
Property Owner	Redacted S. 22	2019/02/12
Property Owner	Redacted S. 22	2017/02/12.
Authorized Agent		



**RECEIVED**

FEB 13 2019

CITY OF WHITE ROCK  
DEVELOPMENT SERVICES



# Authorization Form

Planning and Development Services

P: 604-541-2136 | F: 604-541-2153

[www.whiterockcity.ca](http://www.whiterockcity.ca)

15322 Buena Vista, White Rock B.C. V4B 1Y6

Application Type(s)	Interior drywall repairs and painting
Site Address(es)	Unit 103 - 820 Habgood Street, White Rock, BC
PID(s)	
Legal Description(s)	

This document shall serve to notify the City of White Rock ("City") that I am / we are the legal owner(s) of the property described above and do authorize the person indicated below ("Agent") to act on my / our behalf on all matters pertaining to the stated application type(s) for the above referenced property/ies. In addition, I / we have read and understood the application requirements for the above application(s) and authorize the Agent to act on our behalf.

All registered property owners shall sign this Authorization Form. Company-owned properties must be represented by Agents. Use additional sheets if necessary. Changes in ownership will require the submission of new Authorization Forms.

Name of Property Owner(s) If company-owned, please also provide a contact name.	<b>Redacted S. 22</b>
Mailing Address	103 - 820 HABGOOD STREET WHITE ROCK BC V4B 4W3
Main & Cell Phone Number	<b>Redacted S. 22</b>
E-Mail Address	<b>Redacted S. 22</b>

Name of Agent	Dean Pomeroy or Ryan Pankratz
Company Name (if applicable)	PR Pomeroy Restoration & Construction (BC) Inc.
Mailing Address	#18 - 2075 Brigantine Dr., Coquitlam, BC V3K 7B8
Main & Cell Phone Number	604-529-9200
E-Mail Address	dpomeroy@prconstruction.ca      rpankratz@prconstruction.ca

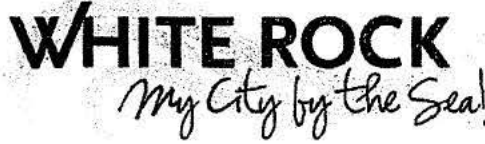
I hereby consent ...	<i>[Signature]</i> Input Signature Below	Date (YY/MM/DD)
Property Owner	<b>Redacted S. 22</b>	2019.03.20
Property Owner		
Authorized Agent		



**RECEIVED**

**MAR 22 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**



## Owners Acknowledgement of Responsibility and Undertakings

Planning and Development Services Department  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2136 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

---

### Form "A"

RE: Address: #103 - 820 Habgood Street, White Rock, BC

Building Permit Application No.: \_\_\_\_\_

1. I am the owner of the land and premises located at #103 - 820 Habgood St. WHITE ROCK BC.
2. I understand and acknowledge that I am fully responsible for carrying out the work or having the work carried out, in accordance with the requirements of the **British Columbia Building Code**, the City of White Rock **Building Bylaw** and all other bylaws of the City of White Rock.
3. I will comply with, or cause those whom I employ to comply with the **British Columbia Building Code** and all bylaws of the City of White Rock and other statutes and regulations relating to the development, work, undertaking or permission in respect of which this application is made.
4. I understand and acknowledge that neither the issuance of a permit under the City of White Rock **Building Bylaw**, the review of plans and supporting documents, nor inspections by a building official shall, in any way, constitute a representation, warranty, or statement that the **British Columbia Building Code**, City of White Rock **Building Bylaw**, or any other bylaw of the City of White Rock has been complied with.
5. If the material submitted in support of the application for this Building Permit included certification provided by Registered Professionals in the form of Schedules B as part of the **British Columbia Building Code**, I understand and acknowledge that the City of White Rock and its building officials have relied on those letters of assurance as certification that the design and plans to which they relate comply with the **British Columbia Building Code** and other applicable enactments relating to safety.
6. In particular, I understand and acknowledge that the City of White Rock has relied on the letters of "Assurance of Professional Design and Commitment for Field Review" provided by:
  - Insert the name of the Registered Professionals where applicable below:



Architectural:	
Building Envelope:	
Structural:	
Mechanical:	
Plumbing:	N/A
Fire Suppression Systems:	
Electrical:	
Geotechnical:	

In reviewing the plans and supporting documentation submitted with this application for a Building Permit.

7. I am authorized to make this acknowledgement of responsibility and give these undertakings to the City of White Rock.
8. I understand that it would be prudent for me to seek independent legal advice with respect to the responsibilities I am assuming upon the granting of a Building Permit by the City of White Rock pursuant to this application and in respect of the execution of this acknowledgement.

Signed this 20 day of MARCH.

**Redacted S. 22**

Print Name

**Redacted S. 22**

Signature of owner  
(or signing officer if the owner is a corporation)

Signed this 20 day of MARCH.

**Redacted S. 22**

Witness

Retired

Occupation

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**MAR 22 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**





# Application for Building Permit

Planning and Development Services  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2135 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

Date: MAR 22, 2019 Folder # BP 020442  
Access Code # \_\_\_\_\_

Landslide Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Development Permit Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Board of Variance:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Floodplain:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Pumping Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Demolition Permit:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following address. Copy of Plans for the Proposed Building or Alteration to Accompany this Application.

### PROPERTY INFORMATION

Civic Address: 103-820 HARBOOD STREET White Rock, BC V4B 4W3

Zoning: RM-2 Usage of Property: SFD  Multi  LUC: Yes  No   
STRATA LOT SECTION 11 TOWNSHIP 1 NEW WESTMINSTER

Legal Description: DISTRICT STRATA PLAN LMS 56 Roll number: 003940.002

Description of Work: INTERIOR DRYWALL REPAIRS Project Value: \$ 3,000

### OWNER INFORMATION

Name on Title: **Redacted S. 22**

Address of Owner 103-820 HARBOOD STREET, WHITE ROCK

Owner's Phone: **Redacted S. 22** Owner's Email: **Redacted S. 22**

### BUILDER INFORMATION

Name and address of builder or agent PR POMEROY RESTORATION & CONSTRUCTION (RC) INC.

Phone: 604 529 9200 Email: BPANKRATZ@PRCONSTRUCTION.CA

Business Licence #: 00023651

I agree to conform to all requirements of The City of White Rock Bylaws

Print Applicant Name: RYAN PANKRATZ

Signature of Applicant:

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Building Permit Fees	
Building Permit	\$ 234.00
Secondary Suite	
Microfiche	\$ 25.00
Total	\$ 259.00

Plans Examiner Information

11:52 AM

**Maximum Building Height:** \_\_\_\_\_

**Angle of Containment:** \_\_\_\_\_

**Comments:** \_\_\_\_\_

*[Faint handwritten notes and signatures are visible in this section, including the name "M. J. ..."]*

City of White Rock  
 15322 Buena Vista Ave  
 White Rock BC V4B 1Y6

Receipt #: 1256574  
 Dated: Mar 22, 2019  
 Station: CASH 4/AHEETA  
 Mar 22, 2019  
 01:37:05 PM  
 Page 2 of 2

CPPMT	RP020443	318.50
CPPMT	RP020442	259.00
CPPMT	RP020441	276.00
Total		853.50
VISA	PR POWEROY RESTORATION	-853.50

Thank You for Your Payment



**March 18, 2018**

**SHERRY SEARLE**

**Plans Examiner 2, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Re: Villa Dardanelles

Interior reconstruction approval

Hello Sherry,

As president of the Villa Dardanelles Strata Council, and on behalf of the Council Board, I am providing authorization for Pomeroy Restoration and Construction for the interior drywall repairs and painting of condo units 103, 104, 203, & 204.

Individual authorization forms and completed Form A will follow directly from each individual owner.

Thank you very much.

Respectfully,

**Redacted S. 22**

President, Villa Dardanelles Strata Council

Villa Dardanelles, LMS56

820 Habgood Street

White Rock, BC, V4B 4W3

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**MAR 22 2019**  
**PLANNING & DEVELOPMENT**  
**CITY OF WHITE ROCK**





# Benchmark Painting

17-3618 150th Street, | Surrey, BC | V3Z 0W3 |  
(604)803-5041 | service@benchmarkpainting.ca |  
www.benchmarkpainting.ca

SERVICE / PRODUCT	DESCRIPTION	UNIT COST	TOTAL
<del>Unit #203</del>	<del>Includes the following: -Living Room and Dining Room -Supply and install new 5/8" drywall on the ceiling -Supply and install new 1/2" drywall on the walls -Tape, mud and sand -Prime and paint living/dining room walls and ceiling -Paint ceiling into hall/entry -Repair and paint ceiling in the office -One wall and one ceiling colour -Does not include soundbar or install of soundbar  -Moulding Install and Painting Living/Dining Room -Crown mouldings, window sills and baseboards -Supply and install -Prep and paint -One colour</del>	<del>\$5,980.00</del>	<del>\$5,980.00</del>
Unit #103	Includes the following: -Ceiling repair in the living room and kitchen -Supply and install new 5/8" drywall -Tape, mud and sand -Prime and paint kitchen -Prime and re-texture living room blending in with existing ceiling -Paint repair areas only -Remove, replace, prep and paint where needed to allow for ceiling repairs -Does not include soundbar or install of soundbar	\$2,725.00	\$2,725.00
<del>Unit #104</del>	<del>Includes the following: -Living room ceiling -Supply and install new 5/8" drywall -Tape, mud, sand and prime -Re-texture blending with existing ceiling -Paint entire ceiling -Existing deficiencies from previous work done not included. Giant seam hump down the middle of the living room ceiling. Won't know the cause until work starts</del>	<del>\$1,975.00</del>	<del>\$1,975.00</del>

<del>Subtotal</del>	<del>\$15,505.00</del>
<del>GST (5.0%)</del>	<del>\$775.25</del>
<del>Total</del>	<del>\$16,280.25</del>

Please carefully read the following:

- This quote is based on a two coat application and includes all paint, supplies and labour
- Any textured ceiling repairs will include popcorn ceiling texture along with a prime plus two topcoats
- Re-painting to cover entire wall corner to corner
- Additional charges apply for extra coats if needed
- Price includes one wall and one ceiling colour per unit
- Additional colours or feature walls will be billed at \$40.00 each
- Paint supplied by Sherwin Williams Paint

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**MAR 22 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**



THE CORPORATION OF THE CITY OF WHITE ROCK  
**BUILDING PERMIT**

DATE OF ISSUANCE: Mar 22, 2019

**MAR 25 2019**

BUILDING PERMIT No: BP020442

ROLL No: 003940.002

PROJECT ADDRESS: 103 820 HABGOOD ST  
LEGAL DESCRIPTION: LT 2/ SEC 11/ NWD/ PL LMS56/ TWP 1  
ZONE: RM-2

**DESCRIPTION OF PROJECT:**

Unit 103  
Interior Drywall Repairs

OWNER: Redacted S. 22  
ADDRESS: 103-820 HABGOOD ST WHITE ROCK BC V4B 4W3

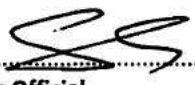
Phone: Redacted S. 22

BUILDER: P. POMEROY RESTORATION & CONSTRUCTION (B.C.) INC.  
ADDRESS: 19 2075 BRICANTINE DR COQUITLAM BC V3K 7B8

Phone: 604 992 0408 Brian

**Redacted S. 22**

Owner or Authorized Agent

  
Building Official

**B.C.B.C. 1.1.2.4 Responsibility of Owner**

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

<b>PERMIT FEES:</b>	<b>Project Value:</b>	3,000.00
BP SCAN & COPY	5.00	25.00
BP APPL FEE	3,000.00	234.00
	<b>Total:</b>	<b>\$259.00</b>

**CONDITIONS:**

ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE.  
A HAZARDOUS MATERIALS REPORT AND AN ASBESTOS ABATEMENT REPORT MUST BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO ANY INSPECTIONS BEING CONDUCTED.  
INSPECTION IS REQUIRED PRIOR TO COVERING ANY WORK

OCCUPANY / FINAL GRANTED: .....

Date: .....

## Ameeta Sahota

---

**From:** Sherry Searle  
**Sent:** Monday, March 25, 2019 9:36 AM  
**To:** Ameeta Sahota; Jason Birkland  
**Subject:** FW: Villa Dardanelles - 820 Habgood-permits for interior repairs

Hi Ameeta,

Brian Torgalson from Pomeroy Restoration and Construction will be in to sign and pick up the building permits.

Regards,

**SHERRY SEARLE**  
Plans Examiner 2, City of White Rock  
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6  
Tel: 604.541.2295 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



**From:** Ryan Pankratz <[rpankratz@prconstruction.ca](mailto:rpankratz@prconstruction.ca)>  
**Sent:** Monday, March 25, 2019 9:04 AM  
**To:** Sherry Searle <[SSearle@whiterockcity.ca](mailto:SSearle@whiterockcity.ca)>  
**Cc:** Supervisor 07 <[btorgalson@prconstruction.ca](mailto:btorgalson@prconstruction.ca)>; Dean Pomeroy <[dpomeroy@prconstruction.ca](mailto:dpomeroy@prconstruction.ca)>  
**Subject:** Villa Dardanelles - permits for interior repairs

Hi Sherry

As discussed, please note that Brian Torgalson is the Site Superintendent overseeing the interior repair work at Villa Dardanelles (820 Habgood Street). He will be stopping by to pick up the permits from your office before meeting with the inspector on site this afternoon. I have copied Brian on this email and he can also be reached on his cell at 604-992-0408.

Thanks,

**Ryan Pankratz** BBA, MCPM, PMP  
Project Manager

PR Pomeroy Restoration & Construction (B.C.) Inc.  
P. 604-529-9200 (x. 4)  
C. 604-715-0412  
[www.prconstruction.ca](http://www.prconstruction.ca)





CITY OF WHITE ROCK - FEE SLIP

15322 Buena Vista Ave  
White Rock, BC V4B 1Y6



Folder: BP020443  
BUILDING PERMITS  
RESIDENTIAL PERMIT (MULTI) - MFD-ALT

Summary	Outstanding
Fees	318.50
<b>TOTAL</b>	<b>\$318.50</b>

Total: 318.50  
 VISA  
 THANK YOU FOR YOUR BUSINESS  
 PERMITS DEPARTMENT  
 15322 BUENA VISTA AVE  
 WHITE ROCK, BC V4B 1Y6  
 TEL: 604-293-1100  
 FAX: 604-293-1101  
 WWW.CITYOFWR.BC.CA

CITY OF WHITE ROCK-PERMITS  
15322 BUENA VISTA LOMER L  
WHITE ROCK, BC

Form ID: M2852832

Purchase

XXXXXXXXXX7251

VISA

Entry Method: C

Total: \$ 853.50

2019/03/22

12:15:44

Seq #: 001-719003-0

Appr Code: 063435

Resp Code: 01/027

VISA CREDIT  
 AMU00000031010  
 DE E0 97 BC 80 DB 81 8D  
 00 80 00 80 00  
 F8 08  
 16 B2 DE AE 05 0A 09 AB

APPROVED

Thank You

Verified By Pin

Merchant Copy

IMPORTANT  
retain this copy for your records



Record #	N/A	Reference Number	24002	Status	READY	Sent Date	
Subject	Monitoring Report for at 103 820 HABGOOD ST						
Template Type	INSPECTION RESULTS	System	COMDEV	Scheduled Date	Mar 25, 2019		
Template Name	MONITORING REPORT	System Ref	Folder Number: BP020442	Priority	NORMAL		

Main Errors Attachments

From	ggareau@whiterockcity.ca	Error	No	Test	No
To		Created On	Mar 25, 2019 01:25:39 PM		
Cc	<dpomeroy@proconstruction.ca>, <pankratz@proconstruction.ca>	Created By	dbo		
Bcc		Last Modified On	Mar 25, 2019 01:25:39 PM		
Reply To		Last Modified By	dbo		

## City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2100  
White Rock, BC V4B 1Y6 Fax: (604) 541-2118

---

### MONITORING REPORT - GROUND

**Address:** 103 820 HABGOOD ST  
**Permit:** BP020442 - MONITORING REPORT - GROUND  
**Date:** Mar 25, 2019

---

**Status:** MONITORED

**THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED**

**Building Official:** GUY GAREAU

- 
- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Email Reference #24002

## Ken Overton

---

**From:** Sherry Searle  
**Sent:** Monday, March 25, 2019 9:36 AM  
**To:** Ameeta Sahota; Jason Birkland  
**Subject:** FW: Villa Dardanelles - 820 Habgood-permits for interior repairs

Hi Ameeta,

Brian Torgalson from Pomeroy Restoration and Construction will be in to sign and pick up the building permits.

Regards,

**SHERRY SEARLE**

**Plans Examiner 2, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2295 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



---

**From:** Ryan Pankratz <[rpankratz@prconstruction.ca](mailto:rpankratz@prconstruction.ca)>  
**Sent:** Monday, March 25, 2019 9:04 AM  
**To:** Sherry Searle <[SSearle@whiterockcity.ca](mailto:SSearle@whiterockcity.ca)>  
**Cc:** Supervisor 07 <[btorgalson@prconstruction.ca](mailto:btorgalson@prconstruction.ca)>; Dean Pomeroy <[dpomeroy@prconstruction.ca](mailto:dpomeroy@prconstruction.ca)>  
**Subject:** Villa Dardanelles - permits for interior repairs

Hi Sherry

As discussed, please note that Brian Torgalson is the Site Superintendent overseeing the interior repair work at Villa Dardanelles (820 Habgood Street). He will be stopping by to pick up the permits from your office before meeting with the inspector on site this afternoon. I have copied Brian on this email and he can also be reached on his cell at 604-992-0408.

Thanks,

**Ryan Pankratz** BBA, MCPM, PMP  
Project Manager

**PR Pomeroy Restoration & Construction (B.C.) Inc.**

P. 604-529-9200 (x. 4)

C. 604-715-0412

[www.prconstruction.ca](http://www.prconstruction.ca)





# Authorization Form

Planning and Development Services

P: 604-541-2136 | F: 604-541-2153

[www.whiterockcity.ca](http://www.whiterockcity.ca)

15322 Buena Vista, White Rock B.C. V4B 1Y6

Application Type(s)	Interior drywall repairs and painting
Site Address(es)	Unit 104 - 820 Habgood Street, White Rock, BC
PID(s)	
Legal Description(s)	

This document shall serve to notify the City of White Rock ("City") that I am / we are the legal owner(s) of the property described above and do authorize the person indicated below ("Agent") to act on my / our behalf on all matters pertaining to the stated application type(s) for the above referenced property/ies. In addition, I / we have read and understood the application requirements for the above application(s) and authorize the Agent to act on our behalf.

All registered property owners shall sign this Authorization Form. Company-owned properties must be represented by Agents. Use additional sheets if necessary. Changes in ownership will require the submission of new Authorization Forms.

Name of Property Owner(s) If company-owned, please also provide a contact name.	<b>Redacted S. 22</b>
Mailing Address	104 - 820 Habgood St.
Main & Cell Phone Number	<b>Redacted S. 22</b>
E-Mail Address	<b>Redacted S. 22</b>

Name of Agent	Dean Pomeroy or Ryan Pankratz
Company Name (if applicable)	PR Pomeroy Restoration & Construction (BC) Inc.
Mailing Address	#18 - 2075 Brigantine Dr., Coquitlam, BC V3K 7B8
Main & Cell Phone Number	604-529-9200
E-Mail Address	dpomeroy@prconstruction.ca      rpankratz@prconstruction.ca

I hereby consent ...	Print Signature Below:	Date (YY/MM/DD)
Property Owner	<b>Redacted S. 22</b>	19/03/25
Property Owner		
Authorized Agent		

www.ccsland.com

928 Parker Street,  
Whiterock, BC V4B 4R4

fax: 604.538.4765

toll free: 1.888.756.4080

ph: 604.538.4787

info@ccsland.com



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CITY OF WHITE ROCK  
APR 23 2019  
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# Application for Building Permit

Planning and Development Services  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2135 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

Date: APRIL 23, 2019 Folder # BP020464  
Access Code # \_\_\_\_\_

Landslide Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Development Permit Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Board of Variance:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Floodplain:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Pumping Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Demolition Permit:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following address. Copy of Plans for the Proposed Building or Alteration to Accompany this Application.

### PROPERTY INFORMATION

Civic Address: 104 - 820 HARBWOOD STREET White Rock, BC V4B 4W3

Zoning: RM-2 Usage of Property: SFD  Multi  LUC: Yes  No

Legal Description: STRATA LOT 1 SECTION 11 TOWNSHIP 1 NEW WESTMINSTER DISTRICT STRATA PLAN LMS56 Roll number: 003940.001

Description of Work: INTERIOR DRYWALL REPAIRS Project Value: \$ 1,975.00

### OWNER INFORMATION

Name on Title: **Redacted S. 22**

Address of Owner 104 - 820 HARBWOOD ST., WHITE ROCK, BC, V4B 4W3

Owner's Phone: **Redacted S. 22** Owner's **Redacted S. 22**

### BUILDER INFORMATION

Name and address of builder or agent FRANKRATZ RESTORATION & CONSTRUCTION (BC) INC

Phone: 604-529-9200 Email: RFRANKRATZ@FRCONSTRUCTION.CA

Business Licence #: \_\_\_\_\_

I agree to conform to all requirements of The City of White Rock Bylaws

Print Applicant Name: RYAN FRANKRATZ

Signature of Applicant: [Signature]

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

City of White Rock  
15322 Buena Vista Ave  
White Rock BC V4B 1Y6

Receipt: 12761/9      Apr 23, 2019  
Dated: Apr 23, 2019      11:11 AM  
Station: CASH 4/AMEETA

CDPNT    BP020464      241.58

Total      241.58  
DEBIT CARD PR POMEROY RESTORATI    -241.58

Thank You for Your Payment

Building Permit Fees	
Building Permit	\$ 216.58
Secondary Suite	—
Microfiche	\$ 25.00
Total	\$ 241.58

Plans Examiner Information

Maximum Building Height: \_\_\_\_\_

Angle of Containment: \_\_\_\_\_

Comments: \_\_\_\_\_





## Owners Acknowledgement of Responsibility and Undertakings

Planning and Development Services Department  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2136 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

---

---

### Form "A"

RE: Address: #104 - 820 Habgood Street, White Rock, BC

Building Permit Application No.: \_\_\_\_\_

1. I am the owner of the land and premises located at #104 - 820 Habgood St. WHITE ROCK BC.
2. I understand and acknowledge that I am fully responsible for carrying out the work or having the work carried out, in accordance with the requirements of the **British Columbia Building Code**, the City of White Rock **Building Bylaw** and all other bylaws of the City of White Rock.
3. I will comply with, or cause those whom I employ to comply with the **British Columbia Building Code** and all bylaws of the City of White Rock and other statutes and regulations relating to the development, work, undertaking or permission in respect of which this application is made.
4. I understand and acknowledge that neither the issuance of a permit under the City of White Rock **Building Bylaw**, the review of plans and supporting documents, nor inspections by a building official shall, in any way, constitute a representation, warranty, or statement that the **British Columbia Building Code**, City of White Rock **Building Bylaw**, or any other bylaw of the City of White Rock has been complied with.
5. If the material submitted in support of the application for this Building Permit included certification provided by Registered Professionals in the form of Schedules B as part of the **British Columbia Building Code**, I understand and acknowledge that the City of White Rock and its building officials have relied on those letters of assurance as certification that the design and plans to which they relate comply with the **British Columbia Building Code** and other applicable enactments relating to safety.
6. In particular, I understand and acknowledge that the City of White Rock has relied on the letters of "Assurance of Professional Design and Commitment for Field Review" provided by:
  - Insert the name of the Registered Professionals where applicable below:

[www.ccisland.com](http://www.ccisland.com)

928 Parker Street,  
Whiterock, BC V4B 4R4

fax: 604.538.4765

toll free: 1.888.756.4080

ph: 604.538.4787

[info@ccisland.com](mailto:info@ccisland.com)

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Architectural: \_\_\_\_\_

Building Envelope: \_\_\_\_\_

Structural: \_\_\_\_\_

Mechanical: \_\_\_\_\_

Plumbing: \_\_\_\_\_ **N/A** \_\_\_\_\_

Fire Suppression Systems: \_\_\_\_\_

Electrical: \_\_\_\_\_

Geotechnical: \_\_\_\_\_

In reviewing the plans and supporting documentation submitted with this application for a Building Permit.

7. I am authorized to make this acknowledgement of responsibility and give these undertakings to the City of White Rock.
8. I understand that it would be prudent for me to seek independent legal advice with respect to the responsibilities I am assuming upon the granting of a Building Permit by the City of White Rock pursuant to this application and in respect of the execution of this acknowledgement.

Signed this 25 day of March.

**Redacted S. 22**

Print Name

**Redacted S. 22**

Signature of owner

(or signing officer if the owner is a corporation)

Signed this \_\_\_\_\_ day of \_\_\_\_\_.

Witness

Occupation

www.ccisland.com

928 Parker Street,  
Whiterock, BC V4B 4R4

fax: 604.538.4765

toll free: 1.888.756.4080

ph: 604.538.4787

info@ccisland.com

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APR 23 2010

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CITY OF WHITE ROCK

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**March 18, 2018**

**SHERRY SEARLE**

**Plans Examiner 2, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Re: Villa Dardanelles

Interior reconstruction approval

Hello Sherry,

As president of the Villa Dardanelles Strata Council, and on behalf of the Council Board, I am providing authorization for Pomeroy Restoration and Construction for the interior drywall repairs and painting of condo units 103, 104, 203, & 204.

Individual authorization forms and completed Form A will follow directly from each individual owner.

Thank you very much.

Respectfully,

**Redacted S. 22**

President, Villa Dardanelles Strata Council

Villa Dardanelles, LMS56

820 Habgood Street

White Rock, BC, V4B 4W3

**RECEIVED**

**APR 23 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**





# Benchmark Painting

17-3618 150th Street, | Surrey, BC | V3Z 0W3 | |  
(604)803-5041 | service@benchmarkpainting.ca |  
www.benchmarkpainting.ca

SERVICE / PRODUCT	DESCRIPTION	UNIT COST	TOTAL
<del>Unit #203</del>	<del>Includes the following: -Living Room and Dining Room -Supply and install new 5/8" drywall on the ceiling -Supply and install new 1/2" drywall on the walls -Tape, mud and sand -Prime and paint living/dining room walls and ceiling -Paint ceiling into hall/entry -Repair and paint ceiling in the office -One wall and one ceiling colour -Does not include soundbar or install of soundbar  -Moulding Install and Painting Living/Dining Room -Crown mouldings, window sills and baseboards -Supply and install -Prep and paint -One colour</del>	<del>\$5,980.00</del>	<del>\$5,980.00</del>
<del>Unit #103</del>	<del>Includes the following: -Ceiling repair in the living room and kitchen -Supply and install new 5/8" drywall -Tape, mud and sand -Prime and paint kitchen -Prime and re-texture living room blending in with existing ceiling -Paint repair areas only -Remove, replace, prep and paint where needed to allow for ceiling repairs -Does not include soundbar or install of soundbar</del>	<del>\$2,725.00</del>	<del>\$2,725.00</del>
Unit #104	Includes the following: -Living room ceiling -Supply and install new 5/8" drywall -Tape, mud, sand and prime -Re-texture blending with existing ceiling -Paint entire ceiling -Existing deficiencies from previous work done not included. Giant seam hump down the middle of the living room ceiling. Won't know the cause until work starts	\$1,975.00	\$1,975.00

Please carefully read the following:

- This quote is based on a two coat application and includes all paint, supplies and labour
- Any textured ceiling repairs will include popcorn ceiling texture along with a prime plus two topcoats
- Re-painting to cover entire wall corner to corner
- Additional charges apply for extra coats if needed
- Price includes one wall and one ceiling colour per unit
- Additional colours or feature walls will be billed at \$40.00 each
- Paint supplied by Sherwin Williams Paint

Subtotal	\$15,505.00
GST (5.0%)	\$775.25
<b>Total</b>	<b>\$16,280.25</b>

PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK

APR 23 2019

RECEIVED

[Illegible markings]



## Ken Overton

---

**From:** Sherry Searle  
**Sent:** Monday, May 06, 2019 12:29 PM  
**To:** 'Ryan Pankratz'  
**Cc:** Ameeta Sahota  
**Subject:** Unit 104-820 Habgood St- BP020464- ready for issuance

Hi Ryan,

The permit for drywall repairs in unit 104-820 Habgood St. is ready for pick up.

Regards,

**SHERRY SEARLE**

**Plans Examiner 2, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2295 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



THE CORPORATION OF THE CITY OF WHITE ROCK  
**BUILDING PERMIT**

DATE OF ISSUANCE:

MAY 15 2019

BUILDING PERMIT No: BP020464

ROLL No: 003940.001

PROJECT ADDRESS: 104 820 HABGOOD ST  
LEGAL DESCRIPTION: LT 1/ SEC 11/ NWD/ PL LMS56/ TWP 1  
ZONE: RM-2

DESCRIPTION OF PROJECT:

Unit 104  
Interior Drywall Repairs

OWNER: Redacted S. 22

Phone: Redacted S. 22

ADDRESS: 104-820 HABGOOD ST WHITE ROCK BC V4B 4W3

BUILDER: PR POMEROY RESTORATION & CONSTRUCTION (B.C.) INC.

Phone: 604-529-9200

ADDRESS: 18-2075 BRIGANTINE DR COQUITLAM BC V3K 7B8

Redacted S. 22

Owner or Authorized Agent

  
Building Official

B.C.B.C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

PERMIT FEES:

BP SCAN & COPY  
BP APPL FEE

Project Value:	1,975.00
5.00	25.00
1,975.00	216.58
Total:	\$241.58

CONDITIONS:

ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE.

A HAZARDOUS MATERIALS REPORT AND AN ASBESTOS ABATEMENT REPORT MUST BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO ANY INSPECTIONS BEING CONDUCTED.

INSPECTION IS REQUIRED PRIOR TO COVERING ANY WORK

OCCUPANY / FINAL GRANTED: .....

Date: .....



The City of White Rock, in issuing this Building Permit, has relied upon (a) Registered Professional(s) for certification to the B. C. Building Regulations for the plans or aspects of the plans.

Neither the issuance of a permit under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the City shall in any way relieve the owner or his or her representatives from full and sole responsibility to perform the work in strict accordance with the **Building Code**, this Bylaw, and any other applicable enactments respecting safety.

It shall be the full and sole responsibility of the owner (and where the owner is acting through a representative, the representative) to carry out the work in respect of which the permit was issued in compliance with the **Building Code**, this Bylaw and any other applicable enactments respecting safety.

Neither the issuance of a permit under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the City constitute in any way a representation, warranty, assurance or statement that the **Building Code**, this Bylaw or any other applicable enactments respecting safety have been complied with.



# Authorization Form

Planning and Development Services

P: 604-541-2136 | F: 604-541-2153

[www.whiterockcity.ca](http://www.whiterockcity.ca)

15322 Buena Vista, White Rock B.C. V4B 1Y6

Application Type(s)	Interior drywall repairs and painting
Site Address(es)	Unit 203 - 820 Habgood Street, White Rock, BC
PID(s)	
Legal Description(s)	

This document shall serve to notify the City of White Rock ("City") that I am / we are the legal owner(s) of the property described above and do authorize the person indicated below ("Agent") to act on my / our behalf on all matters pertaining to the stated application type(s) for the above referenced property/ies. In addition, I / we have read and understood the application requirements for the above application(s) and authorize the Agent to act on our behalf.

All registered property owners shall sign this Authorization Form. Company-owned properties must be represented by Agents. Use additional sheets if necessary. Changes in ownership will require the submission of new Authorization Forms.

Name of Property Owner(s) If company-owned, please also provide a contact name.	Redacted S. 22
Mailing Address	203-820 HABGOOD ST. WHITE ROCK, V4B 4W3
Main & Cell Phone Number	Redacted S. 22
E-Mail Address	

Name of Agent	Dean Pomeroy or Ryan Pankratz
Company Name (if applicable)	PR Pomeroy Restoration & Construction (BC) Inc.
Mailing Address	#18 - 2075 Brigantine Dr., Coquitlam, BC V3K 7B8
Main & Cell Phone Number	604-529-9200
E-Mail Address	dpomeroy@prconstruction.ca      rpankratz@prconstruction.ca

I hereby consent ...	Input Signature Below:	Date (YY/MM/DD)
Property Owner	Redacted S. 22	2019/03/18
Property Owner		
Authorized Agent		



**RECEIVED**

**MAR 22 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**



# Application for Building Permit

Planning and Development Services  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2135 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

Date: MAR 22, 2019 Folder # BP 020493  
Access Code # \_\_\_\_\_

Landslide Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Development Permit Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Board of Variance:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Floodplain:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Pumping Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Demolition Permit:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following address. Copy of Plans for the Proposed Building or Alteration to Accompany this Application.

### PROPERTY INFORMATION

Civic Address: 203-820 HARBWOOD STREET White Rock, BC V4B 4W3

Zoning: RM-2 Usage of Property: SFD  Multi  LUC: Yes  No

Legal Description: STRATA LOT 6 SECTION 11 TOWNSHIP 1 NEW WESTMINSTER DISTRICT STRATA PLAN LMS56 Roll number: 003940.006

Description of Work: INTERIOR DRYWALL REPAIRS Project Value: \$ 6,500

### OWNER INFORMATION

Name on Title: **Redacted S. 22**

Address of Owner 203-820 HARBWOOD STREET, WHITE ROCK

Owner's Phone: **Redacted S. 22** Owner's Email: **Redacted S. 22**

### BUILDER INFORMATION

Name and address of builder or agent PR POMEROY RESTORATION & CONSTRUCTION BC INC.

Phone: 604-529-9200 Email: PRANKRATZ@PROCONSTRUCTION.CA

Business Licence #: 00023651

I agree to conform to all requirements of The City of White Rock Bylaws

Print Applicant Name: RYAN PRANKRATZ

Signature of Applicant: [Signature]

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



Building Permit Fees	
Building Permit	\$ 293.50
Secondary Suite	-
Microfiche	\$ 25.00
Total	\$ 318.50

Plans Examiner Information

Maximum Building Height: \_\_\_\_\_

Angle of Containment: \_\_\_\_\_

Comments: \_\_\_\_\_

Receipt #: 1258574  
 Dated: Mar 22, 2019  
 Station: CASH 4/AMETHA

Mar 22 2019  
 01:52:12 PM

City of White Rock  
 15322 Buena Vista Ave  
 White Rock BC V4R 1Y6

CDPMT	BP020443	318.50
CDPMT	BP020442	259.00
CDPMT	BP020441	276.00

Total	953.50
VISA PR POWERDY RESTORATION	-953.50

Thank You for Your Payment



## Owners Acknowledgement of Responsibility and Undertakings

Planning and Development Services Department  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2136 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

---

### Form "A"

RE: Address: #203 - 820 Habgood Street, White Rock, BC

Building Permit Application No.: \_\_\_\_\_

1. I am the owner of the land and premises located at #203 - 820 Habgood St. WHITE ROCK BC.
2. I understand and acknowledge that I am fully responsible for carrying out the work or having the work carried out, in accordance with the requirements of the **British Columbia Building Code**, the City of White Rock **Building Bylaw** and all other bylaws of the City of White Rock.
3. I will comply with, or cause those whom I employ to comply with the **British Columbia Building Code** and all bylaws of the City of White Rock and other statutes and regulations relating to the development, work, undertaking or permission in respect of which this application is made.
4. I understand and acknowledge that neither the issuance of a permit under the City of White Rock **Building Bylaw**, the review of plans and supporting documents, nor inspections by a building official shall, in any way, constitute a representation, warranty, or statement that the **British Columbia Building Code**, City of White Rock **Building Bylaw**, or any other bylaw of the City of White Rock has been complied with.
5. If the material submitted in support of the application for this Building Permit included certification provided by Registered Professionals in the form of Schedules B as part of the **British Columbia Building Code**, I understand and acknowledge that the City of White Rock and its building officials have relied on those letters of assurance as certification that the design and plans to which they relate comply with the **British Columbia Building Code** and other applicable enactments relating to safety.
6. In particular, I understand and acknowledge that the City of White Rock has relied on the letters of "Assurance of Professional Design and Commitment for Field Review" provided by:
  - Insert the name of the Registered Professionals where applicable below:



Architectural: \_\_\_\_\_

Building Envelope: \_\_\_\_\_

Structural: \_\_\_\_\_

Mechanical: \_\_\_\_\_

Plumbing: \_\_\_\_\_ **N/A** \_\_\_\_\_

Fire Suppression Systems: \_\_\_\_\_

Electrical: \_\_\_\_\_

Geotechnical: \_\_\_\_\_

In reviewing the plans and supporting documentation submitted with this application for a Building Permit.

7. I am authorized to make this acknowledgement of responsibility and give these undertakings to the City of White Rock.
8. I understand that it would be prudent for me to seek independent legal advice with respect to the responsibilities I am assuming upon the granting of a Building Permit by the City of White Rock pursuant to this application and in respect of the execution of this acknowledgement.

Signed this 18 day of March.


**Redacted S. 22**  
 Print Name

**Redacted S. 22**

Signature of owner  
 (or signing officer if the owner is a corporation)

Signed this 18 day of March.

**Redacted S. 22**  
 Witness

Redacted   
 Occupation

**RECEIVED**

**MAR 22 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**





CITY OF WHITE ROCK - FEE SLIP

15322 Buena Vista Ave  
White Rock, BC V4B 1Y6



Folder: BP020442  
BUILDING PERMITS  
RESIDENTIAL PERMIT (MULTI) - MFD-ALT

Summary	Outstanding
Fees	259.00
<b>TOTAL</b>	<b>\$259.00</b>

Receipt: 125674  
 Dated: Mar 29, 2016  
 Station: OASH A/PERM

CDPWT	PERM0442	259.00
CDPWT	PERM0442	259.00
CDPWT	PERM0442	259.00
Total		767.00
VISA	PR 50MTRW 0700000000	259.00

Thank You for Your Payment  
\$259.00

City of White Rock  
15322 Buena Vista Ave  
White Rock, BC V4B 1Y6

CITY OF WHITE ROCK - FEE SLIP

15322 Buena Vista Ave  
White Rock, BC V4B 1Y6



Folder: BP020441  
BUILDING PERMITS  
RESIDENTIAL PERMIT (MULTI) - MFD-ALT

Summary	Outstanding
Fees	276.00
<b>TOTAL</b>	<b>\$276.00</b>

Receipt: 125674  
 Dated: Mar 29, 2016  
 Station: OASH A/PERM

CDPWT	PERM0441	276.00
CDPWT	PERM0441	276.00
CDPWT	PERM0441	276.00
Total		828.00
VISA	PR 50MTRW 0700000000	276.00

Thank You for Your Payment

City of White Rock  
15322 Buena Vista Ave  
White Rock, BC V4B 1Y6

City of White Rock  
15322 Buena Vista Ave  
White Rock, BC V4B 1Y6



**March 18, 2018**

**SHERRY SEARLE**  
**Plans Examiner 2, City of White Rock**  
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Re: Villa Dardanelles  
Interior reconstruction approval

Hello Sherry,

As president of the Villa Dardanelles Strata Council, and on behalf of the Council Board, I am providing authorization for Pomeroy Restoration and Construction for the interior drywall repairs and painting of condo units 103, 104, 203, & 204.

Individual authorization forms and completed Form A will follow directly from each individual owner.

Thank you very much.

Respectfully,

**Redacted S. 22**

President, Villa Dardanelles Strata Council  
Villa Dardanelles, LMS56  
820 Habgood Street  
White Rock, BC, V4B 4W3

**RECEIVED**

**MAR 22 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**



# Benchmark Painting

17-3618 150th Street, | Surrey, BC | V3Z 0W3 | |  
(604)803-5041 | service@benchmarkpainting.ca |  
www.benchmarkpainting.ca

SERVICE / PRODUCT	DESCRIPTION	UNIT COST	TOTAL
Unit #203	Includes the following: -Living Room and Dining Room -Supply and install new 5/8" drywall on the ceiling -Supply and install new 1/2" drywall on the walls -Tape, mud and sand -Prime and paint living/dining room walls and ceiling -Paint ceiling into hall/entry -Repair and paint ceiling in the office -One wall and one ceiling colour -Does not include soundbar or install of soundbar  -Moulding Install and Painting Living/Dining Room -Crown mouldings, window sills and baseboards -Supply and install -Prep and paint -One colour	\$5,980.00	\$5,980.00
<del>Unit #103</del>	<del>Includes the following:            -Ceiling repair in the living room and kitchen            -Supply and install new 5/8" drywall            -Tape, mud and sand            -Prime and paint kitchen            -Prime and re-texture living room blending in with existing ceiling            -Paint repair areas only            -Remove, replace, prep and paint where needed to allow for ceiling repairs            -Does not include soundbar or install of soundbar</del>	<del>\$2,725.00</del>	<del>\$2,725.00</del>
<del>Unit #104</del>	<del>Includes the following:            -Living room ceiling            -Supply and install new 5/8" drywall            -Tape, mud, sand and prime            -Re-texture blending with existing ceiling            -Paint entire ceiling            -Existing deficiencies from previous work done not included.            Giant seam hump down the middle of the living room ceiling.            Won't know the cause until work starts</del>	<del>\$1,975.00</del>	<del>\$1,975.00</del>

<del>Subtotal</del>	<del>\$15,505.00</del>
<del>GST (5.0%)</del>	<del>\$775.25</del>
<del>Total</del>	<del>\$16,280.25</del>

Please carefully read the following:

- This quote is based on a two coat application and includes all paint, supplies and labour
- Any textured ceiling repairs will include popcorn ceiling texture along with a prime plus two topcoats
- Re-painting to cover entire wall corner to corner
- Additional charges apply for extra coats if needed
- Price includes one wall and one ceiling colour per unit
- Additional colours or feature walls will be billed at \$40.00 each
- Paint supplied by Sherwin Williams Paint



**RECEIVED**

**MAR 22 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**

THE CORPORATION OF THE CITY OF WHITE ROCK  
**BUILDING PERMIT**

DATE OF ISSUANCE: Mar 22, 2019

**MAR 25 2019**

BUILDING PERMIT No: BP020443

ROLL No: 003940.006

PROJECT ADDRESS: 203 820 HABGOOD ST  
LEGAL DESCRIPTION: LT 6/ SEC 11/ NWD/ PL LMS56/ TWP 1  
ZONE: RM-2

**DESCRIPTION OF PROJECT:**

Unit 203  
Interior Drywall Repairs

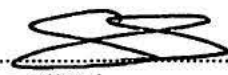
OWNER: Redacted S. 22  
ADDRESS: 203-820 HABGOOD ST WHITE ROCK BC V4B 4W3

Phone: Redacted S. 22

BUILDER: PR POMEROY RESTORATION & CONSTRUCTION (B.C.) INC.  
ADDRESS: 18-2075 BRIGANTINE DR COQUITLAM BC V3K 7B8

Phone: 604 992 0408 Brian

**Redacted S. 22**

  
.....  
Building Official

Owner or Authorized Agent  
B.C.B.C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

PERMIT FEES:	Project Value:	6,500.00
BP SCAN & COPY	5.00	25.00
BP APPL FEE	6,500.00	293.50
	<b>Total:</b>	<b>\$318.50</b>

**CONDITIONS:**

ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE.
A HAZARDOUS MATERIALS REPORT AND AN ASBESTOS ABATEMENT REPORT MUST BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO ANY INSPECTIONS BEING CONDUCTED.
INSPECTION IS REQUIRED PRIOR TO COVERING ANY WORK

OCCUPANY / FINAL GRANTED: .....

Date: .....

## Ameeta Sahota

---

**From:** Sherry Searle  
**Sent:** Monday, March 25, 2019 9:36 AM  
**To:** Ameeta Sahota; Jason Birkland  
**Subject:** FW: Villa Dardanelles - 820 Habgood-permits for interior repairs

Hi Ameeta,

Brian Torgalson from Pomeroy Restoration and Construction will be in to sign and pick up the building permits.

Regards,

**SHERRY SEARLE**  
Plans Examiner 2, City of White Rock  
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6  
Tel: 604.541.2295 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



**From:** Ryan Pankratz <[rpankratz@prconstruction.ca](mailto:rpankratz@prconstruction.ca)>  
**Sent:** Monday, March 25, 2019 9:04 AM  
**To:** Sherry Searle <[ssearle@whiterockcity.ca](mailto:ssearle@whiterockcity.ca)>  
**Cc:** Supervisor 07 <[btorgalson@prconstruction.ca](mailto:btorgalson@prconstruction.ca)>; Dean Pomeroy <[dpomeroy@prconstruction.ca](mailto:dpomeroy@prconstruction.ca)>  
**Subject:** Villa Dardanelles - permits for interior repairs

Hi Sherry

As discussed, please note that Brian Torgalson is the Site Superintendent overseeing the interior repair work at Villa Dardanelles (820 Habgood Street). He will be stopping by to pick up the permits from your office before meeting with the inspector on site this afternoon. I have copied Brian on this email and he can also be reached on his cell at 604-992-0408.

Thanks,

**Ryan Pankratz** BBA, MCPM, PMP  
Project Manager

PR Pomeroy Restoration & Construction (B.C.) Inc.  
P. 604-529-9200 (x. 4)  
C. 604-715-0412  
[www.prconstruction.ca](http://www.prconstruction.ca)



Record #	N/A	Reference Number	24000	Status	READY	Sent Date	
Subject	Monitoring Report for at 203 820 HABGOOD ST						
Template Type	INSPECTION RESULTS	System	COMDEV	Scheduled Date	Mar 25, 2019		
Template Name	MONITORING REPORT	System Ref	Folder Number: BP020443	Priority	NORMAL		

Main Errors Attachments

From	ggareau@whiterockcity.ca
To	
Cc	<dpomeroy@proconstruction.ca>, <pankratz@proconstruction.ca>
Bcc	
Reply To	

Error	No	Test	No
Created On	Mar 25, 2019 01:20:15 PM		
Created By	dbo		
Last Modified On	Mar 25, 2019 01:20:15 PM		
Last Modified By	dbo		

## City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2100  
White Rock, BC V4B 1Y6 Fax: (604) 541-2118

---

### MONITORING REPORT - GROUND

**Address:** 203 820 HABGOOD ST

**Permit:** BP020443 - MONITORING REPORT - GROUND

**Date:** Mar 25, 2019

---

**Status:** MONITORED

**THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED**

**Building Official:** GUY GAREAU

- 
- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Email Reference #24000



# Authorization Form

Planning and Development Services

P: 604-541-2136 | F: 604-541-2153

[www.whiterockcity.ca](http://www.whiterockcity.ca)

15322 Buena Vista, White Rock B.C. V4B 1Y6

Application Type(s)	Interior drywall repairs and painting
Site Address(es)	Unit 204 - 820 Habgood Street, White Rock, BC
PID(s)	
Legal Description(s)	

This document shall serve to notify the City of White Rock ("City") that I am / we are the legal owner(s) of the property described above and do authorize the person indicated below ("Agent") to act on my / our behalf on all matters pertaining to the stated application type(s) for the above referenced property/ies. In addition, I / we have read and understood the application requirements for the above application(s) and authorize the Agent to act on our behalf.

All registered property owners shall sign this Authorization Form. Company-owned properties must be represented by Agents. Use additional sheets if necessary. Changes in ownership will require the submission of new Authorization Forms.

Name of Property Owner(s) If company-owned, please also provide a contact name.	<b>Redacted S. 22</b>
Mailing Address	
Main & Cell Phone Number	
E-Mail Address	

Name of Agent	Dean Pomeroy or Ryan Pankratz
Company Name (if applicable)	PR Pomeroy Restoration & Construction (BC) Inc.
Mailing Address	#18 - 2075 Brigantine Dr., Coquitlam, BC V3K 7B8
Main & Cell Phone Number	604-529-9200
E-Mail Address	dpomeroy@prconstruction.ca      rpankratz@prconstruction.ca

I hereby consent ...	Input Signature Below:	Date (YY/MM/DD)
Property Owner	<b>Redacted S. 22</b>	19/05/20
Property Owner		
Authorized Agent		







# Application for Building Permit

Planning and Development Services  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2135 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

Date: MAR 22, 2019 Folder # BP 020441  
Access Code # \_\_\_\_\_

Landslide Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Development Permit Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Board of Variance:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Floodplain:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Pumping Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Demolition Permit:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following address. Copy of Plans for the Proposed Building or Alteration to Accompany this Application.

### PROPERTY INFORMATION

Civic Address: 204 - 820 HABGOOD STREET White Rock, BC V4B 4W3

Zoning: RM-2 Usage of Property: SFD  Multi  LUC: Yes  No

Legal Description: STRATA LOT 5 SECTION 11 TOWNSHIP 1 NEW WESTMINSTER DISTRICT STRATA PLAN LMS 56 Roll number: 003940.005

Description of Work: INTERIOR DRYWALL REPAIRS Project Value: \$ 4,000

### OWNER INFORMATION

Name on Title: Redacted S. 22

Address of Owner: Redacted S. 22

Owner's Phone: Redacted S. 22 Owner's Email: Redacted S. 22

### BUILDER INFORMATION

Name and address of builder or agent: FR POMEROY RESTORATION & CONSTRUCTION (BC) INC

Phone: 604 529 9200 Email: RFANKRATZ@FRCONSTRUCTION.CA

Business Licence #: 00023651

I agree to conform to all requirements of The City of White Rock Bylaws

Print Applicant Name: RYAN PANERATZ

Signature of Applicant: [Signature]

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Building Permit Fees	
Building Permit	\$ 251.00
Secondary Suite	—
Microfiche	\$ 25.00
Total	\$ 276.00

Plans Examiner Information

Maximum Building Height: \_\_\_\_\_

Angle of Containment: \_\_\_\_\_

Comments: \_\_\_\_\_

City of White Rock  
 15322 Duane Vista Ave  
 White Rock, BC V4B 1Y4

Receipt #: 12565/4  
 Dated: Mar 22, 2019  
 Station: CASH 4/WHITE  
 Mar 23, 2019  
 12:57:20 PM

CDPMT BP020443 318.50  
 CDPMT BP020442 257.00  
 CDPMT BP020441 276.00

Total 853.50  
 VISA PR POWEROY RESTORATION -853.50

Thank You for Your Payment





## Owners Acknowledgement of Responsibility and Undertakings

Planning and Development Services Department  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2136 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

### Form "A"

RE: Address: #204 - 820 Habgood Street, White Rock, BC

Building Permit Application No.: \_\_\_\_\_

1. I am the owner of the land and premises located at #204 - 820 Habgood St. WHITE ROCK BC.
2. I understand and acknowledge that I am fully responsible for carrying out the work or having the work carried out, in accordance with the requirements of the **British Columbia Building Code**, the City of White Rock **Building Bylaw** and all other bylaws of the City of White Rock.
3. I will comply with, or cause those whom I employ to comply with the **British Columbia Building Code** and all bylaws of the City of White Rock and other statutes and regulations relating to the development, work, undertaking or permission in respect of which this application is made.
4. I understand and acknowledge that neither the issuance of a permit under the City of White Rock **Building Bylaw**, the review of plans and supporting documents, nor inspections by a building official shall, in any way, constitute a representation, warranty, or statement that the **British Columbia Building Code**, City of White Rock **Building Bylaw**, or any other bylaw of the City of White Rock has been complied with.
5. If the material submitted in support of the application for this Building Permit included certification provided by Registered Professionals in the form of Schedules B as part of the **British Columbia Building Code**, I understand and acknowledge that the City of White Rock and its building officials have relied on those letters of assurance as certification that the design and plans to which they relate comply with the **British Columbia Building Code** and other applicable enactments relating to safety.
6. In particular, I understand and acknowledge that the City of White Rock has relied on the letters of "Assurance of Professional Design and Commitment for Field Review" provided by:
  - Insert the name of the Registered Professionals where applicable below:



Architectural: \_\_\_\_\_

Building Envelope: \_\_\_\_\_

Structural: \_\_\_\_\_

Mechanical: \_\_\_\_\_

Plumbing: \_\_\_\_\_ **N/A** \_\_\_\_\_

Fire Suppression Systems: \_\_\_\_\_

Electrical: \_\_\_\_\_

Geotechnical: \_\_\_\_\_

In reviewing the plans and supporting documentation submitted with this application for a Building Permit.

7. I am authorized to make this acknowledgement of responsibility and give these undertakings to the City of White Rock.
8. I understand that it would be prudent for me to seek independent legal advice with respect to the responsibilities I am assuming upon the granting of a Building Permit by the City of White Rock pursuant to this application and in respect of the execution of this acknowledgement.

Signed this 20 day of Mar. 2019.

**Redacted S. 22**

Print Name

**Redacted S. 22**

Signature of owner  
(or signing officer if the owner is a corporation)

Signed this 20 day of Mar. 2019.

**Redacted S. 22**

Witness

Self-Employed  
Occupation

Faint, illegible text, possibly bleed-through from the reverse side of the page.

Faint, illegible text, possibly bleed-through from the reverse side of the page.

Faint, illegible text, possibly bleed-through from the reverse side of the page.

**RECEIVED**

**MAR 22 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**

Faint, illegible text, possibly bleed-through from the reverse side of the page.





CITY OF WHITE ROCK - FEE SLIP

15322 Buena Vista Ave  
White Rock, BC V4B 1Y6



Folder: BP020442  
BUILDING PERMITS  
RESIDENTIAL PERMIT (MULTI) - MFD-ALT

Summary	Outstanding
Fees	259.00
<b>TOTAL</b>	<b>\$259.00</b>

RECEIVED  
 10/20/2017  
 10:00 AM  
 15322 BUENA VISTA AVE  
 WHITE ROCK BC V4B 1Y6  
 CITY OF WHITE ROCK  
 BUILDING PERMITS  
 RESIDENTIAL PERMIT (MULTI) - MFD-ALT

Thank You for Your Payment  
\$253.50

CITY OF WHITE ROCK - FEE SLIP

15322 Buena Vista Ave  
White Rock, BC V4B 1Y6



Folder: BP020441  
BUILDING PERMITS  
RESIDENTIAL PERMIT (MULTI) - MFD-ALT

Summary	Outstanding
Fees	276.00
<b>TOTAL</b>	<b>\$276.00</b>

RECEIVED  
 10/20/2017  
 10:00 AM  
 15322 BUENA VISTA AVE  
 WHITE ROCK BC V4B 1Y6  
 CITY OF WHITE ROCK  
 BUILDING PERMITS  
 RESIDENTIAL PERMIT (MULTI) - MFD-ALT

Thank You for Your Payment

**March 18, 2018**

**SHERRY SEARLE**

**Plans Examiner 2, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Re: Villa Dardanelles

Interior reconstruction approval

Hello Sherry,

As president of the Villa Dardanelles Strata Council, and on behalf of the Council Board, I am providing authorization for Pomeroy Restoration and Construction for the interior drywall repairs and painting of condo units 103, 104, 203, & 204.

Individual authorization forms and completed Form A will follow directly from each individual owner.

Thank you very much.

Respectfully,

**Redacted S. 22**

President, Villa Dardanelles Strata Council

Villa Dardanelles, LMS56

820 Habgood Street

White Rock, BC, V4B 4W3

**RECEIVED**

**MAR 22 2019**

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**





# Benchmark Painting

17-3618 150th Street, | Surrey, BC | V3Z 0W3 | |  
(604)803-5041 | service@benchmarkpainting.ca |  
www.benchmarkpainting.ca

**RECIPIENT:**

**PR Pomeroy Restoration & Construction - Adam Fett**

#18-2075 Brigantine Drive  
Coquitlam, British Columbia V3K 7B8  
Phone: (604) 992-0405

**Estimate #1697**

Sent on 03/15/2019

**Total \$16,280.25**

**SERVICE ADDRESS:**

820 Habgood Street  
White Rock, British Columbia V4B 4W3

SERVICE / PRODUCT	DESCRIPTION	UNIT COST	TOTAL
<del>Unit #303</del>	<del>Includes the following: -Wall and Ceiling Painting -Living/dining room -Prime and paint walls with new drywall or patches only (not into the hall) -Curved wall portion going into hallway -Ceilings prime where needed. Paint entire ceiling and into hall/entry</del>	<del>\$1,430.00</del>	<del>\$1,430.00</del>
Unit #204	Includes the following: -Living Room and Dining Room Ceiling -Supply and install new 5/8" drywall -Tape, mud and sand -Prime and paint living room and dining room and into the hall/entry -Does not include soundbar or install of soundbar  -Wall Repairs -Repair holes cut out in walls -Living room (1) -Patio door wall (1) -Fireplace mantle wall (1) -Dining room (1) with scrape marks along the wall -Supply and Install new 1/2" drywall -Tape, mud, sand, prime -Touch-up paint only	\$3,395.00	\$3,395.00

**RECEIVED**

MAR 22 2019

**PLANNING & DEVELOPMENT  
CITY OF WHITE ROCK**

**THE CORPORATION OF THE CITY OF WHITE ROCK**  
**BUILDING PERMIT**

DATE OF ISSUANCE: Mar 22, 2019

**MAR 25 2019**

BUILDING PERMIT No: BP020441

ROLL No: 003940.005

PROJECT ADDRESS: 204 820 HABGOOD ST  
 LEGAL DESCRIPTION: LT 5/ SEC 11/ NWD/ PL LMS56/ TWP 1  
 ZONE: RM-2

**DESCRIPTION OF PROJECT:**

Unit 204  
 Interior Drywall Repairs

OWNER: **Redacted S. 22**  
 ADDRESS: **Redacted S. 22**

Phone:

OWNER: **Redacted S. 22**  
 ADDRESS: **Redacted S. 22**

Phone: **Redacted S. 22**

BUILDER: **PR POMEROY RESTORATION & CONSTRUCTION (B.C.) INC.**  
 ADDRESS: **18-2075 BRIGANTINE DR COQUITLAM BC V3K 7B8**

Phone: 604 992 0408 Brian

**Redacted S. 22**



Owner or Authorized Agent

Building Official

**B.C.B.C. 1.1.2.4 Responsibility of Owner**

*1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.*

<b>PERMIT FEES:</b>	<b>Project Value:</b>	4,000.00
BP SCAN & COPY	5.00	25.00
BP APPL FEE	4,000.00	251.00
	<b>Total:</b>	<b>\$276.00</b>

**CONDITIONS:**

- ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE.
- A HAZARDOUS MATERIALS REPORT AND AN ASBESTOS ABATEMENT REPORT MUST BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO ANY INSPECTIONS BEING CONDUCTED.
- INSPECTION IS REQUIRED PRIOR TO COVERING ANY WORK

OCCUPANY / FINAL GRANTED: .....

Date: .....



## Ameeta Sahota

---

**From:** Sherry Searle  
**Sent:** Monday, March 25, 2019 9:36 AM  
**To:** Ameeta Sahota; Jason Birkland  
**Subject:** FW: Villa Dardanelles - 820 Habgood-permits for interior repairs

Hi Ameeta,

Brian Torgalson from Pomeroy Restoration and Construction will be in to sign and pick up the building permits.

Regards,

**SHERRY SEARLE**  
Plans Examiner 2, City of White Rock  
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6  
Tel: 604.541.2295 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



**From:** Ryan Pankratz <rpankratz@prconstruction.ca>  
**Sent:** Monday, March 25, 2019 9:04 AM  
**To:** Sherry Searle <SSearle@whiterockcity.ca>  
**Cc:** Supervisor 07 <btorgalson@prconstruction.ca>; Dean Pomeroy <dpomeroy@prconstruction.ca>  
**Subject:** Villa Dardanelles - permits for interior repairs

Hi Sherry

As discussed, please note that Brian Torgalson is the Site Superintendent overseeing the interior repair work at Villa Dardanelles (820 Habgood Street). He will be stopping by to pick up the permits from your office before meeting with the inspector on site this afternoon. I have copied Brian on this email and he can also be reached on his cell at 604-992-0408.

Thanks,

**Ryan Pankratz** BBA, MCPM, PMP  
Project Manager

PR Pomeroy Restoration & Construction (B.C.) Inc.  
P. 604-529-9200 (x. 4)  
C. 604-715-0412  
[www.prconstruction.ca](http://www.prconstruction.ca)

Record #	N/A	Reference Number	24001	Status	READY	Sent Date	
Subject	Monitoring Report for at 204 820 HABGOOD ST						
Template Type	INSPECTION RESULTS	System	COMDEV	Scheduled Date	Mar 25, 2019		
Template Name	MONITORING REPORT	System Ref	Folder Number: BP020441	Priority	NORMAL		

Main Errors Attachments

From	ggareau@whiterockcity.ca
To	
Cc	<dpomeroy@proconstruction.ca>, <pankratz@proconstruction.ca>
Bcc	
Reply To	

Error	No	Test	No
Created On	Mar 25, 2019 01:23:31 PM		
Created By	dbo		
Last Modified On	Mar 25, 2019 01:23:31 PM		
Last Modified By	dbo		

## City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2100  
White Rock, BC V4B 1Y6 Fax: (604) 541-2118

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### MONITORING REPORT - GROUND

**Address:** 204 820 HABGOOD ST

**Permit:** BP020441 - MONITORING REPORT - GROUND

**Date:** Mar 25, 2019

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**Status:** MONITORED

**THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED**

**Building Official:** GUY GAREAU

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- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Email Reference #24001