

February 24, 2020

FOI No: 2020-03

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has processed your request for access to the following records pursuant to the *Freedom of Information and Protection of Privacy Act (the Act)*:

- *Building permit file for 15565 Victoria Ave*

Access to these records is available. However, some of the records contain information that is excepted from disclosure under the Act. I have severed the excepted information so that I could disclose to you the remainder of the records as attached.

The severed information is excepted from disclosure under sections 15, 21, and 22 of the Act.

Severing under section 15 is necessary to protect the security of the subject property. All drawings showing interior floorplans have been withheld in their entirety. As a policy, the City will only disclose interior floorplans to a property owner or their agent.

Severing under section 21 is necessary to protect information that may be harmful to the business interests of a third party if disclosed. All bank account numbers have been withheld.

Severing under section 22 is necessary to avoid disclosing third-party personal information without permission. Any names, addresses, or phone numbers that could not be confirmed as business contact information have been withheld.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

THE CORPORATION OF THE CITY OF WHITE ROCK
BUILDING PERMIT

DATE OF ISSUANCE:

MAY 3 1 2018

BUILDING PERMIT No: BP016123

ROLL No: 003265.000

PROJECT ADDRESS: 15565 VICTORIA AVE

LEGAL DESCRIPTION: LT 16/ BLK 2/ SEC 11/ NWD/ PL NWP488/ TWP 1

ZONE: RS-3

DESCRIPTION OF PROJECT:

To construct a new single family dwelling, secondary suite and accessory 10' x 12' shed.

OWNER:
ADDRESS:

Redacted S. 22

Phone:

OWNER:
ADDRESS:

Redacted S. 22

Phone:

BUILDER:
ADDRESS:

0907574 BC LTD.
302 - 6832 KING GEORGE BLVD SURREY BC V3W 4Z9

Phone: 778-895-5024

X

Redacted S. 22



Owner or Authorized Agent

Building Official

B.C.B.C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

PERMIT FEES:

BD RD&ROW ALTR
BP APPL FEE

Project Value:

1.00	500.00
1.00	6,135.50
Total:	\$6,635.50

CONDITIONS:

- ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE.
- ARCHITECTURAL SCHEDULE B ON FILE FROM G.S. PUREWAL - BUILDING ENVELOPE
- ARCHITECTURAL SCHEDULE B ON FILE FROM T. T. NGO - GLASS GUARDS
- CIVIC ADDRESS MUST BE CLEARLY DISPLAYED ON SITE
- COORDINATING REGISTERED PROFESSIONAL SCHEDULE A ON FILE FROM V.K. BAINS
- FIELD REVIEWS ARE REQUIRED
- FIRE SUPPRESSION SCHEDULE B ON FILE FROM G.S. PUREWAL
- GEO-TECHNICAL SCHEDULE B ON FILE FROM ~~DR. X. MENG~~ **H. JIAN JUL 5/18 SS**
- INSPECTION IS REQUIRED PRIOR TO COVERING ANY WORK
- LANDSLIDE ASSESSMENT AND APPENDIX D ON FILE
- PLUMBING SCHEDULE B ON FILE FROM J.S. SIDHU (STORM AND SANITARY PUMP)
- STRUCTURAL SCHEDULE B ON FILE FROM V.K. BAINS
- TREE MANAGEMENT PERMIT NO. 16-054 ISSUED.

OCCUPANY / FINAL GRANTED:

Date:

The City of White Rock, in issuing this Building Permit, has relied upon (a) Registered Professional(s) for certification to the B. C. Building Regulations for the plans or aspects of the plans.

Neither the issuance of a **permit** under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the **City** shall in any way relieve the **owner** or his or her representatives from full and sole responsibility to perform the work in strict accordance with the **Building Code**, this Bylaw, and any other applicable enactments respecting safety.

It shall be the full and sole responsibility of the **owner** (and where the **owner** is acting through a representative, the representative) to carry out the work in respect of which the **permit** was issued in compliance with the **Building Code**, this Bylaw and any other applicable enactments respecting safety.

Neither the issuance of a **permit** under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the **City** constitute in any way a representation, warranty, assurance or statement that the **Building Code**, this Bylaw or any other applicable enactments respecting safety have been complied with.

V. K. ENGINEERING AND CONSULTING LTD.

12830-80th Ave., Surrey BC., V3W 3A8 PH.:7785937444, CELL.:(604)825-4386

RECEIVED

JUNE 28, 2018

JUL 05 2018

CITY OF WHITE ROCK

THE CORPORATION OF THE
CITY OF WHITE ROCK

ATTN: PLAN CHECKER

16 - 123

Re: 15565-VICTORIA AVE., WHITE ROCK., BC

This is an addendum, pls note that we are aware of new geotechnical engineering firm Geocan Engineering Inc..

We trust that this documentation meets your current requirements. If you have any queries, Please do not hesitate to contact us.

→ Yours truly



Vijay Kumar Bains, P.Eng
V.K. Engineering & Consulting Ltd

RAZA Consultants Ltd

#16123


Address: 13463 79 Ave Surrey BC,
Phone: 604-3621995, E mail: razaconsultant@yahoo.ca

To: **City of White Rock**

Subject: **Termination Letter for Project @ 15565-Victoria Ave. White Rock, BC**

We have terminated our services and not working on this project anymore.
We have no objection if client hires the services of another professional.

If you have any questions/ concerns please contact us.


Ahmed Raza Syed, PEng.
Raza Consultants Ltd.
MaY 17, 2018

May 17/2018

RECEIVED

MAY 17 2018

CITY OF WHITE ROCK
DEVELOPMENT SERVICES



WESTERN
GEOTECHNICAL CONSULTANTS LTD.
INNOVATING QUALITY SOLUTIONS

July 5, 2018
Project No.: WG1-0933

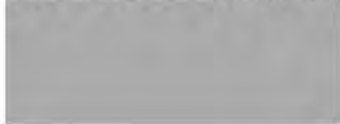
16 - 123

[Faint red stamp]

JUL 05 2018

THE CORPORATION OF THE
CITY OF WHITE ROCK

Redacted S. 22



RE: LETTER OF NOTIFICATION – Geotechnical Engineering Services Withdraw
WG1-0933 15565 Victoria Ave, White Rock

Dear **Redacted S. 22**

The undersigned represents Western Geotechnical Consultants Ltd. (WesternGeo), and as requested by **Redacted S. 22** WesternGeo have been asked to withdraw our geotechnical engineering services for the above noted project.

Schedule B's with the City of White Rock will be withdrawn by our company immediately, and are to be updated and replaced by Schedule B's from your new Geotechnical Engineer immediately.

Our services to date have been compensated and at your request, the work to date may be provided to your new Geotechnical Engineer of Record.

The information used by your new Geotechnical Engineer will be at their sole risk.

If there are any questions regarding the above subject, please contact the undersigned at the office.

Sincerely,

Western Geotechnical Consultants Ltd.

John Meng P.Eng, PhD
Geotechnical Engineer

7/5/2018





GEOCAN ENGINEERING INC.

Phone: 778-987-7461
 Email: geotechcanada.general@gmail.com
 54 - 22865 Telosky Avenue
 Maple Ridge, BC, V2X 8Z9

July 03, 2019

City of White Rock
 15332 Buena Vista Avenue
 White Rock, BC V4B 1Y6

Attention: Ms. Sherry Searle, Plans Examiner 2
Re: Shoring Documents Review
 15565 Victoria Avenue, White Rock, BC
Project No: 18812

Dear Ms. Searle,

GeoCan Engineering Inc. (GeoCan Engineering Inc.) received the "Model Schedule S-B" (Assurance of Professional Design and Commitment for Field Review by Supporting Registered Professional) from Davies Geotechnical Inc. (Davies) on June 20, 2019. Based on this, Davies will be the support engineer for the east side shoring design at 15565 Victoria Avenue, White Rock.

At the request of **Redacted S. 22** the owner of 15565 Victoria Avenue, White Rock, GeoCan has reviewed the shoring design provided by Davies dated May 6, 2019. By this letter, we confirm that "Residential Shoring 15565 Victoria Avenue, White Rock BC" by Davies Geotechnical Inc. dated May 6, 2019 was overall acceptable. In case of any necessary changes found, we will submit our comments and documents to the city.

We trust that this letter meets your current request. If you have any more concerns, please feel free to contact the undersigned.

Regards,

Heqing Jian, P. Eng.
 Senior Geotechnical Engineer

C:\Users\GeoCan\Documents\Documents\1_offen\GeoCan Engineering Inc\Projects\2018\18812_15565 Victoria Ave, White Rock\2018-07-09\ Davies shoring review letter for 15565 Victoria Ave_20190703.docx

RECEIVED

JUL 29 2019

CITY OF WHITE ROCK
DEVELOPMENT SERVICES



GEOCAN ENGINEERING INC.

Phone: 778-987-7461
Email: geotechcanada.general@gmail.com
54 - 22865 Telosky Avenue
Maple Ridge, BC, V2X 8Z9

RECEIVED

JUL 10 2018

THE CORPORATION OF THE
CITY OF WHITE ROCK

July 09, 2018

16 - 123

City of White Rock
15332 Buena Vista Avenue
White Rock, BC V4B 1Y6

Attention: Ms. Sherry Searle, Plans Examiner 2
Re: Documents Review
15565 Victoria Avenue, White Rock, BC
Project No: 18812

Dear Ms. Searle,

Redacted S. 22 the owner of 15565 Victoria Avenue, White Rock has retained GeoCan Engineering Inc. as his geotechnical engineer to provide geotechnical consulting services during the construction of a single-family residence at the subject site. By this letter, we confirm that we have reviewed the *Geotechnical Assessment Proposed Single-Family Residential Development 15565 Victoria Avenue, White Rock BC V4B 1H8* dated May 15, 2018, prepared by Western Geotechnical Consultants Ltd. (Western Geo). In addition, the addendum to the above-mentioned report dated May 23, 2018 was also reviewed.

Based on our site reconnaissance, we have done the excavation plan design drawings for the subject site. We confirm that the Western Geo report and excavation plan was referenced in our excavation plan and will be referred to our future design and site reviews. We overall accepted the assessments, recommendations and suggestions in the Western Geo report and addendum letter. In case of any necessary changes found, we will submit new memos and documents to the city.

We trust that this letter meets your current request. If you have any more concerns, please feel free to contact the undersigned.

Regards,



Heqing Jian, P. Eng.
Senior Geotechnical Engineer

C:\Users\GeoCan\Documents\Documents\1_offen\GeoCan Engineering Inc\Projects\2018\18812_15565 Victoria Ave, White Rock\documents received on 2018-07-06\Documents review letter for 15565 Victoria Ave_20180709.docx

#16123



May 15, 2018

Project No.: WG1-0933

Submitted To: s. 22

302 – 6832 King George Boulevard

Surrey, B.C. V3W 4Z9

T. 778.895.5024 | E. Redacted S. 22

GEOTECHNICAL ASSESSMENT

Proposed Single-Family Residential Development

15565 Victoria Avenue, White Rock B.C., V4B 1H8

Submitted By: John Meng ^{PEng}, Loni Nickel ^{EIT}

Western Geotechnical Consultants Ltd.

#103-19162 22nd Avenue

Surrey B.C. V3S 3S6

T. 604.385.4244 | F. 604.385.4245 | E. jmeng@westerngeo.ca, lnickel@westerngeo.ca

British Columbia Locations:
Abbotsford, Burnaby, Sechelt,
Surrey (Head Office), and Squamish.

Alberta Locations:
Calgary



GEOTECHNICAL

GEOLOGICAL

GEOENVIRONMENTAL



TABLE OF CONTENTS

1.0	INTRODUCTION	1
2.0	PROJECT DESCRIPTION	1
3.0	METHODOLOGY	2
4.0	SITE DESCRIPTION	2
4.1	Soil Conditions	2
5.0	DISCUSSION AND RECOMMENDATIONS	3
5.1	Seismicity	3
5.2	Geotechnical Hazards (Landslide and/or Flooding)	3
5.3	Building Setbacks	4
5.4	Excavation and Trenching	4
5.5	Site Preparation and Backfilling	4
5.6	Foundation Design	5
5.7	Foundation Walls	5
5.8	Temporary and Permanent Drainage	6
6.0	FIELD REVIEWS	6
7.0	CLOSURE	7

APPENDICES

Appendix A – Standard Limitations

Appendix B – Figures

Appendix C – Letters of Assurance



1.0 INTRODUCTION

In accordance with your recent authorization, Western Geotechnical Consultants Ltd. (WesternGeo) has completed this *Geotechnical Assessment* of the proposed re-development of 15565 Victoria Avenue, White Rock, B.C. The purposes of this assessment were to identify subsurface soil and groundwater conditions, to evaluate the proposed development with respect to potential geotechnical hazards, and to provide recommendations for site development and foundation design.

This report has been prepared in accordance with standard geotechnical engineering principles and practices for similar developments in this region. This report does not address any environmental issues related to development of the project site. Upon request, WesternGeo can provide environmental consulting services. This report has also been prepared in accordance with the *2010 APEGBC Guidelines for Legislated Landslide Assessments for Proposed Residential Development in BC* to satisfy the City of White Rock's development and building bylaws.

Based on the findings of this study and provided that all of the recommendations presented herein are implemented, there are no reasonably conceivable geotechnical issues that would preclude re-development of the subject property. The subject property may be safely used for its intended purpose.

The native subgrade soils at this site are competent to support the loads associated with typical single-family residential buildings on conventional shallow footings and slab-on-grade without appreciable settlement. A shoring and/or underpinning plan is required as the maximum excavation depth exceeds 1.2 m. The location and general layout of the site are illustrated in the attached Figure 1.

2.0 PROJECT DESCRIPTION

It is our understanding that it is planned to construct a 2 storey single family residential building with partially underground basement. The basement floor slab elevation is on average about 1.7 m (max is 3.75 m) below the existing ground surface. Neighbouring properties adjacent to the lot have been developed with similar single-family residential buildings with no underground basements. Footing elevations are assumed to be equivalent to the proposed building or deeper.

At the time this report was written, WesternGeo reviewed the Architectural Package provided by Toora Home Plans and entitled Proposed Single Family Dwelling for Lot 16 @ 15565 Victoria Avenue, White Rock, BC dated August 2017.



3.0 METHODOLOGY

A detailed site reconnaissance of the subject property was completed on July 14, 2016 by representatives of WesternGeo. The site reconnaissance consisted of traversing the property (and neighboring properties) by foot. During the reconnaissance, features of engineering significance were documented.

A desk study was also conducted and included review of available geological and geotechnical information of the area, review of local topographical maps, and review of available aerial photography. A subsurface investigation was not conducted as part of this assessment; however, WesternGeo has completed multiple geotechnical investigations in the past in close proximity to the proposed development and has a good understanding of the subsurface conditions.

4.0 SITE DESCRIPTION

The site is rectangular and is about 9.1 by 35.6 m in plan dimensions. The site is bounded by Victoria Avenue to the south and a narrow laneway to the north with frontages of about 9.1 m along the road/laneway. The site is relatively flat, sloping locally at 7% north, however, the surrounding terrain is sloping 8% south. The site is located approximately 100 m away from the toe of an 18% slope.

Based on our local experience, knowledge of the area, and surficial geological maps of the area, the site is underlain by glacio-marine sediments such as silts, sands, and gravels. Dense till-like soils are anticipated at depth. A shallow water table is not expected; however, it is anticipated that localized seepage and/or springs will be encountered. The presences of localized groundwater are expected to occur during wet periods of the year and/or after periods of prolonged rainfall and/or rapid snow melt.

4.1 Soil Conditions

Geological maps indicate that the site is located within a formation of marine and glaciomarine till consisting of sand and silt belonging to the ice age. Several testpits and augerholes completed in past site investigations in the area show subsurface conditions that are consistent with the published geological information.

In general, it is expected the site is underlain by a thin veneer of disturbed topsoil over medium dense silty fine sand. The sand will appear to become denser with depth.

The general soil stratigraphy (from top to bottom) in the area is as follows:

- **FILL:** 0.5 to 0.8 m thick surface layer consisting of fine and trace organics.
- **FINE SAND or SILT AND CLAY:** 0.6 m thick layer of fine and compact sand.
- **SANDY GRAVEL:** >1 m thick layer, poorly graded sand and gravel, compact, and moist.
- **CLAY:** Low plastic, stiff, light grey, moist to wet



5.0 DISCUSSION AND RECOMMENDATIONS

Based on the observations described above, the following conclusions and recommendations are made. It is our opinion that the major geotechnical consideration related to re-development of the property will be bearing capacity of the soil and permanent drainage around building sites. Excavation is considered to be a secondary geotechnical issue. There are no significant geotechnical issues that would preclude re-development of the property.

The native subgrade soils at this site are suitable to support the proposed 2- or 3-level single-family residential building on conventional shallow footings and slab-on-grade without appreciable settlement. All foundations must be designed in accordance with the 2012 British Columbia Building Code (BCBC).

5.1 Seismicity

According to the 2012 B.C. Building Code, the Site Classification for this property is 'D' – Stiff Soil. As interpolated from the 2010 National Building Code Seismic Hazard Calculation for White Rock, B.C., the Peak Ground Acceleration can be taken as 0.564, and the Spectral Acceleration Response Values can be taken as:

$$S_A(0.2) = 0.872; S_A(0.5) = 0.772; S_A(1.0) = 0.434; \text{ and, } S_A(2.0) = 0.261.$$

SEE MAY 23/18
APPENDIX
ATTACHED

It is judged that there is negligible probability of liquefaction of the subgrade at this site during the design earthquake.

5.2 Geotechnical Hazards (Landslide and/or Flooding)

Due to the local low grade of the site and distance from the steeper slope, competent subgrade soils, and that no evidence of instability was observed, no slope stability analysis or was conducted. The subsoil conditions are competent (till) and not conducive to slope instability under static or seismic conditions for the natural slope grade for which this property is situated. **The property is not susceptible to landslide under natural conditions.** In accordance with the City of White Rock's building and development bylaws, WesternGeo has issued Appendix D, Landslide Assurance Statement, on this basis.

Furthermore, the subject property is situated well away from any significant drainage course, steep slope, and/or Natural Boundary of any body of water or watercourse. The subject property is situated at an elevation of about 14 m above Sea Level and outside the 200 year floodplain. **The property is not subject to Flooding as defined by the Flood Hazard Development Permit Area in the City of White Rock's Official Community Plan.**



There are no other reasonably conceivable geotechnical hazards that would preclude development of the subject property.

5.3 Building Setbacks

From a geotechnical point-of-view, no geotechnical setbacks are warranted for this site. All other setbacks unrelated to geotechnical aspects of the development as required by the City of White Rock should also be implemented.

5.4 Excavation and Trenching

Where excavation is required and exceeds a depth of 1.2m, WorkSafe B.C. guidelines for stable excavations should be followed to ensure a safe working area. For planning purposes, temporary cut slopes deeper than 1.2 m, may be cut with side slopes of 3H:4V with WorkSafe BC regulations unless specific on site recommendations are provided by the geotechnical engineer.

Should seepage be encountered during excavation, the slopes should be flattened. The Geotechnical Engineer should also be notified in advance in order to review the excavation to verify its stability and safety of workers entering the excavation.

Based on available building plans and elevations, shoring and/or underpinning of excavated slopes and nearby structures is required. Figure 2 shows a preliminary stability model of the planned excavation, assuming a vertical cut slope at the property line and without shoring. The Factor of Safety for an unsupported vertical excavation is 0.7; this falls below the threshold of 1.3, the minimum required for temporary excavation. There is limited clearance for a safe cut side slope along the adjacent properties, therefore a shoring plan will need to be implemented for the excavation. A shoring plan is currently being developed and will be provided by WesternGeo at a later date. The owner will be required to submit an underpinning/shotcrete legal agreement from adjacent property owners.

5.5 Site Preparation and Backfilling

Areas of building footing and slab areas should be stripped and cleared of fills, topsoil, organic soils, Peat soil, loose/soft soils and other deleterious material to expose the inorganic, undisturbed, native subgrade as approved by the Geotechnical Engineer. A 100mm thick bedding layer of 19mm clear crushed gravel should be placed on the approved subgrade surface.

Where site-grading fill is required, granular Engineered Fill should be used. Engineered fill should consist of approved granular materials that consist of a clean 75mm minus pit run sand and gravel or approved equivalent. All site-grading fill should be compacted as approved by the Geotechnical



Engineer to at least 95% of the material's Modified Proctor Maximum Dry Density (MPMDD) value in lifts no thicker than 300mm.

5.6 Foundation Design

The native subgrade soils at this site are competent to support the footing and floor loads associated with typical lightly-loaded buildings on conventional shallow strip and pad footings. Footings should be designed in accordance with the 2012 B.C. Building Code and the minimum recommendations described below.

For the site and foundation conditions described above, for Serviceability Limits State (SLS) Design, a maximum allowable soil bearing pressure of not more than 75kPa (1,500 psf) can be used for the design of footings. This SLS is based on an estimated post-construction total settlement of less than 25mm with a differential settlement of less than 12.5mm over a horizontal distance of about 10m. A Geotechnical Resistance Factor of 0.5 was applied to the Ultimate Bearing Capacity (unfactored load) to calculate the Factored Bearing Resistance of 115 kPa.

The bottom of utility excavations or other footing excavations should be setback a horizontal distance beyond a 2(H):1(V) line projected down from the edge of the footing. Footings should be properly spaced such that the distance (edge to edge) between adjacent footings is at least equal to twice the width of the footing. Footings should be designed for equal contact pressure of nearly equal sizes to minimize potential total and differential settlements.

Concrete floor slab-on-grade should be underlain by a minimum 100 mm layer of either a clean 75 mm minus well-graded sand and gravel with less than 5 % passing the 0.075 mm sieve, or 19 mm clear crushed gravel properly leveled and tamped in place.

5.7 Foundation Walls

Basement walls should be adequately designed to resist the lateral earth pressures acting on them. Lateral loadings on foundation walls have been provided for a number of situations. Coefficients have been provided for At-Rest Pressure (K_0), Active Pressure (K_A), and Passive Pressure (K_P). Coulomb's theory was used to calculate the active and passive pressures, while a Mononobe-Okabe solution was used to calculate an earthquake induced active pressure. The following table lists the lateral earth pressures coefficients that should be used for the design of basement and/or retaining walls:



Pressure Coefficient	Symbol	Value
At-Rest Pressure	K_0	0.5
Active Pressure	K_A	0.3
Passive Pressure	K_P	3.0
Seismic Pressure	K_{AE}	0.3

In the event that the water table is at the surface, which is unlikely given the raised topography and the free draining subgrade material, there is potential for significant hydrostatic pressure buildup behind the foundation walls. This does not affect the pressure coefficients; however, while the unit of weight of soil may be reduced, the hydrostatic pressure must be accounted for.

5.8 Temporary and Permanent Drainage

WesternGeo believes that groundwater will not pose a major issue in the development of the site. The excavation should be sloped in such a way as to intercept and collect storm runoff away through conventional sump and pump methods during construction.

Footing drains are recommended and should consist of 100mm (4 inch) perforated drain pipe surrounded on the top and sides by at least 150mm (6 inches) of nominal 19mm (3/4 inch) drain rock or clear crushed gravel wrapped in filter fabric. A minimum 600mm (2 foot) wide zone of free-draining backfill should be placed against foundation walls above the drain rock.

Water collected in the footing drains and roof drainage should be discharged through a non-perforated pipe to an appropriately located and sized rock pit, storm drain, or drainage ditch in accordance with local building bylaws. Roof drainage should be conveyed to discharge in a separate non-perforated pipe and should not be discharged into the footing drains around the buildings.

6.0 FIELD REVIEWS

In order to sign off the work, WesternGeo must be provided with final site plans and building plans to review and ensure that the geotechnical requirements described herein have been implemented. WesternGeo does not assume any responsibility or liability for the adequacy of our recommendations when they are used in the field without WesternGeo being retained to review and approve the recommendations made in this report.

WesternGeo should be notified in advance prior to the construction stage in order to schedule and complete the necessary field reviews. Minimum field reviews are necessary to allow sign-off at the following stages: excavation and shoring, subgrade approval, engineered fill placement and approval,



confirmation of soil bearing pressure prior to construction of footing forms; review of drainage measures, and/or review of backfills.

7.0 CLOSURE

Buildings constructed on this property, following the recommendations in this letter, may be safely used for the intended use as described herein. It is therefore judged, that the probability of occurrence of a geotechnical hazard, as described herein, that could damage the building on this lot is estimated to be less than about 10 % in 50 years. For seismic slope stability, as required by the latest amendment to the 2012 B.C. Building Code, the probability of occurrence for seismic slope stability building is estimated to be less than 2 % in 50 years.

A shoring plan is currently being developed and will be provided by WesternGeo at a later date. Two sets of signed and sealed excavation/shoring drawings from the geotechnical engineer will be submitted to the client. The client will be required to submit an underpinning/shotcrete legal agreement from adjacent property owners.

We appreciate the opportunity to be of service to you. If you have any questions regarding the contents of this report, or if we can be of further assistance to you on this project, please call any of the undersigned.

Sincerely,
Western Geotechnical Consultants Ltd.

Loni Nickel ET
Geotechnical Engineer in Training



John Meng PENG
Geotechnical Engineer



APPENDIX A

Limitations

LIMITATIONS OF LIABILITY



1. **General:** *Western Geotechnical Consultants Ltd.* (WESTERNGEO) shall render the Services, as specified in the attached Scope of Services, to the client for this Project in accordance with the following terms of engagement. WESTERNGEO may, at its discretion and at any stage, engage sub-consultants to perform all or any part of the Services.
2. **Representatives:** Each party shall designate a representative who is authorized to act on behalf of that party and receive notices under this Agreement.
3. **Authorization to Proceed:** Ordering of work over the telephone or by written instructions will serve as authorization for WESTERNGEO to proceed with the services called for in this proposal and agreement with the terms. This Agreement, including attachments incorporated herein by reference, represents the entire agreement between WESTERNGEO and Client. This Agreement may be altered only by written instrument signed by authorized representatives of both Client and WESTERNGEO.
4. **Extent of Agreement:** Work beyond the scope of services or redoing any part of the project through no fault of WESTERNGEO, shall constitute extra work and shall be paid for on a time-and-materials basis in addition to any other payment provided for in this Agreement. If, during the course of performance of this Agreement, conditions or circumstances are discovered which were not contemplated by WESTERNGEO at the commencement of this Agreement, WESTERNGEO shall notify Client in writing of the newly discovered conditions or circumstances, and Client and WESTERNGEO shall renegotiate, in good faith, the terms and conditions of this Agreement.
5. **Compensation:** Charges for the Services rendered will be made in accordance with WESTERNGEO Schedule of Fees and Disbursements in effect from time the services are rendered. WESTERNGEO Schedule of Fees and Disbursements are included in WESTERNGEO Budget Estimate. All charges will be payable in Canadian Dollars. WESTERNGEO shall invoice the Client on a monthly basis for the services performed under this Agreement and shall provide a monthly summary of costs to date. The Client shall pay such invoice upon receipt. Invoices not paid within thirty (30) days of the invoice date shall be subject to a late payment charge of 1.5 percent per month (18% per annum) from date of billing until paid. The invoice amounts shall be presumed to be correct unless Client notifies WESTERNGEO in writing within fourteen (14) days of receipt. Overdue accounts over 90 days will be forwarded to a collections agency.
6. **Probable Costs:** WESTERNGEO does not guarantee the accuracy of probable costs for providing Engineering Services. Such probable costs represent only WESTERNGEO judgment as a Professional and are supplied only for the general guidance of the Client.
7. **Standard of Care:** WESTERNGEO shall perform its services in a manner consistent with the standard of care and skill ordinarily exercised by members of the profession practicing under similar conditions in the geographic vicinity and at the time the services are performed. This Agreement neither makes nor intends a warranty or guarantee, expressed or implied.
8. **Indemnity:** Client waives any claim against WESTERNGEO, its officers, employees and agents and agrees to defend, indemnify, protect and hold harmless WESTERNGEO and its officers, employees and agents from any and all claims, liabilities, damages or expenses, including but not limited to delay of the project, reduction of property value, fear of or actual exposure to or release of toxic or hazardous substances, and any consequential damages of whatever nature, which may arise directly or indirectly, to any party, as a result of the services provided by WESTERNGEO under this Agreement, unless such injury or loss is caused by the sole negligence of WESTERNGEO.
9. **Limitation of Liability:** Client agrees to limit WESTERNGEO and its officers, employees, and agents liability due to professional negligence and to any liability arising out of or relating to this Agreement to Fifty Thousand Dollars (\$50,000) or the amount of WESTERNGEO fee, whichever is less. This limit applies to all services on this project, whether provided under this or subsequent agreements, unless modified in writing, agreed to and signed by authorized representatives of the parties. No claims may be brought against WESTERNGEO in contract or tort more than two (2) years after Services were completed or terminated under this engagement. Note: WESTERNGEO will not be responsible for water ingress related problems as our insurance policy contains an Absolute Water Ingress Exclusion.
10. **Additional Limits:** For special projects, higher liability limits are available from our underwriter for an additional fee.
11. **Insurance:** WESTERNGEO warrants it is protected by WorkSafe BC Insurance, General Liability Insurance, Professional Errors and Omissions Insurance, and Automobile Liability Insurance. Certificates for such policies of insurance shall be provided to the Client upon request.
12. **Responsibility:** WESTERNGEO is not responsible for the completion or quality of work that is dependent upon or performed by the Client or third parties not under the direct control of WESTERNGEO, nor is WESTERNGEO responsible for their acts or omissions or for any damages resulting therefrom. WESTERNGEO shall not be responsible for:
 - a. The failure of a contractor, retained by the Client, to perform the work required for the Project in accordance with the applicable contract documents;
 - b. The design of or defects in equipment supplied or provided by the Client for incorporation into the Project
 - c. Any cross-contamination resulting from subsurface investigations;
 - d. Any damage to subsurface structures and utilities which were identified and located by the Client;
 - e. Any Project decisions made by the Client if the decisions were made without consultation of WESTERNGEO or contrary to or inconsistent with WESTERNGEO recommendations;
 - f. Any consequential loss, injury, or damages suffered by the Client, including but not limited to loss of use, earnings, and business interruption; and.

LIMITATIONS OF LIABILITY



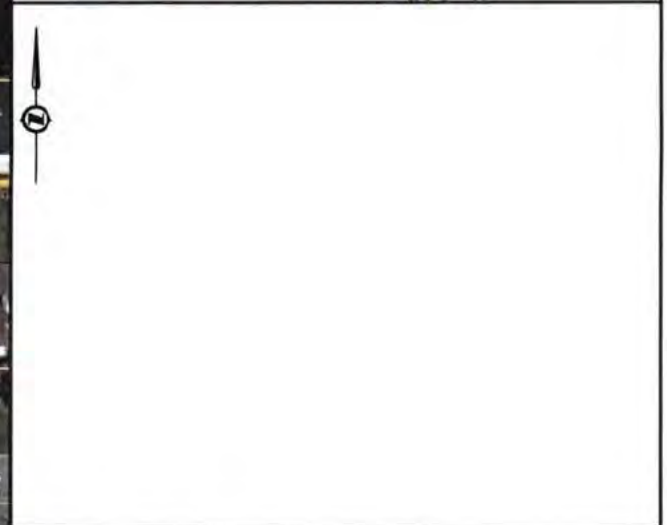
- g. The unauthorized distribution of any document or report prepared by or on behalf of WESTERNGEO for the exclusive use of the Client.
13. **Exclusive Use:** Services provided under this Agreement, including all reports, information or recommendations prepared or issued by WESTERNGEO, are instruments of service for the execution of the Project. WESTERNGEO retains the property and copyright in these documents, whether the Project is executed or not. No other use of these documents is authorized under this Agreement without the prior written agreement of WESTERNGEO.
 14. **Samples:** All non-consumed samples shall remain the property of the Client, and Client shall be responsible for and promptly pay for the removal and lawful disposal of samples, cuttings and hazardous materials, unless otherwise agreed in writing. If appropriate, WESTERNGEO shall preserve samples obtained for the project for not longer than thirty (30) days after the issuance of any document that includes the data obtained from those samples.
 15. **Environmental:** WESTERNGEO's field investigation, laboratory testing and engineering recommendations will not address or evaluate pollution of air, soil and/or groundwater, unless otherwise specifically listed in the attached Scope of Services. WESTERNGEO will co-operate with the Client's environmental consultant during field work phase of the investigation.
 16. **Field Services:** Where applicable, field services recommended for the Project are the minimum necessary, in the sole discretion of WESTERNGEO, to review whether the work of a contractor retained by the client is being carried out in general conformity with the intent of the Services. Any reduction from the level of services recommended will result in WESTERNGEO not providing qualified certifications for the work.
 17. **Termination:** This Agreement may be terminated by either party upon ten (10) days written notice to the other. In the event of a termination, the Client shall pay for all reasonable charges for work performed and demobilization by WESTERNGEO to the date of notice of termination. The limitation of liability and indemnity obligations of this Agreement shall be binding notwithstanding any termination of this Agreement.
 18. **Dispute Resolution:** If requested in writing by either the Client or WESTERNGEO, the Client and WESTERNGEO shall attempt to resolve any dispute between them arising out of or in connection with this Agreement by entering into structured, non-binding negotiations with the assistance of a mediator on a without prejudice basis. The mediator shall be appointed by agreement of the parties. If a dispute cannot be settled within a period of thirty (30) calendar days with the mediator, the dispute shall be referred to and finally resolved by arbitration under the rules of British Columbia or by an arbitrator appointed by agreement of the parties or by reference to a Judge of the Supreme Court of British Columbia.
 19. **Governing Law:** This Agreement is governed by the law British Columbia, and any litigation shall be brought and tried in, the judicial jurisdiction of the WESTERNGEO office that entered this Agreement, as stated herein.
 20. **Non-Solicitation:** The Client agrees they shall not recruit for employment or hire any WESTERNGEO employees who provide services pursuant to this Agreement during the term of this Agreement and for a period of one (1) year following its termination.



016123

APPENDIX B

Figures



General Site Plan

Image provided by City of White Rock Online WROMS

All distances are in metres

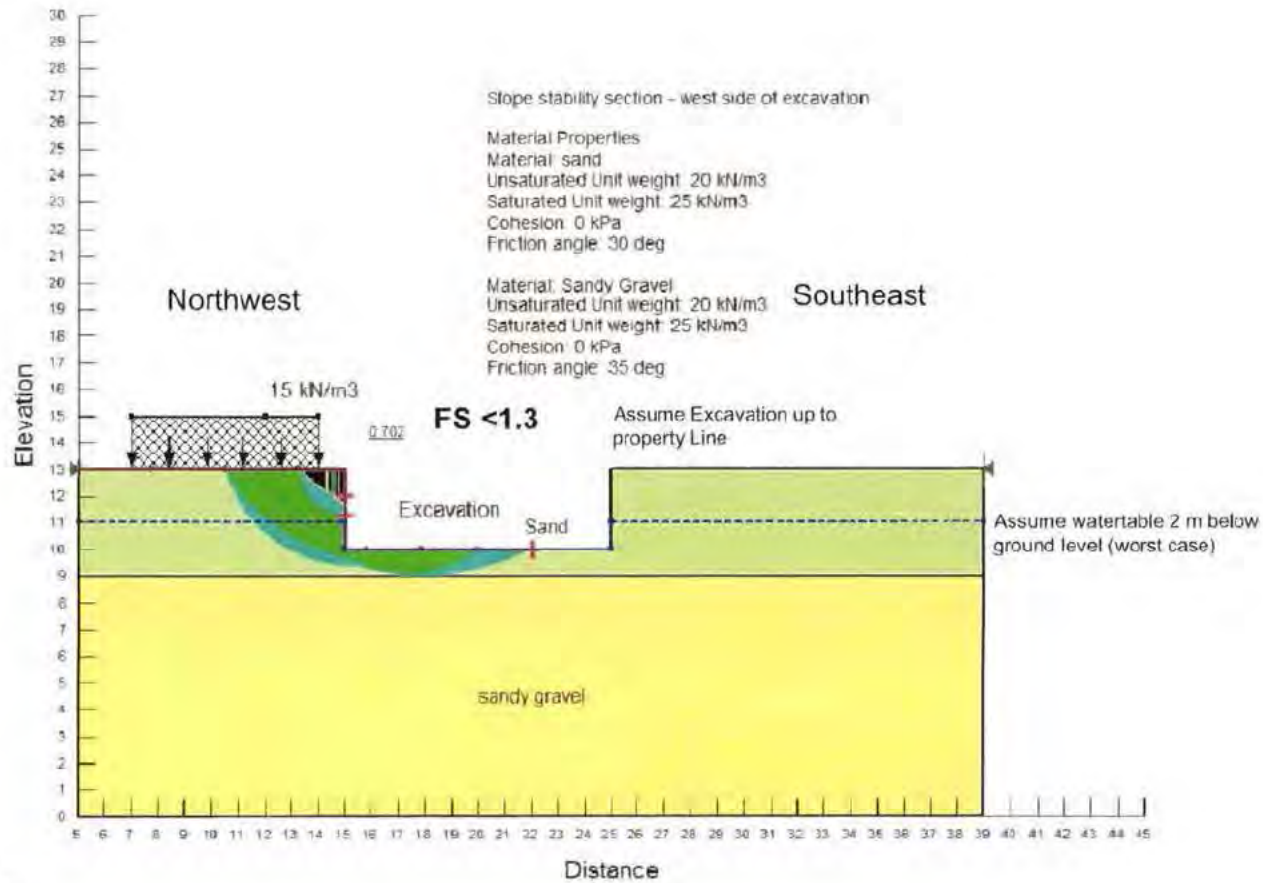
WESTERN
 GEOTECHNICAL CONSULTANTS LTD.
DUAL BY INNOVATIVE SOLUTIONS

103-19162 22nd Ave.
 Surrey, B.C. V3Z 3S6
 T: 604.385.4244
 F: 604.385.4215
 e-mail: @westerngeo.ca
 www.westerngeo.ca




Client:	Redacted S. 22
	Geotechnical Assessment Site Location Plan - Figure 1 15565 Victoria Avenue, White Rock, B.C.

Professional Seal:	
Reviewed by:	

Legend:	Property Line Proposed Buildings (Estimated Footprint)
---------	---



Note: Stability model completed using Geoscience Slope/W, Analysis Method: Morgenstern Price, Drained Analysis

 <p>WESTERN GEOTECHNICAL CONSULTANTS LTD. QUALITY INNOVATIVE SOLUTIONS</p> <p>103-19162 22nd Ave. Surrey, B.C. V3Z 3S6 T: 604.385.4244 F: 604.385.4215 e-mail@westerngeo.ca www.westerngeo.ca</p> 	Client: Redacted S. 22	Professional Seal:	Legend:	
	Stability Model Vertical Cut Excavation without Shoring - Figure 2 15565 Victoria Avenue, White Rock, B.C.			
			OQM  Reviewed by: _____	



APPENDIX C

Letters of Assurance

#16123

APPENDIX D: LANDSLIDE ASSESSMENT ASSURANCE STATEMENT

Note: This Statement is to be read and completed in conjunction with the "APEGBC Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia", March 2006/Revised September 2008 ("APEGBC Guidelines") and the "2006 BC Building Code (BCBC 2006)" and is to be provided for *landslide assessments* (not floods or flood controls) for the purposes of the Land Title Act, Community Charter or the Local Government Act. Italicized words are defined in the APEGBC Guidelines.

To: The *Approving Authority*

Date: May 4, 2018

City of White Rock

15322 Buena Vista Avenue, V4B 1Y6

Jurisdiction and address

With reference to (check one):

- Land Title Act (Section 86) – Subdivision Approval
- Local Government Act (Sections 919.1 and 920) – Development Permit
- Community Charter (Section 56) – Building Permit
- Local Government Act (Section 910) – Flood Plain Bylaw Variance
- Local Government Act (Section 910) – Flood Plain Bylaw Exemption
- British Columbia Building Code 2006 sentences 4.1.8.16 (8) and 9.4 4.4.(2) (Refer to BC Building and Safety Policy Branch Information Bulletin B10-01 issued January 18, 2010)

For the Property:

()15565 Victoria Avenue, White Rock, B.C.

Legal description and civic address of the Property

The undersigned hereby gives assurance that he/she is a *Qualified Professional* and is a *Professional Engineer* or *Professional Geoscientist*.

I have signed, sealed and dated, and thereby certified, the attached *landslide assessment* report on the Property in accordance with the *APEGBC Guidelines*. That report must be read in conjunction with this Statement. In preparing that report I have:

Check to the left of applicable items

- 1. Collected and reviewed appropriate background information
- 2. Reviewed the proposed *residential development* on the Property
- 3. Conducted field work on and, if required, beyond the Property
- 4. Reported on the results of the field work on and, if required, beyond the Property
- 5. Considered any changed conditions on and, if required, beyond the Property
- 6. For a *landslide hazard analysis* or *landslide risk analysis* I have:
 - 6.1 reviewed and characterized, if appropriate, any *landslide* that may affect the Property
 - 6.2 estimated the *landslide hazard*
 - 6.3 identified existing and anticipated future *elements at risk* on and, if required, beyond the Property
 - 6.4 estimated the potential *consequences* to those *elements at risk*
- 7. Where the *Approving Authority* has adopted a *level of landslide safety* I have:
 - 7.1 compared the *level of landslide safety* adopted by the *Approving Authority* with the findings of my investigation
 - 7.2 made a finding on the *level of landslide safety* on the Property based on the comparison
 - 7.3 made recommendations to reduce *landslide hazards* and/or *landslide risks*
- 8. Where the *Approving Authority* has **not** adopted a *level of landslide safety* I have:
 - 8.1 described the method of *landslide hazard analysis* or *landslide risk analysis* used
 - 8.2 referred to an appropriate and identified provincial, national or international guideline for *level of landslide safety*
 - 8.3 compared this guideline with the findings of my investigation
 - 8.4 made a finding on the *level of landslide safety* on the Property based on the comparison
 - 8.5 made recommendations to reduce *landslide hazards* and/or *landslide risks*

#16123

- 9 Reported on the requirements for future inspections of the Property and recommended who should conduct those inspections

Based on my comparison between

Check one

- the findings from the investigation and the adopted *level of landslide safety* (item 7.2 above) the appropriate and identified provincial, national or international guideline for *level of landslide safety* (item 8.4 above)

I hereby give my assurance that, based on the conditions⁽¹⁾ contained in the attached *landslide assessment* report,

Check one

- for subdivision approval, as required by the Land Title Act (Section 86), "that the land may be used safely for the use intended"

Check one

- with one or more recommended registered covenants
- without any registered covenant

- for a development permit, as required by the Local Government Act (Sections 919.1 and 920), my report will "assist the local government in determining what conditions or requirements under [Section 920] subsection (7.1) it will impose in the permit"

- for a building permit, as required by the Community Charter (Section 56), "the land may be used safely for the use intended"

Check one

- with one or more recommended registered covenants
- without any registered covenant

- for flood plain bylaw variance, as required by the Flood Hazard Area Land Use Management Guidelines⁽²⁾ associated with the Local Government Act (Section 910), "the development may occur safely"

- for flood plain bylaw exemption, as required by the Local Government Act (Section 910), "the land may be used safely for the use intended"

Xianhong (John) Meng

Name (print)

May 4, 2018

Date

Signature

103-19162 22 Avenue, Surrey, BC V3S 3S6

Address

Fax: 604-385-4245

Tel: 604-385-4244

Telephone



(Affix Professional Seal here)

If the *Qualified Professional* is a member of a firm, complete the following

I am a member of the firm Western Geotechnical Consultants Ltd.

and I sign this letter on behalf of the firm (Print name of firm)

⁽¹⁾ When seismic slope stability assessments are involved, *level of landslide safety* is considered to be a "life safety" criteria as described in the National Building Code of Canada (NBCC 2005). Commentary on Design for Seismic Effects in the User's Guide Structural Commentaries, Part 4 of Division B. This states:

"The primary objective of seismic design is to provide an acceptable level of safety for building occupants and the general public as the building responds to strong ground motion, in other words, to minimize loss of life. This implies that, although there will likely be extensive structural and non-structural damage, during the DGM (design ground motion), there is a reasonable degree of confidence that the building will not collapse nor will its attachments break off and fall on people near the building. This performance level is termed 'extensive damage' because, although the structure may be heavily damaged and may have lost a substantial amount of its initial strength and stiffness, it retains some margin of resistance against collapse."

RECEIVED

MAY 17 2018

CITY OF WHITE ROCK
DEVELOPMENT SERVICES



RECEIVED

MAY 29 2018

THE CORPORATION OF THE CITY OF WHITE ROCK

May 23, 2018
Proposal No.: WG1-0933

302 – 6832 King George Boulevard
Surrey, B.C.
V3W 4Z9

Attn.: **Redacted S. 22**
Email: **Redacted**
Phone: **Redacted**

**Re: Addendum to Geotechnical Assessment Regarding Seismicity
Proposed Single Family Residence
15565 Victoria Avenue, White Rock, B.C.**

The purpose of this memo is to revise the Spectral Acceleration Response Values included in the original Geotechnical Assessment report for the proposed Single Family Residence at 15565 Victoria Avenue in White Rock, B.C., dated May 15, 2018. This letter should be read in conjunction with the above-mentioned report and its content supersede Section 5.1 titled 'Seismicity.'

The following is the revised Section 5.1:

5.1 Seismicity

According to the 2012 B.C. Building Code, the Site Classification for this property is 'D' – Stiff Soil. As interpolated from the 2010 National Building Code Seismic Hazard Calculation for White Rock, B.C., the Peak Ground Acceleration can be taken as 0.565, and the Spectral Acceleration Response Values can be taken as:

$$S_A(0.2) = 1.133; S_A(0.5) = 0.756; S_A(1.0) = 0.348; \text{ and, } S_A(2.0) = 0.176$$

It is judged that there is negligible probability of liquefaction of the subgrade at this site during the design earthquake.

British Columbia Locations:
Abbotsford, Burnaby, Sechelt,
Surrey (Head Office), and Squamish.

Alberta Locations:
Calgary





We trust that the foregoing meets your requirements. Please contact the undersigned if there are any questions or concerns

Yours sincerely,

Western Geotechnical Consultants Ltd.

Loni Nickel, B.A.Sc., E.I.T.
Geotechnical Engineer in Training



John Meng, Ph.D., P.Eng.
Geotechnical Engineer

016123

Results

2010 National Building Code of Canada interpolated seismic hazard values

Determined for a 2% in 50 year (0.000404 per annum) probability of exceedence. Values are for "firm ground" (NBCC 2010 soil class C - average shear wave velocity 360-750 m/s). Median (50th percentile) values are given in units of g for spectral acceleration (Sa(T), where T is the period in seconds) and peak ground acceleration (PGA). Only 2 significant figures are to be used.

These values have been interpolated Using Shepards method from a 10 km spaced grid of points (shepgnid-en.php). Depending on the gradient of the nearby points, values at this location calculated directly from the hazard program may vary. More than 95 percent of interpolated values are within 2 percent of the calculated values.

Site Coordinates: 49.0176 °N 122.7911 °W

User File Reference: 15565 Victoria

Requested by: ,

National Building Code interpolated seismic hazard values

2%/50 years (0.000404 per annum) probability				
Sa(0.2)	Sa(0.5)	Sa(1.0)	Sa(2.0)	PGA
1.133 g	0.756 g	0.348 g	0.176 g	0.565 g

Interpolated seismic hazard values at other probabilities

40%/50 years (0.01 per annum)				
Sa(0.2)	Sa(0.5)	Sa(1.0)	Sa(2.0)	PGA
0.275 g	0.175 g	0.083 g	0.041 g	0.142 g

10%/50 years (0.0021 per annum)				
Sa(0.2)	Sa(0.5)	Sa(1.0)	Sa(2.0)	PGA
0.606 g	0.395 g	0.181 g	0.089 g	0.306 g

5%/50 years (0.001 per annum)				
Sa(0.2)	Sa(0.5)	Sa(1.0)	Sa(2.0)	PGA
0.819 g	0.539 g	0.248 g	0.123 g	0.411 g

Warning

You are in a region which considers the hazard from a deterministic Cascadia subduction event for the National Building Code. Values determined for high probabilities (0.01 per annum) in this region do not consider the hazard from this type of earthquake.

Generate a pdf version of the interpolated NBCC 2010 values (/data/interpolat/index.php?

lang=eng&year=2010&format=pdf&in lat=49.0176&in lon=-122.7911&in pts=7&in data=1&in local Victoria&in structure=&in company=&in requestor=&in email=)

Nearby points values for National Building Code probabilities

Distance	Latitude	Longitude	Sa(0.2)	Sa(0.5)	Sa(1.0)	Sa(2.0)	PGA
13.921 km	49.005	-122.981	1.144	0.765	0.351	0.179	0.571
11.969 km	48.929	-122.698	1.164	0.778	0.357	0.177	0.582



Natural Resources Canada
(<http://www.nrcan.gc.ca/home>)

[Home](#) → [Hazards](#) → [Natural Hazards](#) → [Earthquakes Canada](#)

→ Determine 2010 National Building Code of Canada seismic hazard values

Determine 2010 National Building Code of Canada seismic hazard values



Warning

You are in a region which would be affected by the ground motion from a Cascadia subduction event. The interpolator includes consideration of the deterministic ground motions from Cascadia for 0.0021, 0.001 and 0.000404 per annum probabilities, but not for 0.01 per annum.

Latitude and longitude values should be entered in decimal degree (DD.DDDD) or degree:minute:second (DD:MM:SS.S) format. UTM coordinates can be converted to latitude and longitude using the Canadian Spatial Reference System Service's online [GSRUG](http://www.geod.nrcan.gc.ca/apps/qsrug/utm_e.php) (http://www.geod.nrcan.gc.ca/apps/qsrug/utm_e.php) application.

For more information see [seismic hazard in Canada \(./index-en.php\)](#)

[Supporting documentation and calculators for other editions of the code \(index-en.php\)](#)

2010 National Building Code of Canada seismic hazard calculator

[Jump to results](#)

* Latitude	<input type="text" value="49.017606922"/>
* Longitude (In Canada should be a negative value)	<input type="text" value="-122.791160280"/>
* Number of closest points for interpolation	<input type="text" value="7 points"/> ▾
* Parameter to display on map (values for all 5 parameters will be determined)	<input type="text" value="Sa (0.2)"/> ▾
Location name (optional)	<input type="text" value="15565 Victoria"/>
Type of structure (optional)	<input type="text" value="15565 Victoria"/>
Company/Organization (optional)	<input type="text"/>
Name (optional)	<input type="text"/>
Email (optional)	<input type="text"/>

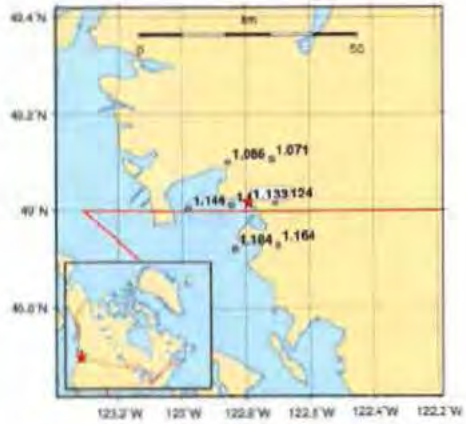
► [Personal Information Collection Statement](#)

Calculate

Page will reload with results inserted at the end of the page under the heading "Search Results"

016123

11.342	km	49.108	-122.719	1.071	0.713	0.331	0.172	0.531
11.082	km	48.922	-122.834	1.184	0.790	0.363	0.179	0.592
10.377	km	49.101	-122.855	1.086	0.724	0.337	0.174	0.540
6.060	km	49.018	-122.708	1.124	0.750	0.344	0.175	0.560
3.980	km	49.012	-122.845	1.143	0.764	0.350	0.177	0.570
Interpoated		49.0176	-122.7911	1.133	0.756	0.348	0.176	0.565



Date modified:
2016-02-10

THE CORPORATION OF THE CITY OF WHITE ROCK
BUILDING PERMIT

DATE OF ISSUANCE:

MAY 31 2018

BUILDING PERMIT No: **BP016123**

ROLL No: **003265.000**

PROJECT ADDRESS: **15565 VICTORIA AVE**

LEGAL DESCRIPTION: LT 16/ BLK 2/ SEC 11/ NWD/ PL NWP488/ TWP 1

ZONE: **RS-3**

DESCRIPTION OF PROJECT:

To construct a new single family dwelling, secondary suite and accessory 10' x 12' shed.

OWNER:
ADDRESS:

Redacted S. 22

Phone:

OWNER:
ADDRESS:

Redacted S. 22

Phone:

BUILDER: **0907574 BC LTD.**

Phone: **778-895-5024**

ADDRESS: **302 - 6832 KING GEORGE BLVD SURREY BC V3W 4Z9**

X

Redacted S. 22



Owner or Authorized Agent

Building Official

B.C.B.C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

PERMIT FEES:

BD RD&ROW ALTR
BP APPL FEE

Project Value:

1.00	500.00
1.00	6,135.50
Total:	\$6,635.50

CONDITIONS:

ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE.
ARCHITECTURAL SCHEDULE B ON FILE FROM G.S. PUREWAL - BUILDING ENVELOPE
ARCHITECTURAL SCHEDULE B ON FILE FROM T. T. NGO - GLASS GUARDS
CIVIC ADDRESS MUST BE CLEARLY DISPLAYED ON SITE
COORDINATING REGISTERED PROFESSIONAL SCHEDULE A ON FILE FROM V.K. BAINS
FIELD REVIEWS ARE REQUIRED
FIRE SUPPRESSION SCHEDULE B ON FILE FROM G.S. PUREWAL
GEO-TECHNICAL SCHEDULE B ON FILE FROM DR. X. MENG H. JIANI JUL 5/18 SS
INSPECTION IS REQUIRED PRIOR TO COVERING ANY WORK
LANDSLIDE ASSESSMENT AND APPENDIX D ON FILE
PLUMBING SCHEDULE B ON FILE FROM J.S. SIDHU (STORM AND SANITARY PUMP)
STRUCTURAL SCHEDULE B ON FILE FROM V.K. BAINS
TREE MANAGEMENT PERMIT NO. 16-054 ISSUED.

OCCUPANY / FINAL GRANTED:

Date:

The City of White Rock, in issuing this Building Permit, has relied upon (a) Registered Professional(s) for certification to the B. C. Building Regulations for the plans or aspects of the plans.

Neither the issuance of a **permit** under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the **City** shall in any way relieve the **owner** or his or her representatives from full and sole responsibility to perform the work in strict accordance with the **Building Code**, this Bylaw, and any other applicable enactments respecting safety.

It shall be the full and sole responsibility of the **owner** (and where the **owner** is acting through a representative, the representative) to carry out the work in respect of which the **permit** was issued in compliance with the **Building Code**, this Bylaw and any other applicable enactments respecting safety.

Neither the issuance of a **permit** under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the **City** constitute in any way a representation, warranty, assurance or statement that the **Building Code**, this Bylaw or any other applicable enactments respecting safety have been complied with.

016123

VOLTAS ENGINEERING LTD

#108 - 8322 – 129 st. SURREY, BC V3W 0A6
T: 604-593-2293 • F: 604-800-9230
E:info@voltasengineering.com

Date: Jan. 21, 2020

City of White Rock
Building Department
ATTN: Building Inspector

SUBJECT: Field review of Damp proofing & Drainage of East wall at 15565 - Victoria Ave. White Rock.

To whom it may concerns,

VOLTAS ENGINEERING Ltd has been hired as Building Envelope engineer for above mentioned project. After review the East wall of the foundation of this house, it was found that there is not enough space to install dimple membrane and drainage outside properly. Based on my past experience and discussing the situation with city inspector, it was proposed as mutual understanding that the East wall shall be dampproofed using two layers of bitumen. Attached is the warranty declaration from the installer.

It was also recommended to have one drainage pipe installed on top of footing and one drainage pipe on the inside the house of the east wall. The space between the East side wall of the house and shoring shall be filled with gravel only, not with dirt. Only top 1 foot can be filled with top soil by separating the soil and gravel with 6 mil poly. The slope of the poly shall be toward the back of the house for water drainage purpose.

I have reviewed the site and found that recommended were followed and gravel can be checked at later stage.

Sincerely,



Gurpreet S. Purewal P. Eng

Per: Voltas Engineering Ltd.

016123

A-1 DAMP PROOFING

RESPONSIBLE WATERPROOFING

January 20, 2020

City of White Rock
Planning and Development
15322 Buena Vista
White Rock BC

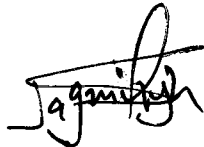
Attention : Plumbing Inspector

This letter is to notify your office that we have inspected and passed the installation of the DELTA- MS damp proofing at the below address and the owner will receive our seven (7) years leak free warranty. DELTA – MS at this site has been installed as per current manufacturer's specifications. There is 2 coat spray at the east side of the house.

Location:

15565 Victoria Avenue
White Rock BC

Regards
A-1 Damp Proofing



8129 138 Street, Surrey BC V3W 8M3
Phone: 604-375-7724

MANUFACTURERS RESIDENTIAL
WARRANTY CERTIFICATE FOR
DELTA®-MS
(TEN YEAR INSTALLATION - FIFTY YEAR PRODUCT)

Address: 155651 VICTORIA BLVD
Date of Installation: 26/01/2020

The Manufacturer, **COSELLA DÖRKEN PRODUCTS INC.**

Warrants that A 1 Dampproofing is Certified as an Approved Applicator in Western Canada and further warrants that all requirements for installation according to the manufacturers specification have been met as per the installation details of the dampproofing/drainage membrane DELTA®-MS in accordance with the CCMC Evaluation Reports #12658-R & 12788-R.

This warranty protects the applicator in lieu of the limitations from the warranty. Wherever the DELTA®-MS is installed, a leakage warranty is enforceable.

TIME PERIOD: TEN YEARS (Transferable; Date of Installation)
Product Warranty: 50 years (Transferable; Date of Installation)

In the event that you experience water penetration please call (800) 502-8336 and we will return your call within 24 hours.

The warranty is as follows:

The DELTA®-MS Resistant wrap water control system is to be free from defects in material and workmanship. Where the system has been installed, no water shall pass through the basement walls.

This warranty shall be in effect for the period of TEN (10) YEARS from the date of installation, and is fully transferable to future owners.

DELTA®-MS shall not rust, corrode, and is warranted for a period of fifty (50) years.

The warranty cover and benefits shall not apply to conditions, any part of the system which has been repaired by anyone other than the Certified Installer, or has been altered in any way, or which has been subjected to misuse, negligence or actions.

Cracks or holes which occur in the waterproofing material, or any defective work, material, drywall, insulation, and other. Cracks or holes shall be made for no other damages or losses. Depending on the nature of the leakage, the applicator shall have the option of repairing them or to install an exterior or interior drainage system. Repairs shall not exceed \$3,000 per square foot of wall area covered by the DELTA®-MS or SUB-FLEX®-water barrier.

Product cover is void in instances where the installation does not comply with the manufacturer's instructions.

This warranty is made in lieu of all other warranties expressed or implied and of all other allegations of liabilities on the contractor's part.

This warranty does not cover:

The membrane damaged by natural causes including but not limited to lightning, gales, floods, hurricanes, tremors, earthquakes, or circumstances deemed to be acts of God.

Damage to the membrane caused by other trades on the site or by other unrelated damage incidents.

Where it is found that the damage, pipe, or the flooring has been changed and/or extreme moisture hydrostatic (high water table) pressure has occurred. This report must be to the firm certified by the installer/installer.

Where the membrane was not installed at the area on the wall where leakage occurred.

Installation by a contractor who is not a certified applicator and/or not in accordance with manufacturer's current instructions.

Signed: [Signature] in the City of MT KOOL BC
This 26 day of JAN 2020

016123

V. K. ENGINEERING AND CONSULTING LTD.

12830-80th Ave., Surrey BC., V3W 3A8 PH.:(604)585-3501, CELL.:(604)825-4386

DEC.21, 2019

CITY OF WHITE ROCK
WHITE ROCK, BC

ATTN: BUILDING INSPECTOR

Re: FOUNDATION INSPECTION AT 15565-VICTORIA AVE., WHITE ROCK.,
BC

This is to confirm that as per the requirements of the scheduleB BCBC 2012, we have conducted a inspection at the above noted address and confirm that,

Footing and Foundation form dimensional aspect are satisfactory.
Reinforcing is satisfactory as per our field review and recommendations.
Concrete to be 25 mpa specified compressive strength to be poured with a maximum slump of 3.5 inches. Provide 5/8-inch diameter anchor bolts by 10 inches, wet dowelle at the time of concrete pour. All concrete to be consolidated by mechanical vibration. Soil bearing of 2000psf is available on site.(As per Geocan Engineering Inc.Project # 18812)

Concrete may be poured in the forms subject to municipal review of site form survey and weather permitting.

We trust that this documentation meets your current requirements. If you have any queries, Please do not hesitate to contact us.

Yours truly



Vijay Kumar Bains, P.Eng
V.K. Engineering & Consulting Ltd



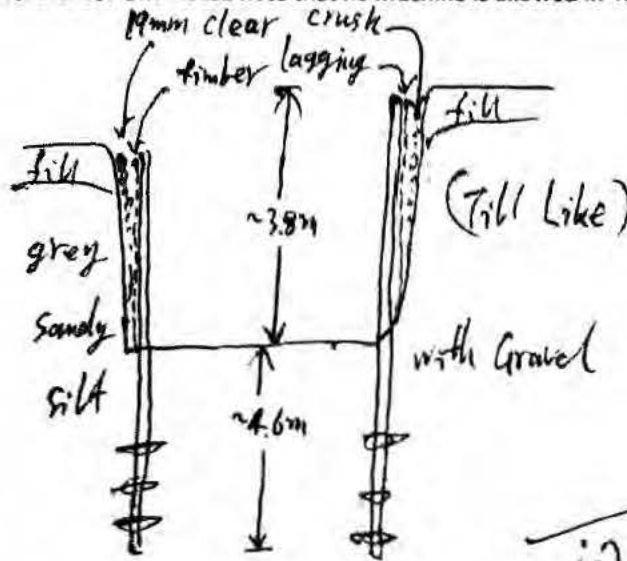
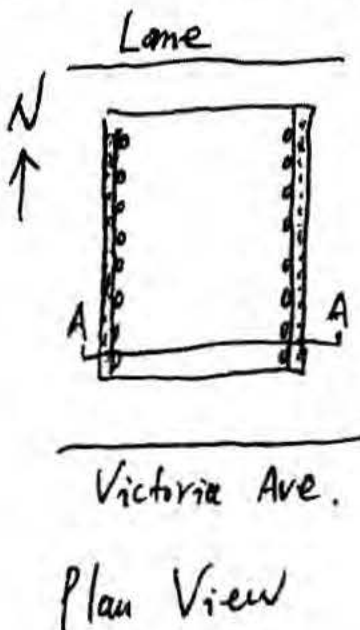
GeoCan Engineering Inc.

765 Foster Avenue
 Coquitlam, BC, V3J 2L8
 Phone: 778-987-7461
 Email: info@gepcemeng.com

SEND TO: Redacted S. 22	FROM: Heqing Jian, P. Eng.
Weather: Rain, 8°C	DATE: December 20, 2019
SITE: 15565 Victoria Ave, White Rock, BC	
Subject: Bearing capacity and excavation work safe	Project #: 18812

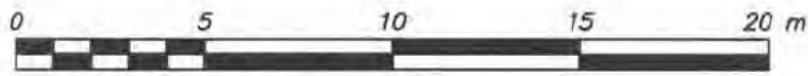
GeoCan is on site to review the foundation bearing capacity and the excavation work safe for the proposed residence. The excavation is approximately 9m x 22m in size and up to 3.8m below the existing grade on the southeast portion. The bottom of the excavation achieved native grey sandy silt with gravel (glacial till like). 96 KPa (2000psf) can be used as allowable bearing capacity (SLS) for the proposed residence.

The west and east side excavation cuts were supported by steel helical piles and timber lagging. 17 and 16 piles were installed on east and west side, respectively. The pile's length varies from 15' to 25'. The intervals between the piles are approximately 1.2m. Based on our review, the excavation is safe for workmen to enter for a period of 6 weeks (until January 31, 2020). Please keep all cuts covered with 6mil clear poly and the safety fence in good conditions. Please observe the cuts each day prior to enter. If any sloughing or heavy rain (greater than 20mm in 24 hours) happened, please do not enter and report to GeoCan for further review. Please note that no machine is allowed in 4.0m from the bank except for the backfill work.



**B.C. LAND SURVEYOR'S FORMS
LOCATION CERTIFICATE ON LOT 16
BLOCK 2 SECTION 11 TOWNSHIP 1
NWD PLAN 488**

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.



SCALE 1 : 200

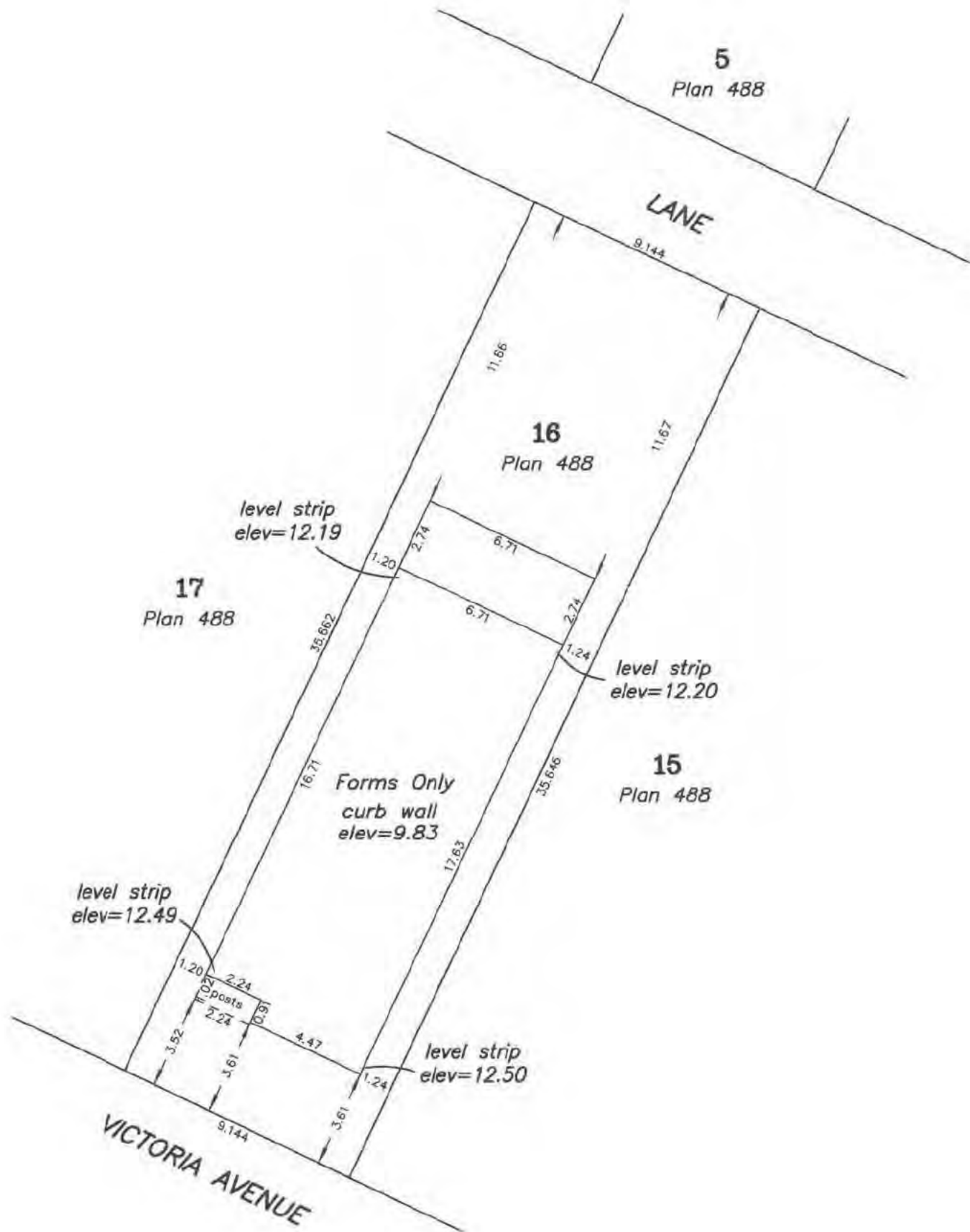
All distances are in metres

CIVIC ADDRESS:

15565 Victoria Avenue
White Rock, B.C.

P.I.D. 001-524-721

List of document numbers of any documents registered on title which may affect location of improvements that have not been defined by survey or description.



This document is not valid unless originally signed and sealed.

This building location certificate has been prepared in accordance with the manual of standard practice and with additional specifications from the client and is certified correct this 23rd day of

December, 2019.


B.C.L.S.

This plan was prepared FOR BUILDING PERMIT PURPOSES ONLY and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of decisions made or actions taken based on this document.

©CAMERON LAND SURVEYING LTD.
PROFESSIONAL LAND SURVEYORS
Unit 234 - 18525 53 Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 5927-CE

This plan lies within the Metro Vancouver Regional District



016123
GeoCan Engineering Inc.

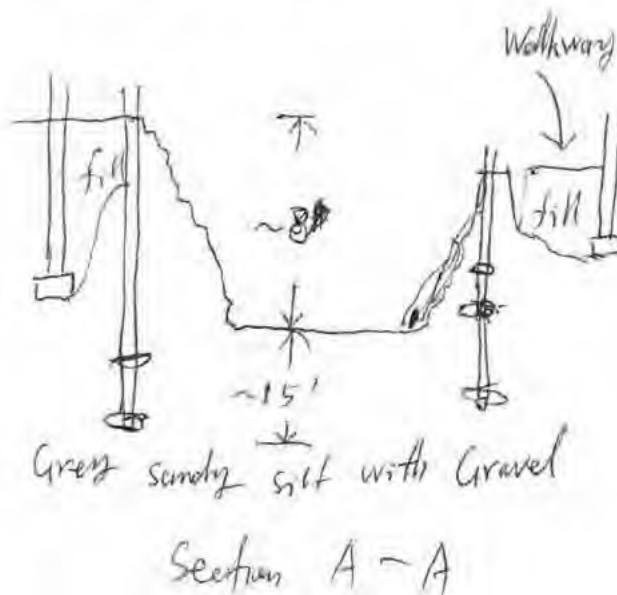
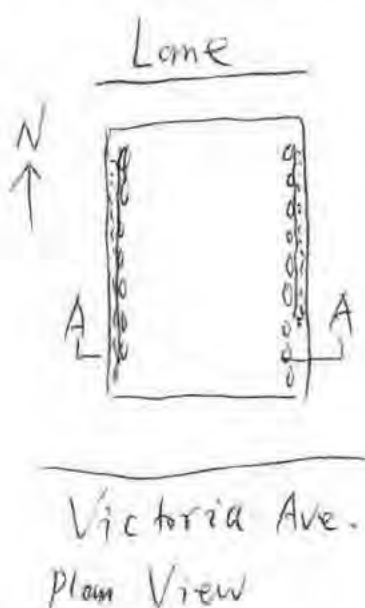
Phone: 778-987-7461
Email: geotechcanada.general@gmail.com
54 - 22865 Telosky Avenue
Maple Ridge, BC, V2X 8Z9

SEND TO: Redacted S. 22	FROM: Heqing Jian, P. Eng.
Weather: Cloudy, 4°C	DATE: February 8, 2019
SITE: 15565 Victoria Ave, White Rock, BC	
Subject: Temporary shoring (helical piles and lagging) review Project #: 18812	

GeoCan is on site to review the effectiveness of the helical piles-timber lagging shoring system for the subject site. The excavation will be approximately 9m x 22m in size and up to 3.8m below the existing grade on the southeast portion. The west side support was completed with 16 steel piles and timber lagging. The construction was suspended at the current time.

17 steel piles were installed on east side. The pile's length varies from 15' to 25'. The intervals between the piles are approximately 1.2m. The south portion of the east cuts were not excavated yet. So, the lagging was not installed yet. We noticed that the cracks between the shoring and the east neighbouring walkway happened prior to the shoring installation. It is likely no developments for the cracks after the shoring installation.

Based on our review, the piles and lagging were installed effectively so far. The excavation will be safe for the current situation for two months provided the damaged poly be replaced as soon as possible to protect from the storm water entering the cuts. GeoCan will perform next site review prior to the work resume. Please keep all cuts covered with 6mil clear poly and the safety fence in good conditions. If any sloughing or heavy rain (greater than 20mm in 24 hours) happened, please do not enter and report to GeoCan for further review. Please note that after the excavation, no machine is allowed in 4.0m from the bank except for the backfill work.





GeoCan Engineering Inc.

Phone: 778-887-7461
Email: geotechcanada.general@gmail.com
54 - 22865 Telosky Avenue
Maple Ridge, BC, V2X 8Z9

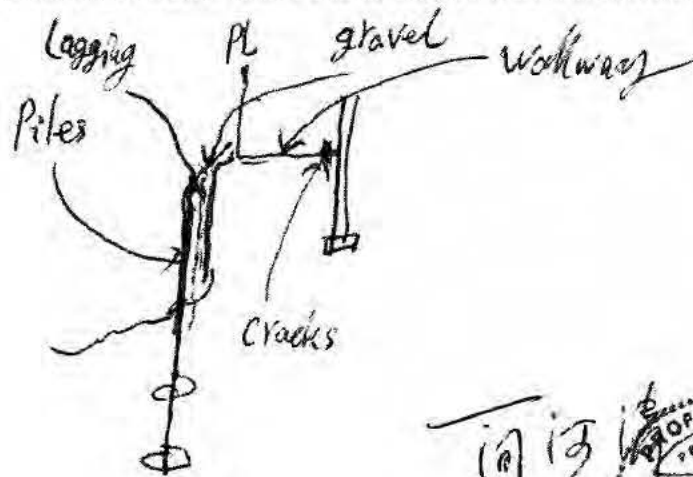
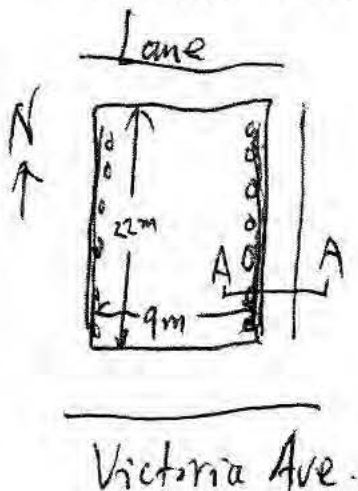
SEND TO: Redacted S. 22	FROM: Heqing Jian, P. Eng.
Weather: Sunny, 14°C	DATE: November 6, 2018
SITE: 15565 Victoria Ave, White Rock, BC	
Subject: East side support review	Project #: 18812

GeoCan is on site to review the effectiveness of the helical piles-timber lagging support on east side for the subject site.

The excavation is approximately 9m x 22m in size and will be up to 3.8m below the existing grade on the southeast portion. 17 steel helical piles were installed on east side. The pile's length varies from 18' to 25'. The intervals between the piles are approximately 1.2m.

It is our understanding that the east neighbouring walkway was damaged before / during the piles installation. Cracks were found between the walkway and the residential building. However, it is unlikely the cracks developed after the piles installation. Based on our today's site review, the piles are working functionally and no tilt or incline was found.

Based on our visual inspection, we consider that the piles and lagging installation will effectively protect the east neighbouring property from further damages. We suggest that mark at least three points on the east neighbouring wall, ask a BC Land Surveyor to read the horizontal and vertical readings in a one-week interval. Please forward the survey results to GeoCan for further review.



RECEIVED

NOV 07 2018

CITY OF WHITE ROCK
DEVELOPMENT SERVICES



GeoCan Engineering Inc.

Phone: 778-987-7461
Email: geotechcanada.general@gmail.com
54 - 22865 Telosky Avenue
Maple Ridge, BC, V2X 8Z9

RECEIVED

AUG 10 2018

PLANNING & DEVELOPMENT
CITY OF WHITE ROCK

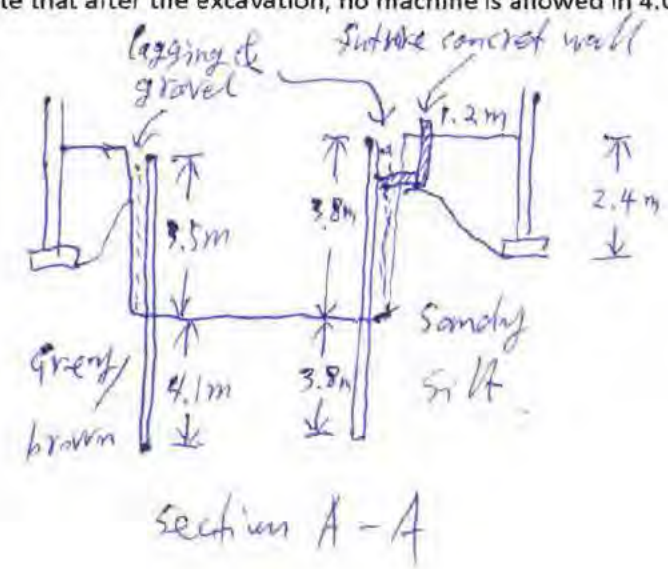
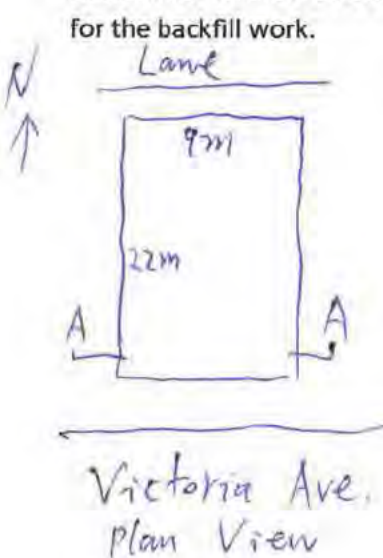
SEND TO: Redacted S. 22	FROM: Heqing Jian, P. Eng.
Weather: Sunny, 29°C	DATE: August 07, 2018
SITE: 15565 Victoria Ave, White Rock, BC	
Subject: excavation suggestions for east side	Project #: 18812

GeoCan is on site to review the in-progress excavation and support for the east side. The excavation will be approximately 9m x 22m in size and up to 3.8m below the existing grade on the southeast portion. The west side support was completed with 16 steel piles and timber lagging.

17 steel piles were installed on east side. The pile's length varies from 15' to 25'. The intervals between the piles are approximately 1.2m. The south portion lagging was not installed yet. It is our understanding that the existing concrete wall on the property line will be demolished and a new reinforced concrete wall will be built along the property line. Please remove the existing concrete wall prior to the southeast portion lagging installation. Please excavate not greater than 3m and take extremely care during the installation of the lagging and the placement of 19mm clear crush behind the lagging.

Based on our review, the piles and lagging were installed so far so good. GeoCan will perform next site review after the excavation achieve the footing level and the shoring system is completed. We will provide the foundation bearing capacity and the work safe memo at that time.

Based on our review, the excavation is safe for workmen to enter for a period of ten days (until August 17, 2018). Please keep all cuts covered with 6mil clear poly and the safety fence in good conditions. Please observe the cuts each day prior to enter. If any sloughing or heavy rain (greater than 20mm in 24 hours) happened, please do not enter and report to GeoCan for further review. Please note that after the excavation, no machine is allowed in 4.0m from the bank except for the backfill work.



Row	Code	Description	Last Modified On	Last Modified By
1	ALL CONST. TO CONFORM TO BCBC	All construction to conform to the B. C. Building Code.	Mar 28, 2018 15:29:06 tt	SSEARLE
2	ARCH. SCHEDULE B ON FILE FRO	Architectural Schedule B on file from G.S. Purewal - Building Envelope	Mar 28, 2018 15:39:01 tt	SSEARLE
3	ARCH. SCHEDULE B ON FILE FRO	Architectural Schedule B on file from T. T. Ngo - glass guards	Mar 28, 2018 15:39:35 tt	SSEARLE
4	CIVIC ADD. CLEARLY DISPLAYED	Civic address must be clearly displayed on site	Mar 28, 2018 15:29:06 tt	SSEARLE
5	COVENANT INFO	Storm pump covenant	Mar 28, 2018 15:43:30 tt	SSEARLE
6	CRP SCHEDULE A ON FILE FROM	Coordinating Registered Professional Schedule A on file from V.K. Bains	Mar 28, 2018 15:39:51 tt	SSEARLE
7	FIELD REVIEWS ARE REQUIRED	FIELD REVIEWS ARE REQUIRED	Mar 28, 2018 15:29:06 tt	SSEARLE
8	FIRE SUPP. SCH. B ON FILE FROM	Fire Suppression Schedule B on file from G.S. Purewal	Mar 28, 2018 15:40:04 tt	SSEARLE
9	GEO SCH B ON FILE FROM	New Geotechnical Engineer as of Jul.5/18- Geo-technical Schedule B on file from Heqing Jian ***Dr. X. Meng- Landside Assessment Report and Appendix D only- no longer providing shoring design and geotechnical review- see termination letter in file.***	Jul 6, 2018 10:58:49 tt	SSEARLE
10	INSP REQ PRIOR TO COVER WORK	Inspection is required prior to covering any work.	Mar 28, 2018 15:29:06 tt	SSEARLE
11	LANDSLIDE ASSESSMENT AND APPEN	Landslide Assessment and Appendix D on file	Mar 28, 2018 15:29:06 tt	SSEARLE
12	OTHER	Plumbing Schedule B on file from J.S. Sidhu (storm and sanitary pump)	Mar 29, 2018 15:47:17 tt	SSEARLE
13	STRUCTURAL SCHEDULE B ON FILE	Structural Schedule B on file from V.K. Bains	Mar 28, 2018 15:42:07 tt	SSEARLE
14	TREE MGMT PERMIT NO. XX ISSUED	Tree Management Permit No. 16-054 Issued.	Mar 28, 2018 15:43:01 tt	SSEARLE

✓TMP COMPLETED
Requirements Prior to the Issuance of a Building Permit

Address: **15565 Victoria Avenue**

Application Date: **July 20, 2016**

Description: SFD (WITH SUITE)

ENGINEERING DOCUMENTS BACK

Permit #: **16-123**

Owner: **Redacted S. 22**

Zone: **RS-3**

Builder: **Redacted S. 22**

Phone: **Redacted S. 22**

Roll Number: **003265.000**

Email: **Redacted S. 22**

Landslide Assess Area: **YES**

Workflow:

- Building Permit 16-123 applied for July 20, 2016

Documents Missing:

➤

Nov. 24/16 - PLAN REVIEW COMMENTS SENT - COMPLETE REVISION.

REVISED PLANS SUBMITTED MAR. 14/17 - 1 SET SENT TO ENVELOPMENT
MAY 15/17.

2:30/17 EMAIL SENT FROM NEIGHBOUR @ 15571 VICTORIA

RE REMOVAL OF TREE (MAR. 20/17) - NEIGHBOUR HAS NOT APPROVED

REMOVAL OF TREE, NO OTHER CORRESPONDENCE HAS TAKEN PLACE.

- PLANS ON HOLD -

THREE ^{ROOTZONES} PROPOSED FOR PROTECTION - FAN WITHIN PROPOSED BUILDING.

PLAN REVIEW COMMENTS SENT JULY 19/17

016123

Sherry Searle

From: Sherry Searle
Sent: Wednesday, July 19, 2017 4:30 PM
To: **Redacted S. 22** *1st.*
Subject: 15565 Victoria- BP# 16-123 - plan review comments of revised plans received May 9/17

Hi **Redacted S. 22**

I have completed a review of the revised plans. The following items are required in order to continue processing your building permit application:

Oct. 19/17
Documents/ forms

- • An approved Tree Management Permit for the demolition permit and building permit.
- • Capping of services.
- • Demolition permit application, demolition permit issuance and final demolition inspection.
- • Notice of Articles for the numbered company 09077574 BC Ltd.
- • A copy of the New Home Registration form from BC Housing (formerly HPO)
- • A certificate of 5 million liability insurance –The City of White Rock is required to be listed as additionally insured. The copy provided does not list the City of White Rock as additionally insured.
- • A copy of the registered storm pump covenant and a copy of a new title search with the registered covenant.

Building design/ structural requirements

- * • The proposed building requires three off street parking spaces. The minimum dimensions for two of the spaces is 2.7m x 5.8 m each and one space may be 2.5m x 5.2m. Please revise the site plan to show the proposed parking spaces. It looks like the proposed shed will need to be relocated.
- ✓ • The portion of the front deck extending beyond the front face of the building is required to be cantilevered construction. The design drawings indicate this, but the structural drawings show a beam supported by columns extending beyond the front building face. Please provide revised structural drawings.
- 20 • The landing at the top of the stairs forming part of the secondary suite egress, is exposed to a 1650 window on the second floor (within 3 m horizontally and 5 m vertically). If you wish to keep the window in its currently proposed location, it will need to be protected with wired glass/glass block. Otherwise, you may wish revise the design and structural drawings and shift the window over to minimum 3 m horizontally from the edge of the landing. *PROTECT 5040 BDM*
- ✓ • A 2030 window shown on the basement level of the right elevation (2 piece bathroom window) is not shown on the design drawing or the structural floor plans. If you wish to include the window, be provide revised structural and design drawing floor plans. *OMITTED*
- ✓ • The roof plan for the design drawings show a series of 4'x4' skylight windows which are not shown on the structural drawings. Please provide revised structural drawings to show the proposed framing for the skylights. If you are not going to install the skylights, please revise the design drawings. *OMITTED*
- ✓ • Please list all materials proposed for the roof deck assembly. It looks as though the proposed design exceeds the maximum building height.
- ✓ • Please provide energy efficiency compliance details.
- • The engineered glass guard details show side mounted guards whereas the design drawings indicate surface mounted guards. Please confirm what is being proposed. Please note: eaves are permitted to project into the side setbacks, but the deck is not. Only the guard itself is permitted to project up to 0.15m into a setback.

Kind regards,

SHERRY SEARLE

* SHIPING ACCESSORY BUILDING CLOSER TO FRONT SETBACK PUSHED ACCESSORY BLDG WITHIN THIS CONDY OR - SHIFT ACCESSORY EAST NEW PROPOSE TRIP ? TO CONFIRM w/ ARBUST.

Plans Examiner 2, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2295 | www.whiterockcity.ca

016 123



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Sherry Searle

From: Sherry Searle
Sent: Monday, April 24, 2017 1:11 PM
To: Redacted S. 22
Subject: Storm pump covenant
Attachments: covenant registration process.docx; Form C-cov-cr-template.pdf; Storm Pump Covenant Template.docx

Hi Redacted S. 22

I have attached the storm pump template and instructions above.

As discussed, we still need an approved tree management plan to proceed with the review of the revised plans.

Kind regards,

SHERRY SEARLE
Plans Examiner 2, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2295 | www.whiterockcity.ca



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Sherry Searle

From: Sherry Searle
Sent: Thursday, March 16, 2017 11:54 AM
To: Redacted S. 22
Subject: 15565 Victoria Av - BP 16-123 revised plans submitted Mar.14/17

Hi Redacted S. 22

A preliminary plan review was completed in Nov. 24/16 as there were outstanding items for the tree management plan and approved driveway access. There are still outstanding items which need to be addressed for both applications.

A full review of the revised plans and documents submitted to Planning and Development Mar.14/17 will be commence once all of the outstanding items in the above noted applications have been completed, as the requirements may affect the building design.

Kind regards,

SHERRY SEARLE
Plans Examiner 2, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2295 | www.whiterockcity.ca



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Sherry Searle

From: Sherry Searle
Sent: Thursday, November 24, 2016 10:44 AM
To: Redacted S. 22
Cc: Redacted S. 22
Subject: 15565 Victoria Ave- preliminary plan review comments Nov.23/16
Attachments: Form B - Proof of Professional Liability Insurance.pdf

Hi Redacted S. 22

A preliminary plan review has been completed. The following deficiencies have been identified.

Geotechnical:

1. A landslide assessment assurance statement (Appendix D) is required from the geotechnical engineer.
2. Form B is required to be submitted (see attached) *SHOULD STRUCTURAL NEEDS GEOTECHNICAL*
3. Excavation and shoring drawings are required. *A.R. SHED SEPARATE SHEET.*
4. Notarized encroachment agreements are required if excavation cuts and/ or shoring anchors extend into neighbouring properties. Geotechnical engineer is to confirm. *NEED TO BE PROVIDED / AMEND DRAWING TO SHOW LOCATION OF PL.*

Design:

1. The detached garage exceeds the maximum allowable in an RS-3 zone. The maximum size of an accessory building, including garages and carports, is 120 SF. The minimum distance from the principal building to an accessory garage is 3.0 m.
2. Lot coverage has been exceeded by 205 SF.
3. Secondary suite parking is required (minimum 2.7 m x 5.2 m).
4. The front deck is only permitted behind the front face of the building (only cantilevered balconies may project)- 4.1.4. of White Rock's Zoning Bylaw. Please note: the balcony is not permitted to project into the minimum 3.0m front setback.
5. The angle of containment is taken at the natural grade at the south most wall- the plans show the elevation at the deck instead of wall.
6. Please provide 2 sets of revised design drawings.

Structural:

1. The structural engineer has noted that geotechnical information has not been provided at the time of his design. Please provide confirmation the structural engineer has reviewed the geotechnical report.
2. Two sets of revised structural drawings are required as the proposed design will change significantly due to zoning requirements.

Other:

- 1. Written confirmation is required to confirm if the storm and sanitary require pumping. A storm pump covenant is required to be registered on title if storm water requires pumping and two sets of sealed pump drawings are required for storm and sanitary.
- 2. A survey is required to show the location of the proposed building. Natural grade elevations need to be shown at the mid points of walls on the proposed building, the elevation of the natural grade at the south most wall. This survey is required before building height and angle of containment will be checked.
- 3. Please provide two sets of sealed drawings for the glass guards, Schedule B (initialed by CRP), Form B, and proof of liability insurance. ✓
- 4. Work safe clearance letter.
- 5. Certificate of builder's/ owner's liability insurance (minimum 5 million with City of White Rock listed as additionally insured)

A plan review will continue once all the above noted items have been addressed.

Kind regards,

SHERRY SEARLE

Plans Examiner 2, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2295 | www.whiterockcity.ca



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Sherry Searle

From: Alan Markovic
Sent: Thursday, November 24, 2016 1:13 PM
To: Redacted S. 22
Cc: Sherry Searle
Subject: RE BP Application for 15565 Victoria Avenue - Engineering Requirments

Hello [REDACTED]

The Engineering Department has reviewed your application for building permit and will require the following information or revisions for further review:

Driveway Access:

- Have your designer indicate the location of your driveway access through the City boulevard on the site plan. RS3 zoning permits the access width to match the width of the lot. Minimum access width is 4.5m, but must be 6.0m at PL if entering into a double car garage.
- Driveway access must slope up a minimum 2% from the road edge to PL and from the PL to garage slab the maximum slope is 15%. Have your designer show elevations at the road edge, PL and garage slab along either edge of the access as well as the centerline.
- Have your designer include a centerline profile of the access.

Victoria Avenue Frontage/City Boulevard:

- Upon review of the boulevard, it appears that there is an existing private fence/improvements on City property. These are required to be removed. Please indicate on your site plan.
- The 1.5m gravel shoulder is to be re-instated and behind that, the boulevard restored with 150mm of topsoil and sod on City property.

Excavation/Temporary Shoring Plan:

- Please provide a plan for review so the Engineering Department can determine if your geotechnical engineer has proposed shoring or excavation into City property, which would require approval.

Regards,

ALAN MARKOVIC
Technical Assistant, City of White Rock
877 Keil Street, White Rock, BC V4B 4V6
Tel: 604-541-2189 | www.whiterock.ca



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MAR 28 / 2018 - OUTSTANDING

Sherry Searle

From: Sherry Searle
Sent: Wednesday, March 28, 2018 3:12 PM
To: s. 22
Subject: 15565 Victoria Dr- Outstanding items for Demo and Building permits Mar.28/18

016123

Hi Redacted S. 22

APR. 6/18

The demolition permit will need to be completed (final demo inspection and service capping inspection) prior to issuance of the building permit. We require the following outstanding items prior to issuance of the demolition permit and building permits:

- ✓ Certificate builder's or owner's \$5 million liability insurance with the City of White Rock listed as additionally insured. The copy we have expired Mar.8/18.
- • The prime contractor is required to have a business licence with the City of White Rock – Please obtain a business licence for BC0907574.
- ✓ Please include the business licence number and contact information for TDM Excavation

Prior to issuance of the building permit we require the following:

- • The form completed by Mr. S.M. Pasha is for the independent review of structural design rather than geotechnical. Please ask Mr. Pasha confirm he has completed a peer review of the following documents/drawings sealed by Mr. A.R. Syed:
 - Geotechnical Investigation Report dated July 8, 2016
 - Landslide Assessment Assurance Statement dated Feb. 15, 2017
 - Excavation sequence and shoring design dated Feb.8, 2017
- ✓ Copy of renewed liability insurance for G.S. Purewal and J.S. Sidhu (Voltas Engineering Inc.)

Kind regards,

SHERRY SEARLE
Plans Examiner 2, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2295 | www.whiterockcity.ca



Mar. 28/18

016123

REQUEST FOR

REGISTERED

STORM PUMP COV. &

NEW TITLE SEARCH

Sherry Searle

From: Sherry Searle
Sent: Wednesday, March 28, 2018 3:35 PM
To: Redacted S. 22
Subject: FW: C49-17 Redacted S. 22(Cov.) Storm pump covenant fro 15565 Victoria Avenue, White Rock

Hi Redacted S. 22

Please provide a copy of the registered storm pump covenant and copy of the title search showing the registered covenant

Kind regards,

SHERRY SEARLE
Plans Examiner 2, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2295 | www.whiterockcity.ca



From: Sherry Searle
Sent: Thursday, May 11, 2017 10:32 AM
To: Amar Rai <asrlaw@live.ca>
Subject: RE: C49-17 Redacted S. 22 (Cov.) Storm pump covenant fro 15565 Victoria Avenue, White Rock

Hi Amarvir,

Thanks for asking, I only needed to review the draft. I believe you would contact Ken Overton at 604-541-2104.

Once the documents have been registered, please provide a copy of the registered document along with a new title search to both the City Clerk's Department and Development Services.

Kind regards,

SHERRY SEARLE
Plans Examiner 2, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2295 | www.whiterockcity.ca



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From: Amar Rai [<mailto:asrlaw@live.ca>]
Sent: Thursday, May 11, 2017 10:09 AM

To: Sherry Searle

Subject: Re: C49-17 [Redacted S. 22] (Cov.) Storm pump covenant fro 15565 Victoria Avenue, White Rock

Thanks Sherry,

I had been advised by the City Clerk's department to have the owners sign it and to send signed copies to the City for signing. Please advise if I need to send those to your attention, or someone else. If I am not sending it to you, please provide us with the contact information of the other person who will be handling its execution. Thank you.

Yours truly,

Amarvir S. Rai

Amarvir Rai Law Corporation

Tel: 604-715-2229

email: asrlaw@live.ca

WARNING - CONFIDENTIALITY NOTICE

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From: Sherry Searle <SSearle@whiterockcity.ca>

Sent: May 11, 2017 9:39 AM

To: Amarvir Rai

Subject: RE: C49-17 [Redacted S. 22] (Cov.) Storm pump covenant fro 15565 Victoria Avenue, White Rock

Hi Amarvir,

I've reviewed the draft and forwarded a copy to the City Clerk's Department. The City Clerk's Department will contact you directly when the documents are ready for signing and registration.

Kind regards,

SHERRY SEARLE

Plans Examiner 2, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2295 | www.whiterockcity.ca



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From: Amar Rai [<mailto:asrlaw@live.ca>]
Sent: Wednesday, May 10, 2017 5:24 PM
To: Sherry Searle
Subject: Re: C49-17 **Redacted S. 22** (Cov.) Storm pump covenant fro 15565 Victoria Avenue, White Rock

Good Afternoon Sherry,

Attached please find the Revised Draft for your review. Kindly advise if this meets City's approval, so that we can proceed with its execution. Thank you.

Yours truly,

Amarvir S. Rai
Amarvir Rai Law Corporation
Tel: 604-715-2229
email: asrlaw@live.ca

WARNING - CONFIDENTIALITY NOTICE

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From: Sherry Searle <SSearle@whiterockcity.ca>
Sent: May 8, 2017 11:40 AM
To: Amar Rai
Subject: RE: C49-17 **Redacted S. 22** (Cov.) Storm pump covenant fro 15565 Victoria Avenue, White Rock

Hi Amarvir,

Further to your inquiry below, I can confirm that the City requires the language as it appears in the template provided for this type of restrictive covenant. Although the City has not incurred any legal fees related to the preparation and registration of this agreement (nor do we expect to), section 1(f)(i) should remain in the event any such legal fees become necessary prior to execution."

Kind regards,

SHERRY SEARLE
Plans Examiner 2, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2295 | www.whiterockcity.ca



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action in reliance upon this information by individual(s) or entities other than the intended recipient is strictly prohibited. If you have received this information in error, please notify the City of White Rock and destroy any copies of this information. Thank you.

From: Amar Rai [<mailto:asrlaw@live.ca>]

Sent: Friday, May 05, 2017 2:08 PM

To: Sherry Searle

Subject: Fw: C49-17 Redacted S. 22 (Cov.) Storm pump covenant fro 15565 Victoria Avenue, White Rock

Importance: High

Good Afternoon,

We are solicitors of the owners of the subject property as regards to registration of the Storm Pump Covenant. Attached for your review and approval please find a copy of the Storm Pump Covenant based on the precedent provided by the City of White Rock.

We deleted one paragraph (which seemed to be not applicable) in the terms of the Covenant which is:

1(g) the Developer will pay to the Municipality, immediately after execution of this Agreement, the legal fees incurred by the Municipality in the preparation and registration of this Agreement.

Please advised if the enclosed "DRAFT" of the document is acceptable, so that we can have it executed by the owners and by the Scotia Mortgage Corporation for their execution.

We are looking forward for your earliest possible response to the above. **Thank you.**

Amarvir S. Rai

Amarvir Rai Law Corporation

Tel: [604-715-2229](tel:604-715-2229)

email: asrlaw@live.ca

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Sherry Searle

15565 VICTORIA.

From: Sherry Searle
Sent: Friday, December 01, 2017 10:01 AM
To: Redacted S. 22
Subject: 15565 Victoria Av- Disciplinary Action against A.R. Syed

Hi Redacted S. 22

016123

As we discussed this morning, it has recently come to our attention that disciplinary action has been taken against Mr. Ahmed Raza Syed by the Engineers and Geoscientists of BC (EGBC).

I have contacted EGBC to confirm if he is still registered to work as an engineer in BC and if he is permitted to have his work (design and review) supervised/ peer reviewed by another professional engineer or if he is no longer registered to practice as an engineer in BC.

The link below sends you to the EGBC's website where the disciplinary action is listed.

<https://www.egbc.ca/Complaints-Discipline/Disciplinary-Actions>

Regards,

SHERRY SEARLE
Plans Examiner 2, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2295 | www.whiterockcity.ca

WHITE ROCK
My City by the Sea!

016123

Sherry Searle

From: Sherry Searle
Sent: Wednesday, July 19, 2017 3:59 PM
To: Trees
Subject: 15565 Victoria Av- letter of understanding with neighbour at 15571 Victoria (east side)
Attachments: July 4, 17- LOU- neighbour at 15571 Victoria Av.pdf

Hi Jesse,

The applicant dropped off a LOU. He said he submitted a copy to Trees, but I've attached a copy just in case you have not received it.

Cheers,

SHERRY SEARLE

Plans Examiner 2, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2295 | www.whiterockcity.ca

WHITE ROCK
My City by the Sea!

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016123

LETTER OF UNDERSTANDING (East neighbour)

Date July 4, 2017

Property owner info here

Redacted S. 22

Dear

Subject: Letter of Understanding – Tree Management at 15565 Victoria Ave

This letter is your notification that the owners of ^{15565 Victoria, Ave, White Rock} (applicant's information here) have applied for demolition and building permits. The property is subject to the provisions of the City of White Rock's *Tree Management Bylaw No. 1831*, a copy of which is available online at: <http://www.whiterockcity.ca/assets/City~Services/Bylaws/Tree-Management-1831.pdf>.

The Project Arborist, (Woodridge Tree Consulting Ltd), has identified one tree of the following variety (Thuja occidentals "Smaradg") along your (west) property line that are to be protected throughout the demolition and building processes. All work will be done in accordance with the report prepared by the Project Arborist and the terms and conditions of Bylaw 1831 and Bylaw 2073.

AND

The Project Arborist, (Woodridge Tree Consulting Ltd), has identified one tree of the following variety (Thuja occidentals "Smaradg") along your (west) property line that will be impacted by the proposed development to such an extent that the consulting arborist has recommended removal and replacement. Tree Management Bylaw 1831 outlines that trees are required to replace the tree(s) proposed for removal on your property. All work will be done in accordance with the arborist report prepared by the Project Arborist and the terms and conditions of Bylaw 1831 and Bylaw 2073.

If you have any questions with respect to the Tree Management Bylaw please contact the Engineering and Municipal Operations Department at 604-541-2116 or trees@whiterockcity.ca

Applicant : Signature of owner:

Redacted S. 22

Print your name here:

Neighbour Signature of owner:

Redacted S. 22

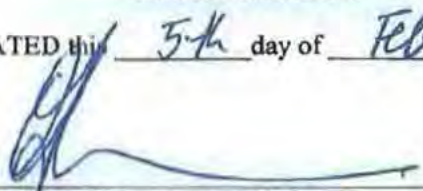
Print your name here:

17. Mr. Volk submitted that \$7,500 is approximately 90% of the costs incurred. In his Reply submissions he states that the total costs are \$8,300. The Panel notes that the percentage of costs paid in other discipline cases is up to 90%.
18. Mr. Syed submits the amount for costs should be \$3,000. In this Panel's view this is not sufficient a contribution to offset the costs incurred.
19. It is the Panel's decision that costs in the amount of \$7,500 is a reasonable sum and we so order.
20. It is the Panel's decision of that these costs are to be paid by not later than 31 May 2018.

Summary of Decision

21. For the reasons set out above the Panel orders as follows:
- a) That Mr. Syed pay a fine the Association in the amount of \$5,000.
 - b) That Mr. Syed be required to complete and pass the Professional Practice Examination of the Association and provide written notice to the Association that he has done so;
 - c) That Mr. Syed be required to complete the Professional Engineering and Geoscience Practice in BC Online Seminar and provide written notice to the Association that he has done so;
 - d) That Mr. Syed pay costs to the Association in the amount of \$7,500.
 - e) If Mr. Syed does not fulfil the requirements of paragraphs a), b), c) and d) by 31 May 2018, his membership in the Association will be suspended until he has done so.

DATED this 5th day of Febr., 2018.



Oliver Bonham, P. Geo., Chair

Ed Bird, P. Eng.



Christopher Arthur, P. Eng.


17. Mr. Volk submitted that \$7,500 is approximately 90% of the costs incurred. In his Reply submissions he states that the total costs are \$8,300. The Panel notes that the percentage of costs paid in other discipline cases is up to 90%.
18. Mr. Syed submits the amount for costs should be \$3,000. In this Panel's view this is not sufficient a contribution to offset the costs incurred.
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 - c) That Mr. Syed be required to complete the Professional Engineering and Geoscience Practice in BC Online Seminar and provide written notice to the Association that he has done so;
 - d) That Mr. Syed pay costs to the Association in the amount of \$7,500.
 - e) If Mr. Syed does not fulfil the requirements of paragraphs a), b), c) and d) by 31 May 2018, his membership in the Association will be suspended until he has done so.

DATED this 4th day of February, 2018.

Oliver Bonham, P. Geo., Chair



Ed Bird, P. Eng.

Christopher Arthur, P. Eng.

REVISED PLANS (2ND)

016123

Plans Examiner Checklist

Date: OCT. 10/17 Plans Examiner: SHOBY

Site Address: 15565 VICTORIA Zone: RS-3

Building Permit: 16-123 Suite: Y N Roll #: _____

Right-of-way, Covenants, etc.: STORM PUMP CW. (FOOT)

Part 9 Building: Y N Part 3 Building: Y N Flood Plain: Y N

Lot Area: 326.01 m² 3509 SF ■' Geo Area: Y N

Natural Average Grade: 12.3m m _____'

Max Building Height: N.A.G. + 7.7m = 20.00 m _____'

A.O.C.: Y N South Average Natural Grade: 13.40 m + 6m = 19.40 m

Setbacks: Front: 3.61 m Rear: 14.42 m Side Int/Ext: 1.20 m Side Int/Ext: 1.24 m

Allowable Lot Coverage: 50 % 163.01 m² 1754.5 ■'

Proposed Lot Coverage: 46.6 % 228.1 m² 1634.26 ■'

Allowable RGFA: 70 % 228.21 m² 2456.4 ■'

Proposed RGFA: 68.8 % 224.18 m² 2413 SF ■' (INCLUDES SHED)

Main: 1230 ■' Upper: 1003 ■' Suite: 695 ■'

SHED: 120 SF

80% Rule Main: N/A ■' Upper Allowable: N/A ■'

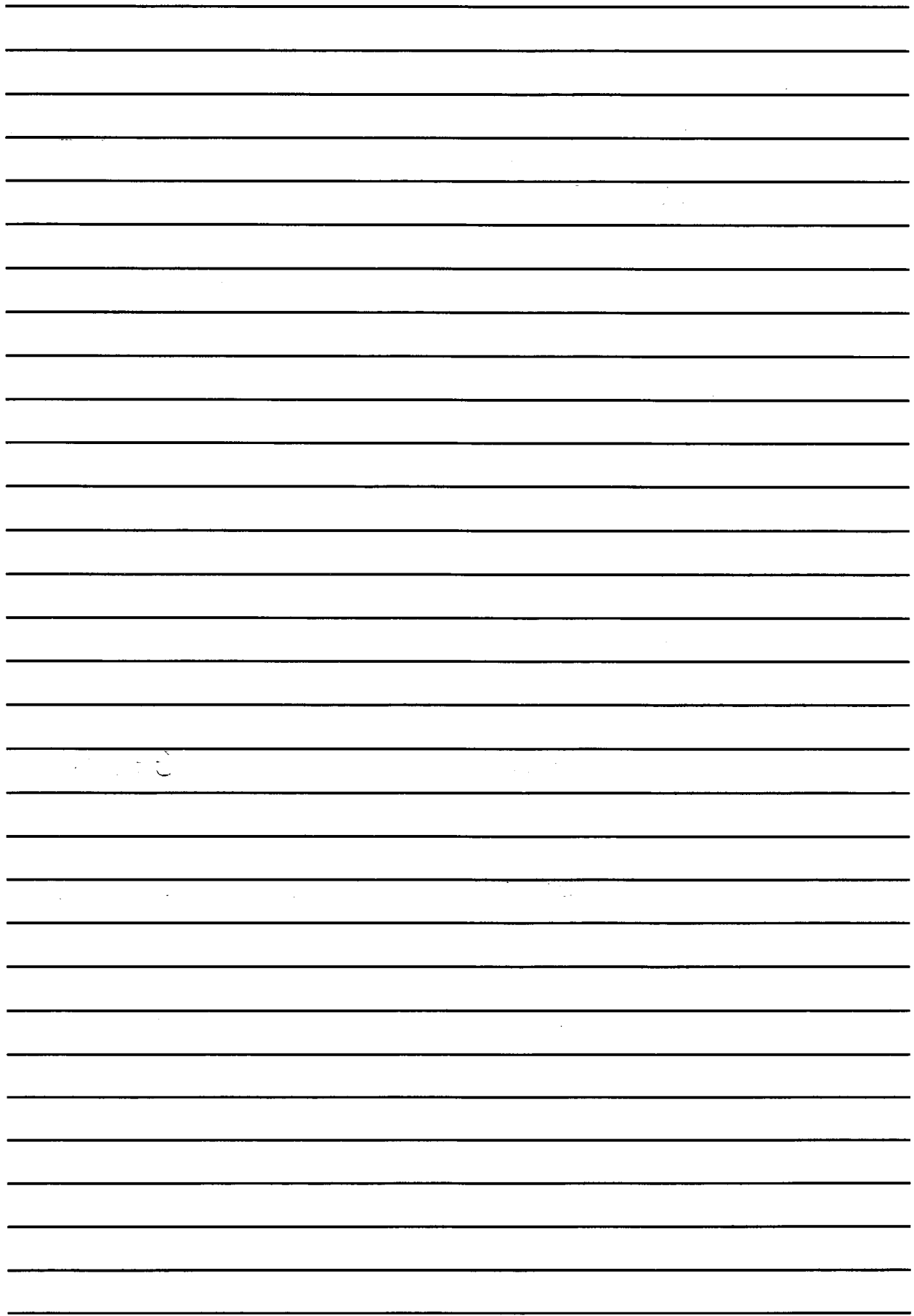
Heating System Principal: IN FROM RADIANT H.R.V.: Y N

Suite Heating & Ventilation: PASSIVE

Air Barrier: Interior Exterior _____

TMP Signed Off: Y N Cap Off Done: Y N Demo Done: Y N

Plan Check Comments & Deficiencies on back



Planning and Development Services
 15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
 Phone: 604 541 2136 Fax: 604 541 2153
 Website: www.whiterockcity.ca

Building Permit 16-123

Date: July 20 2016

Landslide Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Development Permit Area:	Yes <input type="checkbox"/> No <input type="checkbox"/>
Board of Variance:	Yes <input type="checkbox"/> No <input type="checkbox"/>	Floodplain:	Yes <input type="checkbox"/> No <input type="checkbox"/>
Pumping Required	Yes <input type="checkbox"/> No <input type="checkbox"/>	Demolition Permit:	Yes <input type="checkbox"/> No <input type="checkbox"/>

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following address. Copy of Plans for the Proposed Building or Alteration to Accompany this Application.

PROPERTY INFORMATION

Civic Address: 15565 Victoria Ave White Rock, BC V4B _____

Zoning: RS-3 Usage of Property? SFD or Multi LUC: Yes No

Legal Description: L116/B112/Sec11/WWD/PL488/TWP1 Roll number: 003265.000

Project Value: \$691980

OWNER INFORMATION

Name on Title **Redacted S. 22**

Address of owner **Redacted S. 22**

Owners Phone: **Redacted S. 22** Owners Email: _____

BUILDER INFORMATION

Name and address of builder or agent **Redacted S. 22**

Phone: 778-875-5024

Redacted S. 22 Business Lic #: _____

Architect: _____ CRP Engineer: _____

Signature of Applicant: _____

Print Applicant Name: _____

And I agree to conform to all requirements of The City of White Rock Bylaws

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

016123

Building Permit Fees	
Building Permit	\$ 6135.50
Secondary Suite	\$ 225
Microfiche	50 x 5 \$250
Total	\$ 6610.50

Plans Examiner Information

Maximum Building Height: _____

Angle of Containment: _____

Comments: _____

Sub-1
 total : 6610.50
 CK 6610.50
 R:173000 / B:2016072001 / D:3966
 20/ Jul/2016 LONI

MS BLDGER 6135.50
 MS SEC SUITE 225.00
 MS COPIES 250.00

Redacted S. 22

007

DATE 2018-05-31
Y Y Y Y M M D D

PAY TO THE ORDER OF CITY OF WHITE ROCK \$ 500
Five hundred dollars 100 DOLLARS



ROYAL BANK OF CANADA
SCOTTSDALE MALL BRANCH
7157-120TH ST.
DELTA, B.C. V4E 2A9

MEMO

BUILDING PERMIT
HIWAY USE



016123

CITY OF WHITE ROCK - FEE SLIP
15322 Buena Vista Ave
White Rock, BC V4B 1Y6



Folder: BP016123
BUILDING PERMITS
RESIDENTIAL PERMIT (SFD/DUP) - SFD-NEW

Summary	Outstanding
Fees	500.00
TOTAL	\$500.00

City of White Rock
15322 Buena Vista Ave
White Rock BC V4B 1Y6

Receipt #: 9433/26
Dated: May 31, 2018
Station: CASH 4/AMETA
May 31, 2018
03:48:00 PM

ISSUED BP016123 0.00
CPMT BP016123 500.00

Total 500.00
CHEQUE -500.00

Redacted S. 22

Thank You for Your Payment

To find the Value of Construction:

Multiply the total area by either \$160 (flat lot) or \$190 (hillside lot) per sqft

Total Area x \$ Value per sqft = Value of Construction (Round to nearest 1000)

Example: 3642 sqft x \$160 Cost per sqft = \$ 691 980

~~2434~~ = \$ 692 000

Round to nearest 1000
Value of Construction

To find the cost of a Building Permit: (construction value OVER \$250,000):

Take the value of construction
Minus \$250,000
Divide by 1000
Multiply \$8.25 (for each \$1000)
Add \$2,489.00 (for the first \$250,000)
Equals the building permit value

Example:

\$	-	\$250,000	=	\$ 442 000
Value of Construction				
\$	/	1000	=	442
\$ 442	x	\$8.25 For each \$1,000	=	\$ 3646.50
\$	+	\$2,489 For the first \$250,000	=	\$ Permit Fee
				6135.50

Additional Fees:

\$ XX Micro Fiche fee
\$200 Secondary suite fee

016123

Redacted S. 22

Corporation of the
City of White Rock

013

DATE 2016-07-20
Y Y Y Y M M D D

PAY TO THE
ORDER OF

Six thousand six hundred Ten / 100 DOLLARS
dollars.50

\$ 6610.50



ROYAL BANK OF CANADA
SCOTTSDALE MALL BRANCH
7157-120TH ST.
DELTA, B.C. V4E 2A9

MEMO BUILDING PERMIT

Redacted S. 22

Redacted S. 21

DEPOSIT ONLY TO THE ACCOUNT :

CITY OF WHITE ROCK

Bank/Transit No. : 0004 /99930

Account No. : 09510415522

Cheque Amount : 6610.50

Date/Time : 20/Jul/2016 / 11:52:5

8

BACKVERSO

Receipt/Batch : 173000 / 2016072001

Deposit/Operator : 3966 / LORI

Endorsement - Signature or Stamp

Printer ID# 1021

*** REPRINT OF ***
RECEIPT RECORD

CITY OF WHITE ROCK
15322 BUENA VISTA AVE
WHITE ROCK, BC V4B 1Y6
Phone No. : (604)541-2100
Fax No. : (604)541-2118

--- Item ID #0001 ---
BLDGPER : Building Permit

1@ 6135.50 6135.50

--- Item ID #0002 ---
SECSUITE : Secondary Suite R

1@ 225.00 225.00

--- Item ID #0003 ---
COPIES : Miscellaneous Copie

50@ 5.00 250.00

Payment Subtotal 6610.50
PST 0.00
GST/HST106930662RT 0.00

Payment Total 6610.50
=====

Cheque - General B 6610.50

REFERENCE:

BP16-123/15565VICTORIA S. 22 /013
Change 0.00

20-Jul-16 11:53:26
D:0000003966 B:2016072001
LORI R:0000173000

Thank you



Owners Acknowledgement of Responsibility and Undertakings

Planning and Development Services Department
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
Phone: 604 541 2136 Fax: 604 541 2153
Website: www.whiterockcity.ca

Form "A"

RE: Address: 15565 VICTORIA AVE WHITE ROCK

Building Permit Application No.: #16123

1. I am the owner of the land and premises located at 15565 VICTORIA WHITE ROCK BC.
AVE
2. I understand and acknowledge that I am fully responsible for carrying out the work or having the work carried out, in accordance with the requirements of the **British Columbia Building Code**, the City of White Rock **Building Bylaw** and all other bylaws of the City of White Rock.
3. I will comply with, or cause those whom I employ to comply with the **British Columbia Building Code** and all bylaws of the City of White Rock and other statutes and regulations relating to the development, work, undertaking or permission in respect of which this application is made.
4. I understand and acknowledge that neither the issuance of a permit under the City of White Rock **Building Bylaw**, the review of plans and supporting documents, nor inspections by a building official shall, in any way, constitute a representation, warranty, or statement that the **British Columbia Building Code**, City of White Rock **Building Bylaw**, or any other bylaw of the City of White Rock has been complied with.
5. If the material submitted in support of the application for this Building Permit included certification provided by Registered Professionals in the form of Schedules B as part of the **British Columbia Building Code**, I understand and acknowledge that the City of White Rock and its building officials have relied on those letters of assurance as certification that the design and plans to which they relate comply with the **British Columbia Building Code** and other applicable enactments relating to safety.
6. In particular, I understand and acknowledge that the City of White Rock has relied on the letters of "Assurance of Professional Design and Commitment for Field Review" provided by:
 - Insert the name of the Registered Professionals where applicable below:

Architectural: _____

Building Envelope: _____

Structural: _____

Mechanical: _____

Plumbing: _____

Fire Suppression Systems: _____

Electrical: _____

Geotechnical: _____

In reviewing the plans and supporting documentation submitted with this application for a Building Permit.

- 7. I am authorized to make this acknowledgement of responsibility and give these undertakings to the City of White Rock.
- 8. I understand that it would be prudent for me to seek independent legal advice with respect to the responsibilities I am assuming upon the granting of a Building Permit by the City of White Rock pursuant to this application and in respect of the execution of this acknowledgement.

Signed this 28 day of JUNE/2016.

Redacted S. 22
Pr _____

Signature of owner
(or signing officer if the owner is a corporation)

Signed this 28 day of JUNE/2016.

Redacted S. 22
Witness

CONSTRUCTION
Occupation

016123



Authorization Form

Development Services Department
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
Phone: 604 541 2136 Fax: 604 541 2153
Website: www.whiterockcity.ca

Civic Address: 15565 VICTORIA AVE WHITE ROCK

Legal Description: _____

This document shall serve to notify the City of White Rock that I am / we are the legal owner(s) of the property described above and do authorize the person indicated below ("Authorized Agent") to act on my / our behalf on all matters pertaining to the referenced Land / Building Permit Application for the above referenced property. In addition, I / we have read and understand the application requirements of the Land / Building Permit Application and authorize the Authorized Agent to act on our behalf.

Name of Property Owner(s): **Redacted S. 22**

Mailing Address: _____
City: **Redacted S. 22** Postal Code: **Redacted S. 22**

E-mail: _____

Phone: **Redacted S. 22** Fax: _____

Name of Authorized Agent: **Redacted S. 22**

Company Name: _____
Mailing Address: _____

City: **S. 22** Postal Code: **Redacted S. 22**

E-mail: **Redacted S. 22**

Phone: **Redacted S. 22** Fax: _____

Signature of Property Owner(s): **Redacted S. 22** Date: JUNE/20/2016

Signature of Property Owner(s): _____ Date: JUNE/20/2016

Signature of Authorized Agent: _____ Date: JUNE/20/2016

Note: All registered owners of the property shall sign this Authorization Form. Use additional sheets if necessary. A new Authorization Form must be submitted to the City of White Rock if the ownership of the property changes prior to completion of issuance of the building permit, or before final approval is granted.

WHITE ROCK*My City by the Sea!*

016123

**Building Permit
Information Sheet**

Development Services Department
 15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
 Phone: 604 541 2136 Fax: 604 541 2153
 Website: www.whiterockcity.ca

Civic Address: 15565-VICTORIA AVE Zoning: RS-3Legal Description: LOT 16, BLOCK 2, SECTION**Site Statistics:**Lot Area: 3510 Square Feet

Lot Coverage: Permitted: 1755 Proposed: 1650
 (Building footprint Including Percentage: 50 % Percentage: 47 %
 Any detached Structure)

Setbacks: Permitted: North 3'0" M South 3'0" M East 1'2" West 1'2" M
 Proposed: North 11'07" M South 3'01" M East 1'24" West 1'2" M

Building Statistics:

Basement Floor 1208 Square Feet
 Main Floor 1228 Square Feet
 Upper Floor 1061 Square Feet
 Registered suite 751 Square Feet
 Garage 400 Square Feet
 Other/Additions 553 Square Feet

Residential Gross Floor Area: Permitted: 2457 Proposed: 2289
 Percentage: 70 % Percentage: 65.21 %

Driveway Slope: Permitted: 15% Proposed: 10.46 %

Owner Builder Declaration & Disclosure Notice Yes No

Third Party Home Warranty Provider: Yes No
 - Name of Provider: _____

Builder's Business License Number: _____

Board of Variance granted: Yes No

Spatial Calculation included: Yes No

Property within the Geotechnical Landslide Area: Yes No

Property within the Tree Management By-Law: Yes No

I, RAJ TOORA certify this information to be correct.

Signature:  Date: MAY 13/2016

016123



Assessment Department Location
Mailing Address 6951 Westminster Highway
PO Box 5350 Richmond BC
Station Terminal V7C 1C6
Vancouver BC V6B 5L5 www.worksafebc.com

Clearance Section
Telephone 604 244 6380
Toll Free within Canada
1 888 922 2768
Fax 604 244 6390

Redacted S. 22

March 14, 2017

RECEIVED

MAR 13 2017

THE CORPORATION OF THE
CITY OF WHITE ROCK

Person/Business : 09077574 B.C. LTD.
987926 AQ(019)

We confirm that the above-mentioned account recently registered , effective January 01, 2016 , and its first assessment remittance to the Workers' Compensation Board is not yet due.

The first payment that will affect this firm's clearance status is due on March 31, 2017.

Contractor liability is outlined in Section 51 of the *Workers Compensation Act*.

Employer Service Centre
Assessment Department

Clearance Reference # : C129446278
CLRA5-M

Now you can report payroll and pay premiums online.

Visit www.worksafebc.com

Please refer to your account number in your correspondence or when contacting the Assessment Department.
To alter this document constitutes fraud.

ALLIED INSURANCE SERVICES INC.

FLEETWOOD TOWN SQUARE
#103 - 15988 FRASER HWY
SURREY BC V4N0X8
Fax: (604) 572-5881
Ph: (604) 572-3311

#16123

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APR 11 2018

THE CORPORATION OF THE
CITY OF WHITE ROCK

INSURANCE BINDER

INSURED: 0907574 BC LTD.

MAILING ADDRESS: BOX # 302 6832 KING GEORGE BLVD SURREY BC V3W4Z9

INSURER: CAN-SURE UNDERWRITING LTD.

POLICY TERM: MARCH 8, 2018 TO MARCH 8, 2019

POLICY NUMBER: CS542743

EFFECTIVE DATE: 06-Apr-18

TYPE OF COVERAGE: COMMERCIAL GENERAL LIABILITY

LIABILITY: \$5,000,000

DEDUCTIBLES: \$2,500 , \$5,000 LIMITED POLLUTION

WITH RESPECT TO THE LOC. ADDITIONAL INSURED:	15565 VICTORIA AVE WHITE ROCK BC V4B1H8 THE CORPORATION OF WHITE ROCK, 15322 BUENA VISTA AVE., WHITE ROCK, BC V4B1Y6
---	---

The above coverage's are bound in accordance with the terms, conditions and limitations of the policy(s) in current use by the above listed insurer(s). This binder will continue in force until replaced by a policy but in no event for a period longer than 30 days from the effective date indicated above. Acceptance of the terms of this binder will be understood UNLESS the Agency / Broker indicated is advised immediately to the contrary

THIS POLICY CONTAINS A CLAUSE(S) WHICH LIMIT THE AMOUNT PAYABLE. SUBJECT TO "STANDARD MORTGAGE CLAUSE" AS PER INSURANCE BUREAU OF CANADA.

FAX TO:
BINDER NO.

DATE: APRIL 6, 2018

ALLIED INSURANCE SERVICES INC
103-15988 Fraser Highway
Surrey, BC V3S 2W4
Tel: (604) 572-3311



016123



New Home Registration Form

The purpose of this form is to certify, for the purpose of section 30 of the Homeowner Protection Act, that a proposed new home is covered by home warranty insurance and built by a licensed residential builder.

Form: 323639

A. BUILDER INFORMATION

Licence Number: 39097

Expiry Date: September 30, 2018

Company Name: 0907574 B.C. Ltd.

B. PROPERTY INFORMATION

Civic Address: 15565 Victoria Avenue

City/Town: White Rock

Province: British Columbia

Postal Code: V4B 1H8

PID: 001-524-721

Legal Description: Lot 16 Block 2 Plan NWP488 Section 11 Township 1 Land District 36

Owner(s) of the Property: Redacted S. 22

C. CONSTRUCTION INFORMATION

Number of Dwelling Units: 1

Type of New Home: Single

D. PROOF OF HOME WARRANTY INSURANCE

Certified and sealed by warranty provider:

Seal:

Warranty Provider: Royal & Sun Alliance Insurance Company of Canada

Builder Warranty No.: 140144

Insurance No.: 140144-5

Warranty Provider Seal Date: February 19, 2018



E. BUILDING PERMIT INFORMATION

To be completed by municipality or regional district and returned to the Licensing & Consumer Services Branch:

Municipality or Regional District: CITY OF WHITE ROCK

Permit issued to: 0907574 B.C. Ltd.

Date Issued: (month/day/year) MAY 31 2018

Permit No.: 16-123

Correction to civic address, type of new home or other information, if applicable:

City of White Rock Plans Examination Comments

Permit Number: 16-123

15565 Victoria Ave

This document forms part of the Permit.

Plans Examiner

Owner/Agent

Date

016123

SS
RS
MAY 31, 2018

Description	Text (revised)	Code reference
Plans Examiner Comments	These comments are to be read in conjunction with the approved drawings. Date: <u>MAY 31, 2018</u> Owner/Agent: <u>RS</u>	
Driveway Access	Driveway width at property line shall match City designated access letdown width. Any modification to the access letdown width requires approval from the Engineering Department. Date: <u>MAY 31, 2018</u> Owner/Agent: <u>RS</u>	
Use of City Property	Prohibitions: Keep City property (roads, sidewalks, boulevards, etc.) clear of construction materials and debris at all times.	



Corporation of the City of White Rock
HIGHWAY AND/OR RIGHT OF WAY USE PERMIT

Associated with Building Permit No. 16-123

Location of Work: 15565 Victoria Avenue	
Effective Date: November 6, 2017	Expiry Date: November 6, 2018

Owner:	Prime Contractor:
Name: Redacted S. 22	Name: Redacted S. 22
Address: Redacted S. 22	Address:
Telephone 1:	Telephone 1: Redacted S. 22
Telephone 2:	Telephone 2:

A. PERMISSION IS HEREBY GRANTED TO: Redacted S. 22

to do the following work at the above location:

- Construct / improve driveway access from Lane as per comments shown on revised site plan date stamped received April 24, 2017. Driveway and Boulevard restoration must be completed to meet the completion requirements described below prior to the return of the **\$5,000.00** Security;
- Driveway access within the City Blvd (road edge to PL) to slope up a minimum 2%.
- Driveway from the property line to the edge of garage slab to have a slope not exceeding 15%.
- Backfill under the driveway within the City Boulevard must be structural fill (3" minus material) compacted to 95% Modified Proctor Density.
- Driveway access width through the City Boulevard (road edge to PL) may match the width of the lot.
- Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Cost to remove, repair or replace curb, gutter, sidewalk, and letdown works to be borne by the owner/developer and performed by the City.
- No retaining walls or "landscape rock" are permitted on the City Boulevard.
- Remaining City Boulevard must be restored with a minimum 150mm of topsoil and sod.
- Any alterations or improvements on the City Boulevard must first be approved by the Engineering Department.

B. COMPLETION REQUIREMENTS

- For inspection please call 604-541-2181
- Note: A charge of \$102.00 shall be paid for each additional inspection made not mentioned above.
- All Works to be completed to the satisfaction of the Director of Engineering and Municipal Operations

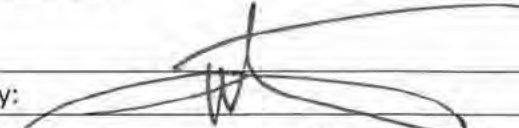
C. CONDITIONS OF PERMIT

- I hereby agree to abide by all the terms of this permit and the City's Street and Traffic By-law which pertain to this permit.
- The applicant confirms to the City that in undertaking the Works, the applicant shall strictly adhere to the Design Drawings approved for road and right of way use permit and obtain the prior written approval of the City Engineer for any changes to the Design Drawings.
- I understand the City will return the security upon completion of a one year maintenance period, from the date of the acceptance the Works by the City, and if required a submission and acceptance of any as-built drawing minus any costs incurred by the City for inspections, rectifying the Work, or damage to City property.
- The security amount will be released to the person or company whose name is on the original payment.
- I further agree to indemnify and save the City harmless against any and all claims, actions or expenses whatsoever or by whomsoever brought against the City by reason of the City granting me this City Road and Right of Way Use permit or by reason of the construction of the above-referred Work, including any matter that may arise under the Worker's Compensation Act, R.S.B.C. 1996, c. 492 ("the Act") and its regulations.
- This permit is not valid without insurance. The Corporation of the City of White Rock must be named as additional insured on policy for a minimum of \$5,000,000.00 liability. The Prime Contractor must be skilled in the work assigned, and must comply with the Act and its Occupational Health and Safety Regulations. The Prime Contractor must comply with the "BC Manual for Traffic Control for Work on Roadways".
- The Prime Contractor must have a valid City of White Rock business license.
- All works shall be completed in accordance with all current Corporation of the City of White Rock construction specifications and standard drawings. The Prime Contractor shall not employ or sub-contract with any party not skilled in the work assigned. As-built drawing may be required with the attached specifications prior to release of security.

016123

PRIME CONTRACTOR'S DECLARATION AS PER WORKER'S COMPENSATION ACT

I/We acknowledge, in accordance with the provisions of the *Worker's Compensation Act*, R.S.B.C. 1996, Chapter 492 that I/we are the "Prime Contractor" and are qualified to act as the "Prime Contractor". I/we accept the duties and responsibilities for the coordination of health and safety in accordance with the *Act*. I/we will do everything that is reasonably practicable to establish and maintain a system or process that will ensure compliance with the *Act* and the Occupational Health and Safety Regulations made thereunder.

Issued By: 

Name of Prime Contractor: **Redacted S. 22**

Signature of Authorized Signatory: **Redacted S. 22**

Date: MAY/31/2018

FEES AND SECURITY

Security Amount (Paid at Demo)	\$5,000.00
Permit Fee	\$500.00
TOTAL	\$500.00

Deposit Receipt No.: 171689



Corporation of the City of White Rock - Public Works Department

BUILDING PERMIT #16-123

016123

Address: 15565 Victoria Avenue Applicant: Redacted S. 22
 Legal Description: Lot 16, Block 2, Section 11, Township 1, New Westminster District Plan 488
 Owner: Redacted S. 22 Phone #: Redacted S. 22
 Date Filed: Date Paid:
 Date Installed:

Sanitary Sewer Service

*Depth and Location are approximate and to be used as a guide only

Existing Location: 5' West of NE PL
 Approximate Depth: 4'
 Main Extension Required: Yes No

Remarks:

NOTE: Service Connection Fees are taken as a deposit only and may be subject to additional charges as per the City of White Rock's Sewer Connection Bylaw No. 396 As well as confirmation by the City of White Rock's Public Works Department.

Connection Fee \$4,000.00
 Total Cost for Sanitary Connection *Paid at Demo* \$4,000.00 *SW*

Storm Sewer Service

*Depth and Location are approximate and to be used as a guide only

Existing Location: 6' West of NE PL
 Approximate Depth: 4'
 Main Extension Required: Yes No

Remarks:

NOTE: Service Connection Fees are taken as a deposit only and may be subject to additional charges as per the City of White Rock's Sewer Connection Bylaw No. 396 As well as confirmation by the City of White Rock's Public Works Department.
If a gravity storm sewer connection cannot be established a restrictive covenant will need to be registered on the title of the property at the Land Title Office, identifying that the lot cannot be drained by gravity and must be serviced by a privately owned pump. The registered owner of the lot will be responsible for maintaining the pump system.

Connection Fee \$4,000.00
 Total Cost for Storm Connections *Paid at Demo* \$4,000.00 *SW*

Total Cost For Storm & Sanitary Services \$8,000.00

General Requirements

- IF THE ABOVE LOCATION OF THE NEW SERVICE IS NOT WHERE THE OWNER / BUILDER WOULD LIKE THEY MUST REQUEST A NEW LOCATION THROUGH PUBLIC WORKS AND AN ADDITIONAL FEE WILL BE REQUIRED
- Owner / Builder must expose existing sanitary service at the property line for Cap-Off by Public Works Foreman. Failure to do so will result in denial for request of a Building Permit.
- All work must conform to the Corporation of the City of White Rock Standards and Specifications
- All inspections on private property to be carried out by the City's Building Department
- The owner / builder is responsible for maintaining and lowering the Inspection Chamber to no lower than finished grade. Any replacement / repairs to the Inspection Chamber must be done by the City and the costs will be charged to the owner.
- All services will be installed at the lowest possible elevation, however, the City is not responsible for providing a gravity service. It is the owner's / builder's responsibility to connect at that elevation at property line whether by gravity or sump pump.
- The owner/builder is responsible to determine the minimum basement elevation of the works proposed, and is also responsible in determining if a restrictive covenant is required. MBE for gravity connections are determined to be 200mm above the existing grade of the road or the 100 year hydraulic grade line as determined by the owner/developer or their consultant.
- Notify Public Works Foreman (541-2181) **two weeks** prior to service installation to allow for scheduling of work

Date: MAY/31/2018 Applicant's Signature: Redacted S. 22

016123



Notice of Construction

Planning & Development Services Department
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
Phone: 604 541 2136 Fax: 604 541 2153
Website: www.whiterockcity.ca

A Building Permit will be issued and construction will be commencing soon next to your property at **15565 Victoria Ave**

Adjacent Properties:

15561 Victoria Ave

15571 Victoria Ave

Compliance with the current BC Building Code is required as well as all other City of White Rock's Bylaws and other enactments. Included with the information given to the applicant / builder along with the Building Permit and plans are WorkSafe BC requirements, to ensure a safe environment for construction workers as well as other members of the public.

The purpose of this notice is to inform you that the City of White Rock does not authorize any encroachments to neighbouring properties; the contractor and/or owner/builder is responsible not to encroach into or cause damage to neighbouring properties. **Any encroachment or damage to the property is the responsibility of the contractor and/or owner/builder and any disputes resulting from this can only be resolved through civil litigation.**

This notice is presented by the contractor:

Company Name: 09077574 BC Ltd

Name: **Redacted S. 22**

Address:

Phone Number: 778-875-5024

E-Mail: **Redacted S. 22**

The neighbouring properties shall be notified by way of this notice prior to the start of construction by:

Contractor or Owner/Builder: **Redacted S. 22**

Signature: **Redacted S. 22** Date: May/31/2018



KERR WOOD LEIDAL
Consulting Engineers

Greater Vancouver
200 - 4185A Still Creek Drive
Burnaby, BC V5C 6G9
T 604 294 2088
F 604 294 2090

Technical Memorandum

DATE: June 3, 2016

TO: Greg St. Louis, City of White Rock

FROM: Rose Sinnott, Kerr Wood Leidal Associates Ltd.

RE: One & Two Dwelling Unit Development Servicing Review
Subject Property: 15565 Victoria Avenue
Our File 452.105-438

Purpose

The City of White Rock (the City) requires confirmation that proposed developments can be serviced with water prior to the issuance of a building permit. Servicing requirements are as follows:

- Property is acceptably close to a suitable water main;
- Pressures in the nearest water main are suitable for adequate servicing, including sprinkler fire protection to NFPA 13D (as required by the City's sprinkler fire bylaw – Bylaw 1683);
- Existing hydrants have adequate flow and are within an acceptable distance to the proposed development; and
- Suitable backflow prevention is provided to protect the distribution system.

This memorandum has been prepared on behalf of the City of White Rock to verify that the proposed building can be serviced from the current system, and to provide design information to allow for sprinkler design by others (where fire protection sprinklers are required). See the attached form provided by the applicant for further details.

Limitations

The following limitations apply to this servicing review:

- Pressures and fire flows shown are based on output from the City of White Rock's hydraulic model of the water system, not actual flow testing.
- Results are expected values (i.e. no safety factors applied). Sprinkler system design should include safety factors as deemed appropriate by the sprinkler system designer.
- Conclusions are based on data provided by the applicant (attached). This information has not been independently verified by KWL.
- The conclusions in this memorandum are considered valid for a maximum of two years from the date of the memorandum, after which a new servicing review application is required.
- Results provided are solely for use in assessing the serviceability of the proposed development. No other party is entitled to rely on results provided in response to this application. No warranty, express or implied, is made.



Servicing Summary

Hydrant Fire Protection	Hydrant Location	Hydrant Number	Distance to Property ¹	Estimated Available Fire Flow ²
Nearest hydrant	Victoria Ave & Ash St	#101	37 m	190 L/s
Alternate hydrant #1	Victoria Ave & Finlay St	#297	71 m	193 L/s
Alternate hydrant #2	Columbia Ave & Ash St	#094	106 m	131 L/s
Required fire flow from guidelines ³	67 L/s			
Hydrant fire protection acceptable?	Yes, but confirmation of required fire flow by developer and approval from City of White Rock Fire Department required			
Service Specifics				
Distance from water main to property line (PL)	11.9 m SW of PL ⁴			
Total distance to furthest sprinkler head (based on data provided by applicant)	30.9 m			
Elevations				
Distribution system water main elevation (hydraulic model junction closest to the development)	12 m			
First floor elevation (provided by the applicant)	13 m			
Highest sprinkler head elevation (provided by the applicant)	19 m			
Pressures (for sprinkler system design)	HGL ⁵	Pressure (m W.C.) ⁶		
Maximum static HGL / pressure in water main	102 m	89 m (at first floor elevation)		
Peak Hour Demand (PHD) HGL / pressure in water main	97 m	78 m (at highest sprinkler elevation)		
PHD pressure adequate for sprinklering (i.e. PHD > 12 m W.C.) ⁷	Yes			
Preliminary minimum service size for fire sprinkler system (developer's sprinkler designer to confirm)	38 mm			

¹ Maximum distance to hydrant should be less than 90 m according to MMCD Design Guidelines. Distance to property measured from hydrant to center of front or back property line.

² Modelled available system fire flow (in water main) at 150 kPa (22 psi) residual pressure. Actual flow capability of hydrant and hydrant lead may limit flow capacity. The maximum available fire flow due to system storage capacity is 212 L/s.

³ F.U.S. guidelines suggest a minimum fire flow of 67 L/s for single-family housing subject to certain requirements.

⁴ Referenced from the 150 mm diameter main on Victoria Avenue.

⁵ HGL: Hydraulic grade line at water main referenced to geodetic datum, does not include service pressure losses. Use pressure corrected for elevation (W.C.) for sprinkler design.

⁶ Pressure (W.C.) = HGL - Elevation; 1 m W.C. (water column) = 1.42 psi.

⁷ Minimum requirement of 12 m W.C., typical desired requirements of 28 m W.C.



Conclusions

The proposed building can be serviced from the existing City of White Rock water system without major system modifications, subject to the following:

1. Water service is provided from the 150 mm diameter water main on Victoria Avenue;
2. Backflow prevention is provided to protect the distribution system;
3. A copy of the plumbing inspection report is provided to the City of White Rock;
4. Proof of satisfactory bacteriological sample results from a qualified lab for the customer service line (from property line) is provided to the City, and
5. The developer should contact the City to confirm next steps based on the conclusions of this memorandum.

KERR WOOD LEIDAL ASSOCIATES LTD.

Prepared by:

Kimberley Brown
Engineering Co-op Student

Reviewed by:



Rose Sinnott, P. Eng.
Project Engineer

KSB/
Encl.

Statement of Limitations

This document has been prepared by Kerr Wood Leidal Associates Ltd. (KWL) for the exclusive use and benefit of the intended recipient. No other party is entitled to rely on any of the conclusions, data, opinions, or any other information contained in this document.

This document represents KWL's best professional judgement based on the information available at the time of its completion and as appropriate for the project scope of work. Services performed in developing the content of this document have been conducted in a manner consistent with that level and skill ordinarily exercised by members of the engineering profession currently practising under similar conditions. No warranty, express or implied, is made.



KERR WOOD LEIDAL ASSOCIATES LTD.

CONSULTING ENGINEERS



City of White Rock Engineering and Municipal Operations
P: 604.541.2181 | F: 604.541.2190
877 Keil Street, White Rock BC, Canada, V4B 4V6

ONE & TWO DWELLING RESIDENTIAL APPLICATION TO CONFIRM SERVICEABILITY (Required for Building Permit Application)

Applicant's Address:

Phone Number:

778-895-5024

PROPOSED DEVELOPMENT DETAILS:

Physical Address

(If civic address not available please provide site map)

15565 - VICTORIA AVE

Proposed Service Location

(e.g., West PL 3.0 m South of North PL)

FRONT CENTRE

Building Type (either single-family or duplex)

Single Family Duplex

If Single Family, check an accessory use:

None Coach House Secondary Suite

Current Service Location

(if known) (if not serviced mark - N/A)

FRONT

Fire Protection Sprinklers to NFPA 13D Required?

Yes or No (generally Yes unless otherwise approved by City)

YES

Setback Distance (distance from property line to the front of the house, in m)

3 METRES

First Floor Elevation

(in m geodetic)

~~15.32~~ 13.32

Number of Floors

(excluding floor(s) below first floor)

TWO

Highest Sprinkler Head Elevation

(in m geodetic)

19.42

Approximate Length of Private Service

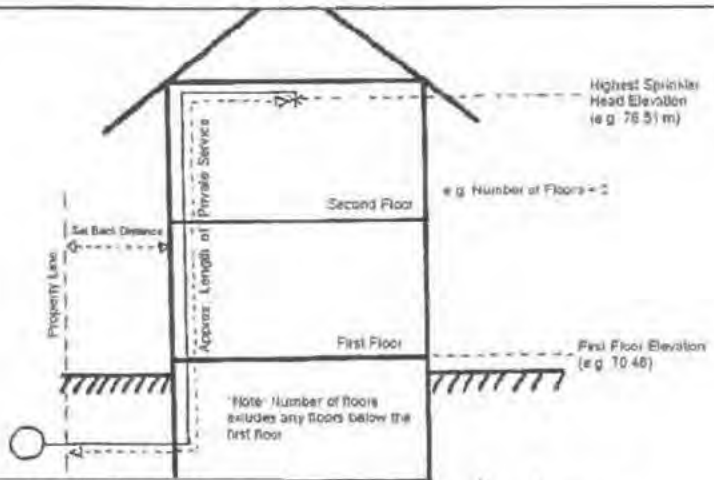
(from PL to highest sprinkler, actual length of pipe run)

19 METRES

Explanation of terms / abbreviations:

Elevation or el. – Elevation in meters in geodetic datum (i.e., referenced to sea level), +/- 1 m.

PL – property line, used to reference desired location of service.



Redacted S. 22

Redacted S. 22

MAY 31 2016

Signature of Applicant

Name of Applicant

Date

TOPOGRAPHIC PLAN OF LOT 16, BLOCK 2, SECTION 11, TOWNSHIP 1, NWD, PLAN 488

#16123

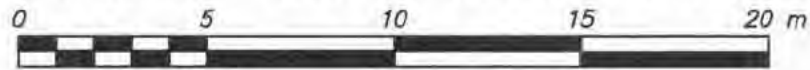
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MAR 13 2017

THE CORPORATION OF THE
CITY OF WHITE ROCK



CIVIC ADDRESS: 15565 Victoria Avenue White Rock, B.C.

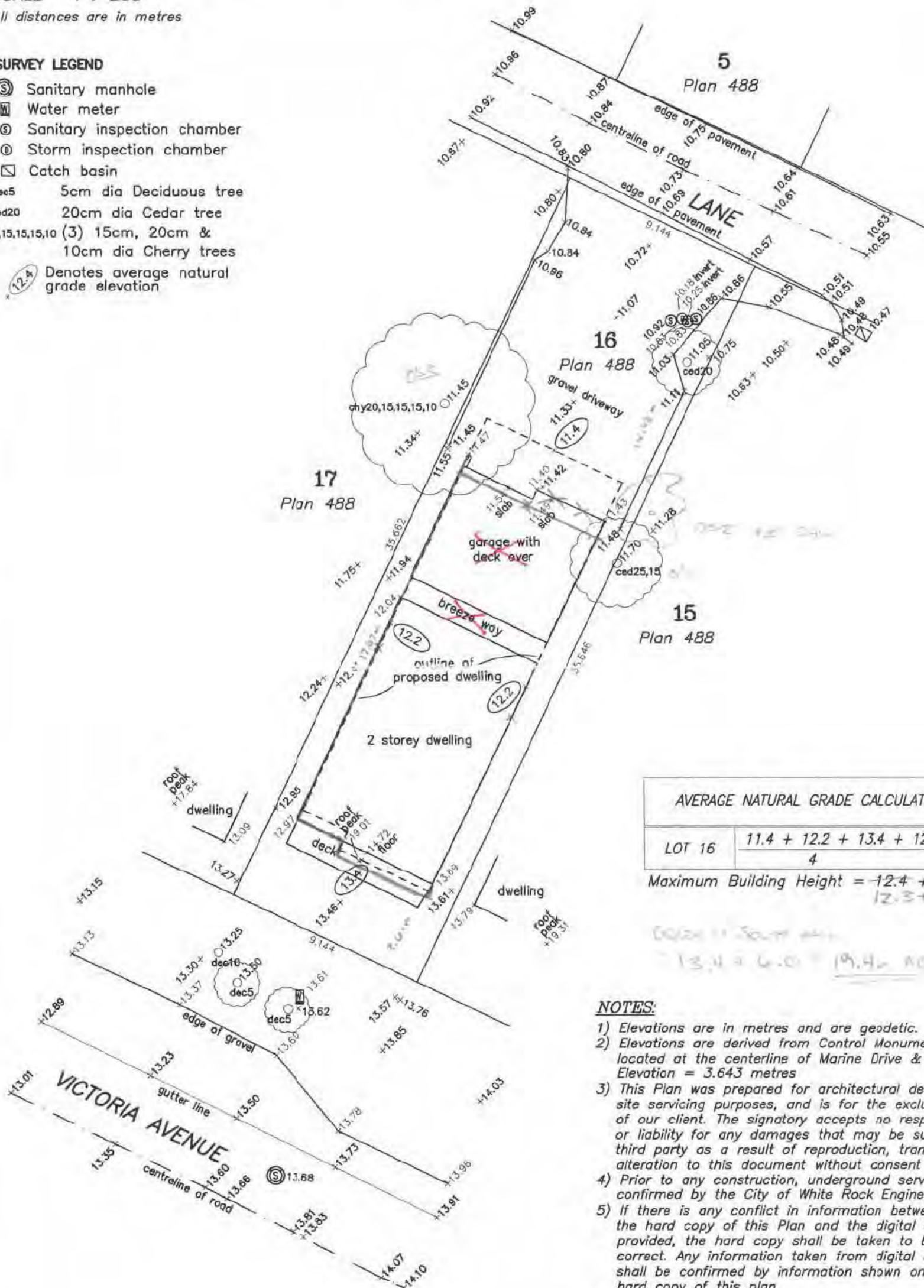


SCALE 1 : 200

All distances are in metres

SURVEY LEGEND

- ⊙ Sanitary manhole
- ⊞ Water meter
- ⊙ Sanitary inspection chamber
- ⊙ Storm inspection chamber
- ⊞ Catch basin
- dec5 5cm dia Deciduous tree
- ced20 20cm dia Cedar tree
- chy20,15,15,15,10 (3) 15cm, 20cm & 10cm dia Cherry trees
- ⊙(12.2) Denotes average natural grade elevation



AVERAGE NATURAL GRADE CALCULATION	
LOT 16	$\frac{11.4 + 12.2 + 13.4 + 12.2}{4} = 12.3 \text{ m}$

Maximum Building Height = $-12.4 + 7.7 = 20.0$
 $12.3 + 7.7 = 20.0 \text{ MGA}$

NOTES:

- 1) Elevations are in metres and are geodetic.
- 2) Elevations are derived from Control Monument no. 88H3861 located at the centerline of Marine Drive & Balsam Street Elevation = 3.643 metres
- 3) This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.
- 4) Prior to any construction, underground services are to be confirmed by the City of White Rock Engineering Dept.
- 5) If there is any conflict in information between the hard copy of this Plan and the digital data provided, the hard copy shall be taken to be correct. Any information taken from digital data shall be confirmed by information shown on the hard copy of this plan.
- 6) Property lines derived from Land Titles Office records.

Average natural grade added January 26, 2017.
 This plan has been prepared in accordance with the Professional Reference Manual with additional specifications from our client and is certified correct this 1st day of April, 2016.

Sean Costello
 Sean Costello B.C.L.S. (900)

Cameron Land Surveying Ltd.
 B.C. Land Surveyors
 Unit 206 - 16055 Fraser Highway
 Surrey, B.C. V4N 0G2
 Phone: 604-597-3777
 Fax: 604-597-3783

016123

RECEIVED

OCT 17 2019

THE CORPORATION OF THE CITY OF WHITE ROCK

TEMPORARY ENCROACHMENT AGREEMENT

THIS AGREEMENT made September 27, 2019

BETWEEN:

Redacted S. 22

(together the "Grantor")

OF THE FIRST PART

AND:

Redacted S. 22

(together the "Grantee")

OF THE SECOND PART

WHEREAS:

A. The Grantor is the registered and/or beneficial owner in fee simple of those certain parcels or tracts of land and premises, situated, lying and being in the City of White Rock, in the Province of British Columbia and having a civic address of 15571 Victoria Avenue, White Rock, BC and legally described as:

Parcel Identifier: 011-617-527
Lot 15 Block 2 Section 11 Township 1 New Westminster District Plan 488

(the "Grantor Lands")

B. The Grantees, **Redacted S. 22** are the owners in fee simple of those certain parcels or tracts of land and premises, situated, lying and being in the City of White Rock, in the Province of British Columbia and having a civic address of 15565 Victoria Avenue, White Rock, BC, and legally described as:

Parcel Identifier: 001-524-721
Lot 16 Block 2 Section 11 Township 1 New Westminster District Plan 488

(the "Grantee Lands")

C. The Grantee retained **s. 22** to begin excavation of the Grantee Lands for the purpose of constructing a residential dwelling upon the Grantee Lands (the "Grantee's Dwelling") during such excavation, the Grantor Lands have become unstable.

- D. GeoCan Engineering Inc. ("GeoCan") has prepared a Shoring Design dated September 16, 2019, attached as Schedule "A" for the purpose of shoring portions of the Grantor Lands (the "Shoring Work").
- E. The Grantee will remove the existing sidewalk, retaining wall and fence located on the west side of the Grantor Lands and supply and install a new sidewalk, retaining wall and fence, as set out in this Agreement (the "Remediation Work").
- F. The Works means the Shoring Work and the Remediation Work.
- G. The Grantor has agreed to grant the Grantee access to the Grantor Lands for the purpose of performing the Works to allow the Grantee to continue construction the Grantee's Dwelling.

NOW THEREFORE and in consideration of the sum of \$1.00 of lawful money of Canada and other good and valuable consideration to be paid by the Grantee to the Grantor (and paid by the Grantor to the Grantee the sufficiency whereof is hereby acknowledged) the parties hereby covenant, promise and agree with each other as follows:

Grant of Easement

- 1. The Grantor hereby grants to the Grantee, its agents, contractors and employees, on the terms and conditions herein, permission to:
 - a) construct and install the Works, together with any other necessary structural supports, materials and improvements required during or after the construction of the Grantee's Dwelling for purposes of supporting the Grantor Lands during the construction of the Grantee's Dwelling;
 - b) encroach on to the Grantor Lands with workmen, equipment and materials, to carry out the Works on the west property line of the Grantor Lands; and
- 2. Notwithstanding the Grant of Easement contained in paragraph 1, the Grantee, its agents, contractors and employees, will not enter onto any parts of the Grantor Lands unless they give at least 24 hours written notice to the Grantor, and such access will not occur outside the hours 9:00 am to 6:00 pm.

Indemnity

- 3. The Grantee will indemnify and save the Grantor harmless for any and all loss, damage, cost or expense sustained or incurred by the Grantor, including any damage to improvements located on the Grantor Lands or injury to any person or damage to any property arising solely out of the Works including any claims or actions by third parties against the Grantor, together with reasonable legal expenses incurred by the Grantor with respect to same.
- 4. The Grantee will indemnify and save harmless the Grantor against all claims or liens for work and materials arising out of the Works and, if any claim of lien against the Grantor Lands in respect of the Works shall be registered, the Grantee shall forthwith cause the same to be discharged.

Non-Interference

5. The Grantee hereby covenants and agrees with the Grantor that the Grantee shall:
- a) maintain adequate lateral support of the Grantor Lands and the building(s) situated thereon throughout the construction of the Grantee's Dwelling;
 - b) the Works shall not interfere with the normal use of the Grantor Lands, except to the extent reasonable or necessary to complete the Works. Even if the Grantee does not enter onto the Grantor Lands, if there is damage caused to the Grantor Lands as a result of the Works, the Grantee, at its expense, will repair any such damage and restore the Grantor Lands and any improvements thereon to the condition immediately before the commencement of construction of the Grantee's Dwelling as soon as reasonably possible;
 - c) in the event the Grantee has not restored the Grantor's Lands as required by this section within a reasonable time, the Grantor shall have the right to restore the Grantor's Lands at the expense of the Grantee and the Grantee shall indemnify the Grantor for the costs of doing so.
 - d) promptly do all things reasonably necessary to restore the Grantor Lands to a condition of the same or better kind and quality as at the date of execution of this Agreement, as a result of the Works, including without limitation, general backfilling the excavated areas on the Grantor Lands, if any, to pre-existing site grades, removing any temporary works erected or placed on the Grantor Lands, leaving the Grantor Lands in clean condition including removal of any/all dirt debris caused by the Works; and
 - e) maintain the Grantor Lands free of claims of liens, including claims of contractors, subcontractors, workmen, suppliers, and the Workers' Compensation Board, and in the event of the filing of a lien, to promptly at its own expense cause the same to be discharged.

Performance of Works

6. The Works must be performed to the reasonable satisfaction of Davies Geotechnical Inc.
7. The Works must be completed by December 31, 2019, or such other time as is agreed between the parties or directed by the court.
8. The sidewalk, retaining wall and fence that is to be installed as the Remediation Work must be reasonably similar to or better than existed on the Grantor Lands prior to the Grantee's excavation of the Grantee Lands.
9. The Works, and any other work relating to the Grantor Lands, will be constructed and carried out expeditiously with reasonable diligence in a good and workmanlike manner by competent tradesmen, skilled in the particular work.

10. The Shoring Work will be performed by HD Drilling and Contracting Ltd., or such other entity that the parties agree to.
11. The sidewalk and retaining wall portion of the Remediation Work will be performed by Active Concrete, or such other entity that the parties agree to. The fence portion of the Remediation Work will be performed by an entity that the parties agree to.
12. The Grantee will be responsible for all fees, permits and construction expenses for the Work of any kind whatsoever.
13. The Grantee will ensure any reports produced by its geotechnical engineer relating to the Works will be supplied to the Grantor.

Insurance

14. The Grantee will procure and maintain in force during the course of the Works builders all risk insurance in an amount not less than \$5,000,000 liability and the Grantor will be designated as an additional named insured in such policy. The Grantee will provide to the Grantor proof of insurance prior to the commencement of any Work.

General

15. The work done and materials placed in or under the Grantor's Lands and forming part of the Works, so long as the work or material is properly part of the Works, shall be deemed and shall be the property of the Grantor upon the placing thereof in or under the Grantor's Lands.
16. Notwithstanding this Agreement or any provisions herein, it is expressly understood and agreed that nothing in this Agreement will release or limit the rights or remedies of the Grantor at law or in equity or otherwise against the Grantee in respect of any matter arising from the construction of any buildings, improvements, or the Grantee's Works on the Grantor's Lands.
17. The grant of easement in this Agreement will expire upon completion of the Works or on December 31, 2019, whichever is later
18. In carrying out the Works, the Grantee will comply with the City of White Rock's noise bylaws as they relate to construction hours.
19. Any notice to be given under this Agreement shall be unduly and properly given if in writing and sent by electronic mail, or by ordinary or registered mail, facsimile, or courier to the address on the first page of this Agreement, or at any other address that any party may from time to time designate by notice in writing to the other party. Notices shall be deemed received three days following mailing date, or if sent by facsimile, electronic mail, or courier, on the first business day following the date of transmission.
20. No activity permitted by the Agreement will constitute a trespass.
21. This Agreement may not be assigned by any party without the consent of the other party in writing.

- 22. This Agreement is the entire agreement between the parties, supersedes all prior oral and written representation and agreements, and may not be modified except in writing signed by all the parties.
- 23. If, at any time during the continuance of this Agreement, the parties hereto shall deem it necessary or expedient to make any alteration to this Agreement, they may do so by means of a written agreement among them which shall be supplemental hereto and form part hereof.
- 24. This Agreement may be signed in counterparts. Each counterpart shall function as an original.
- 25. This Agreement shall be governed by and interpreted in accordance with the laws of the Province of British Columbia.
- 26. This Agreement shall enure to the benefit of and shall be binding upon the parties hereto and their respective successors and approved assigns.
- 27. Time shall be of the essence of this Agreement.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day and year first written.

SIGNED by the Grantor in the presence of:

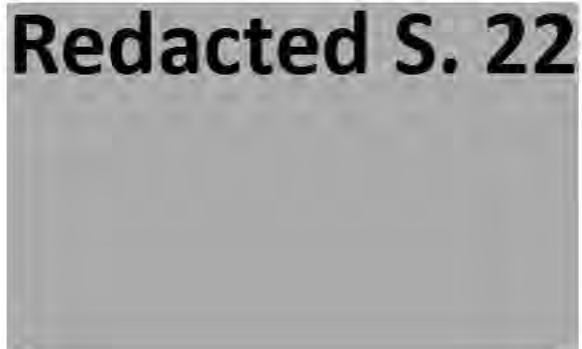


 Signature


MICHAEL D. CARTER
Barrister & Solicitor

Address 1321 Johnston Road
White Rock, B.C. V4B 3Z3
(604) 536-5002

Occupation
(as to both signatures)



SIGNED by the Grantee in the presence of:



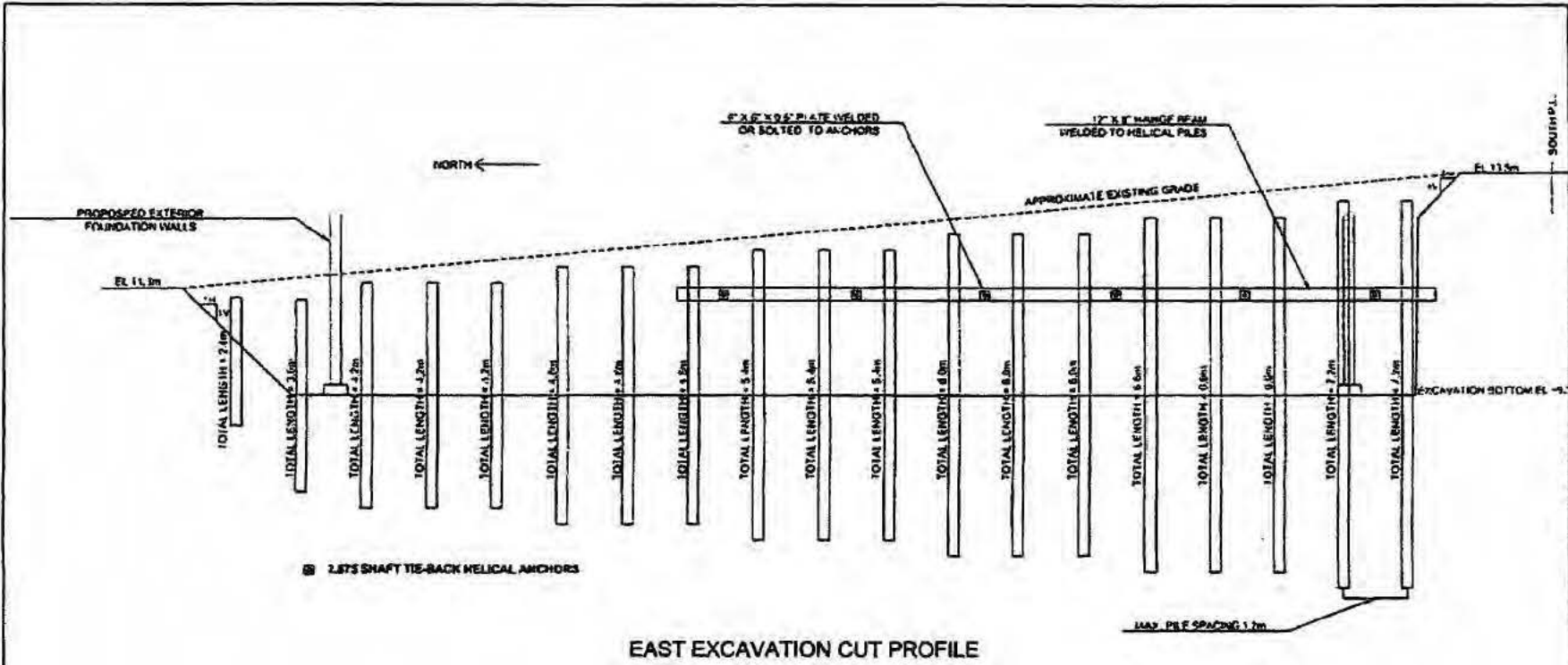
 Signature

Address **RAJDEEP S. DEOL**
Barrister & Solicitor
Suite 200 - 8338 - 120 St.
Surrey, B.C., V3W 3N4
Tel (604) 503-0913

Occupation Fax (604) 503-3109
(as to both signatures)



016123



NOTES:
 - THE TIE-BACK HELICAL ANCHORS MUST BE DRILLED AT LEAST 3.0M TO THE EAST EXCAVATION CUTS 15° TO THE HORIZONTAL.
 - ENCROACHMENT AGREEMENT MUST BE IN-PLACE PRIOR TO THE ANCHORS INSTALLATION.

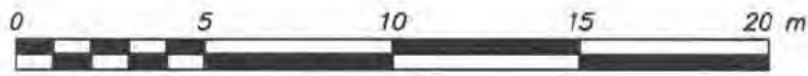
EAST EXCAVATION CUT PROFILE

Schedule "A"

<p>GeoCan Engineering Inc. Unit 54, 22865 Telody Avenue Maple Ridge, BC, V2X 6Z9 Tel: 778-987-7461</p>	<p>Client: Redacted S. 22</p>		<p>Tie-back Helical Anchors East Excavation Profile</p>						
	<p>Location: 15565 Victoria Avenue White Rock, BC</p>		<p>FILE No. 18812</p> <p>DATE: September 16, 2019</p>	<table border="1"> <tr><td>DRAWN:</td><td>XH</td></tr> <tr><td>CHECKED:</td><td>HJ</td></tr> <tr><td>SCALE:</td><td>1:75</td></tr> </table>	DRAWN:	XH	CHECKED:	HJ	SCALE:
DRAWN:	XH								
CHECKED:	HJ								
SCALE:	1:75								

**B.C. LAND SURVEYOR'S FORMS
LOCATION CERTIFICATE ON LOT 16
BLOCK 2 SECTION 11 TOWNSHIP 1
NWD PLAN 488**

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.



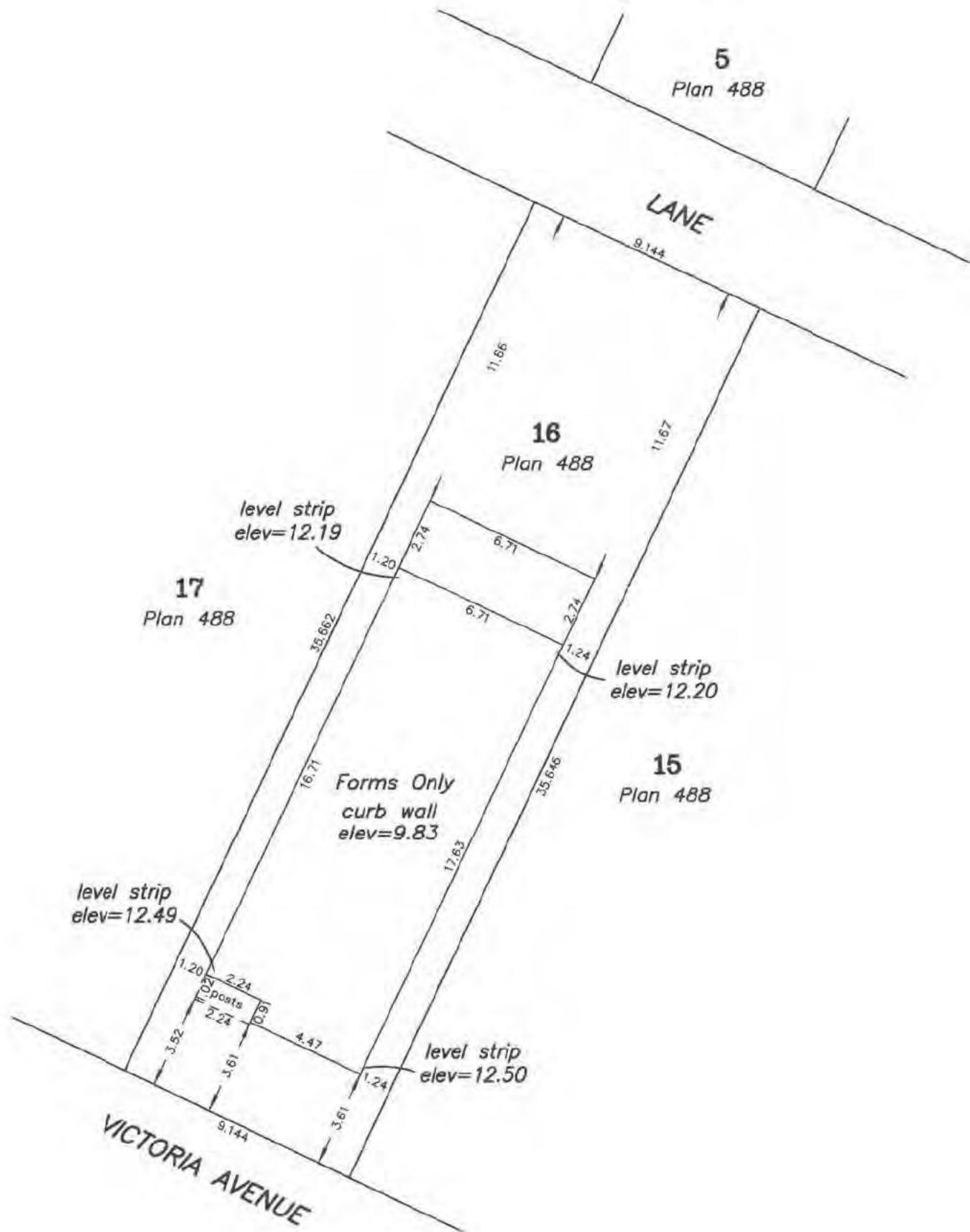
SCALE 1 : 200

All distances are in metres

CIVIC ADDRESS:

15565 Victoria Avenue
White Rock, B.C.

P.I.D. 001-524-721
List of document numbers of any documents registered on title which may affect location of improvements that have not been defined by survey or description.



This document is not valid unless originally signed and sealed.

This building location certificate has been prepared in accordance with the manual of standard practice and with additional specifications from the client and is certified correct this 23rd day of

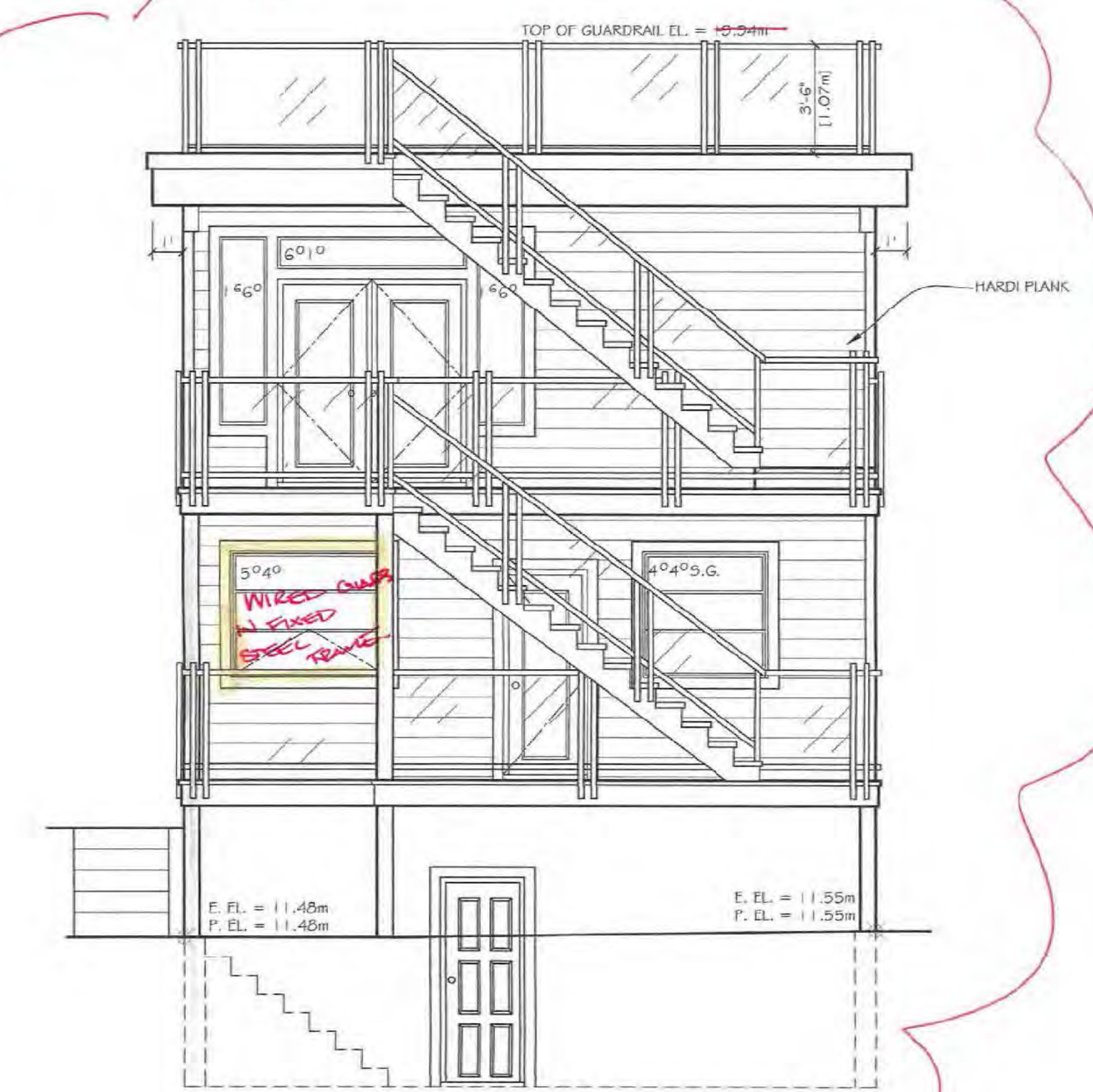
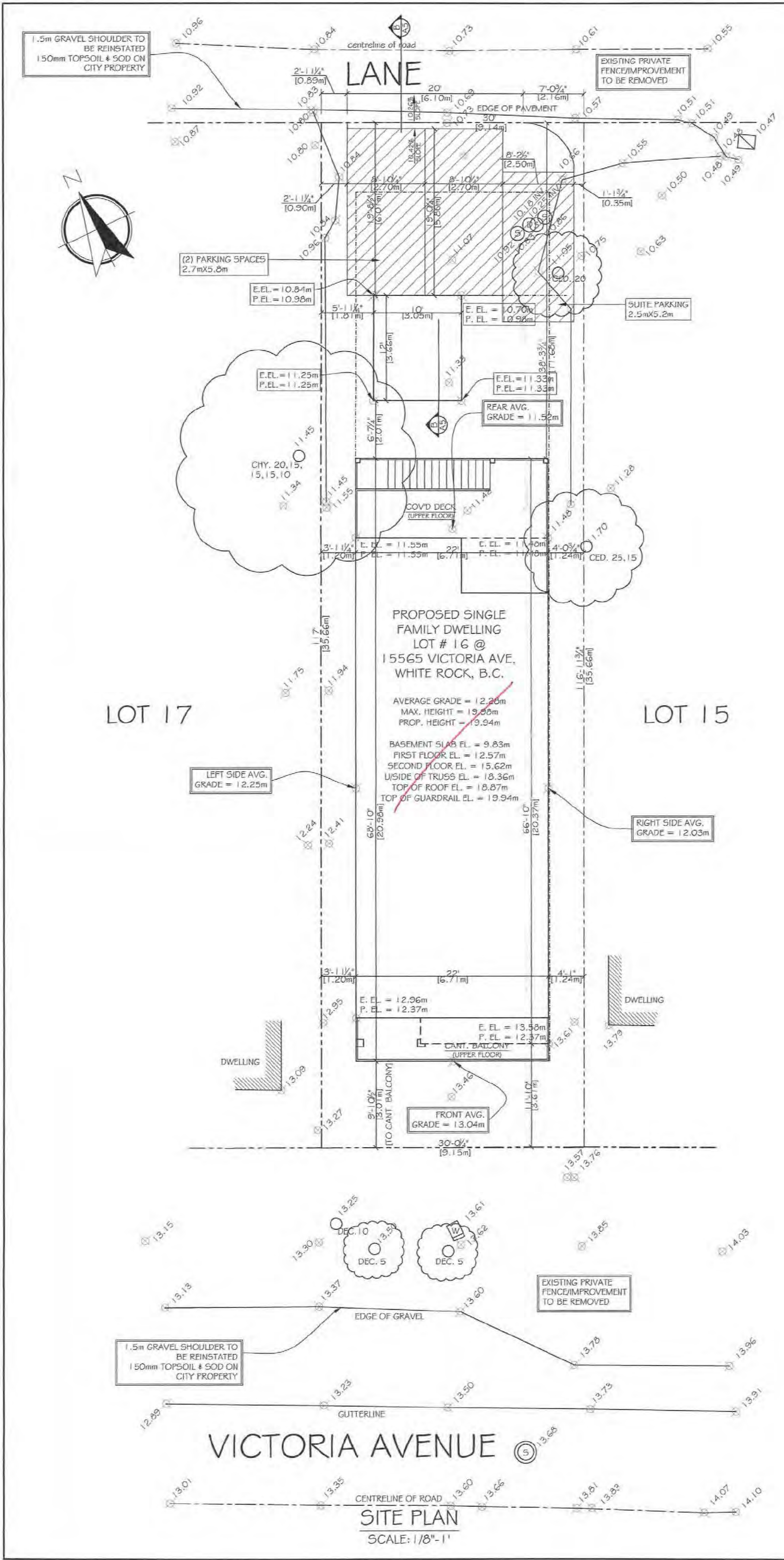
December, 2019.


B.C.L.S.

This plan was prepared FOR BUILDING PERMIT PURPOSES ONLY and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of decisions made or actions taken based on this document.

©CAMERON LAND SURVEYING LTD.
PROFESSIONAL LAND SURVEYORS
Unit 234 - 18525 53 Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 5927-CE

This plan lies within the Metro Vancouver Regional District



- NOTES**
1. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
 2. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
 3. ALL WORK SHALL CONFORM TO THE REQUIREMENT OF THE BRITISH COLUMBIA BUILDING CODE; 2012 EDITION.
 4. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENT OF CSA S.A231 LATEST EDITION.
 5. CONCRETE STRENGTH AT 28 DAYS, MIN. 3,000 PSI.
 6. ALL FRAMING AND NAILING SHALL CONFORM TO B.C.B.C. PART 9 AND DESIGN TO CSA LATEST EDITION.
 7. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR #2 OR BETTER.
 8. WOOD TRUSSES SHALL BE DESIGNED AND SEALED BY P. ENG. REGISTERED III B.C.
 9. ALL FLYWOOD SHALL BE DOUGLAS FIR AND CONFORM TO CSA O1 21 LATEST EDITION.
 10. ALL NEW WINDOWS, DOORS AND SKYLIGHTS AND THEIR INSTALLATION SHALL COMPLY WITH NEW HAFS STANDARDS AND SPECIFICATIONS (S.7.4 B.C.B.C. 2012 EDITION).
 11. THE OWNER IS TO BE ENTIRELY RESPONSIBLE FOR ALL STRUCTURAL ENGINEERING REQUIREMENTS.
 12. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES.

RS-3 ZONING

LEGAL DESCRIPTION:
LOT 16, BLOCK 2, SECTION 11, TOWNSHIP 1, NWD PLAN 488

LOT AREA	PERMITTED	PROPOSED
3510 SQ. FT. (325.85m ²)		
COVERED AREA (50%)	1755 SQ. FT.	1634 SQ. FT.
PRINCIPLE BUILDING COVERED AREA		1514 SQ. FT.
FLOOR AREA RATIO (70%)	2457 SQ. FT.	2311 SQ. FT.
MAIN FLOOR AREA		1250 SQ. FT.
UPPER FLOOR AREA		1061 SQ. FT.
DETACHED GARAGE AREA	120 SQ. FT.	120 SQ. FT.
BASEMENT AREA		

SETBACKS		
FRONT YARD	3.0m	3.01m
RIGHT SIDE	1.2m	1.20m
LEFT SIDE	1.2m	1.24m
REAR YARD (POULE)	6.0m	11.63m
REAR YARD (SHED)	2.4m	6.01m

DECK AREA		
FRONT COVERED VERANDA		110 SQ. FT.
ALL OTHER COVERED DECKS		286 SQ. FT.
TOTAL COVERED DECK AREA		396 SQ. FT.
TOTAL OPEN DECK AREA		110 SQ. FT.

REVISIONS FOR WINDOWS
& INTERIOR FLOOR LAYOUT ONLY
AUG 03 2019

REVISED DRAWING

Please refer to corresponding attached drawing for all building permit related comments

RECEIVED

JUL 29 2019

CITY OF WHITE ROCK
DEVELOPMENT SERVICES

REVISION SCHEDULE

REV. #:	DATE:	CHANGES MADE:
1	06/11/19	Elevator removed, bedrm added & windows changed

COMPLIANCE PATH CHOSEN:

PERSCRPTIVE METHOD AS PER SECTION 9.36.2-9.36.4 of BCBC

HEATING:

IN-FLOOR RADIANT HEAT SYSTEM WITH CENTRAL RECIRCULATION VENTILATOR (PASSIVE AIR INLET FOR BASEMENT SUITE)

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.

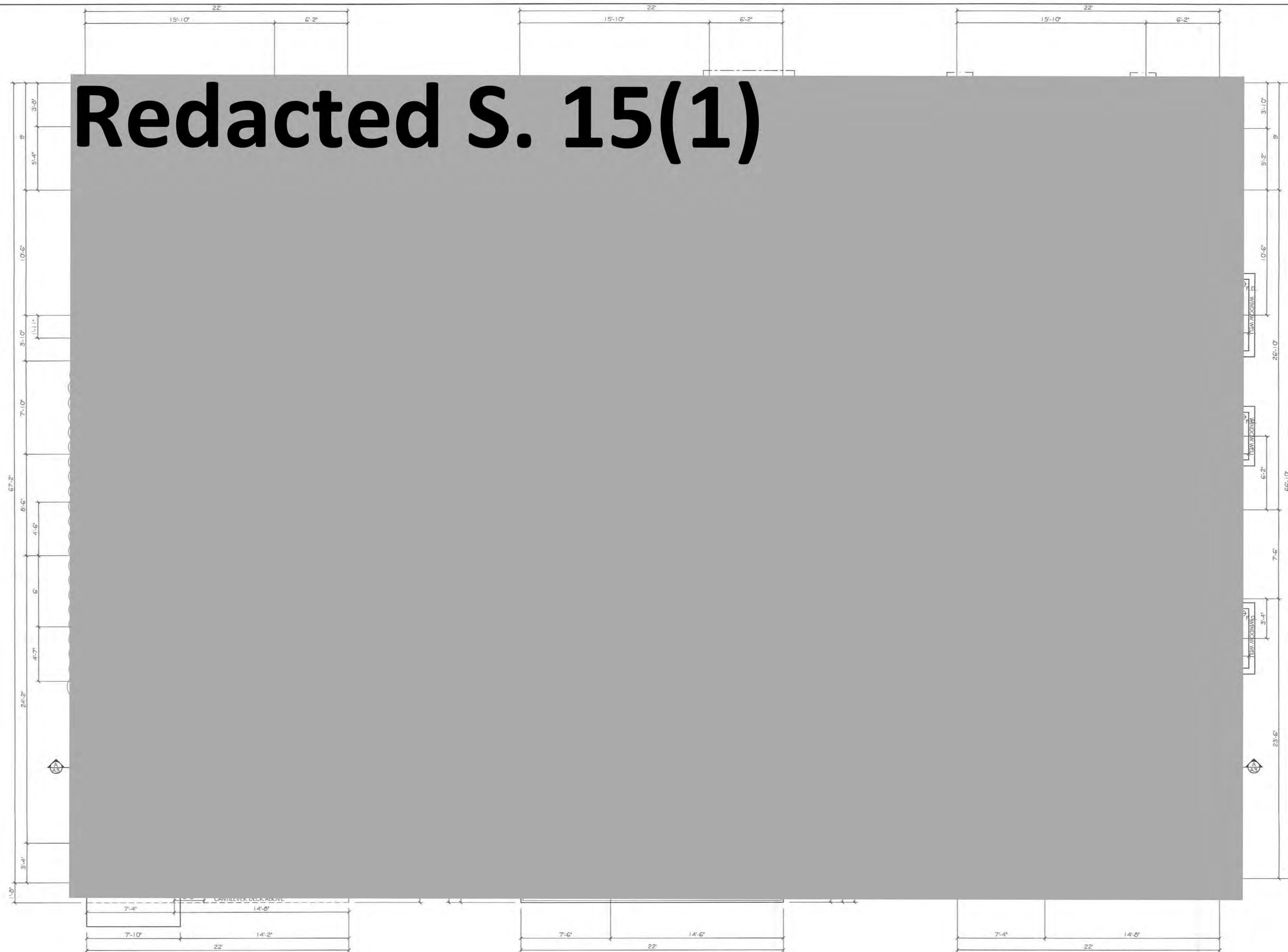
TOORA HOME PLANS

TEL: (604) 951-4343 ADDRESS: 12968 - 107th AVE
FAX: (604) 951-4373 SURREY, B.C. V3T 2E9
EMAIL: toorahomes@gmail.com

PROPOSED SINGLE FAMILY DWELLING
LOT 16 @ 15565 VICTORIA AVENUE
WHITE ROCK, B.C.

TITLE:	SITE PLAN & ELEVATIONS	AI
SCALE:	AS NOTED	
DATE:	AUG/2017	
DESIGNER:	RAJ TOORA	
DRAWN BY:	JANNA DE-FALMA	

Redacted S. 15(1)



FIRST FLOOR
SCALE: 1/4" = 1'

FRONT COVID VERANDA AREA	110 SQ. FT.
GROSS FLOOR AREA	1250 SQ. FT.
REAR COVID DECK AREA	150 SQ. FT.

SECOND FLOOR
SCALE: 1/4" = 1'

NET FLOOR AREA	1061 SQ. FT.
LESS OPEN AREA	145 SQ. FT.
GROSS FLOOR AREA	1206 SQ. FT.
REAR COVID DECK AREA	139 SQ. FT.
OPEN DECK AREA	110 SQ. FT.

BASEMENT THIRD FLOOR
SCALE: 1/4" = 1'

SECONDARY SUITE FLOOR AREA	693 SQ. FT.
GROSS FLOOR AREA	1250 SQ. FT.
SUNKEN WELL AREA	198 SQ. FT.

REVISED DRAWING

Please refer to corresponding attached drawing for all building permit related comments

REVISIONS FOR WINDOWS & INTERIOR FLOOR LAYOUT ONLY
AUG 08 2019

COMPLIANCE PATH CHOSEN:

PREScriptive METHOD AS PER SECTION 9.36.2-9.36.4 of BCBC

HEATING:

IN-FLOOR RADIANT HEAT SYSTEM WITH CENTRAL RECIRCULATION VENTILATOR (PASSIVE AIR INLET FOR BASEMENT SUITE)

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.

TOORA HOME PLANS

TEL: (604) 951-4343 ADDRESS: 12968 - 107th AVE
FAX: (604) 951-4373 SURREY, B.C. V3T 2E9
EMAIL: toorahomes@gmail.com

PROPOSED SINGLE FAMILY DWELLING
LOT 16 @ 15565 VICTORIA AVENUE
WHITE ROCK, B.C.

TITLE:	FLOOR PLANS	DESIGNER:	RAJ TOORA
SCALE:	1/4" = 1'	DRAWN BY:	JANNA DE-PALMA
DATE:	AUG/2017		

A2

Redacted S. 15(1)

Glazing installed over stairs, ramps and landings that extends to less than 900 mm above the surface of the treads, ramp or landings shall be protected in accordance with sentence 9.8.8.1.(8) of the BC Building Code.

When specified in Table 9.23.3.5, it shall be completed by a dedicated worker that has "at least" 10% average and is located such that it is accessible for servicing purposes, but is not likely to be damaged off-roading, and is marked "Pressure Ventilation Exhaust Fan".

Roof decks require 2% slope and 2x4 cross-perkins c/w ventilation

All decking surface material to be an approved roof membrane

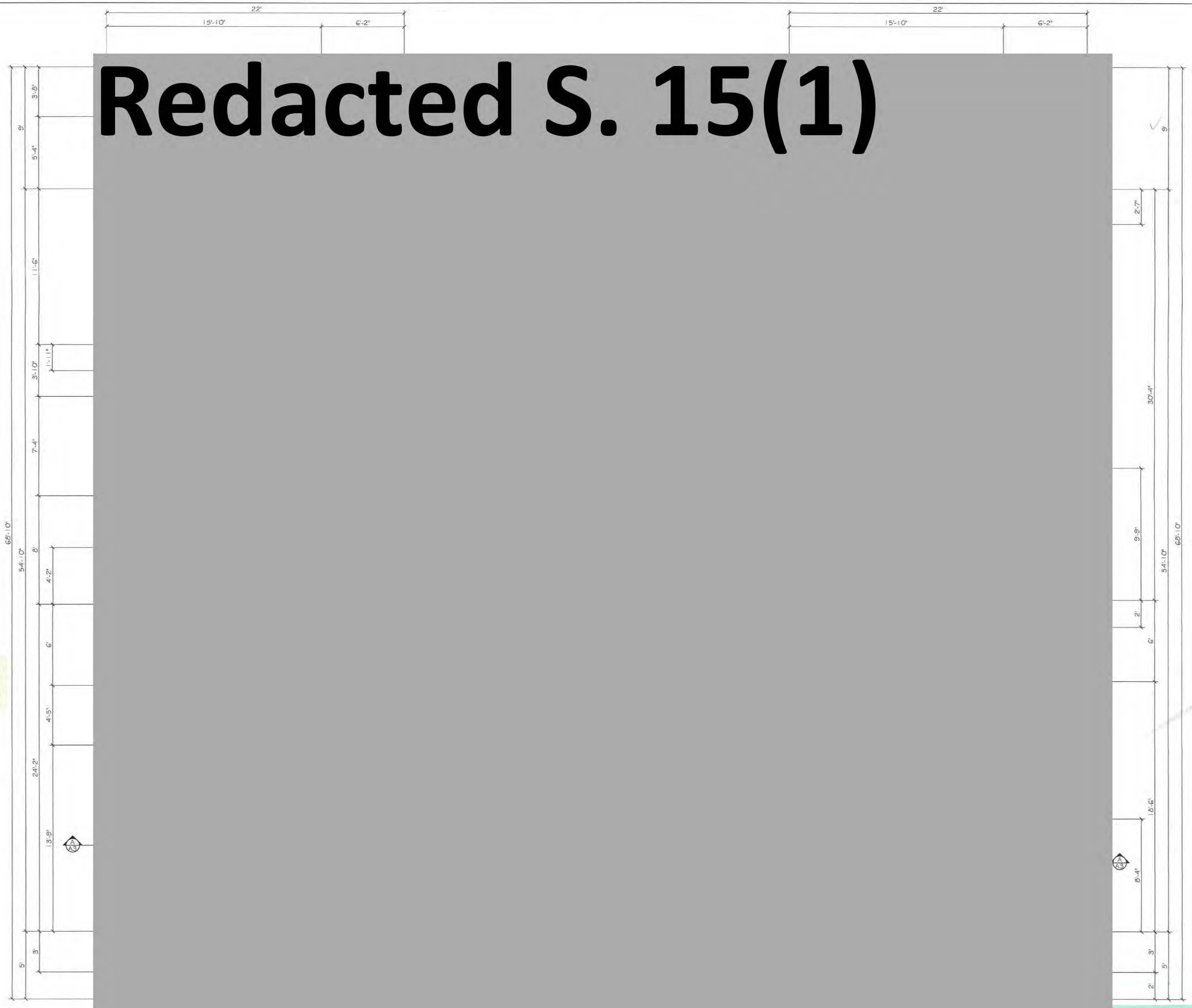
COMPLIANCE PATH CHOSEN:
 PERSCRIPTIVE METHOD AS PER SECTION 9.36.2-9.36.4 of BCBC
HEATING:
 IN-FLOOR RADIANT HEAT SYSTEM WITH CENTRAL RECIRCULATION VENTILATOR (PASSIVE AIR INLET FOR BASEMENT SUITE)

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.

TOORA HOME PLANS
 TEL: (604) 951-4343 ADDRESS: 12968 - 107th AVE
 FAX: (604) 951-4373 SURREY, B.C. V3T 2E9
 EMAIL: rajtoora@gmail.com

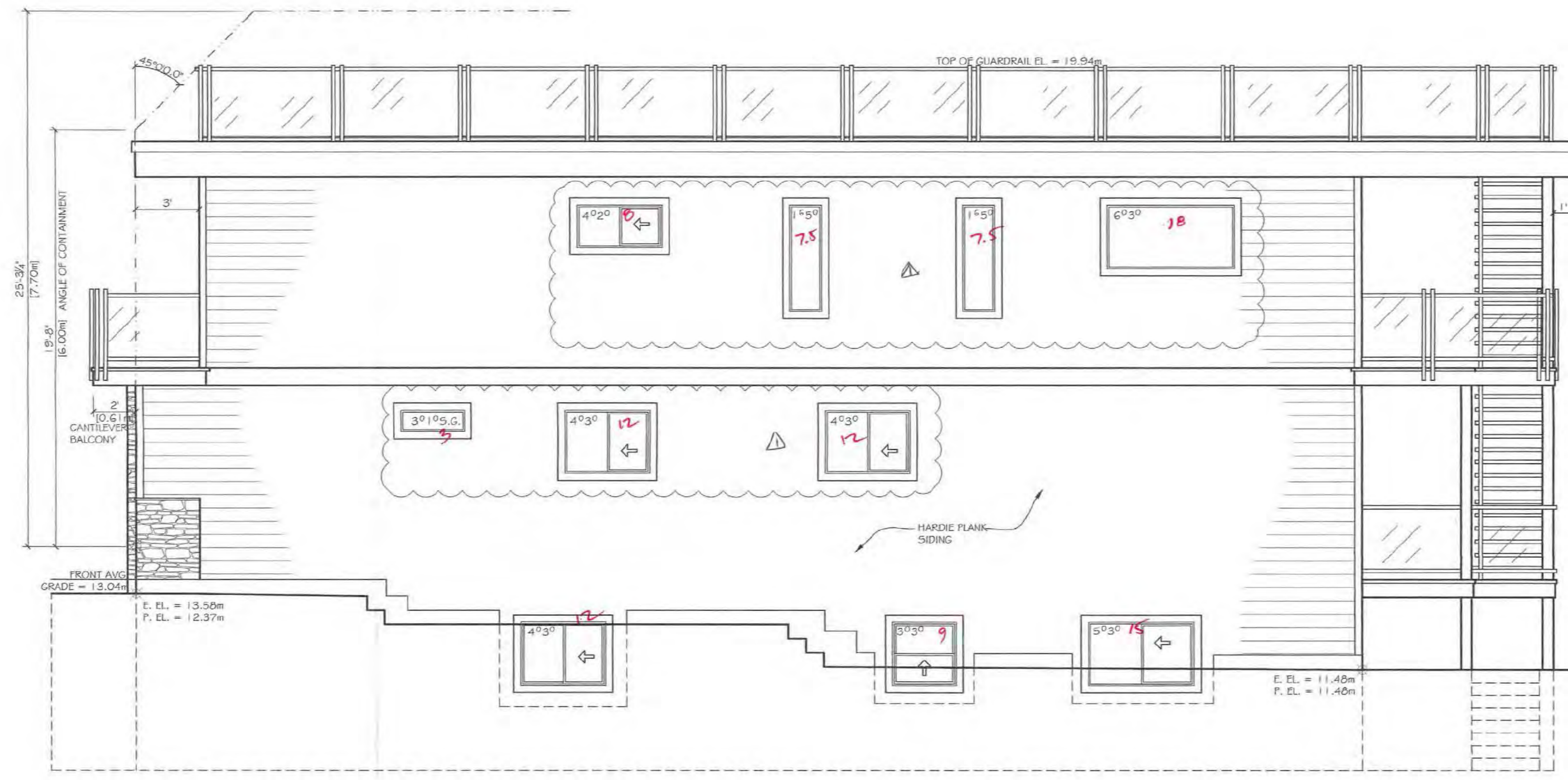
PROPOSED SINGLE FAMILY DWELLING FOR LOT 16 @ 15565 VICTORIA AVENUE WHITE ROCK, B.C.

PROJECT #:	
TITLE:	FIRST & SECOND FLOOR PLANS
SCALE:	1/4" = 1'
DATE:	AUG/2017
DESIGNER:	RAJ TOORA
DRAWN BY:	JANNA DE-PALMA



FIRST FLOOR
 SCALE: 1/4" = 1'
 NET FLOOR AREA = ~~1228~~ 1230 SQ. FT.
 REAR COVID DECK AREA = 150 SQ. FT.
 FRONT VERANDA AREA = 110 SQ. FT.

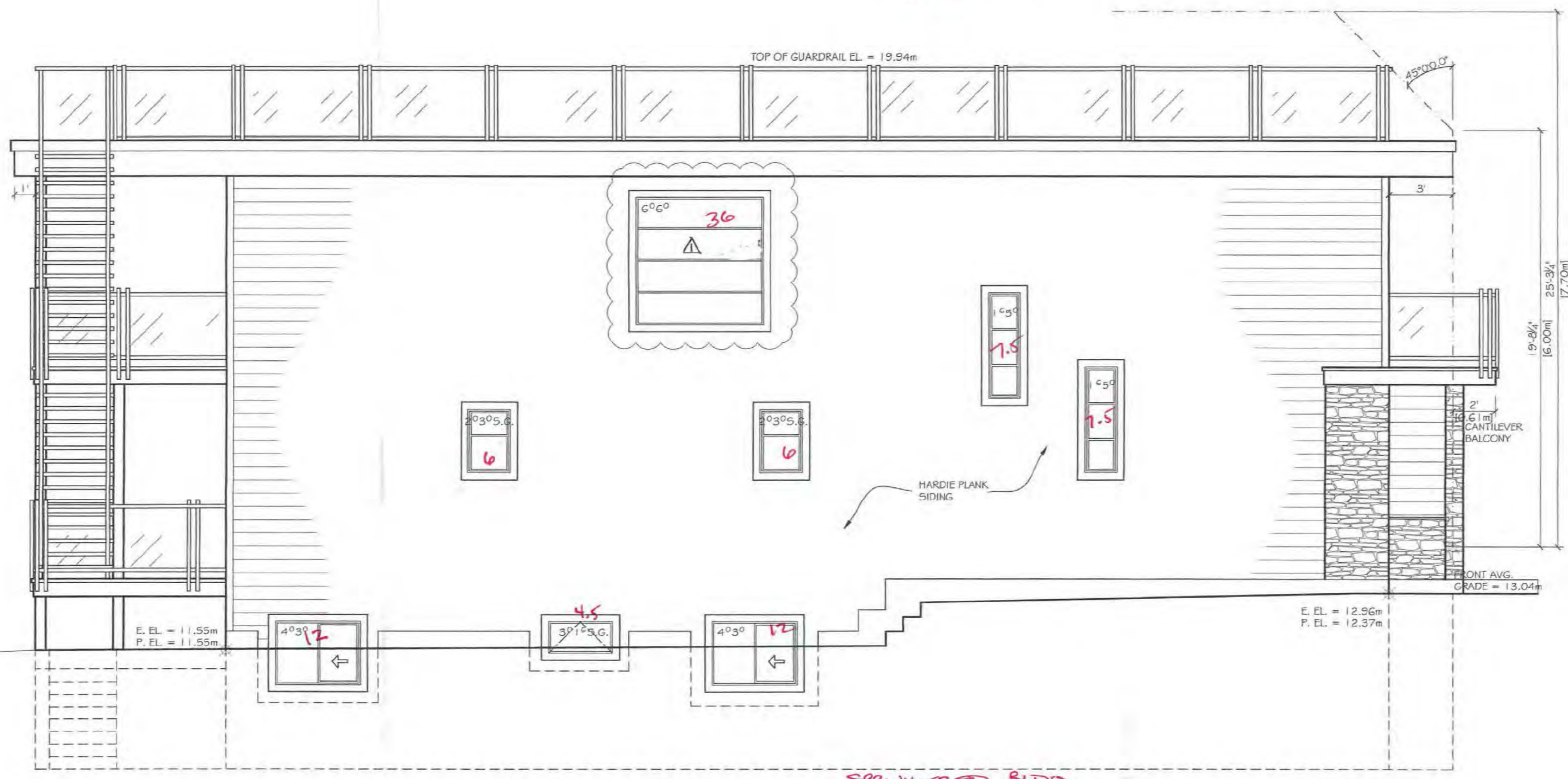
SECOND FLOOR
 SCALE: 1/4" = 1'
 NET FLOOR AREA = ~~1067~~ 1063 SQ. FT.
 LESS OPEN AREA = 145 SQ. FT.
 GROSS FLOOR AREA = 1206 SQ. FT.
 REAR COVID DECK AREA = 139 SQ. FT.
 OPEN DECK AREA = 154 SQ. FT.



RIGHT ELEVATION
SCALE: 1/4" = 1'

LIMITING DISTANCE	1.20m
TOTAL EXPOSED WALL AREA	122.0 SQ. FT. 1182.5 SF
PERMITTED OPENING AREA	86.0 SQ. FT. 165.5 SF
PROPOSED OPENING	86.0 SQ. FT. 104 SF

Small OK.



LEFT ELEVATION
SCALE: 1/4" = 1'

LIMITING DISTANCE	1.24m
TOTAL EXPOSED WALL AREA	116.5 SQ. FT. 1163.1 SF
PERMITTED OPENING AREA	82.0 SQ. FT. 163.1 SF
PROPOSED OPENING	82.0 SQ. FT. 91.5 SF

Small OK.

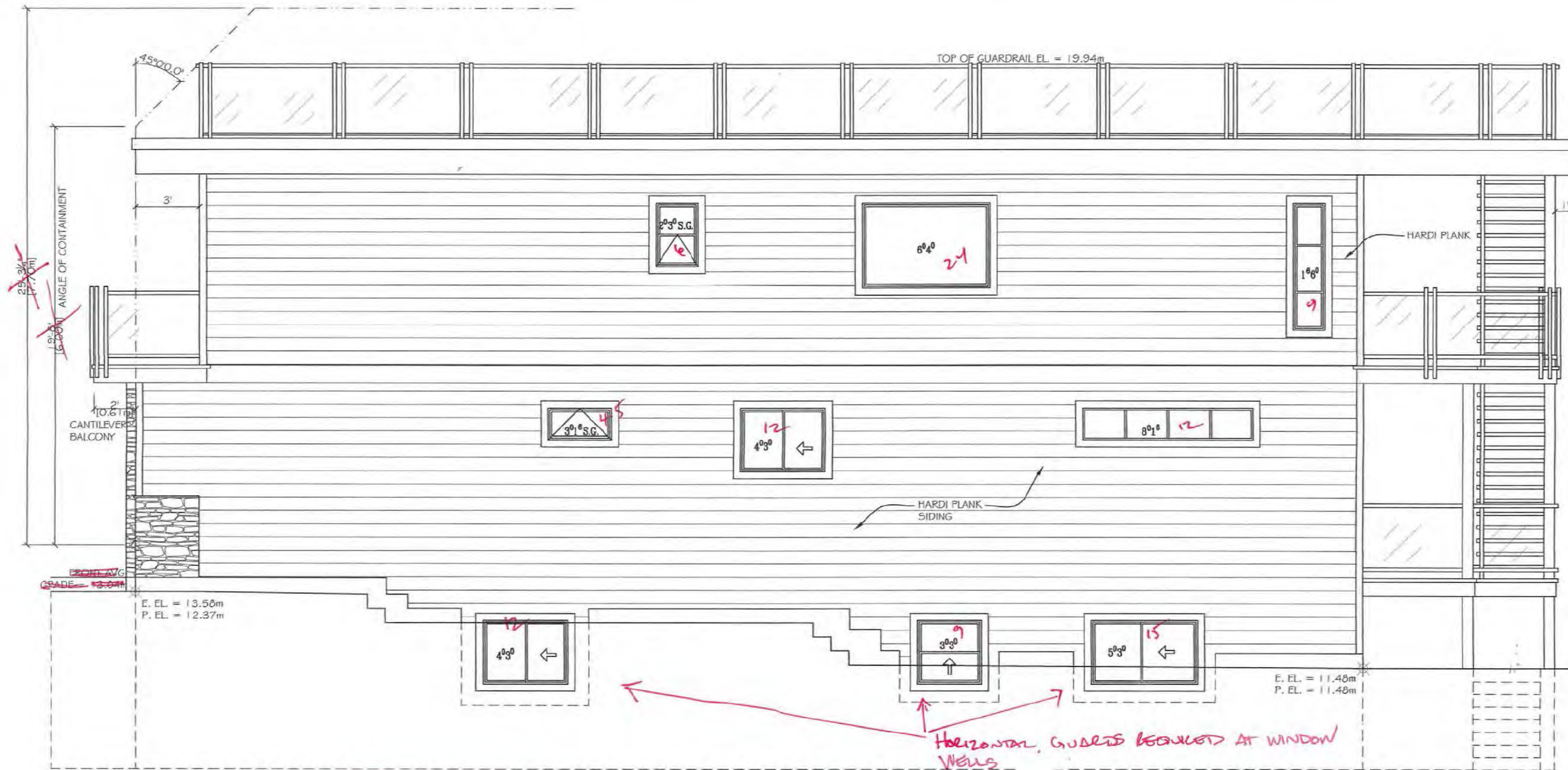
REVISED DRAWING
Please refer to corresponding attached drawing for all building permit related comments
WINDOWS & INTERIOR FLOOR LAYOUT ONLY.
AUG 08 2019

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.

TOORA HOME PLANS
TEL: (604) 951-4343 ADDRESS: 12968 - 107th AVE
FAX: (604) 951-4373 SURREY, B.C. V3T 2E9
EMAIL: toorahomes@gmail.com

PROPOSED SINGLE FAMILY DWELLING
LOT 16 @ 15565 VICTORIA AVENUE
WHITE ROCK, B.C.

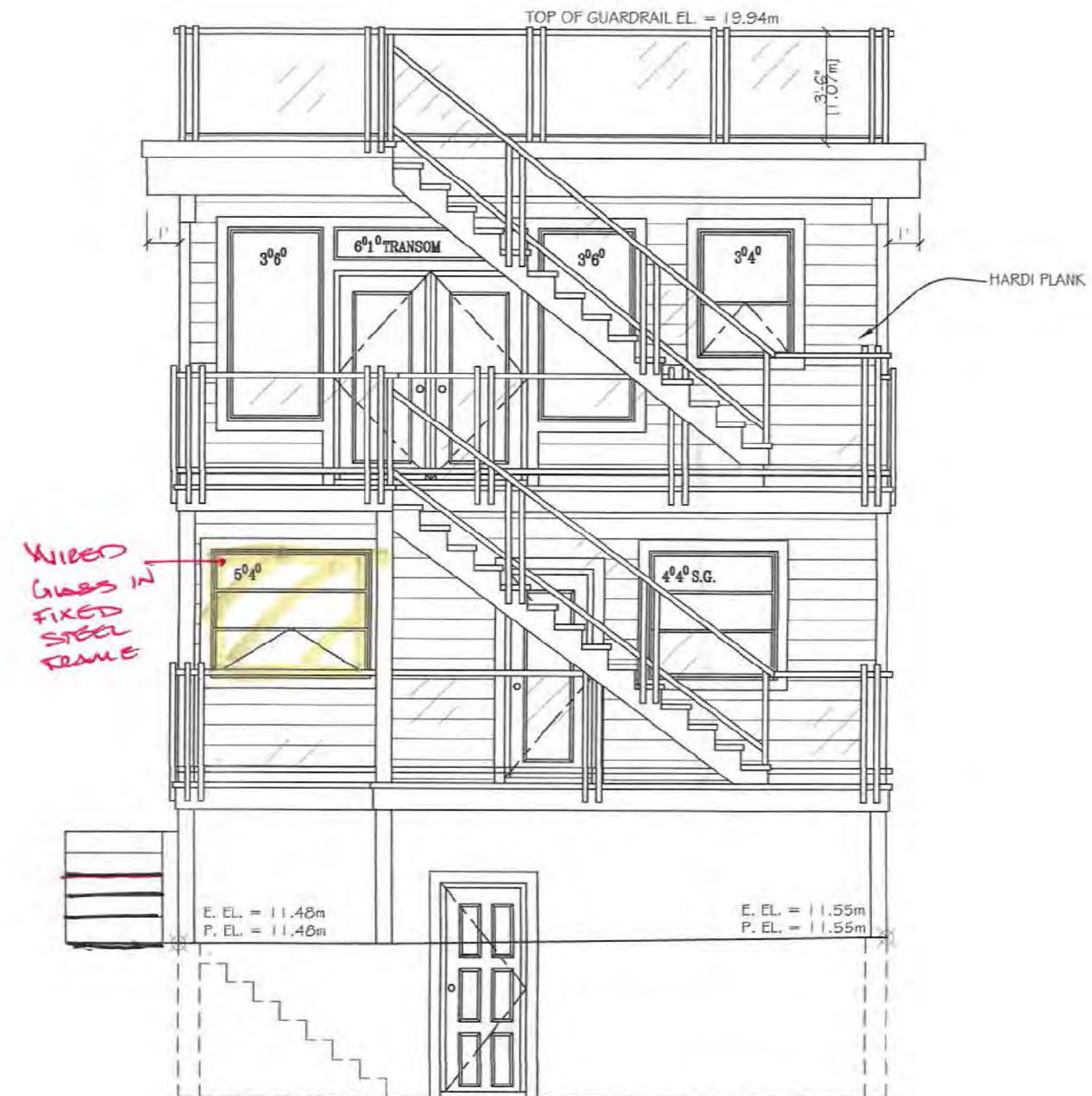
TITLE:	ELEVATIONS	A4
SCALE:	1/4" = 1'	
DATE:	AUG/2017	
DESIGNER:	RAJ TOORA	
DRAWN BY:	JAINA DE-PALMA	



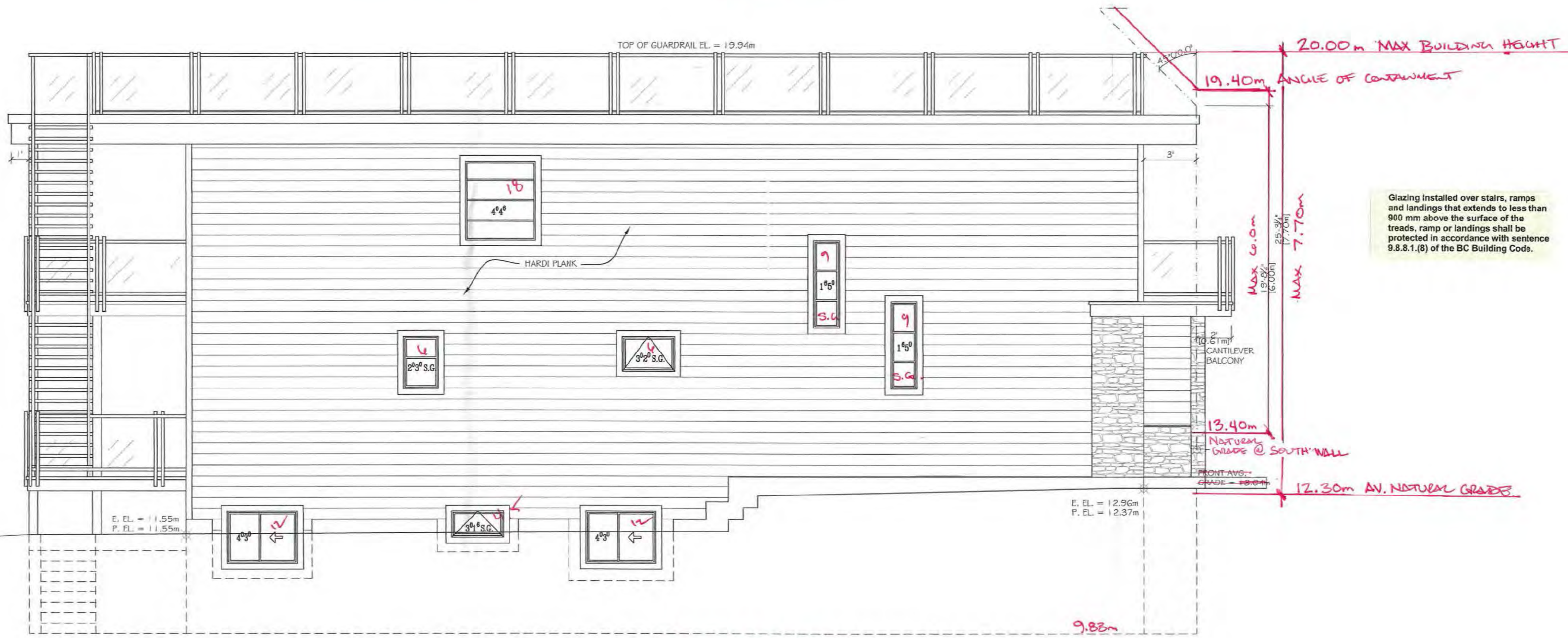
Window Opening into a Window Wells to comply to the B.C. Building Code. All window wells require fall protection.

RIGHT ELEVATION
SCALE: 1/4"=1'

Skunkered Blin
LIMITING DISTANCE = 1.24m
TOTAL EXPOSED WALL AREA = 102.5 sq ft
PERMITTED OPENING @ 2m = 80 sq ft
PROPOSED OPENING = 65.5 sq ft
1182.5 x 14%
165.5 sq ft
103.5 sq ft
Sketch OK



REAR ELEVATION
SCALE: 1/4"=1'



Glazing installed over stairs, ramps and landings that extends to less than 900 mm above the surface of the treads, ramp or landings shall be protected in accordance with sentence 9.8.8.1.(8) of the BC Building Code.

LEFT ELEVATION
SCALE: 1/4"=1'

Skunkered Blin
LIMITING DISTANCE = 1.24m
TOTAL EXPOSED WALL AREA = 102.5 sq ft
PERMITTED OPENING @ 2m = 80 sq ft
PROPOSED OPENING = 64.5 sq ft
1182.5 sq x 14%
165.5 sq ft
76.5 sq ft
Sketch OK

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.

TOORA HOME PLANS

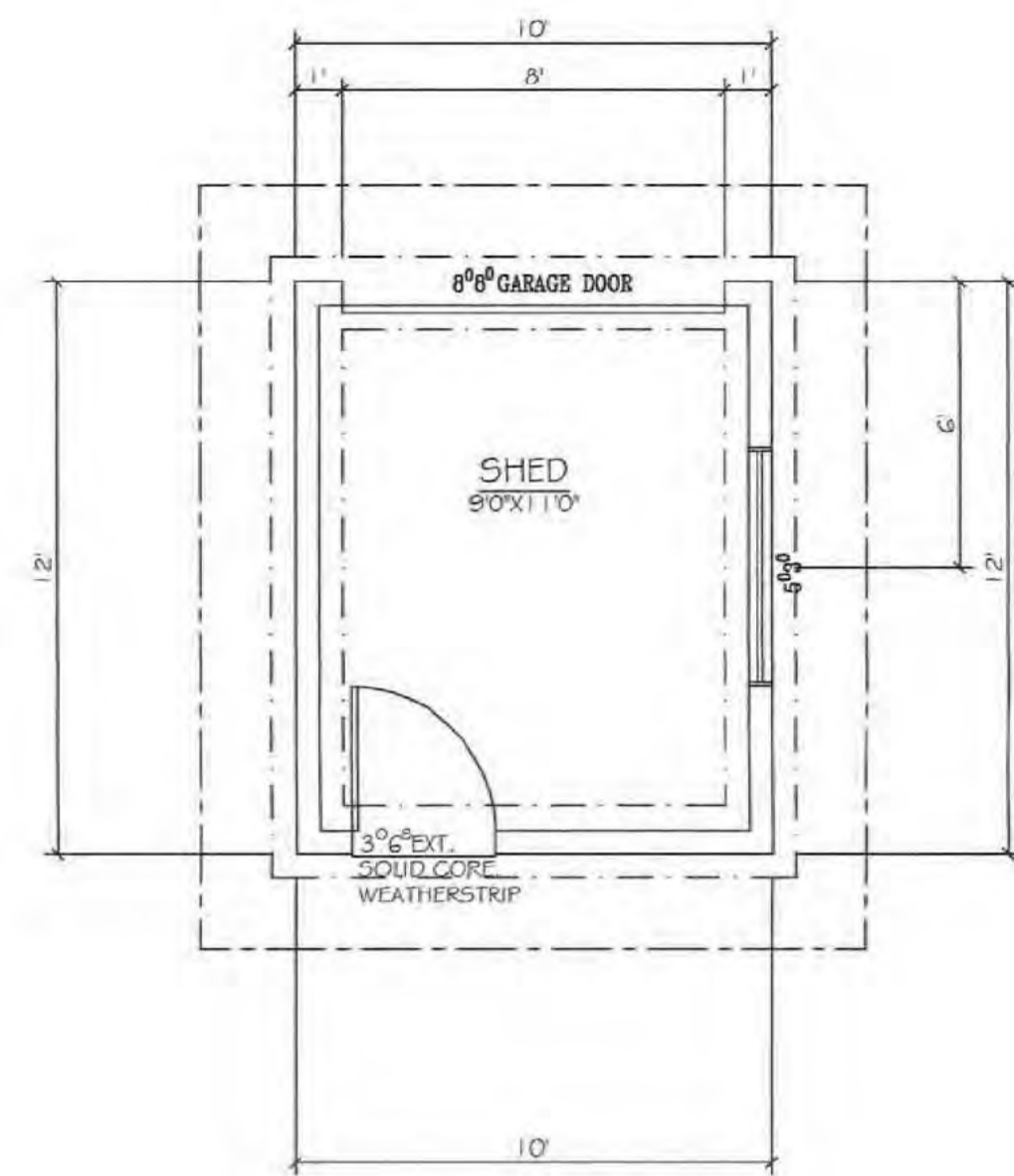
TEL: (604) 951-4343 ADDRESS: 12968 - 107th AVE
FAX: (604) 951-4373 SURREY, B.C. V3T 2E9
EMAIL: rajtoora@gmail.com

PROPOSED SINGLE FAMILY DWELLING FOR LOT 16 @ 15665 VICTORIA AVENUE WHITE ROCK, B.C.

PROJECT #:			
TITLE:	ELEVATIONS		
SCALE:	1/4"=1'	DESIGNER:	RAJ TOORA
DATE:	AUG/2017	DRAWN BY:	JANNA DE-PALMA

GARAGE CONSTRUCTION SPECIFICATIONS

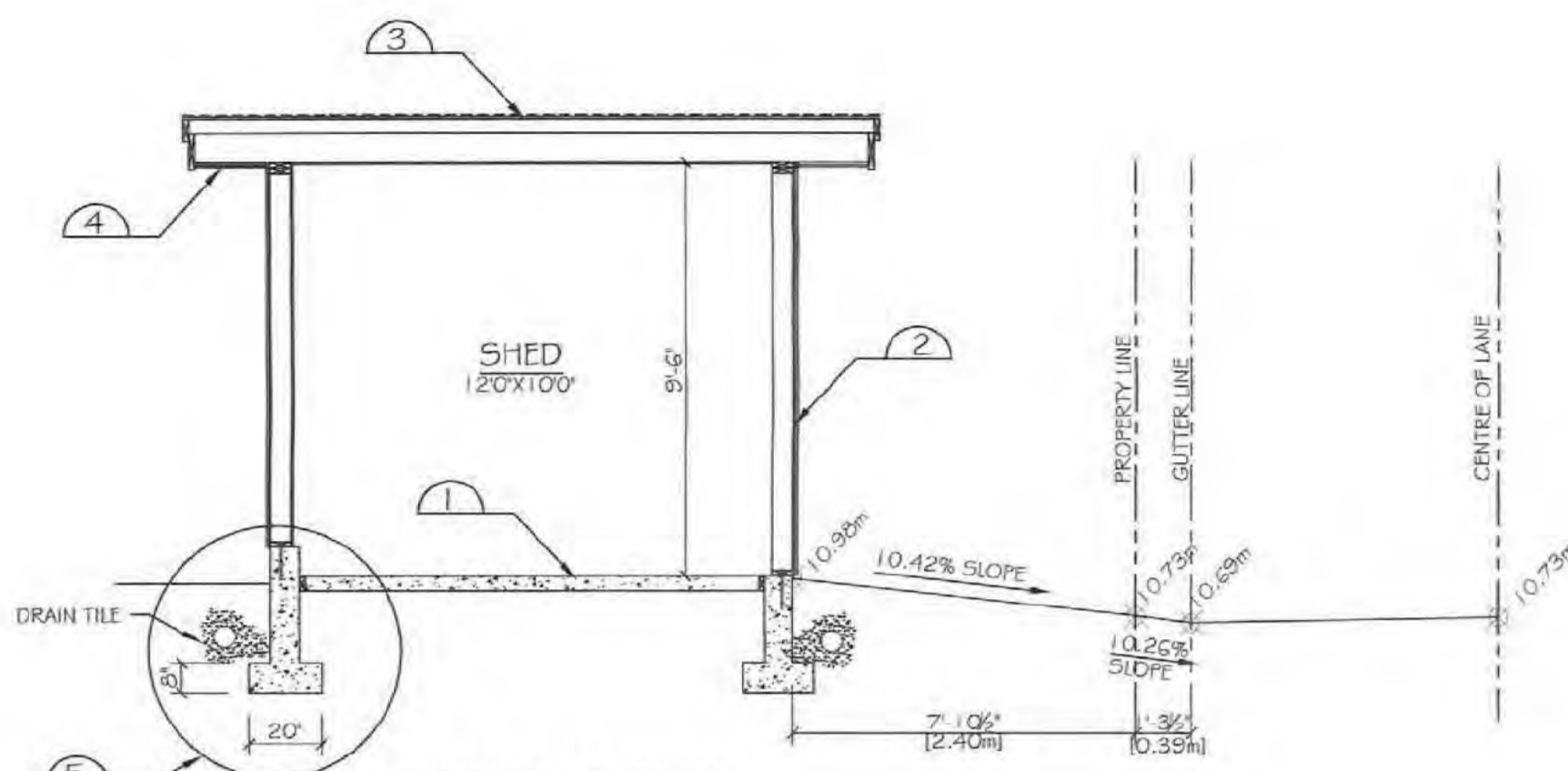
1. GARAGE SLAB
 - 4" CONC. SLAB
 - 6X6 WELDED WIRE MESH
 - 6 MIL. POLY VAPOR BARRIER
 - 6" MIN. COMPACTED SAND (TYPICAL)
4. EXTERIOR WALLS
 - 5/8" STONE & HARDIE PLANK SIDING
 - 2 LAYERS 50 MIL. BUILDING PAPER
 - 3/4" AIR GAP
 - PRE-PAINTED METAL FLASHING
 - 1/2" EXT. GRADE PLYWOOD SHEATHING
 - 2X6 STUDS @ 16" o.c. (U.N.O.)
 - R20 BATT INSULATION
 - 6 MIL. POLY VAPOR BARRIER
 - 1/2" G.W.B.
6. FLAT ROOF
 - TORCH-ON MEMBRANE
 - BUILDING PAPER
 - 5/8" T&G PLYWOOD SHEATHING
 - 1X2 CROSS PURLINS, 1/2" AIR GAP
 - PRE-ENGINEERED TRUSSES O/C (SEE TRUSS LAYOUT)
 - R40 BATT INSULATION
 - 6 MIL. POLY VAPOR BARRIER
 - 5/8" G.W.B.
7. EAVES
 - INTEGRAL GUTTER SYSTEM
 - 2x2 FASCIA BOARD
 - 2x4 BACK NAILED
 - METAL SOFFIT WITH 2" CONT. SCREEN VENT
9. FOUNDATION
 - SEE FOUNDATION DETAIL



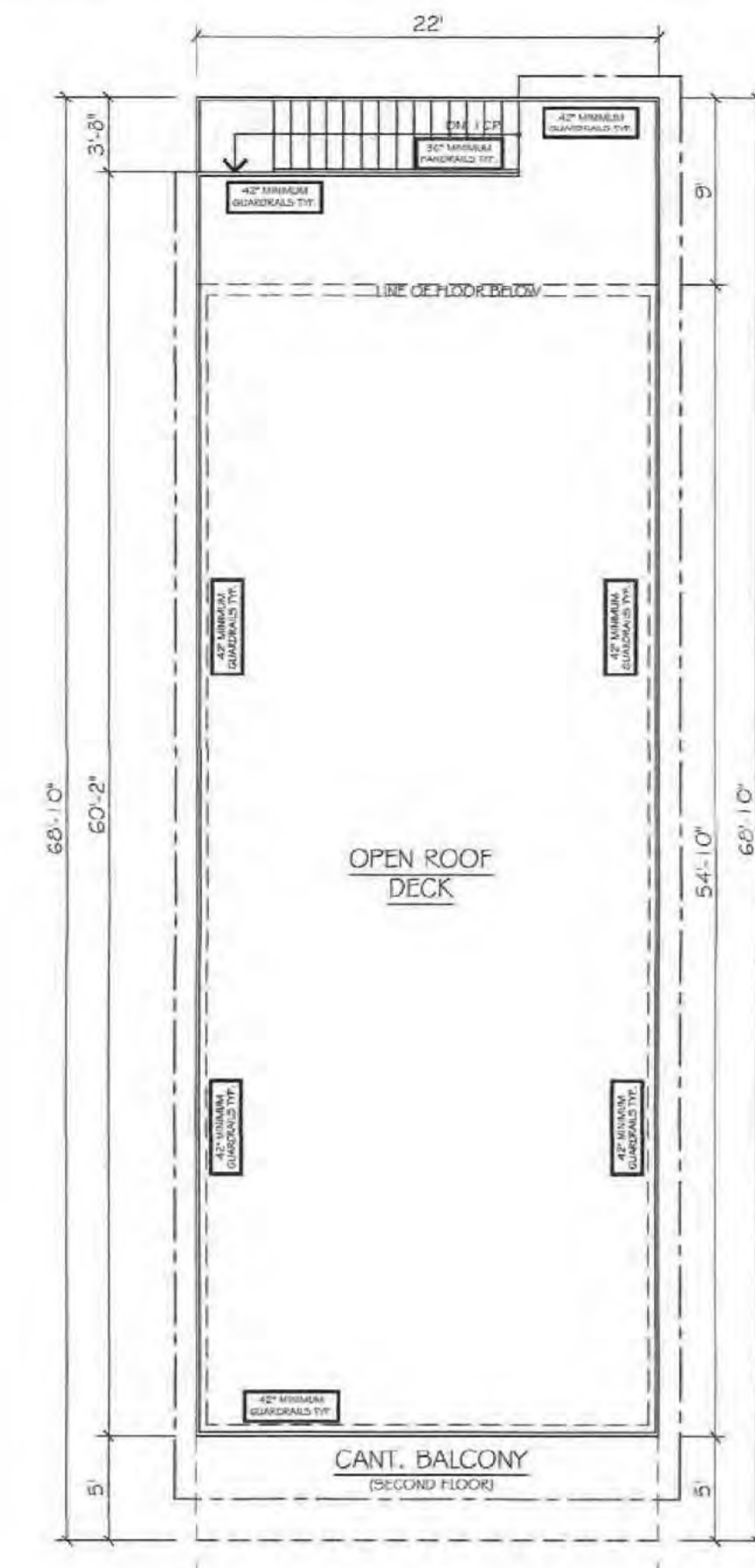
SHED PLAN
SCALE: 1/4"=1'

GARAGE FLOOR AREA = 120 SQ. FT.

Roof Soffits:
Where roof soffits project to less than 1.2 m from the property line, they shall have no openings and conform to protection as required in sentence 9.10.15.5. (10).

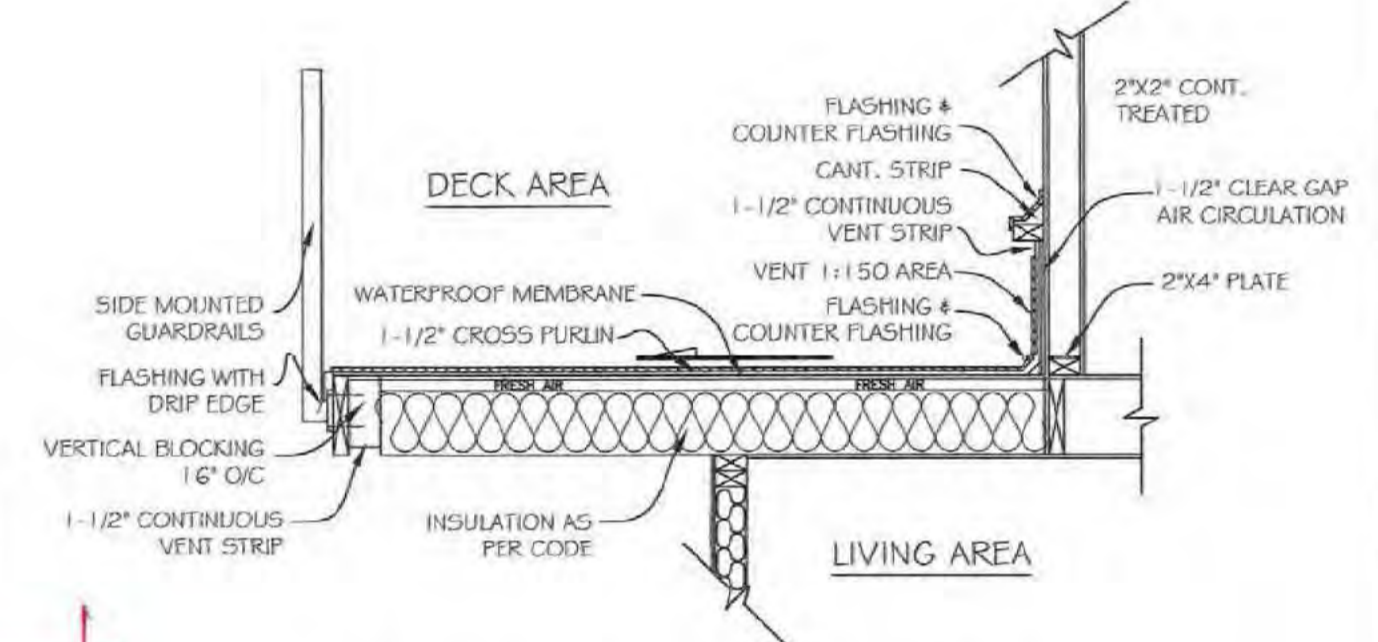


SECTION B-B
SCALE: 1/4"=1'

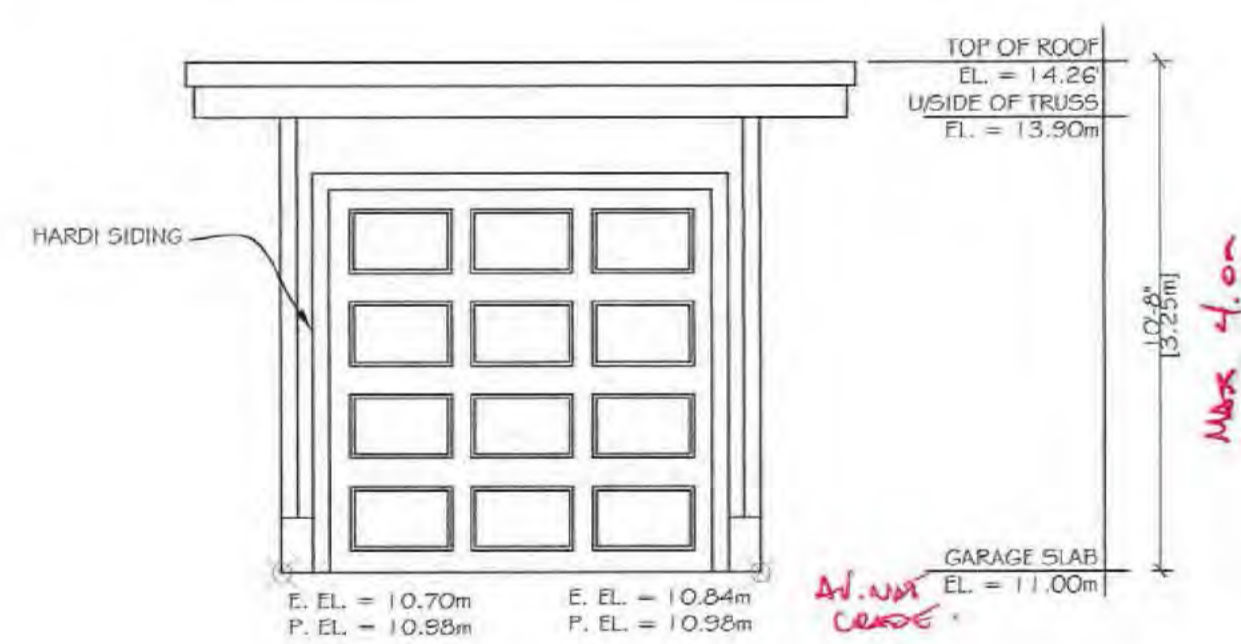


ROOF DECK
SCALE: 1/8"=1'

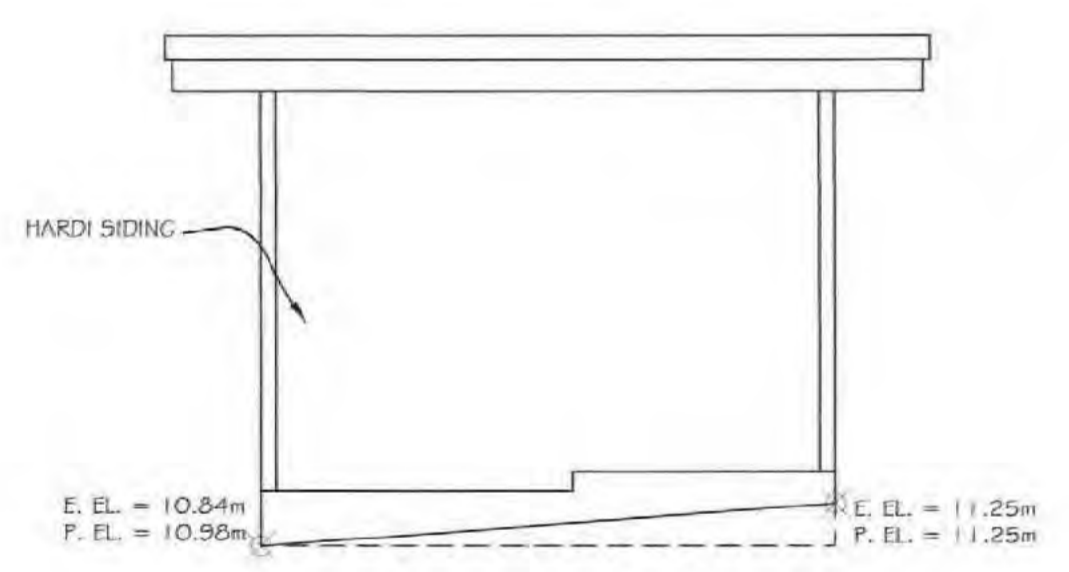
DECK AREA = 1348 SQ. FT.



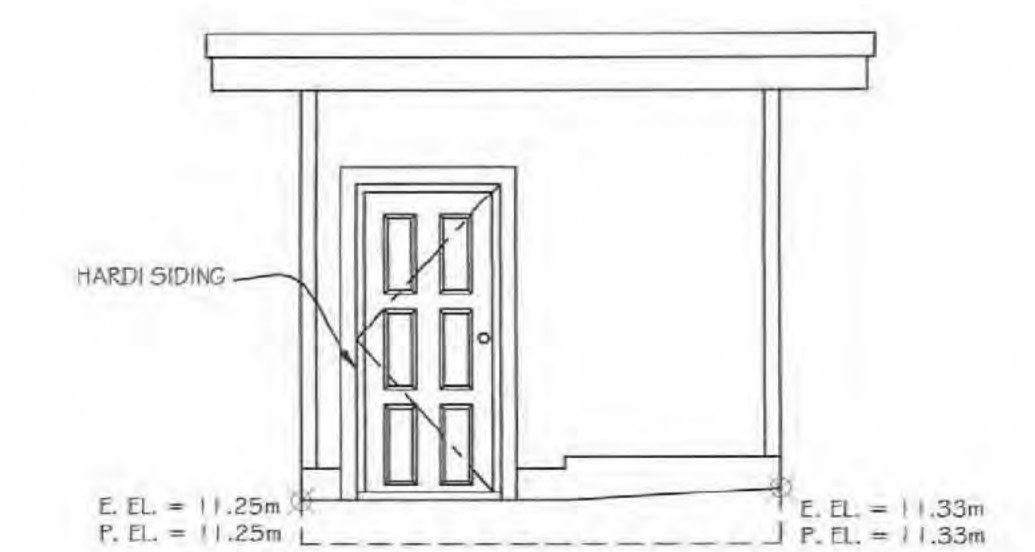
CROSS VENTILATION DETAIL FOR ENCLOSED ROOFS
SCALE: 1/2"=1'



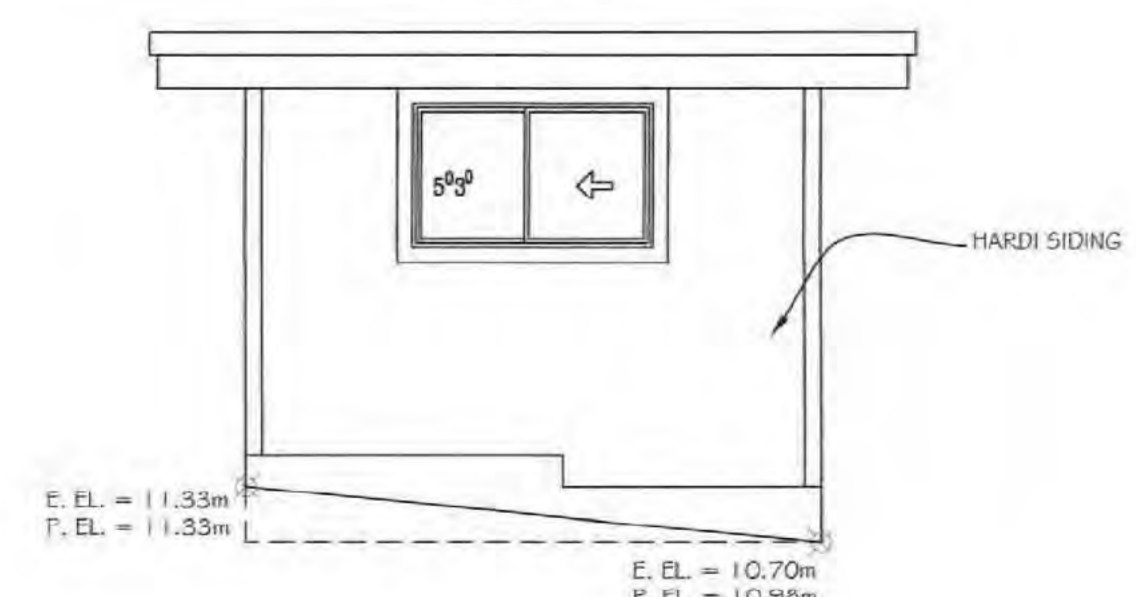
REAR ELEVATION
SCALE: 1/4"=1'



LEFT ELEVATION
SCALE: 1/4"=1'

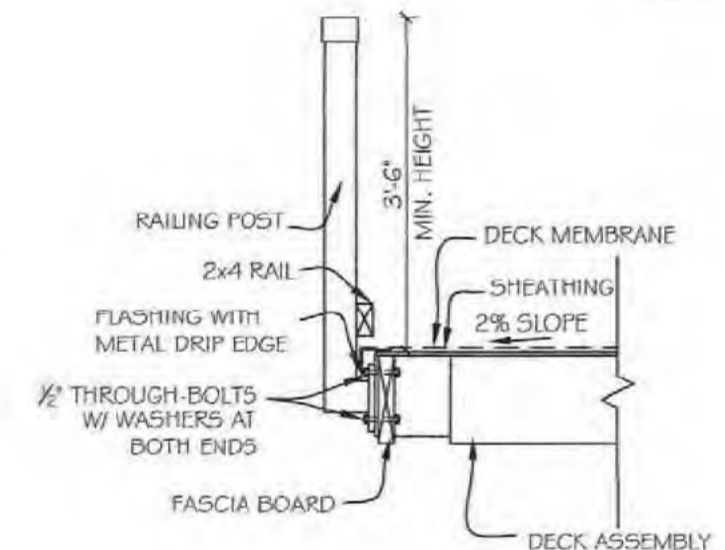


FRONT ELEVATION
SCALE: 1/4"=1'



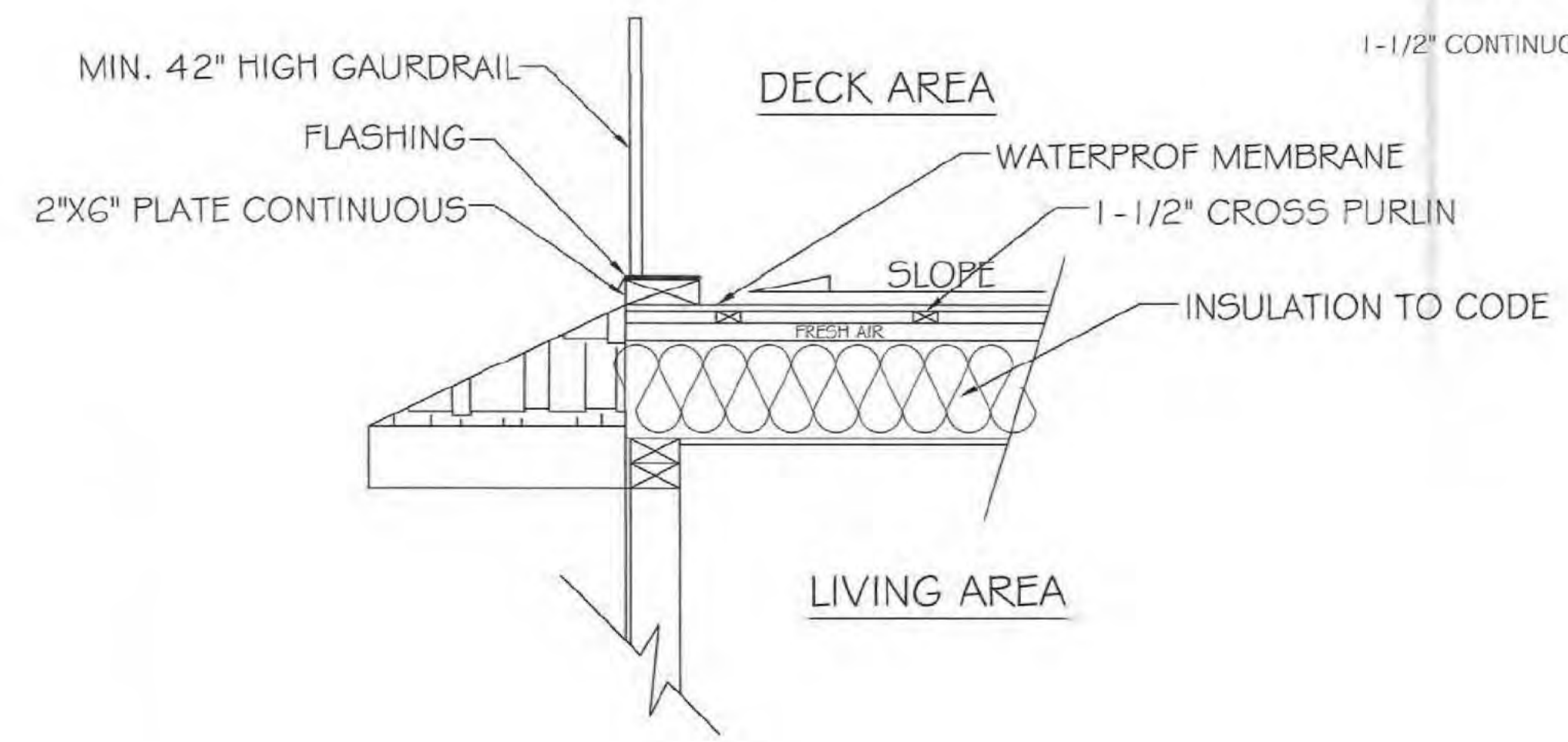
RIGHT ELEVATION
SCALE: 1/4"=1'

LIMITING DISTANCE = 4.90m
TOTAL EXPOSED WALL AREA = 107sq.ft.
PERMITTED OPENING @ 35% = 37sq.ft.
PROPOSED OPENING = 15sq.ft.

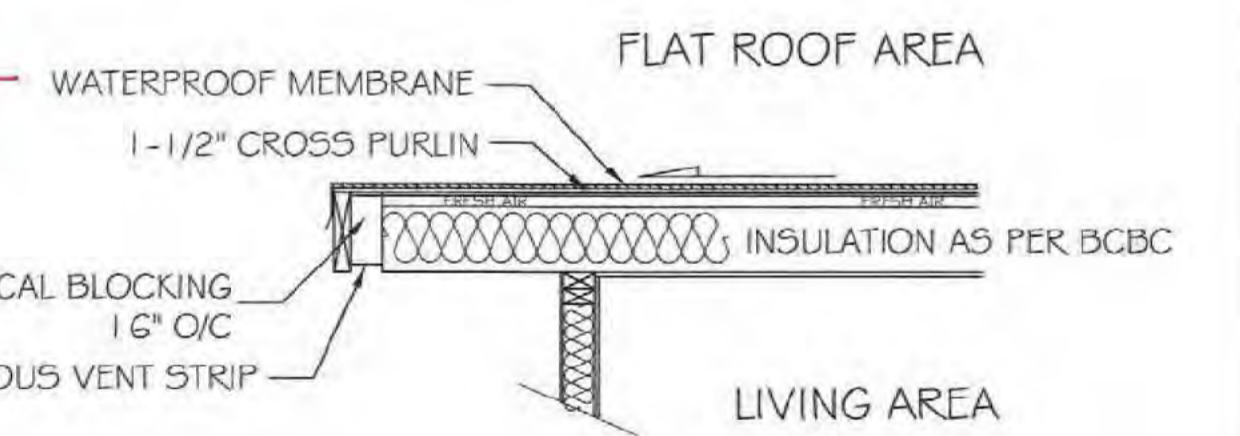


DECK DETAIL (SIDE MOUNTED GUARD RAILS)
SCALE: 1/2"=1'

Refer to PENN GLASS GUARD DETAILS & PENN BUILDING ENVELOPE DETAILS ATTACHED.



DECK DETAIL FOR ENCLOSED ROOFS
SCALE: 1/2"=1'



FLAT ROOF DETAIL
SCALE: 1/2"=1'

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.

TOORA HOME PLANS

TEL: (604) 951-4343 ADDRESS: 12968 - 107th AVE
FAX: (604) 951-4373 SURREY, B.C. V3T 2E9
EMAIL: rajtoora@gmail.com

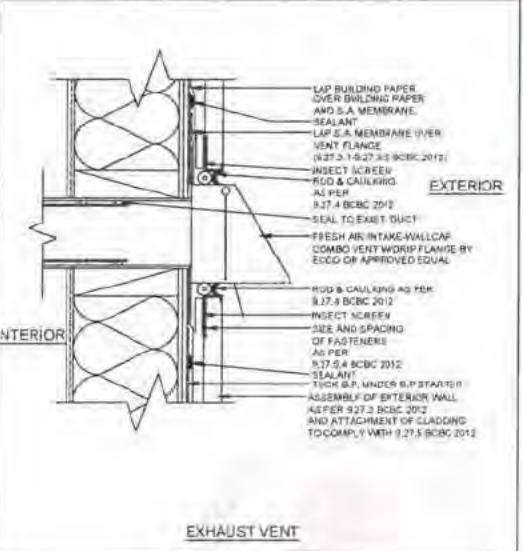
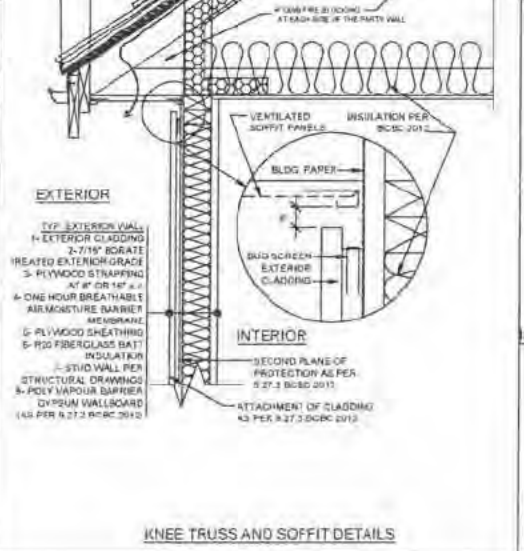
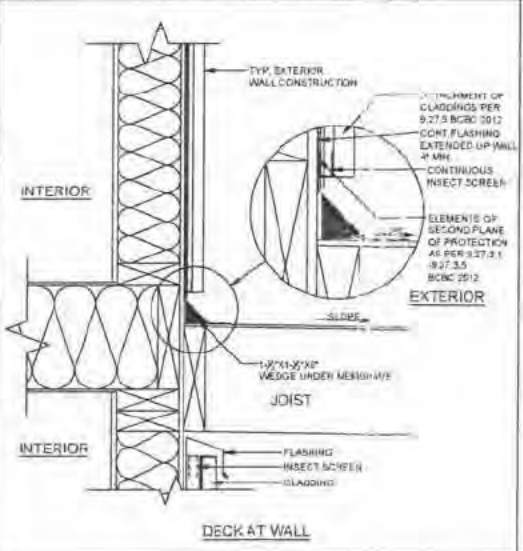
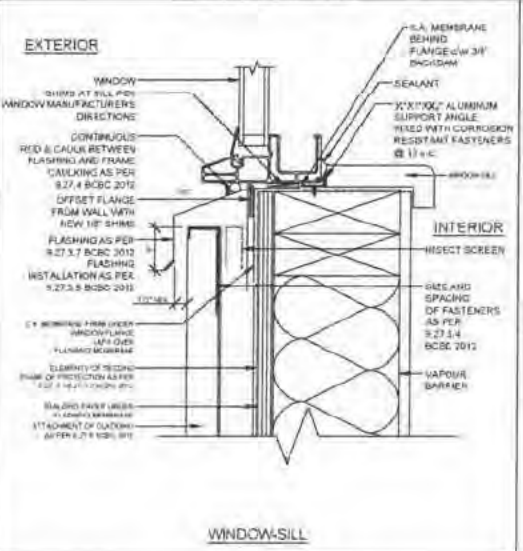
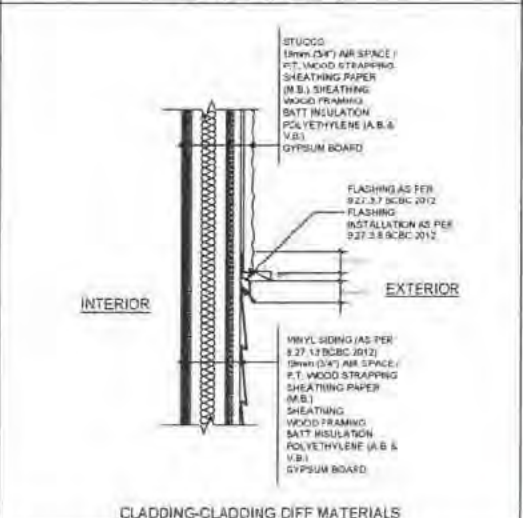
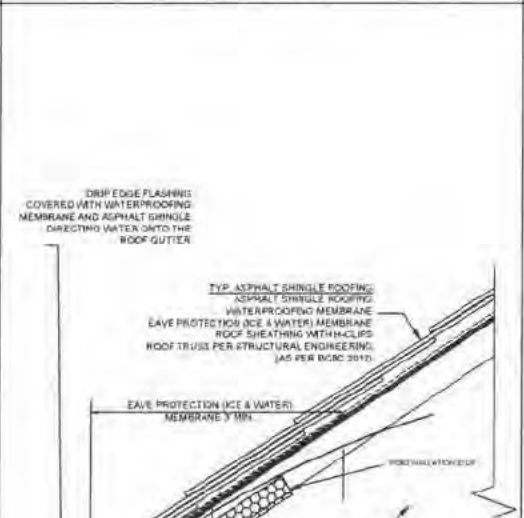
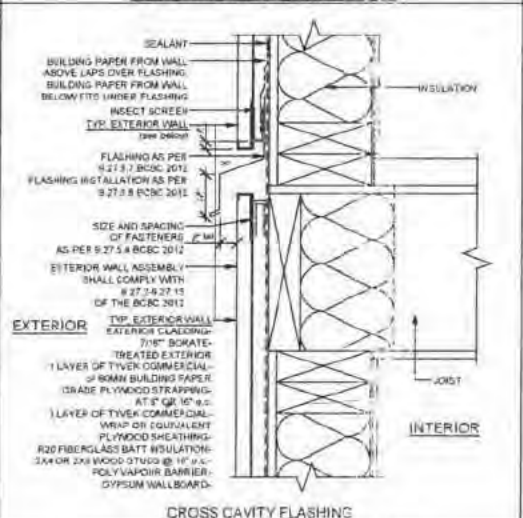
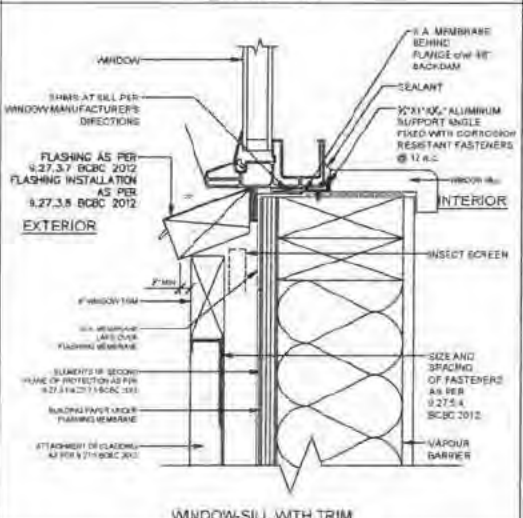
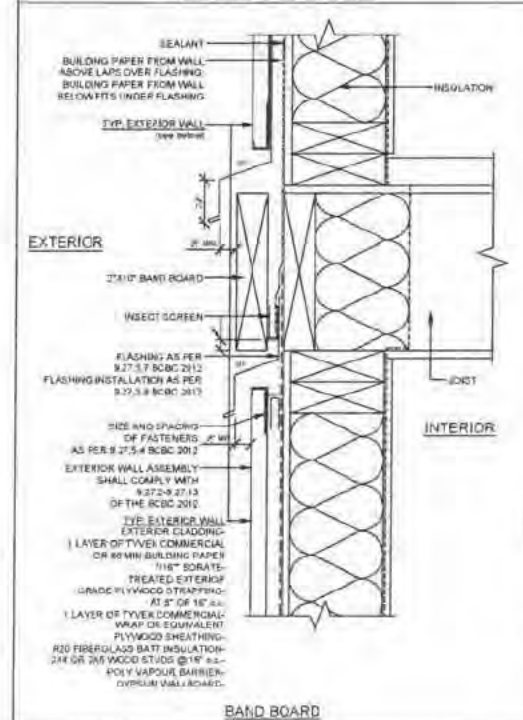
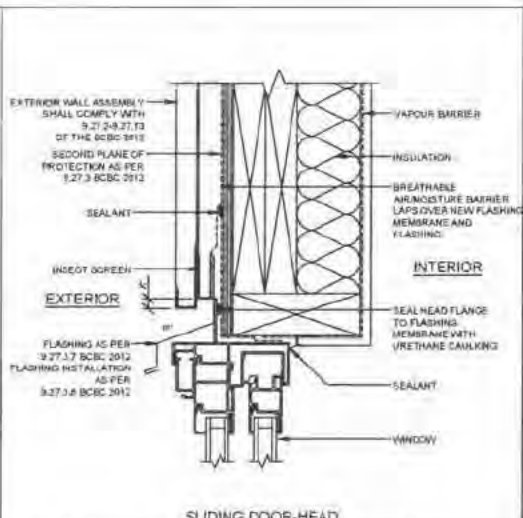
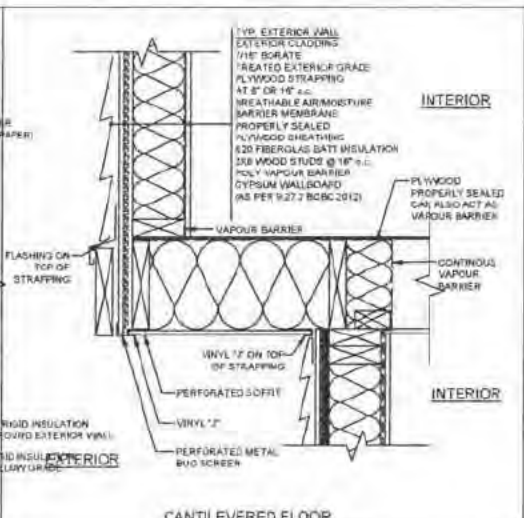
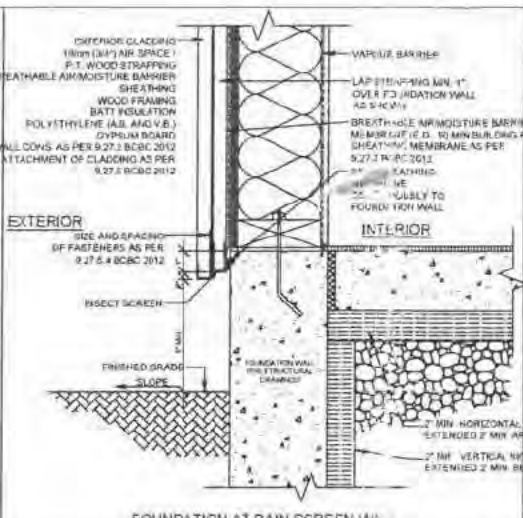
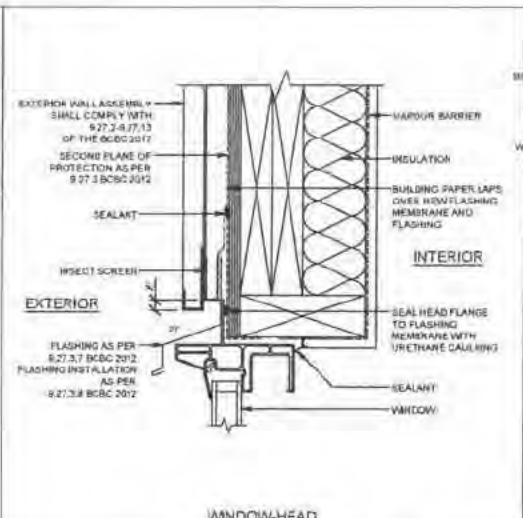
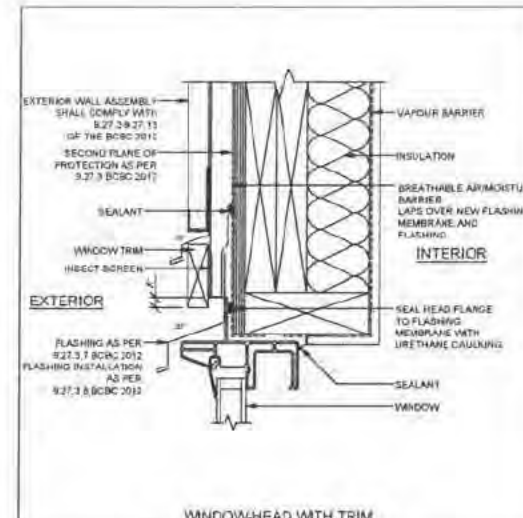
PROPOSED SINGLE FAMILY DWELLING FOR LOT 16 @ 15565 VICTORIA AVENUE WHITE ROCK, B.C.

PROJECT #:		A5
TITLE:	GARAGE PLAN, ELEVATIONS/SECTION, DETAILS & ROOF PLAN	
SCALE:	AS NOTED	
DATE:	AUG/2017	
DESIGNER:	RAJ TOORA	
DRAWN BY:	JANNA DE-PALMA	

#16123

OFFICE

REVISIONS
1 JUN 9, 2016 SUBMITTED FOR BUILDING PERMIT



- IMPORTANT NOTES ON FIELD REVIEWS:**
- AS MINIMUM REQUIREMENTS FOR THE ISSUANCE OF SCHEDULE 'B', THE BUILDING ENVELOPE ENGINEER MUST BE INFORMED AT THE FOLLOWING STAGES OF CONSTRUCTION SO THE NECESSARY FIELD REVIEWS ARE PERFORMED BY THE ENGINEER:
 - COMPLETION OF FOUNDATION DAMPROOFING AND DRAINAGE SYSTEM PRIOR TO BACKFILLING
 - BEFORE INSTALLATION OF WINDOWS AND DOORS (TO PERFORM MOCK UP WINDOW TEST)
 - BEFORE WATERPROOFING PREPARATION
 - BEGINNING OF ROOFING UNDERLAYMENT INSTALLATION
 - 30% COMPLETION OF ROOFING
 - COMPLETION OF ROOFING
 - ALL WINDOWS AND DOORS INSTALLED, AND READY FOR WINDOW TESTING (PRIOR TO INSTALLATION OF DRYWALL)
 - EXTERIOR WALL MOISTURE/VAPOUR BARRIER MEMBRANE (E.G. TYVEK) INSTALLED, PRIOR TO COVERING WITH CLADDING
 - DURING RAIN SCREEN AND FLASHING INSTALLATION OF CLADDING
 - WIRE MESH DETAILS FOR STONE / STUCCO
 - INSULATION COMPLETION AND PRIOR TO INSTALLATION OF VAPOUR BARRIER
 - VAPOUR BARRIER INSTALLED PRIOR TO INSTALLATION OF GWB
 - FINAL INSPECTION AFTER COMPLETION OF ALL WORK

VOLTAS ENGINEERING LTD.
#108 - 129 STREET,
SURREY, BC, V3W 0A6
TEL: 778-593-8593 FAX: 604-600-9230
E-MAIL: info@voltasengineering.com



PROJECT NO.: 16-1595
PROJECT ADDRESS: 15565 VICTORIA AVE WHITE ROCK, BC
CLIENT: Redacted S. 22

TITLE: BE DETAILS
DATE: JUNE 9, 2016
DRAWN: J.S.
SCALE: AS SHOWN
CHECKED BY: G.P.
DRAWING NO: B1

CLIMATE ZONE 4

AS PER SECTION 9.36.2.10.
NOTES PERTAINING TO LEAKAGE PATHS
IN PROBLEMATIC AIR BARRIERS

- FOUNDATION TO SILL PLATE AND RIM JOISTS
- ALL JOINTS AT THE TRANSITION BETWEEN THE FOUNDATION WALL AND THE ABOVE GRADE WALL MUST BE MADE AIR-TIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN THE STRUCTURAL COMPONENTS, OR COVERING THE STRUCTURAL COMPONENTS WITH AN AIR BARRIER MATERIAL.
- INTERIOR WALL INTERFACE
- RIM JOIST
- CANTILEVERED FLOOR
- WINDOW HEAD
- WINDOW SILL
- MECHANICAL FLUES AND CHIMNEYS

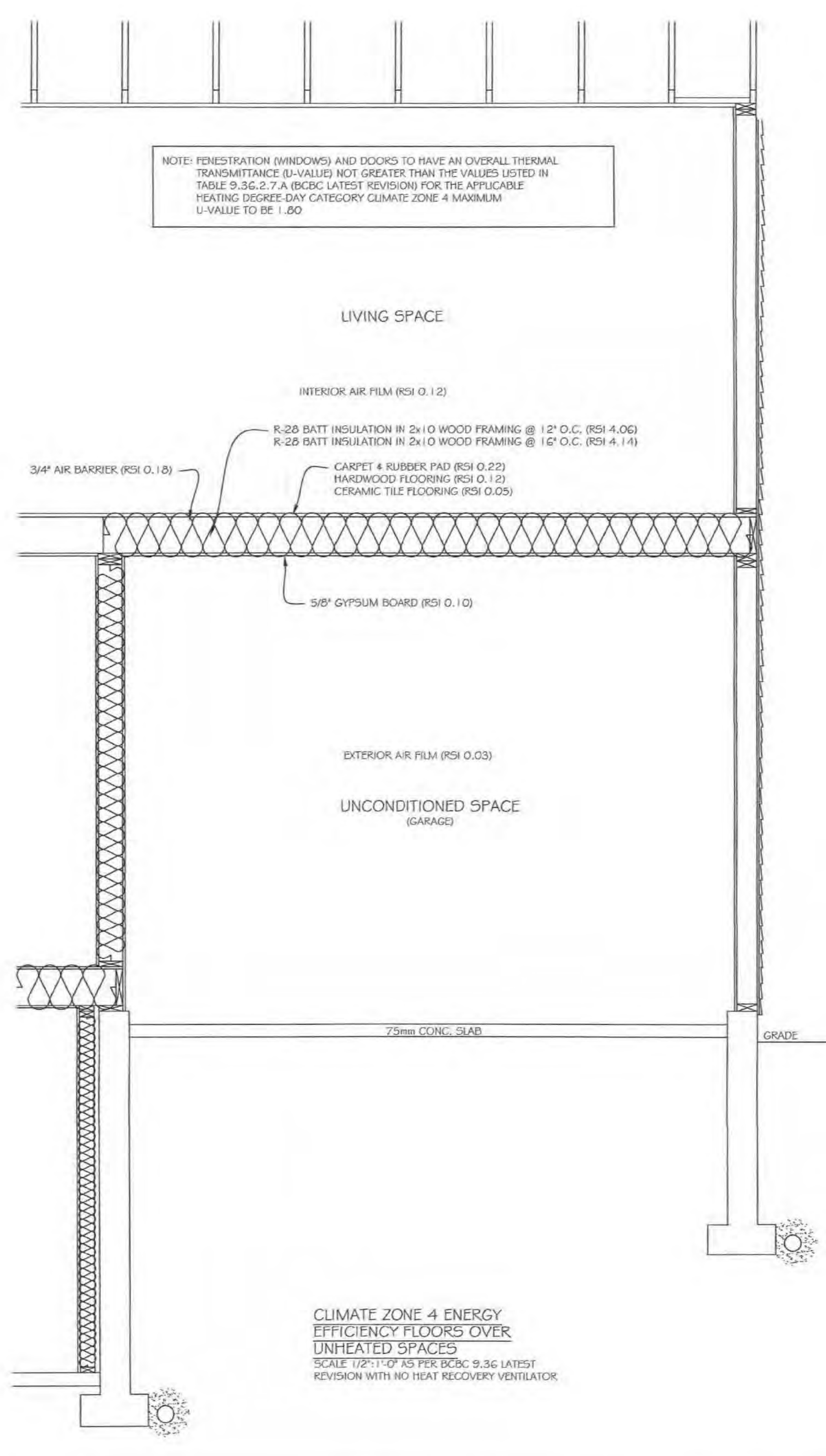
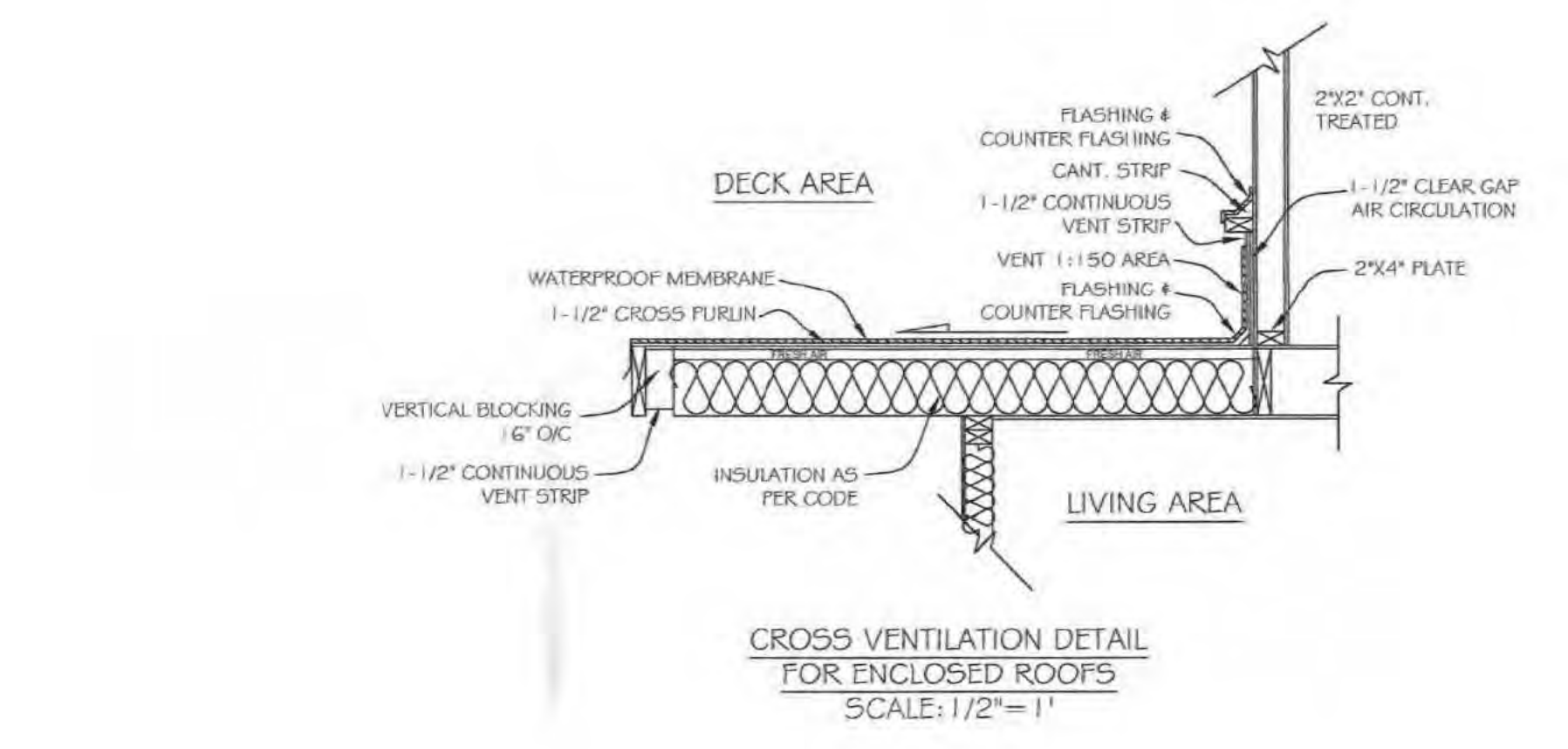
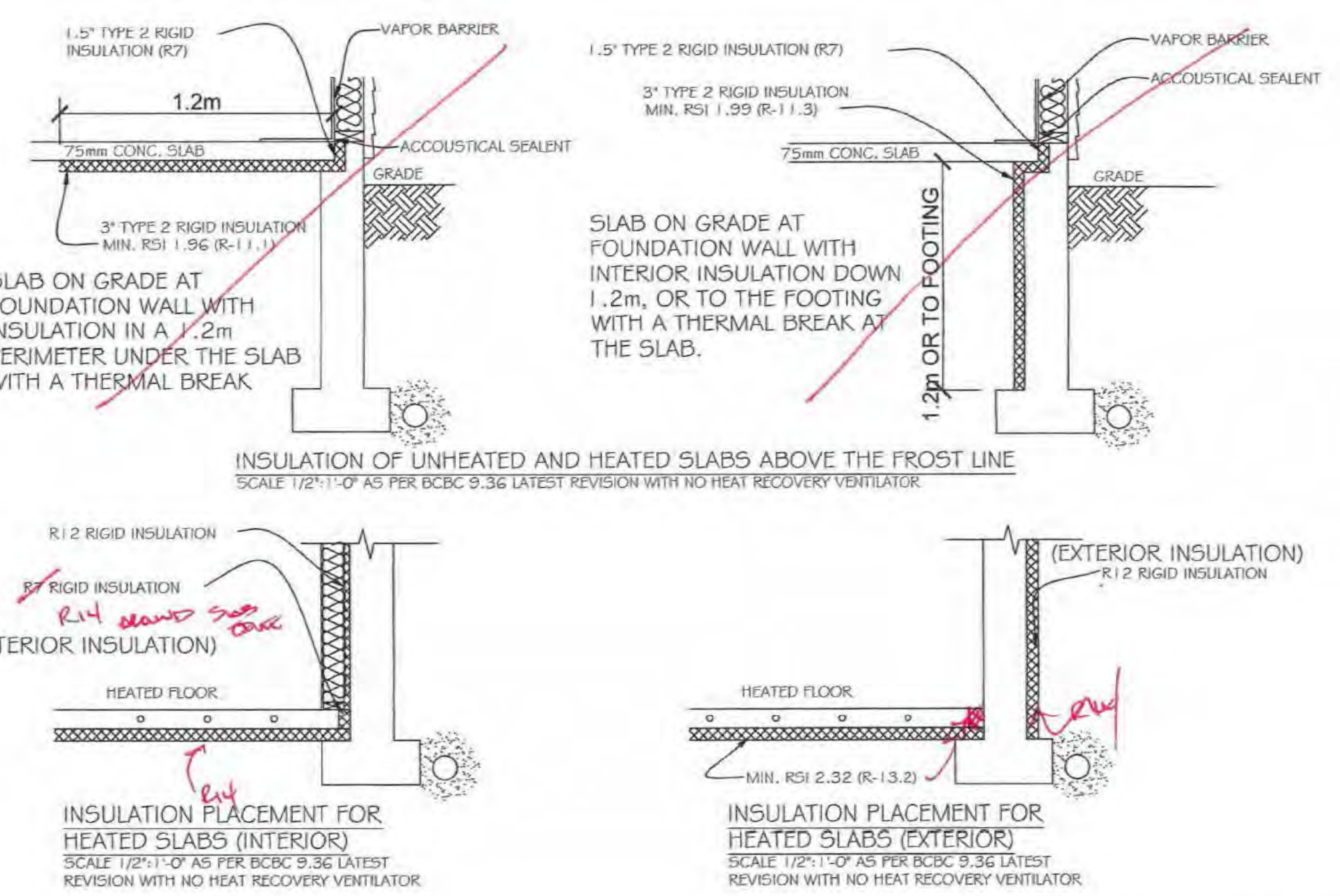
- PLUMBING STACKS
- SKYLIGHTS
- WALL TO CEILING
- WALL VENTED DUCTS
- ELECTRICAL PENETRATION IN WALLS

SPECIFIC REQUIREMENTS

- EFFECTIVE INSULATION OF CEILINGS, WALLS AND FLOORS MEET THE REQUIREMENTS OF TABLE 9.36.2.6.A AND TABLE 9.36.2.6.B FOR THE CORRECT CLIMATE ZONE
- THE THERMAL CHARACTERISTICS OF WINDOWS, DOORS AND SKYLIGHTS MEET THE REQUIREMENTS OF TABLE 9.36.2.7.A, B, AND C FOR THE CORRECT CLIMATE ZONE
- EFFECTIVE INSULATION OF FOUNDATIONS MEET THE REQUIREMENTS OF TABLE 9.36.2.8.A OR B FOR THE CORRECT CLIMATE ZONE
- DUCTS LOCATED OUTSIDE THE THERMAL ENCLOSURE ARE SEALED AND INSULATED TO THE EXTERIOR WALL INSULATION REQUIREMENTS
- CHIMNEYS ARE INSTALLED AT AIR INLETS AND EXHAUSTS WHERE REQUIRED
- PIPING FOR HEATING OR COOLING SYSTEMS IS LOCATED WITHIN THE THERMAL ENCLOSURE OR ARE FULLY INSULATED
- HVAC EQUIPMENT IS LOCATED WITHIN THERMAL ENCLOSURE OR DESIGNATED TO BE INSTALLED OUTSIDE OF THERMAL ENCLOSURE
- TEMPERATURE CONTROLS ARE INSTALLED ON HEATING AND COOLING EQUIPMENT
- INDOOR FLOORS ARE COVERED OR HAVE AIR THROUGHCHIMNEYS
- HVAC AND SWH EQUIPMENT MEET MINIMUM PERFORMANCE REQUIREMENTS DETERMINED IN TABLES 9.36.3.1.0, AND 9.36.4.2
- SERVICE WATER HEATING PIPES ARE INSULATED AT THE INLET AND OUTLET OF STORAGE TANKS
- SERVICE WATER HEATERS HAVE TEMPERATURE CONTROLS
- THE AIR BARRIER DETAILS, AND LOCATIONS HAVE BEEN IDENTIFIED

TEMPERATURE CONTROLS AS PER SECTION 9.36.3.6

TEMPERATURE CONTROLS ARE GENERALLY REQUIRED FOR HEATING AND COOLING EQUIPMENT, THE ACCURACY OF THE CONTROL MUST BE BETTER THAN PLUS OR MINUS 0.5 DEGREES CELSIUS



FLOORS OVER UNHEATED SPACES
(CERAMIC TILE FLOORING)
(MINIMUM REQUIRED EFFECTIVE THERMAL RESISTANCE = RSI 4.67 (R-26.5)
2 X 10 JOISTS @ 12\"/>

ASSEMBLY DESCRIPTION:		
- CERAMIC TILE		
- 1/2\"/>		

FLOORS OVER UNHEATED SPACES
(CARPET FLOORING)
(MINIMUM REQUIRED EFFECTIVE THERMAL RESISTANCE = RSI 4.67 (R-26.5)
2 X 10 JOISTS @ 12\"/>

ASSEMBLY DESCRIPTION:		
- CARPET WITH FIBROUS PAD		
- 1/2\"/>		

FLOORS OVER UNHEATED SPACES
(HARDWOOD FLOORING)
(MINIMUM REQUIRED EFFECTIVE THERMAL RESISTANCE = RSI 4.67 (R-26.5)
2 X 10 JOISTS @ 12\"/>

ASSEMBLY DESCRIPTION:		
- HARDWOOD FLOORING		
- 1/2\"/>		

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.

TOORA HOME PLANS

TEL: (604) 951-4343 ADDRESS:
 FAX: (604) 951-4373 12968 - 107th AVE
 EMAIL: rajtoora@gmail.com SURREY, B.C. V3T 2E9

CLIMATE ZONE 4

PROJECT #:	
TITLE:	RS VALUE & VENTILATION DETAILS
SCALE:	1/2" = 1'
DATE:	
DRAWN:	RAJ TOORA
	MIKI BONDAR

CLIMATE ZONE 4

VAULTED CEILINGS BELOW ATTICS (RAISED HEEL SCISSOR TRUSS)

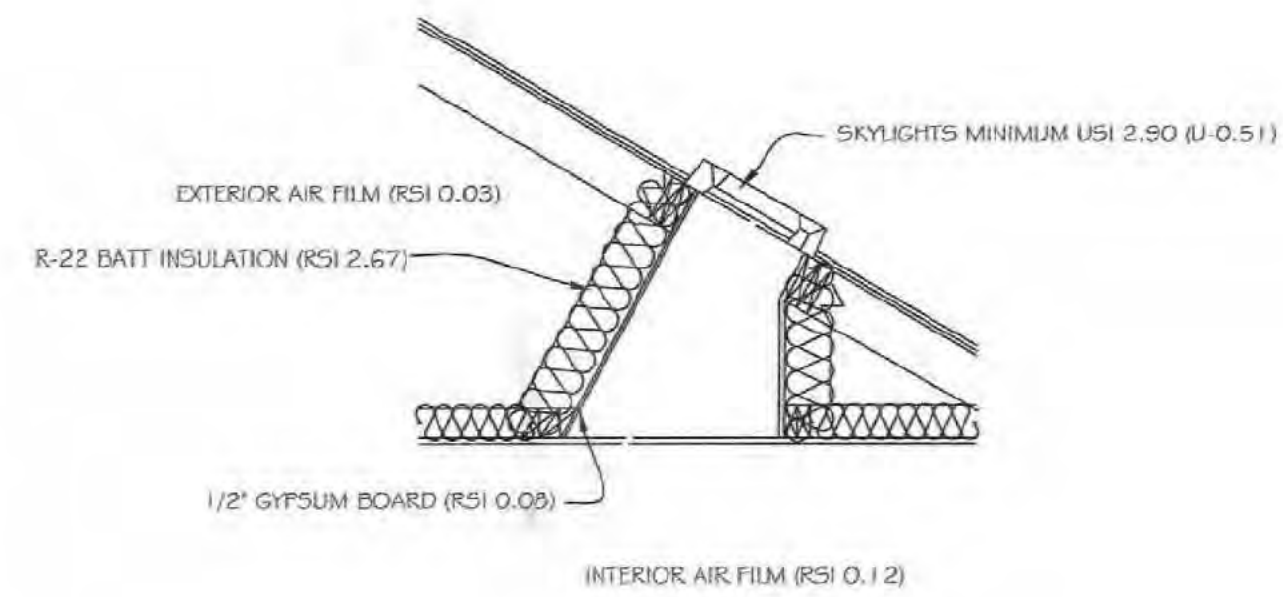
(MINIMUM REQUIRED EFFECTIVE THERMAL RESISTANCE = RSI 6.91 (R-39.2)
COMMON TRUSS @ 24" O.C.

ASSEMBLY DESCRIPTION:	
5/8" GYPSUM BOARD CEILING 6 MIL POLY VAPOUR BARRIER RAISED HEEL TRUSSES @ 24" O.C. W3.12" BOTTOM CHORD CAVITY SPACES FILLED WITH 3.1/2" FIBERGLASS LOOSE FILL INSULATION CONTINUOUS LAYER OF FIBERGLASS LOOSE FILL INSULATION OVER CAVITIES	
CONTINUOUS ELEMENTS:	
EXTERIOR AIR FILM	N/A
ROOFING (ASPHALT SHINGLE)	N/A
PLYWOOD ROOF SHEATHING	N/A
AIR FILM	0.03
1 1/2" FIBERGLASS LOOSE FILL INSULATION	5.24
5/8" GYPSUM BOARD	0.13
INTERIOR AIR FILM	0.13
RSI 5.48 (R-31.0)	
CAVITY RSI (PARALLEL)	
$\frac{1.00}{\frac{7}{1.9} + \frac{83}{1.668}} = 1.54 \text{ RSI}$	
RSI 1.54 (R-3.00)	
TOTAL EFFECTIVE INSULATION VALUE	
RSI 7.02 (R-39.92)	

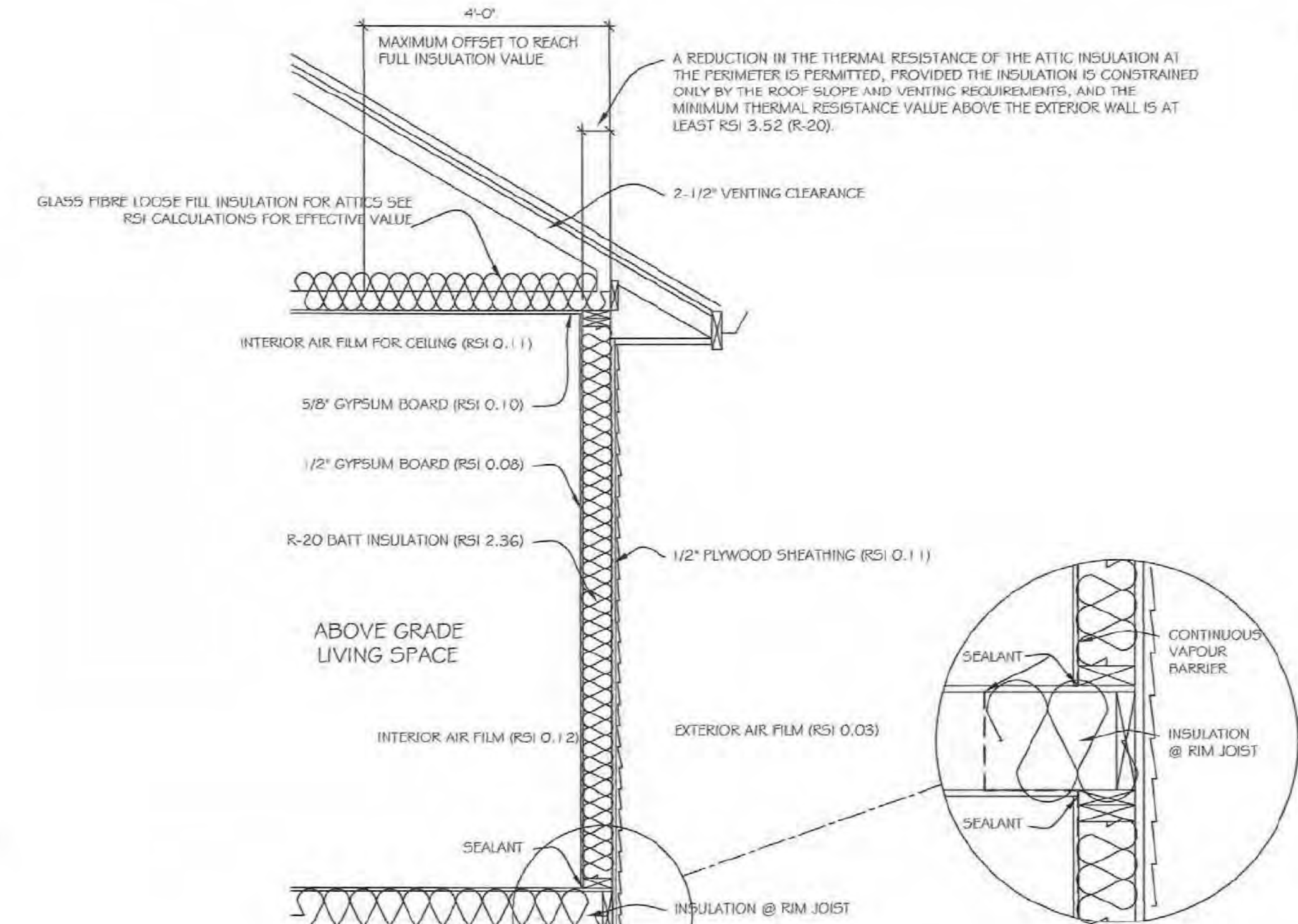
RIM JOIST SPACE

(6.35MM FIBRE-CEMENT BOARD SIDING)

MINIMUM REQUIRED EFFECTIVE THERMAL RESISTANCE = RSI 2.78 (R-15.8) 2x10 JOISTS @ 12" O.C. W/R-20 BATT INSULATION IN CAVITY	
CONTINUOUS ELEMENTS:	
1 1/2" LUMBER RIM BOARD	0.325
1/2" PLYWOOD SHEATHING	0.11
AIR BARRIER/SHEATHING MEMBRANE	-
3/8" CAPILLARY BREAK SPACE	0.15
6.35MM (1/4") FIBRE-CEMENT CLADDING	0.023
EXTERIOR AIR FILM	0.03
RSI 0.638 (R-3.62)	
CAVITY RSI (PARALLEL)	
$\frac{1.00}{\frac{12.5}{2.675} + 2.82} = 2.82 \text{ RSI}$	
RSI 2.82 (R-15.99)	
TOTAL EFFECTIVE INSULATION VALUE	
RSI 3.458 (R-19.61)	



CLIMATE ZONE 4 ENERGY EFFICIENCY SKYLIGHT SHAFT WALL ASSEMBLY DETAIL
SCALE 1/2"=1'-0"
AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR



AIR BRIDGE TO BE SUPPORTED BY STUDS

THE THERMAL BRIDGING EFFECT OF CLOSELY SPACED REPETITIVE STRUCTURAL MEMBERS LIKE STUDS & JOISTS, AND OF ANCILLARY MEMBERS LIKE LIGHTS, SILLS AND FRAMES, MUST BE ACCOUNTED FOR WHEN CALCULATING THE THERMAL RESISTANCE OF BUILDING ENVELOPE ASSEMBLIES.
PENETRATION (WINDOWS) AND DOORS TO HAVE AN OVERALL THERMAL TRANSMITTANCE (U-VALUE) NOT GREATER THAN THE VALUES LISTED IN TABLE 9.36.2.7.A (BCBC LATEST REVISION) FOR THE APPLICABLE HEATING DEGREE-DAY CATEGORY, CLIMATE ZONE 4 & 5 MAXIMUM U-VALUE TO BE 1.80

CEILINGS BELOW ATTICS - RAISED HEEL TRUSS

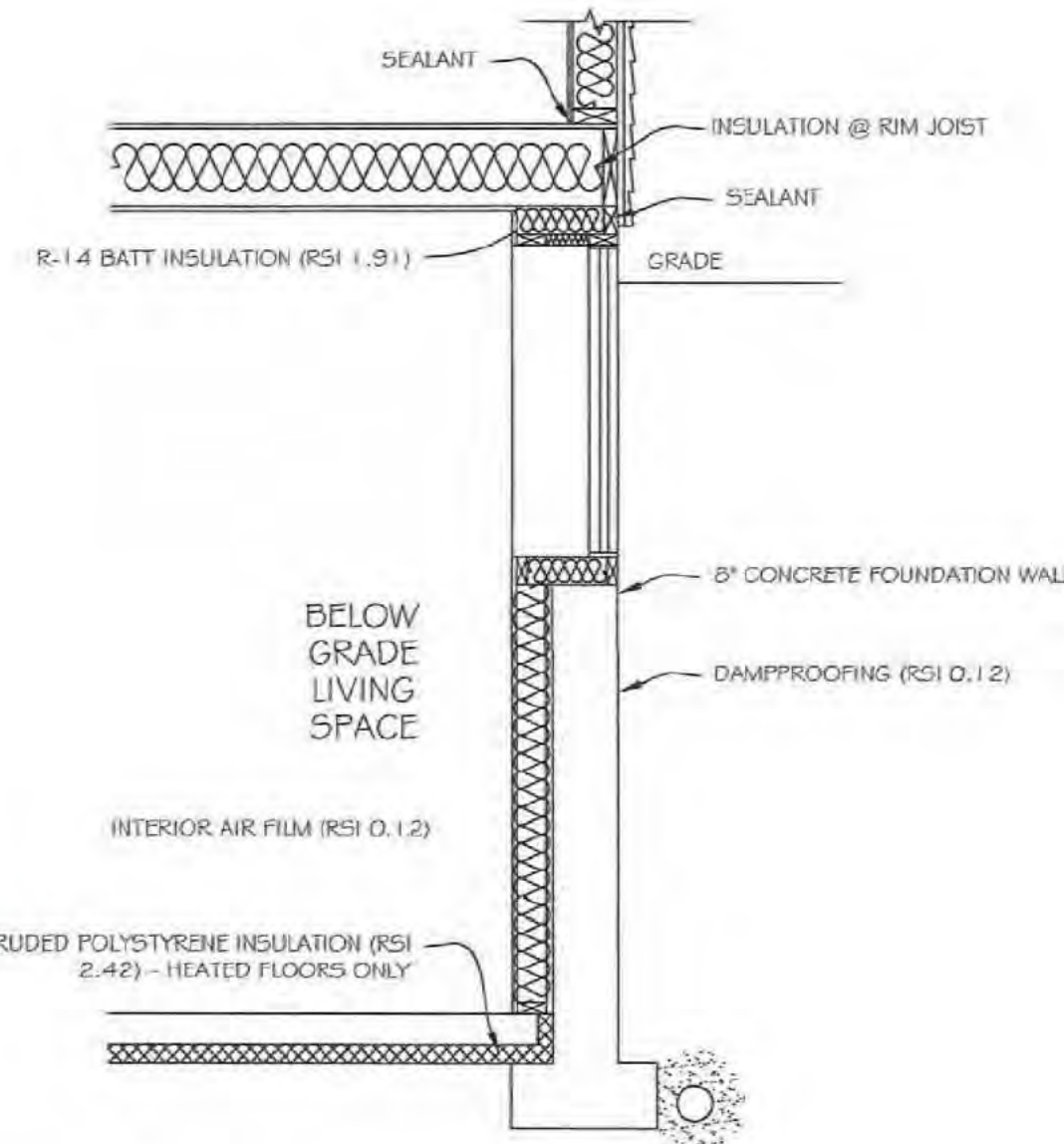
(MINIMUM REQUIRED EFFECTIVE THERMAL RESISTANCE = RSI 6.91 (R-39.2)
COMMON TRUSS @ 24" O.C. (600mm))

ASSEMBLY DESCRIPTION:	
5/8" GYPSUM BOARD CEILING 6 MIL POLY VAPOUR BARRIER RAISED HEEL TRUSSES @ 24" O.C. W3.12" BOTTOM CHORD CAVITY SPACES FILLED WITH FIBERGLASS LOOSE FILL INSULATION CONTINUOUS LAYER OF FIBERGLASS LOOSE FILL INSULATION OVER CAVITIES	
CONTINUOUS ELEMENTS:	
EXTERIOR AIR FILM	N/A
ROOFING (ASPHALT SHINGLE)	N/A
PLYWOOD ROOF SHEATHING	N/A
AIR FILM	0.03
1 1/2" FIBERGLASS LOOSE FILL INSULATION	5.24
5/8" GYPSUM BOARD	0.10
INTERIOR AIR FILM	0.11
RSI 5.48 (R-31.0)	
CAVITY RSI (PARALLEL)	
$\frac{1.00}{\frac{7}{1.9} + \frac{83}{1.668}} = 1.54 \text{ RSI}$	
RSI 1.54 (R-3.00)	
TOTAL EFFECTIVE INSULATION VALUE	
RSI 7.02 (R-39.92)	

BELOW GRADE FOUNDATION WALL

(MINIMUM REQUIRED EFFECTIVE THERMAL RESISTANCE = RSI 1.99 (R-11.3)
2x14 STUDS @ 24" O.C.

ASSEMBLY DESCRIPTION:	
8" POURED IN-PLACE CONCRETE WALL 2x14 STUDS @ 24" O.C. R-14 BATT INSULATION 5/8" GYPSUM WALL BOARD	
CONTINUOUS ELEMENTS:	
INTERIOR AIR FILM	0.12
1/2" GYPSUM BOARD	0.08
POLYETHYLENE	-
8" POURED IN-PLACE CONCRETE WALL	0.21
DAMP PROOFING	-
RSI 0.41 (R-2.32)	
CAVITY RSI (PARALLEL)	
$\frac{1.00}{\frac{16}{1.6} + \frac{24}{2.46}} = 1.80 \text{ RSI}$	
RSI 1.80 (R-10.20)	
TOTAL EFFECTIVE INSULATION VALUE	
RSI 2.21 (R-12.52)	



CLIMATE ZONE 4 ENERGY EFFICIENCY WINDOWS/DOORS IN FOUNDATION
SCALE 1/2"=1'-0"
AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

ABOVE GRADE WALL ASSEMBLY (SKYLIGHT SHAFT WALLS)

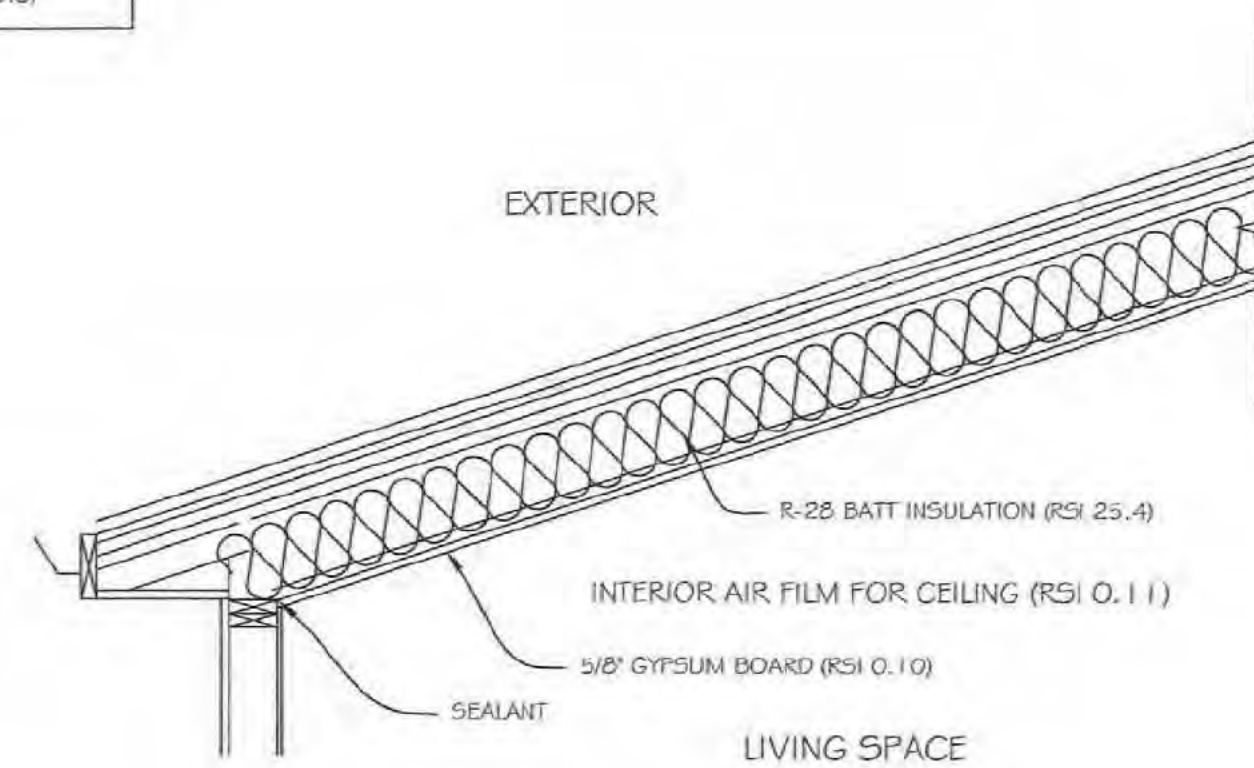
AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-22 BATT INSULATION IN 2x6 WOOD FRAMING @ 24" O.C.	RSI 3.87 (R-22)	RSI 2.67 (R-15.1)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	RSI 0.23 (R-1.30)
6. POLYETHYLENE	-	
7. 1/2" GYPSUM WALL BOARD	0.08	
8. INTERIOR AIR FILM	0.12	
9. 1/2" GYPSUM WALL BOARD	0.08	
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.90 (R-16.4)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS (SKYLIGHT SHAFT)		RSI 2.78 (R-15.8)

ABOVE GRADE WALL ASSEMBLY (31.75mm CULTURED STONE CLADDING)

AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

DESCRIPTION	NOMINAL	EFFECTIVE
R-20 BATT INSULATION IN 2x6 WOOD FRAMING @ 16" O.C.	RSI 3.34 (R-19)	RSI 2.36 (R-13.4)
OTHER BUILDING ENCLOSURE LAYERS THAT CONTRIBUTE TO EFFECTIVE INSULATION:		
1. EXTERIOR AIR FILM	0.03	RSI 0.511 (R-2.97)
2. 31.75mm CULTURED STONE CLADDING	0.013	
3. 1/2" AIR SPACE FOR RAIN SCREEN	0.16	
4. SHEATHING MEMBRANE	-	
5. 1/2" OSB	0.108	
6. POLYETHYLENE	-	
7. 1/2" GYPSUM WALL BOARD	0.08	
8. INTERIOR AIR FILM	0.12	
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.871 (R-16.37)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 2.78 (R-15.8)



CLIMATE ZONE 4 ENERGY EFFICIENCY CEILINGS BELOW CATHEDRAL & FLAT ROOFS DETAIL
SCALE 1/2"=1'-0" AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

ABOVE GRADE WALL ASSEMBLY (6.35mm FIBRE-CEMENT BOARD SIDING)

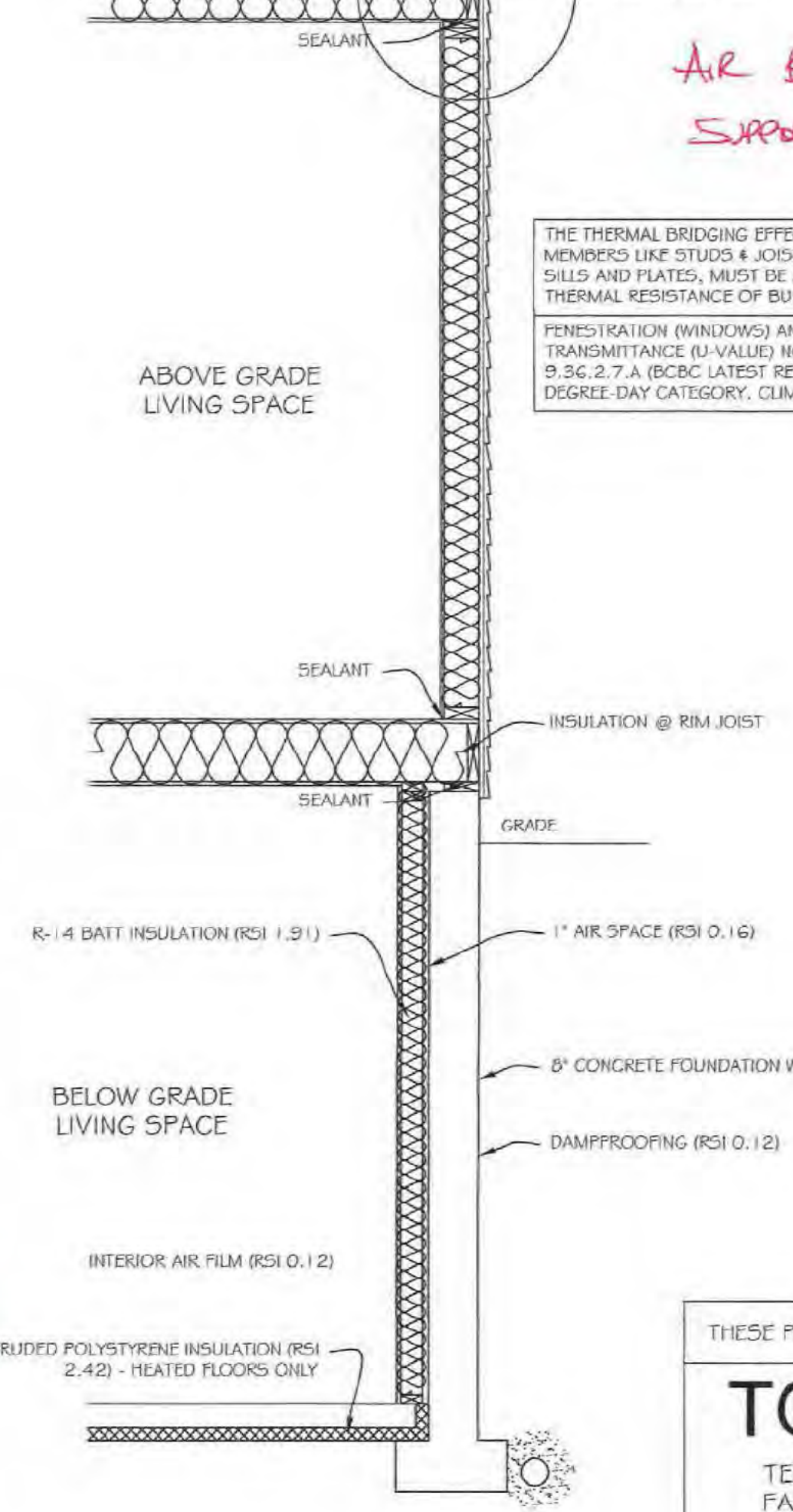
(MINIMUM REQUIRED EFFECTIVE THERMAL RESISTANCE = RSI 2.78 (R-15.8)
2x6 STUDS @ 16" O.C.

ASSEMBLY DESCRIPTION:	
5/8" GYPSUM BOARD 6 MIL POLY VAPOUR BARRIER 2x6 STUDS @ 16" O.C. R-19 (R-20 COMPRESSED) BATT FIBERGLASS INSULATION IN CAVITIES AIR BARRIER/SHEATHING MEMBRANE 3/8" CAPILLARY BREAK SPACE 6.35mm (1/4") FIBRE-CEMENT CLADDING	
CONTINUOUS ELEMENTS:	
INTERIOR AIR FILM	0.12
5/8" GYPSUM BOARD	0.08
6 MIL POLY VAPOUR BARRIER	-
PLYWOOD SHEATHING	0.11
AIR BARRIER/SHEATHING MEMBRANE	-
3/8" CAPILLARY BREAK SPACE	0.15
6.35mm (1/4") FIBRE-CEMENT CLADDING	0.023
EXTERIOR AIR FILM	0.03
RSI 0.513 (R-2.90)	
CAVITY RSI (PARALLEL)	
$\frac{1.00}{\frac{23}{1.9} + \frac{77}{3.34}} = 2.36 \text{ RSI}$	
RSI 2.36 (R-13.58)	
TOTAL EFFECTIVE INSULATION VALUE	
RSI 2.873 (R-16.28)	

HEATED SLABS ON GRADE

(MINIMUM REQUIRED EFFECTIVE THERMAL RESISTANCE = RSI 2.32)

ASSEMBLY DESCRIPTION:	
4" POURED IN-PLACE CONCRETE SLAB 3" XPS INSULATION	
CONTINUOUS ELEMENTS:	
INTERIOR AIR FILM	0.12
4" CONC. SLAB	2.56
6 MIL POLYETHYLENE	-
3" XPS INSULATION	-
RSI 2.68 (R-15.2)	
TOTAL EFFECTIVE INSULATION VALUE	
RSI 2.68 (R-15.2)	



CLIMATE ZONE 4 ENERGY EFFICIENCY OPAQUE WALL ASSEMBLY DETAIL
SCALE 1/2"=1'-0"
AS PER BCBC 9.36 LATEST REVISION WITH NO HEAT RECOVERY VENTILATOR

THESE PLANS CONFORM TO REQUIREMENTS IN THE B.C. BUILDING CODE 2012.

TOORA HOME PLANS
 TEL: (604) 951-4343 ADDRESS: 12968 - 107th AVE
 FAX: (604) 951-4373 SURREY, B.C. V3T 2E9
 EMAIL: rajtoora@gmail.com

CLIMATE ZONE 4			
PROJECT #:			
TITLE:	RS VALUE & VENTILATION DETAILS		
SCALE:	1/2"=1'	DRAWN:	RAJ TOORA
DATE:			MIKI BONDAR

D4

OFFICE COPY

16-123

RECEIVED

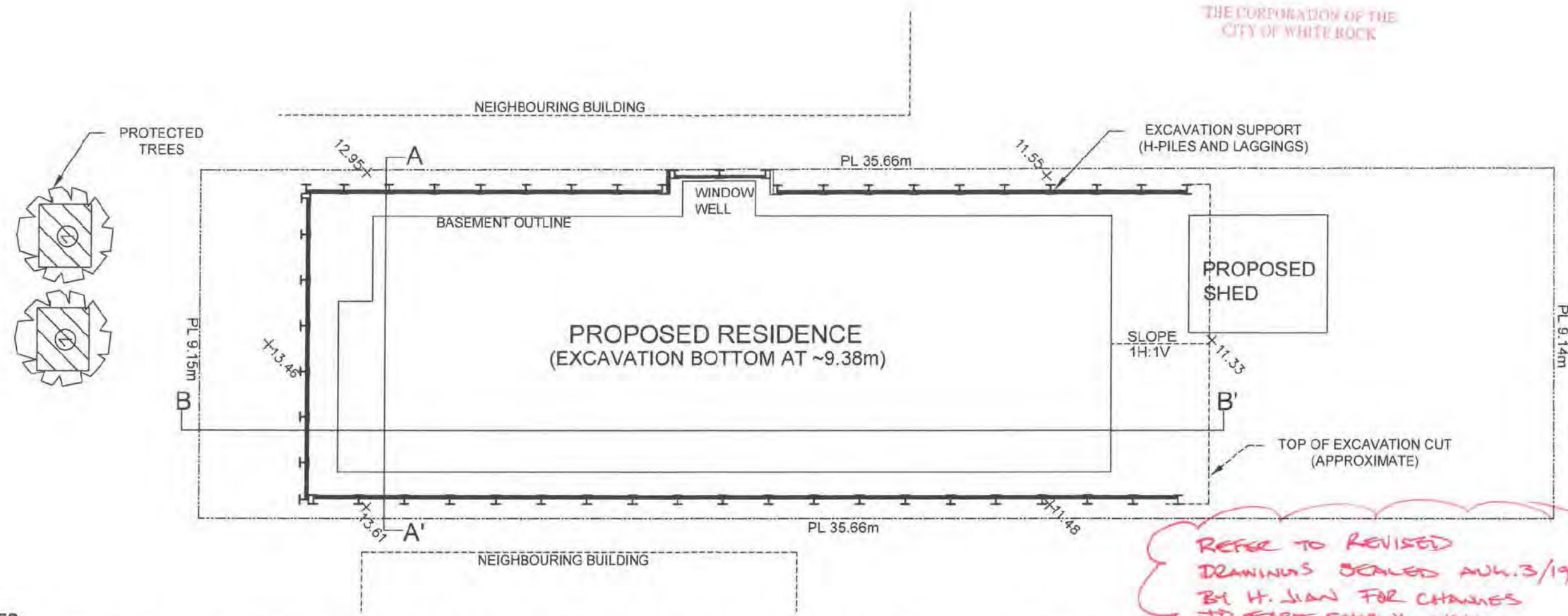
JUL 10 2018



THE CORPORATION OF THE CITY OF WHITE ROCK

VICTORIA AVENUE

LANE

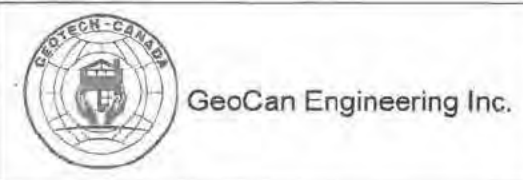


REFER TO REVISED DRAWINGS SEALED AUG. 3/19 BY H. JIAN FOR CHANGES TO EAST SIDE WALL.

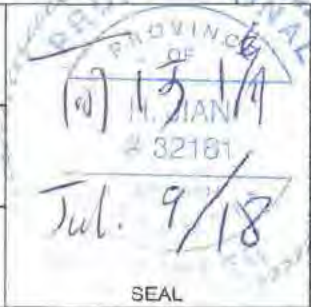
NOTES:

- ONLY SOME EXISTING GRADE ELEVATIONS (IN METRES) ARE SHOWN IN THIS PLAN. FOR DETAILED ELEVATIONS, REFER TO THE ARCHITECTURAL SITE PLAN.
- THE EAST, WEST AND SOUTH EXCAVATION CUTS WILL BE SUPPORTED USING H-PILES AND TIMBER LAGGINGS.
- THE NORTH EXCAVATION CUT CAN BE SLOPED OR TIERED AT 1H:1V TO EXISTING GRADE.
- GEOCAN HAS REVIEWED THE FOLLOWING DOCUMENTS IN PREPARATION FOR THIS EXCAVATION PLAN:

- 1) "Geotechnical Assessment: Proposed Single-Family Residential Development 15565 Victoria Avenue, White Rock, B.C." by Western Geotechnical Consultants Ltd. (dated May 15, 2018)
- 2) "Abendum to Geotechnical Assessment Regarding Seismicity Proposed Single Family Residence 15565 Victoria Avenue, White Rock, B.C." by Western Geotechnical Consultants Ltd. (dated May 23, 2018)
- 3) "Excavation and Shoring Design Drawings - Proposed Single Family Residence 15565 Victoria Avenue, White Rock, B.C." by Western Geotechnical Consultants Ltd. (dated June 19, 2018)



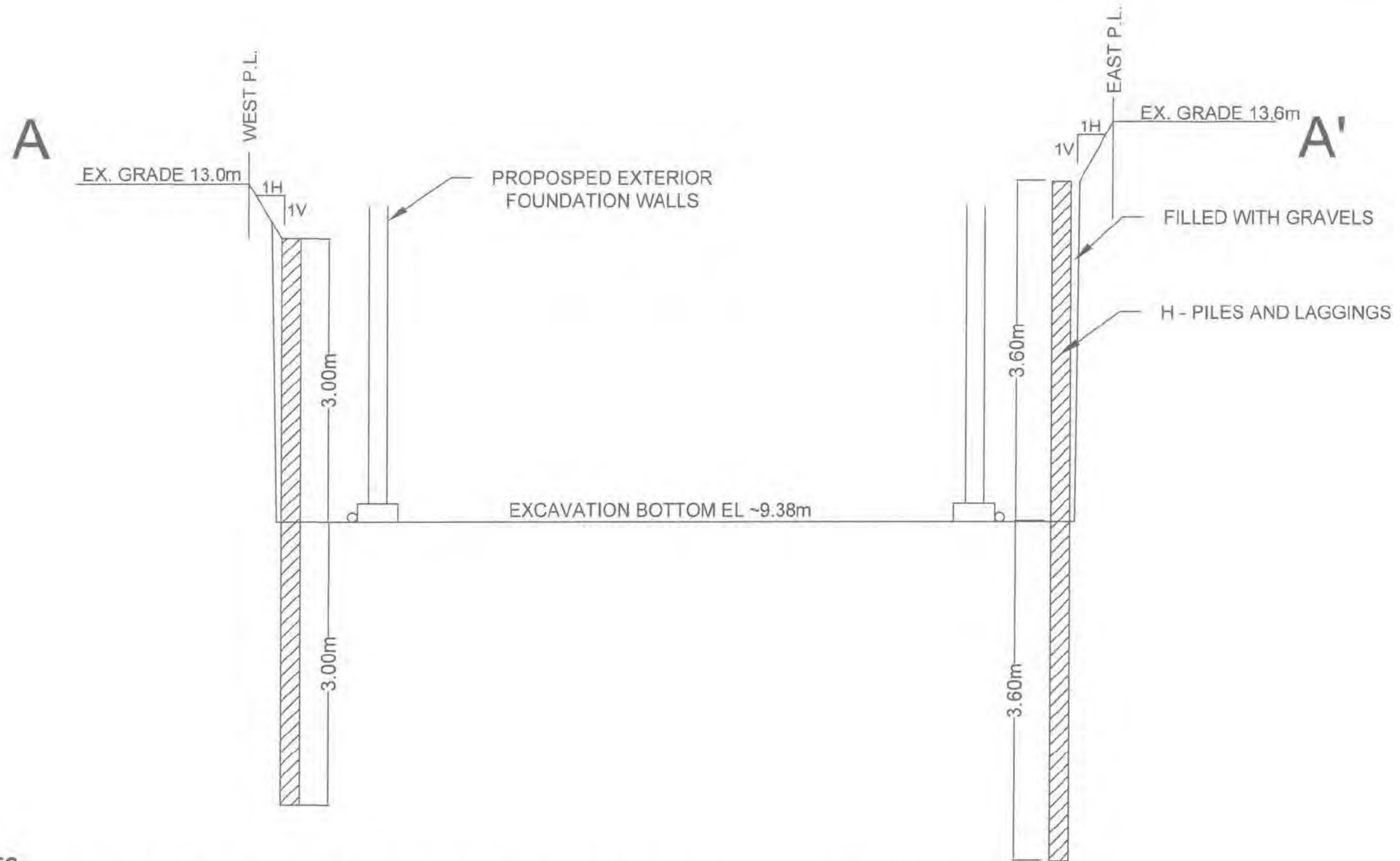
Client: [REDACTED]	
Location: 15565 Victoria Avenue White Rock, BC	
FILE No. 18812	DATE June 25, 2018



REV.	DATE	DESCRIPTION
1	July 9, 2018	Reviewed documents from Western Geotechnical Consultants Ltd.

Excavation Design
Plan View



DRAWN: PL	DWG No. 1 of 6
CHECKED: HJ	
SCALE: 1:125	



JUL 05 2018
 THE CORPORATION OF THE
 CITY OF WHITE ROCK

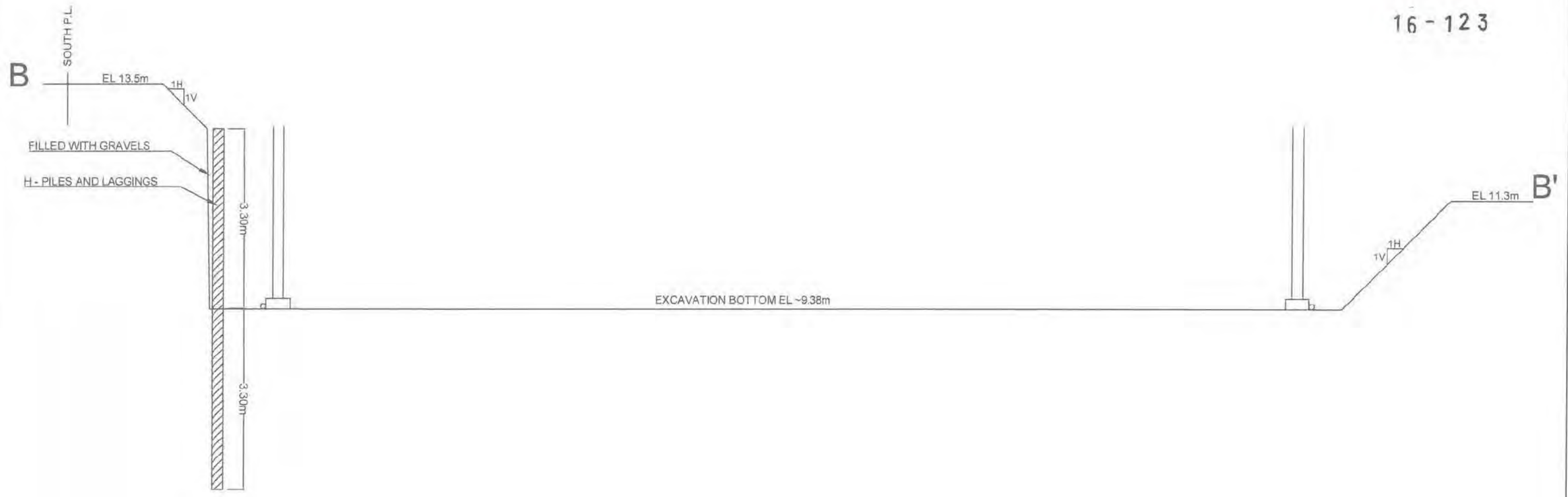
NOTES:

- LENGTHS OF H-PILES ARE APPROXIMATE, TO BE ADJUSTED BASED ON EXCAVATION DEPTH AT EACH LOCATION.
- THE TOP 0.6m OF THE EXCAVATION CAN BE SLOPED AT 1H:1V TO THE EXISTING GRADE ON THE PROPERTY LINE FOR BOTH EAST AND WEST SIDE CUTS.

 GeoCan Engineering Inc. Unit 54, 22865 Telosky Avenue Maple Ridge, BC, V2X 8Z9 Tel: 778-987-7461	Client: Redacted S. 22	 H. H. HAN #32151 June 26/18	Excavation Design		
	Location: 15565 Victoria Avenue White Rock, BC		Section A-A'		
FILE No. 18812	DATE June 25, 2018	REV.	DATE	DESCRIPTION	DRAWN: PL CHECKED: HJ SCALE: 1:50
					DWG No. 2 of 6

JUL 05 2018
 THE CORPORATION OF THE
 CITY OF WHITE ROCK

16-123



GeoCan Engineering Inc.

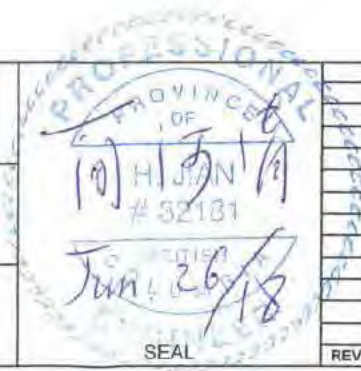
Unit 54, 22865 Telosky Avenue
 Maple Ridge, BC, V2X 8Z9
 Tel: 778-987-7461

Client: [REDACTED]

Location: 15565 Victoria Avenue
 White Rock, BC

FILE No.
 18812

DATE
 June 25, 2018



REV.	DATE	DESCRIPTION

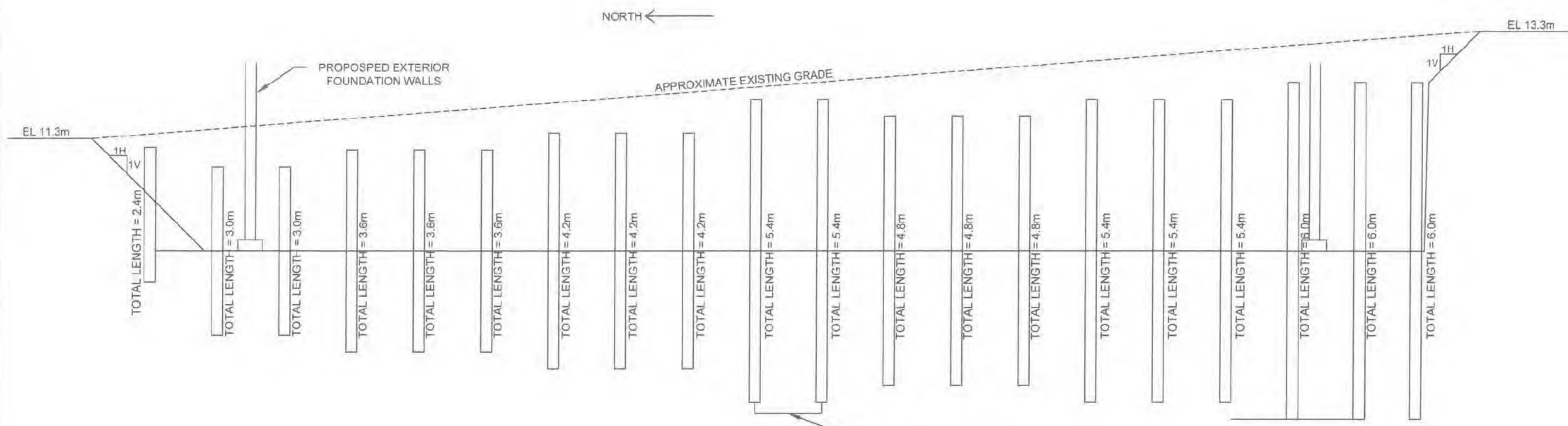
Excavation Design
 Section B-B'

DRAWN: PL
 CHECKED: HJ
 SCALE: 1:75

DWG No.
 3 of 6

JUL 05 2018
 THE CORPORATION OF THE
 CITY OF WHITE ROCK
 16 - 123

SOUTH P.L.



WEST EXCAVATION CUT PROFILE

PILES FOR PROPOSED WINDOW WELL AREA - TO BE INSTALLED AT PROPERTY LINE

GeoCan Engineering Inc.
 Unit 54, 22865 Telosky Avenue
 Maple Ridge, BC, V2X 8Z9
 Tel: 778-987-7461

Client:	Redacted S. 22	
Location:	15565 Victoria Avenue White Rock, BC	
FILE No.	18812	DATE June 25, 2018

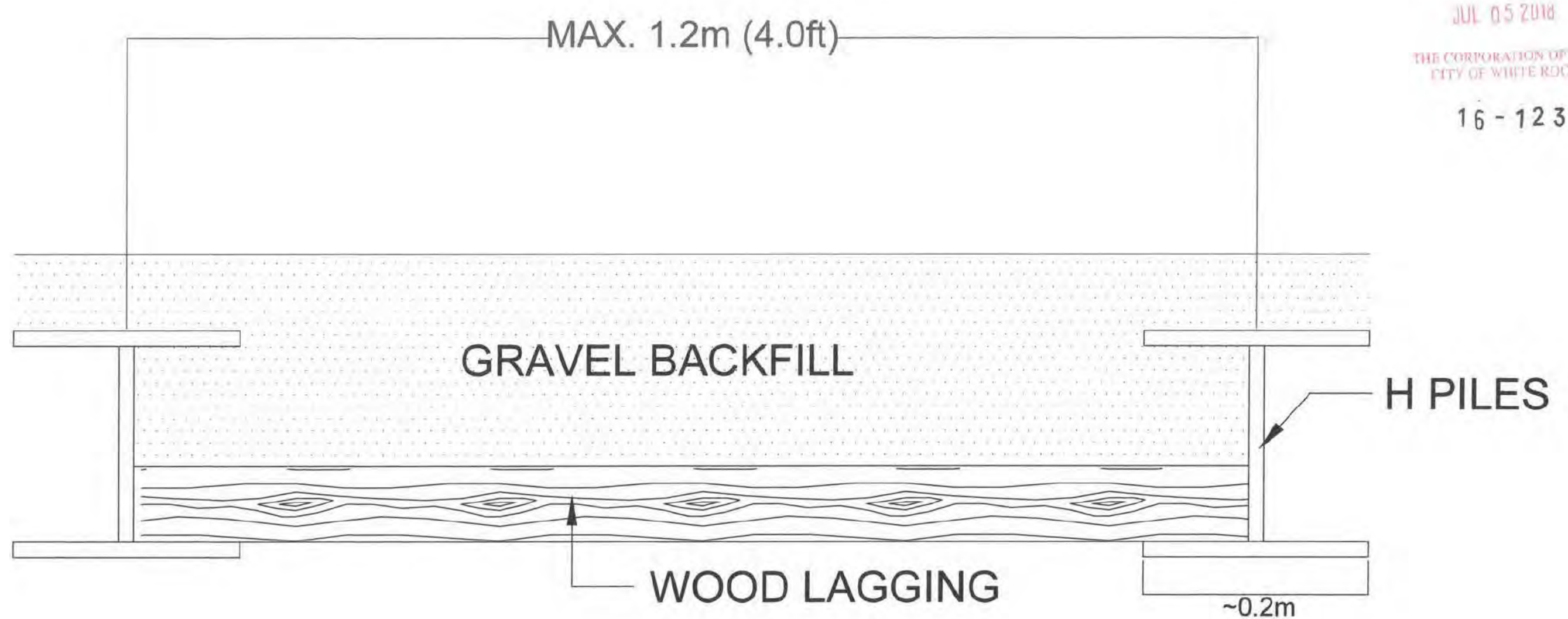
PROFESSIONAL
 H. J. JIAN
 # 32181
 JUN 26 2018
 SEAL

REV.	DATE	DESCRIPTION

Excavation Design
 West Excavation Profile


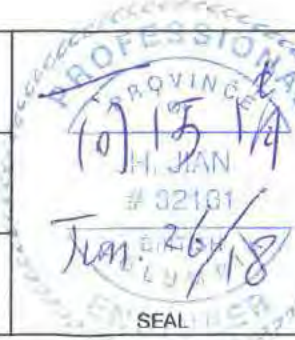
DRAWN:	PL	DWG No. 5 of 6
CHECKED:	HJ	
SCALE:	1:75	

INVESTIGATION
 JUL 05 2018
 THE CORPORATION OF THE
 CITY OF WHITE ROCK
 16 - 123



GENERAL NOTES:

1. HORIZONTAL SPACING BETWEEN INDIVIDUAL H PILES TO BE MAXIMUM 1.2m (4ft).
2. H PILES WITH SPECIFICATION OF HP 200mm (HP 8") ARE TO BE USED.

 GeoCan Engineering Inc. Unit 54, 22865 Telosky Avenue Maple Ridge, BC, V2X 8Z9 Tel: 778-987-7461	Client: [REDACTED]		Excavation Support Plan View		
	Location: 15565 Victoria Avenue White Rock, BC				
		SEAL	REV.	DATE	DESCRIPTION

FOR REFERENCE ONLY
H. JIAN (GEOCAN ENGINEERING)
IS THE PRINCIPAL GEOTECHNICAL ENGINEER
P.A. DAVIES IS A SUPPORTING REGISTERED PROFESSIONAL.
REFER TO LETTER FROM H. JIAN DATED JUL 3/19

Project

Residential Shoring
15565 Victoria Avenue, White Rock BC

Client

Redacted S. 22

Drawings Provided By

Davies Geotechnical Inc.

#2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8

Tel 604-395-2300

Fax. 604-395-2301

RECEIVED

JUN 11 2019

CITY OF WHITE ROCK
DEVELOPMENT SERVICES



EXCAVATION AND SHORING DESIGN

Submitted

REV.1 ISSUED FOR REVIEW – MAY 6, 2019

Reference

Excavation Design – GeoCan Engineering Inc. – Dated June 25, 2018

TABLE OF CONTENTS


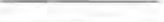





- G000: Cover Page
- G001: Excavation and Site Plan
- G100 East Shoring Wall Elevation View
- G200: Typical Cross Section View – Section B1
- G201: Typical Cross Section View – Section B2
- G300: Anchor Head/Waler Details
- G500: Typical Shotcrete and Shoring General Notes (1/2)
- G501: Typical Shotcrete and Shoring General Notes (2/2)

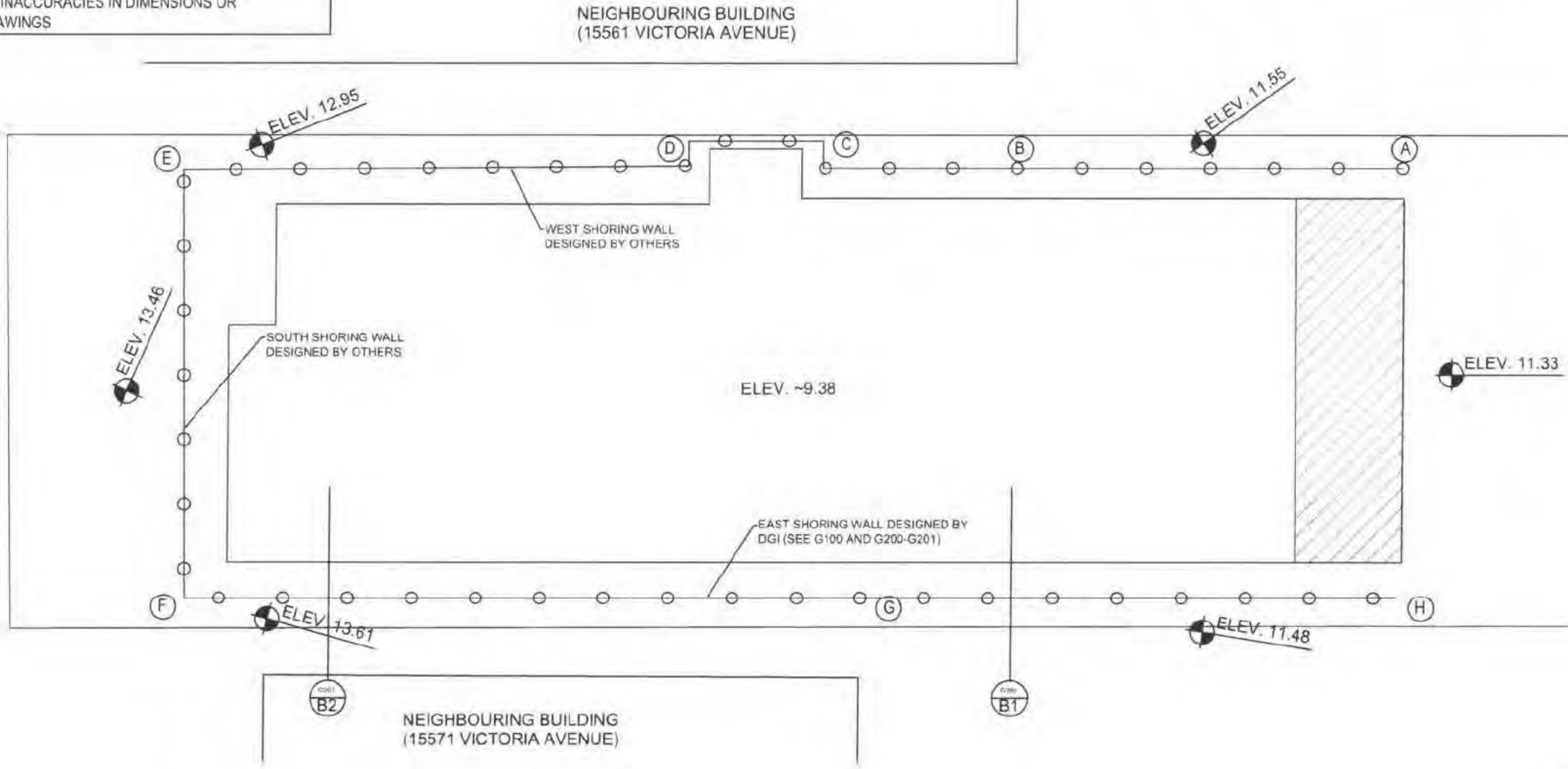
NOTE:
 ALL ELEVATIONS, DIMENSIONS, AND BUILDING/PROPERTY LINE EXTENTS HAVE BEEN SCALED FROM GEOCAN ENGINEERING INC. EXCAVATION DESIGN DRAWING (SCANNED PDF COPY - DATED JUNE 25, 2018) AND MAY NOT BE ENTIRELY ACCURATE.

THE CONTRACTOR SHOULD REVIEW ALL BUILDING AND SHORING WALL LINES WITH RELEVANT ARCHITECTURAL AND STRUCTURAL DRAWINGS.

DGI ASSUMES NO RESPONSIBILITY FOR INACCURACIES IN DIMENSIONS OR ELEVATIONS SHOWN WITHIN THESE DRAWINGS

LEGEND

- BUILDING WALL OUTLINE 
- PROPERTY LINE 
- WATER MAIN 
- SANITARY MAIN 
- CUT SLOPE 
- ELEVATION (MASL)  ELEV. 11.55
- SHORING WALL 



REV.	DATE	REVISION
REV.1	MAY 2019	ISSUED FOR REVIEW



Davies Geotechnical Inc.
 #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8
 Tel 604-395-2300 Fax. 604-395-2301

CLIENT **Redacted S. 22**

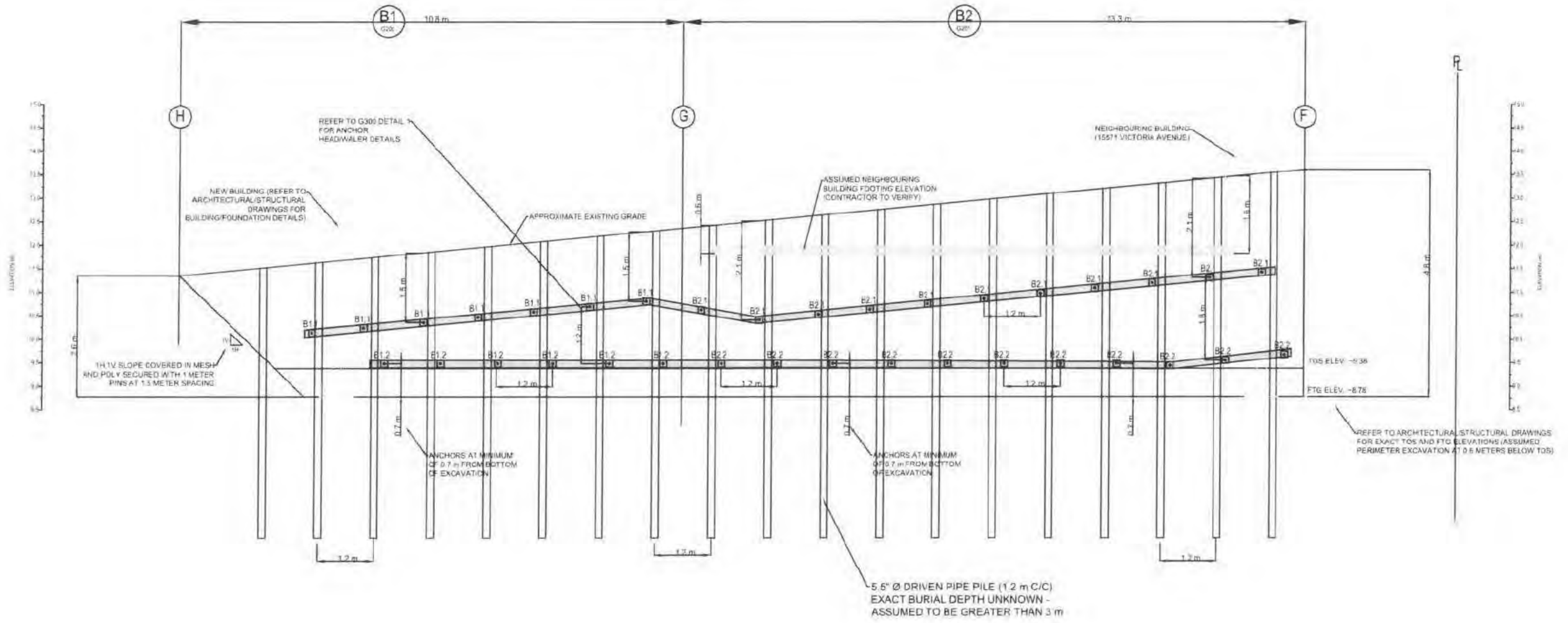
DWN BY:	BM
CHK'D BY:	BM
APP	PD
SCALE	1:100

PROJECT
 Residential Shoring
 15565 Victoria Avenue, White Rock BC

TITLE
 EXCAVATION AND SHORING
 SITE PLAN



DATE:	MAY 6, 2019
PROJECT NO.:	Q088
REV. NO.:	REV 1
DWG No.	G001



REV.1	MAY 2019	ISSUED FOR REVIEW
REV.	DATE	REVISION



Davies Geotechnical Inc.
 #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8
 Tel 604-395-2300 Fax. 604-395-2301

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DWN BY:	BM
CHK'D BY:	BM
APP.	PD
SCALE	1:100

PROJECT
Residential Shoring
 15565 Victoria Avenue, White Rock BC

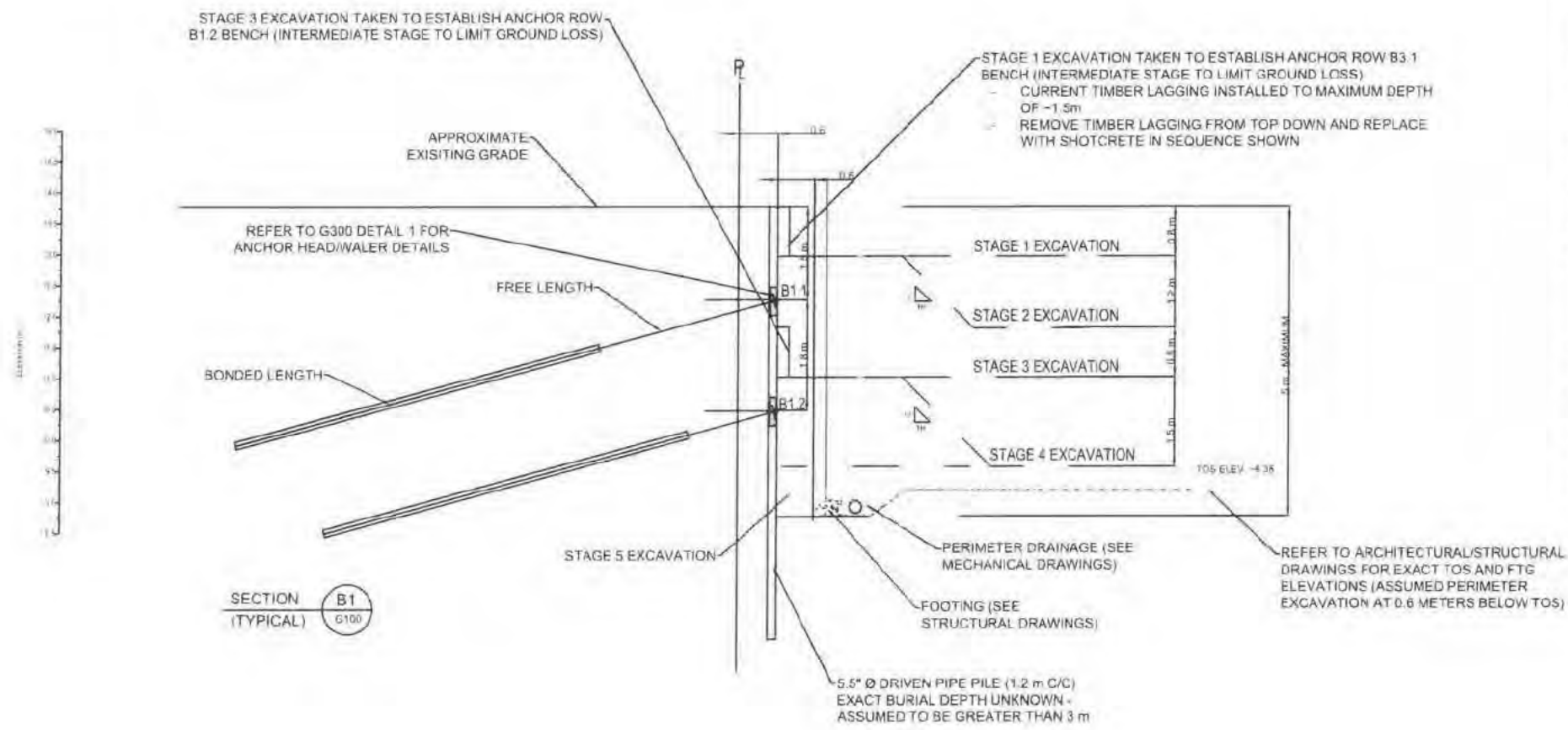
TITLE
**EAST SHORING WALL
 ELEVATION VIEW**



DATE:	MAY 5, 2019
PROJECT NO.:	Q088
REV. NO.:	REV.1
DWG No.:	G100

IMPORTANT NOTES:

- ALL SHORING TO BE COMPLETED IN 3-DAY SEQUENCING AT STAGING SHOWN WITHIN THESE DRAWINGS (UNLESS OTHERWISE SPECIFIED IN WRITING BY GEOTECHNICAL ENGINEER)
- ALL VOIDING TO BE FILLED WITH EXCESS SHOTCRETE THE DAY OF EXCAVATION AND PRIOR TO ADJACENT PANEL EXCAVATION, OR EXCAVATION BELOW VOIDED LOCATION
- BULK EXCAVATION SHOULD NOT EXTEND BELOW SPECIFIED ELEVATIONS UNTIL SHORING WALL HAS BEEN CONSTRUCTED/ANCHORS HAVE BEEN SATISFACTORILY TENSIONED



ALL SHOTCRETE ENCRANCHING OVER CITY PROPERTY LINE IS TO BE REMOVED TO A DEPTH 1.5 METERS BELOW EXISTING GRADES AFTER STRUCTURAL WALLS HAVE BEEN CONSTRUCTED

ALL ANCHORS WITHIN 1.5 METERS OF EXISTING GRADE TO BE FULLY REMOVABLE (AS PER CITY OF WHITE ROCK REQUIREMENTS) ALL ANCHORS BELOW 1.5 METERS ARE TO BE POST GROUTED AFTER TENSIONING

CONTRACTOR TO LOCATE ALL UTILITIES AND ADJACENT FOUNDATIONS PRIOR TO ANCHOR INSTALLATION. IF ANY CONFLICTS ARE IDENTIFIED, THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED TO REVIEW THE DESIGN

SECTION B1 ANCHOR SPECIFICATIONS

ANCHOR	TYPE	HORIZ. SPACING	UBL	BL	LOCKOFF LOAD	PROOF LOAD
B1.1	#7	1.2 m	3.0 m	5.0 m	100 kN (22 kips)	135 kN (30 kips)
B1.2	#7	1.2 m	1.5 m	5.0 m	100 kN (22 kips)	135 kN (30 kips)

THE BOND LENGTHS INDICATED ARE MINIMUM VALUES. THE CONTRACTOR TO INSTALL ANCHORS TO SATISFY THE LOCK OFF AND PROOF LOAD REQUIREMENTS OF THE DESIGN. MINIMUM BOND DIAMETER EQUAL TO 90mm.

REV.	DATE	REVISION
REV.1	MAY 2019	ISSUED FOR REVIEW

DGI **Davies Geotechnical Inc.**
 #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8
 Tel 604-395-2300 Fax 604-395-2301

CLIENT **Redacted S. 22**

DWN BY:	BM
CHKD BY:	BM
APP:	PD
SCALE:	1:100

PROJECT
Residential Shoring
 15565 Victoria Avenue, White Rock BC

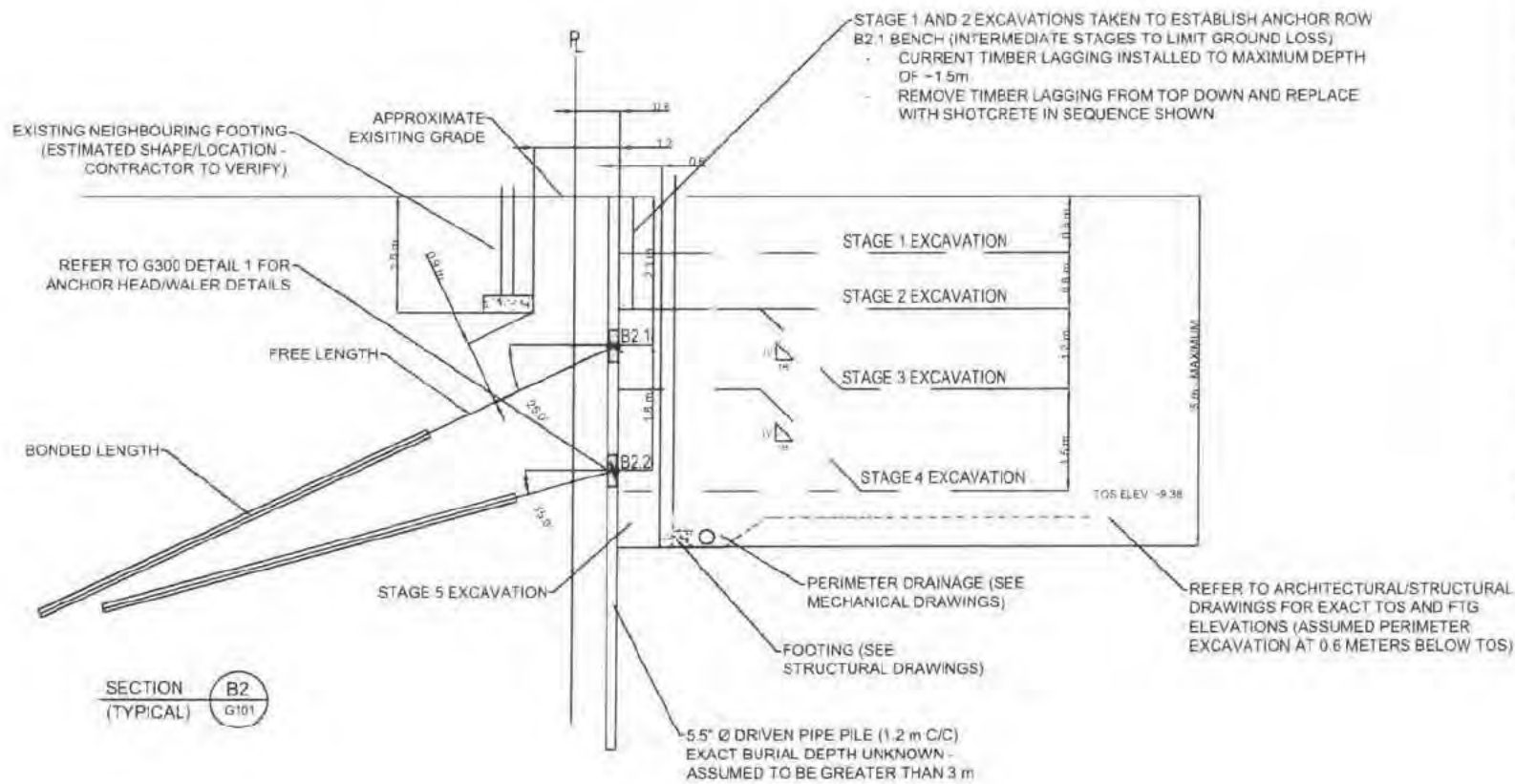
TITLE
TYPICAL CROSS-SECTION VIEW SECTION B1



DATE:	MAY 5, 2019
PROJECT NO:	Q088
REV NO:	REV 1
DWG No:	G200

IMPORTANT NOTES:

- ALL SHORING TO BE COMPLETED IN 3-DAY SEQUENCING AT STAGING SHOWN WITHIN THESE DRAWINGS (UNLESS OTHERWISE SPECIFIED IN WRITING BY GEOTECHNICAL ENGINEER)
- ALL VOIDING TO BE FILLED WITH EXCESS SHOTCRETE THE DAY OF EXCAVATION AND PRIOR TO ADJACENT PANEL EXCAVATION, OR EXCAVATION BELOW VOIDED LOCATION
- BULK EXCAVATION SHOULD NOT EXTEND BELOW SPECIFIED ELEVATIONS UNTIL SHORING WALL HAS BEEN CONSTRUCTED/ANCHORS HAVE BEEN SATISFACTORILY TENSIONED



ALL SHOTCRETE ENCRoACHING OVER CITY PROPERTY LINE IS TO BE REMOVED TO A DEPTH 1.5 METERS BELOW EXISTING GRADES AFTER STRUCTURAL WALLS HAVE BEEN CONSTRUCTED

ALL ANCHORS WITHIN 1.5 METERS OF EXISTING GRADE TO BE FULLY REMOVABLE (AS PER CITY OF WHITE ROCK REQUIREMENTS) ALL ANCHORS BELOW 1.5 METERS ARE TO BE POST GROUTED AFTER TENSIONING

CONTRACTOR TO LOCATE ALL UTILITIES AND ADJACENT FOUNDATIONS PRIOR TO ANCHOR INSTALLATION. IF ANY CONFLICTS ARE IDENTIFIED, THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED TO REVIEW THE DESIGN

SECTION B2 ANCHOR SPECIFICATIONS

ANCHOR	TYPE	HORIZ. SPACING	UBL	BL	LOCKOFF LOAD	PROOF LOAD
B2.1	#7	1.2 m	3.0 m	6.1 m	120 kN (27 kips)	160 kN (36 kips)
B2.2	#7	1.2 m	1.5 m	6.1 m	120 kN (27 kips)	160 kN (36 kips)

THE BOND LENGTHS INDICATED ARE MINIMUM VALUES. THE CONTRACTOR TO INSTALL ANCHORS TO SATISFY THE LOCK OFF AND PROOF LOAD REQUIREMENTS OF THE DESIGN. MINIMUM BOND DIAMETER EQUAL TO 30mm

REV.1	MAY 2019	ISSUED FOR REVIEW
REV.	DATE	REVISION



Davies Geotechnical Inc.
 #2 - 1520 Clivaden Avenue, Delta, B.C. V3M 6J8
 Tel 604-395-2300 Fax. 604-395-2301

Redacted S. 22

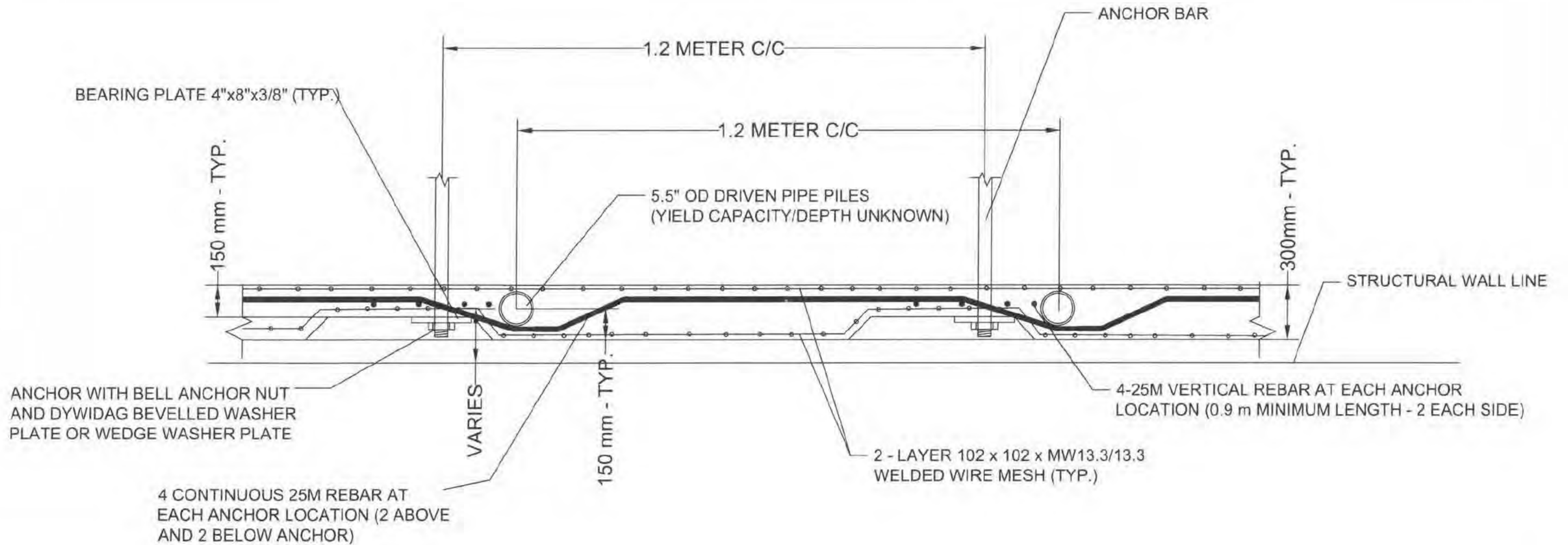
DWN BY: BM
 CHKD BY: BM
 APP: PD
 SCALE: 1:100

PROJECT: Residential Shoring
 15565 Victoria Avenue, White Rock BC

TITLE: TYPICAL CROSS-SECTION VIEW
 SECTION B2




DATE: MAY 6, 2019
 PROJECT NO: Q098
 REV NO: REV.1
 DWG No: G201



DETAIL 1:
 5.5" OD PIPE PILE WITH CONTINUOUS 300 mm SHOTCRETE WALER
 PLAN VIEW
 NTS



			 Davies Geotechnical Inc. #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8 Tel 604-395-2300 Fax. 604-395-2301	DWN BY: BM CHKD BY: BM APP: PD SCALE: NTS	PROJECT: Residential Shoring 15565 Victoria Avenue, White Rock BC TITLE: ANCHOR HEAD/WALER DETAILS	DATE: MAY 5, 2019 PROJECT NO: Q088 REV NO: REV 1 DWG No: G300
REV.1	MAY 2019	ISSUED FOR REVIEW		CLIENT		
REV.	DATE	REVISION	Redacted S. 22			

A. General Notes

A.1 REFERENCE DRAWINGS

Excavation Design – GeoCan Engineering Inc. – Dated June 25, 2018

All dimensions and details on excavation drawing shall be checked by the Contractor for compatibility with the building design plans before commencing work. Discrepancies shall be reported to the Geotechnical Engineer immediately. The shoring drawings should not be used for layout. All layout should be based upon the Architectural and Structural plans.

A.2 GEOTECHNICAL ENGINEER

The Geotechnical Engineer is Davies Geotechnical Inc.
Phone: 604 395 2300 Fax: 604 395 2301

A.3. NOTIFICATION

The Geotechnical Engineer shall be notified a minimum of 48 hours in advance when excavation and shoring works are to proceed. In addition, the Geotechnical Engineer shall be notified of any changes that deviate from the submitted Shoring and Excavation drawings.

A.4. SOIL CONDITIONS

For site soil conditions refer to Geotechnical Report prepared by Western Geotechnical Consultants Ltd. dated July 18, 2016

Shoring design is based on assumed ground conditions. The Geotechnical Engineer may require alterations or additions to the excavation and shoring if conditions warrant. The bond lengths for the anchors are based upon assumed conditions and must be confirmed at the beginning of the contract. The anchors may be lengthened or shortened based upon the results of this testing/review.

A.5. PERMITS AND ENCROACHMENT

If required, the owner will obtain permits and permissions for excavation and encroachment onto adjacent properties. These shall be obtained in writing and provided to the Geotechnical Engineer prior to commencement of construction.

A.6. UTILITIES

It is the contractor's responsibility prior to commencing the work to confirm the location and depth of all services that may be impacted by the proposed shoring work. Utility companies shall be notified at least 24 hours prior to commencement of work. If necessary adjust anchor locations to avoid damaging services. Inform the geotechnical engineer before proceeding with any adjustments.

A.7 BELOW GRADE STRUCTURE

The contractor must locate and obtain information for any below grade building structure onsite or at neighbour properties prior to commencing with the excavation and anchor installation.

A.8 ADHERENCE TO REGULATIONS

The contractor shall comply with the requirements of all regulatory statutes, federal, provincial and municipal, and comply with the requirements of all government departments including the Department of Fisheries and Oceans (DFO), the British Columbia Ministry of Environment for the protection of aquatic habitat, and City plants during the construction works. The contractor shall ensure that all excavation and construction procedures are undertaken in such a manner as to prevent silt-laden runoff from the work site from entering the downstream drainage system.

Excavation slopes which are not shown on this drawing should conform to applicable regulation, including the Industrial Health and Safety Regulations of the Worker's Compensation Board of British Columbia.

A.9 STABILITY AND GROUND MOVEMENT

The shoring and anchors are temporary (unless otherwise noted) and are designed for the duration of construction only.

Shoring should be installed in such a manner as to prevent any loss of ground or significant movement of adjacent properties. Any damage to adjacent property, services and installations due to lack of good workmanship shall be made at the Contractor's expense. The shoring system is a flexible support system and therefore settlements around the perimeter of the excavation can be expected as well as horizontal movements. It is estimated that the lateral and vertical movements of the top of the excavation should be less than 0.25 inches. Larger movements may occur as a result of changed soil conditions or in response to the contractors installation procedures, if the procedures do not conform to those indicated in these specifications. The Contractor should take appropriate measures during excavation to reduce unnecessary movement.

The Geotechnical Engineer has the authority in an emergency to stop the progress of the work and to order remedial measures as necessary whenever, in his opinion, such stoppage or remedial measures may be necessary for the safety of adjacent property.

A.10. EROSION CONTROL

Unless noted or otherwise directed, all slope cuts shall be covered with welded wire mesh and 6 mil polyethylene sheeting and held securely. Mesh is to be tied to 10M pins driven 2 feet into soil at 20 foot spacing.

A.11 SURCHARGE LOADING

The shoring system as designed and shown does not include any allowance for surcharge loading around the perimeter (other than that indicated on the drawings) of the excavation and within a horizontal distance equivalent to one half the depth of the excavation. These surcharge loads could include stockpiled materials, heavy equipment, pumps trucks or concrete trucks adjacent to the shoring system.

B. MATERIALS

Samples and technical specifications for proposed alternative materials may be submitted to the Geotechnical Engineer for technical review.

B.1 STEEL

Steel beam shall be in accordance with the requirements of the relevant specifications indicated in the design drawings

B.2 CONCRETE

Secant pile concrete shall be batched in accordance with manufactures specifications. Concrete to be 1500 psi (10 Mpa) strength at the time of testing. Concrete Testing should be completed at regular interval and the results sent to geotechnical engineer

B.3 GROUT

Anchor grout shall be batched in accordance with manufactures specifications. Grout to be 3000 psi (20 Mpa) strength at the time of testing and 4300 psi (30 Mpa) at 28 days



B.4 ANCHORS

B.4.1 Anchors shall be sized in accordance with the drawings and specifications as indicated in the cross section tables.
B.4.2 Bond lengths shown on the drawings are minimum. The contractor shall flush excess grout with water to ensure that the design unbonded lengths are achieved. Anchors that do not meet the test load requirements shall be replaced at the Contractor's expense.

B.4.3. Supplier to provide mill certification for all anchor bars used.

B.4.4 Unless otherwise noted, injection anchors to be Ischebeck TITAN T-thread , or alternative approved anchor type, with an ultimate strength of at least 1.67 times the design load, and a yield strength of at least 1.5 times the design load.

B.4.5 Bearing plates shall be Grade 36 with center holes to match anchor bar diameters.

				Davies Geotechnical Inc. #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8 Tel 604-395-2300 Fax. 604-395-2301	DWN BY	PROJECT		DATE
					BM	Residential Shoring		MAY 6, 2019
					15565 Victoria Avenue, White Rock BC		PROJECT NO.	
							Q088	
REV 1	MAY 2019	ISSUED FOR REVIEW	CLIENT	Redacted S. 22	APP	TITLE	REV NO.	
REV.	DATE	REVISION			PD	TYPICAL SHOTCRETE AND SHORING	REV 1	
					SCALE	GENERAL NOTES (1/2)	DWG No.	
					NTS		G500	

B.5 SOIL DRAINAGE

B.5.1 Construction Dewatering such as well points or pumping wells may be required to be installed, if deemed necessary by the Geotechnical Engineer.
 B.3.2 Weep holes shall be drilled in the shoring wall at the Geotechnical Engineers discretion.

B.4 All backfill to comply with the City of White Rock criteria.

C.0 INSTALLATION

Contractor to perform daily site review around the excavation and perimeter for the purpose of noting any signs of movement in soils or shoring wall around the excavation. The Contractor should make allowance to repair any possible cracks resulting from the shoring/excavation work on the lane, street and adjacent property. Any cracks adjacent to the excavation shall be sealed immediately to prevent infiltration of water. Any such signs should be reported to the Geotechnical Engineer immediately.

C.1 SECANT PILE WALL

Specifications: unless otherwise stated, concrete, reinforcement and formwork shall be in accordance with the requirements of the relevant specifications.

C.2 EXCAVATION

Prior to excavating the Contractor shall consult with the appropriate authorities to determine the locations of all structures and underground services that may be affected by the work. The Engineer shall be notified at least 48 hours prior to starting of work.

C.3 ANCHORS

Storage, handling and installation procedures shall ensure all material is undamaged and free of deteriorous materials at the point of installation.

Anchors shall be installed into a 3.5 inch diameter drill hole.

C.4 DRILLING

C.4.1 inclination: Anchors shall be installed as indicated on the supplied drawings, unless a conflict with an underground structure is determined, upon which the Geotechnical Engineer will provide an alternate design.
 C.4.2 Splay: Anchors shall be installed perpendicular to the face of the excavation unless otherwise noted.
 C.4.3 Grouting: All grout shall be introduced at the bottom of the drill hole. Any grout extending into the free length shall be removed. If the total grout used on an anchor exceeds three times the theoretical volume required, the Geotechnical Engineer shall be notified.

C.5 INSTALLATION PROCEDURES

C.5.1 Bulk excavate to Stage 1 elevation as shown on the relevant Section view, no deeper than 1 ft below the first row of anchors.
 C.5.2 The first row of anchors shall be drilled and installed, allowing the grout to set sufficiently prior tensioning
 C.5.3 Tension anchors when grout has achieved a minimum grout strength of of 3000 psi (20 MPa). If anchors fail during testing, a replacement anchor should be installed, unless otherwise directed by the Geotechnical Engineer. All anchors must be proporely locked off at the design loads prior excavating below.
 C.5.4. Repeat the procedure for successive stages of excavation and shoring to the final excavation grade.

D. QUALITY CONTROL AND TESTING

D.1 ANCHORS

The Contractor shall provide a suppliers mill certificate.

D.2 ANCHOR TESTING

The geotechnical engineer is to witness and approve the proof testing of all anchors on the project. The Engineer shall be notified at least 24 hours prior to tensioning, de-tensioning and removal of anchors. This work shall not proceed in the absence of the Engineer without his permission. Anchor testing shall be carried out using a calibrated jack and graduated dial gauge, unless otherwise modified by the Geotechnical Engineer on site.

All anchors shall be tested and tensioned per the specifications on the drawings. Creep for all anchors shall be less than 2mm per log cycle of time. In the event that the creep exceed 0.04" for a 10 minute test, the creep test shall be carried out to 1 hour. In the event that anchors fail to meet the load requirements or creep criteria they shall be replaced. In the event that testing indicates that the unbonded length of the anchors is significantly shorter than specified, the anchor load shall be cycled in an attempt to partially break the soil ground bond. In the event that the required unbonded length can not be achieved the anchor shall be replaced.

In the event that ground movements are deemed excessive by the Geotechnical Engineer remedial action may be required. This may include: stopping work temporarily, backfilling, and/or installation of additional anchors

E. DECOMMISSIONING

E.1 BACKFILLING

All backfilling shall comply with the City of White Rock restoration criteria.



E.2 SHORING REMOVAL

Any shotcrete encroaching onto adjacent property should be removed in accordance with the Encroachment Agreement and/or the Authority Having Jurisdiction.

Any earth anchoring rods encroaching onto City property are to be removed within 1.5m of the surface. Shotcrete placed within City Property is to be removed to a depth of 1.5m below surface.

E.3 DETENSIONING

All earth anchoring rods encroaching onto City property below a depth of 1.5m above grade shall be detensioned or post grouted. Do not detension underpinning anchors.

				Davies Geotechnical Inc. #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8 Tel 604-395-2300 Fax 604-395-2301	DWN BY	PROJECT		DATE
					BM	Residential Shoring		MAY 5, 2019
					15565 Victoria Avenue, White Rock BC		PROJECT NO.	
							Q088	
							REV. NO.	
							REV. 1	
REV. 1	MAY 2019	ISSUED FOR REVIEW	CLIENT	Redacted S. 22	APP	TITLE	DWG No.	
REV.	DATE	REVISION			PD	TYPICAL SHOTCRETE AND SHORING	G501	
				SCALE	GENERAL NOTES (2/2)			
				NTS				

Project

**Residential Shoring
15565 Victoria Avenue, White Rock BC**

Client

Redacted S. 22

Drawings Provided By



Davies Geotechnical Inc.

#2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8
Tel 604-395-2300 Fax. 604-395-2301

EXCAVATION AND SHORING DESIGN

Submitted

REV.1 ISSUED FOR REVIEW – MAY 6, 2019

Reference

Excavation Design – GeoCan Engineering Inc. – Dated June 25, 2018

REVISED DRAWING

Please refer to corresponding attached drawing for all building permit related comments

ORIGINAL BUILDING PERMIT DRAWINGS ISSUED ARE REQUIRED TO BE ON-SITE DURING THE ENTIRE DURATION OF THE CONSTRUCTION

TABLE OF CONTENTS



- G000: Cover Page
- G001: Excavation and Site Plan
- G100 East Shoring Wall Elevation View
- G200: Typical Cross Section View – Section B1
- G201: Typical Cross Section View – Section B2
- G300: Anchor Head/Waler Details
- G500: Typical Shotcrete and Shoring General Notes (1/2)
- G501: Typical Shotcrete and Shoring General Notes (2/2)

*GEOTECHNICAL ENGINEER
TO PROVIDE A FIELD
REPORT TO CONFIRM
ALL SHORING ANCHORS
HAVE BEEN DE-TENSIONED
PRIOR TO BACK FILLING*

RECEIVED

AUG 06 2019

THE CORPORATION OF THE
CITY OF WHITE ROCK

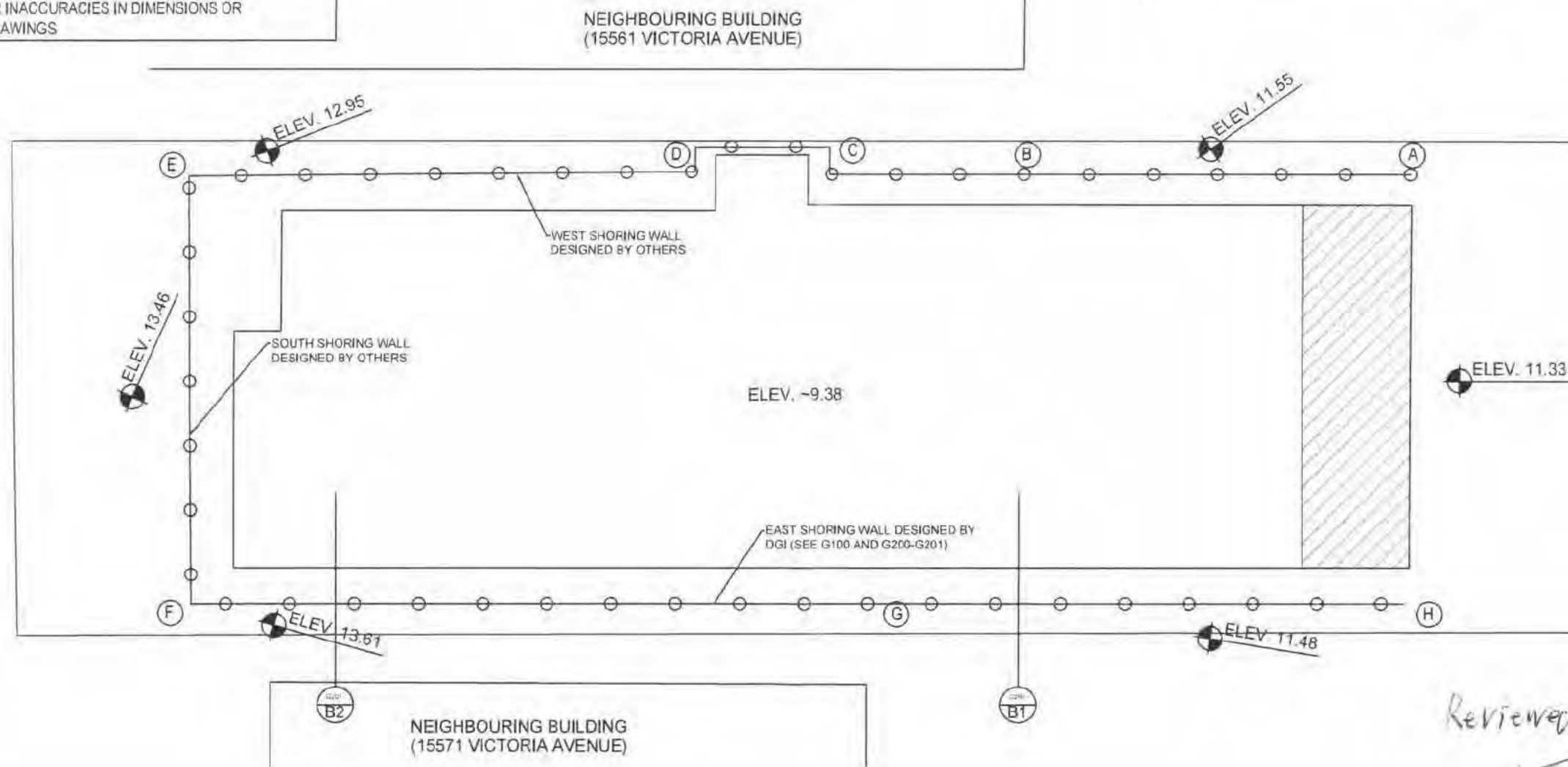
OFFICE COPY

16 - 123

NOTE:
 ALL ELEVATIONS, DIMENSIONS, AND BUILDING/PROPERTY LINE EXTENTS HAVE BEEN SCALED FROM GEOCAN ENGINEERING INC. EXCAVATION DESIGN DRAWING (SCANNED PDF COPY - DATED JUNE 25, 2018) AND MAY NOT BE ENTIRELY ACCURATE.
 THE CONTRACTOR SHOULD REVIEW ALL BUILDING AND SHORING WALL LINES WITH RELEVANT ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 DGI ASSUMES NO RESPONSIBILITY FOR INACCURACIES IN DIMENSIONS OR ELEVATIONS SHOWN WITHIN THESE DRAWINGS

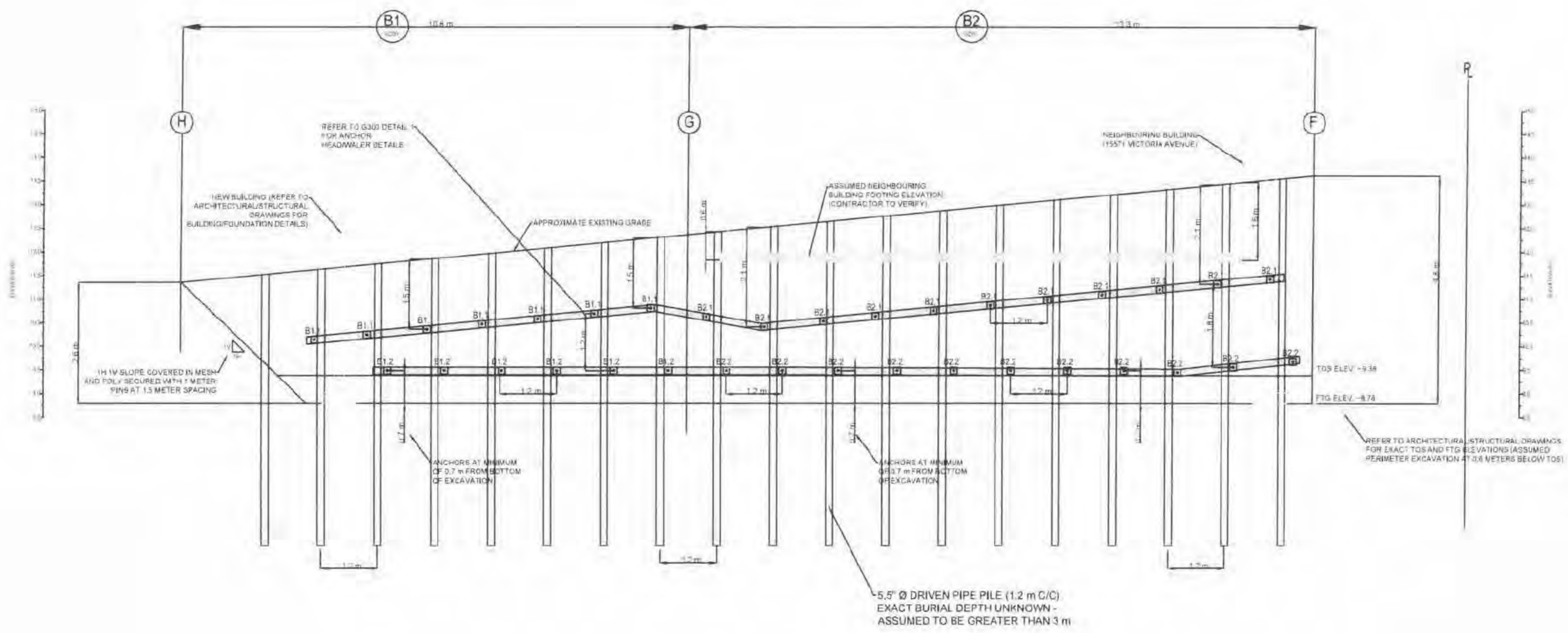
LEGEND

- BUILDING WALL OUTLINE -----
- PROPERTY LINE =====
- WATER MAIN =====
- SANITARY MAIN =====
- CUT SLOPE [Hatched Box]
- ELEVATION (MABL) [Symbol]
- SHORING WALL [Symbol]



Reviewed
 10/13/19

<p>Davies Geotechnical Inc. #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8 Tel 604-395-2300 Fax. 604-395-2301</p>			DWN BY	BM	PROJECT	Residential Shoring 15565 Victoria Avenue, White Rock BC	DATE	MAY 6, 2019
			CHKD BY	BM			PROJECT NO.	Q088
CLIENT Redacted S. 22			APP.	PD	TITLE	EXCAVATION AND SHORING SITE PLAN	REV. NO.	REV.1
			SCALE	1:100	DWG No.	G001		
REV.1	MAY 2019	ISSUED FOR REVIEW						
REV.	DATE	REVISION						



REV.	DATE	REVISION
REV.1	MAY 2019	ISSUED FOR REVIEW

DGI **Davies Geotechnical Inc.**
 #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8
 Tel 604-395-2300 Fax 604-395-2301

CLIENT **Redacted S. 22**

DWN BY	BM
CHK'D BY	BM
APP.	PD
SCALE	1:100

PROJECT
 Residential Shoring
 15565 Victoria Avenue, White Rock BC

TITLE
 EAST SHORING WALL
 ELEVATION VIEW

Reviewed

PROFESSIONAL
 H. J. AN
 #32181
 O. BRITISH
 COLUMBIA
 ENGINEER

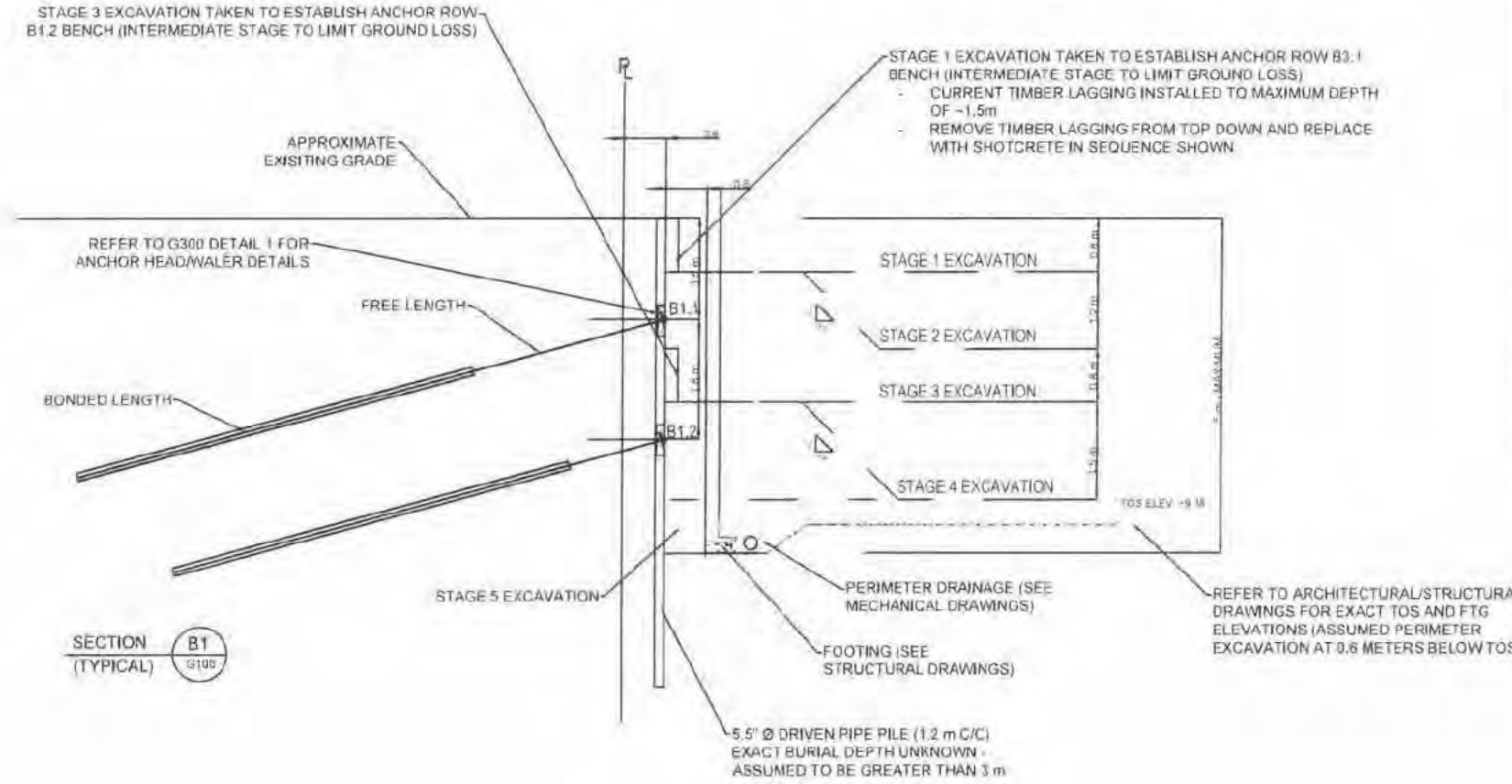
DATE	MAY 5, 2019
PROJECT NO	Q088
REV. NO.	REV.1
DWG No.	G100

IMPORTANT NOTES:
 - ALL SHORING TO BE COMPLETED IN 3-DAY SEQUENCING AT STAGING SHOWN WITHIN THESE DRAWINGS (UNLESS OTHERWISE SPECIFIED IN WRITING BY GEOTECHNICAL ENGINEER)
 - ALL VOIDING TO BE FILLED WITH EXCESS SHOTCRETE THE DAY OF EXCAVATION AND PRIOR TO ADJACENT PANEL EXCAVATION, OR EXCAVATION BELOW VOIDED LOCATION
 - BULK EXCAVATION SHOULD NOT EXTEND BELOW SPECIFIED ELEVATIONS UNTIL SHORING WALL HAS BEEN CONSTRUCTED/ANCHORS HAVE BEEN SATISFACTORILY TENSIONED

ALL SHOTCRETE ENCRDACHING OVER CITY PROPERTY LINE IS TO BE REMOVED TO A DEPTH 1.5 METERS BELOW EXISTING GRADES AFTER STRUCTURAL WALLS HAVE BEEN CONSTRUCTED

ALL ANCHORS WITHIN 1.5 METERS OF EXISTING GRADE TO BE FULLY REMOVABLE (AS PER CITY OF WHITE ROCK REQUIREMENTS) ALL ANCHORS BELOW 1.5 METERS ARE TO BE POST GROUTED AFTER TENSIONING

CONTRACTOR TO LOCATE ALL UTILITIES AND ADJACENT FOUNDATIONS PRIOR TO ANCHOR INSTALLATION. IF ANY CONFLICTS ARE IDENTIFIED, THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED TO REVIEW THE DESIGN.



SECTION B1 ANCHOR SPECIFICATIONS

ANCHOR	TYPE	HORIZ. SPACING	UBL	BL	LOCKOFF LOAD	PROOF LOAD
B1.1	#7	1.2 m	3.0 m	5.0 m	100 kN (22 kips)	135 kN (30 kips)
B1.2	#7	1.2 m	1.5 m	5.0 m	100 kN (22 kips)	135 kN (30 kips)

THE BOND LENGTHS INDICATED ARE MINIMUM VALUES. THE CONTRACTOR TO INSTALL ANCHORS TO SATISFY THE LOCK OFF AND PROOF LOAD REQUIREMENTS OF THE DESIGN. MINIMUM BOND DIAMETER EQUAL TO 30mm

REV.	DATE	REVISION
REV.1	MAY 2019	ISSUED FOR REVIEW
REV.	DATE	REVISION

DGI **Davies Geotechnical Inc.**
 #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8
 Tel 604-395-2300 Fax 604-395-2301

CLIENT: **Redacted S. 22**

DWN BY: BM
 CHKD BY: BM
 APP: PD
 SCALE: 1:100

PROJECT: Residential Shoring
 15565 Victoria Avenue, White Rock BC

TITLE: TYPICAL CROSS-SECTION VIEW SECTION B1

Reviewed

H. JIAN
 #32183
 PROFESSIONAL ENGINEER

DATE	MAY 5, 2019
PROJECT NO	Q088
REV. NO	REV.1
DWG No.	G200

IMPORTANT NOTES:

- ALL SHORING TO BE COMPLETED IN 3-DAY SEQUENCING AT STAGING SHOWN WITHIN THESE DRAWINGS (UNLESS OTHERWISE SPECIFIED IN WRITING BY GEOTECHNICAL ENGINEER)
- ALL VOIDING TO BE FILLED WITH EXCESS SHOTCRETE THE DAY OF EXCAVATION AND PRIOR TO ADJACENT PANEL EXCAVATION, OR EXCAVATION BELOW VOIDED LOCATION
- BULK EXCAVATION SHOULD NOT EXTEND BELOW SPECIFIED ELEVATIONS UNTIL SHORING WALL HAS BEEN CONSTRUCTED/ANCHORS HAVE BEEN SATISFACTORILY TENSIONED

ALL SHOTCRETE ENCRACHING OVER CITY PROPERTY LINE IS TO BE REMOVED TO A DEPTH 1.5 METERS BELOW EXISTING GRADES AFTER STRUCTURAL WALLS HAVE BEEN CONSTRUCTED.

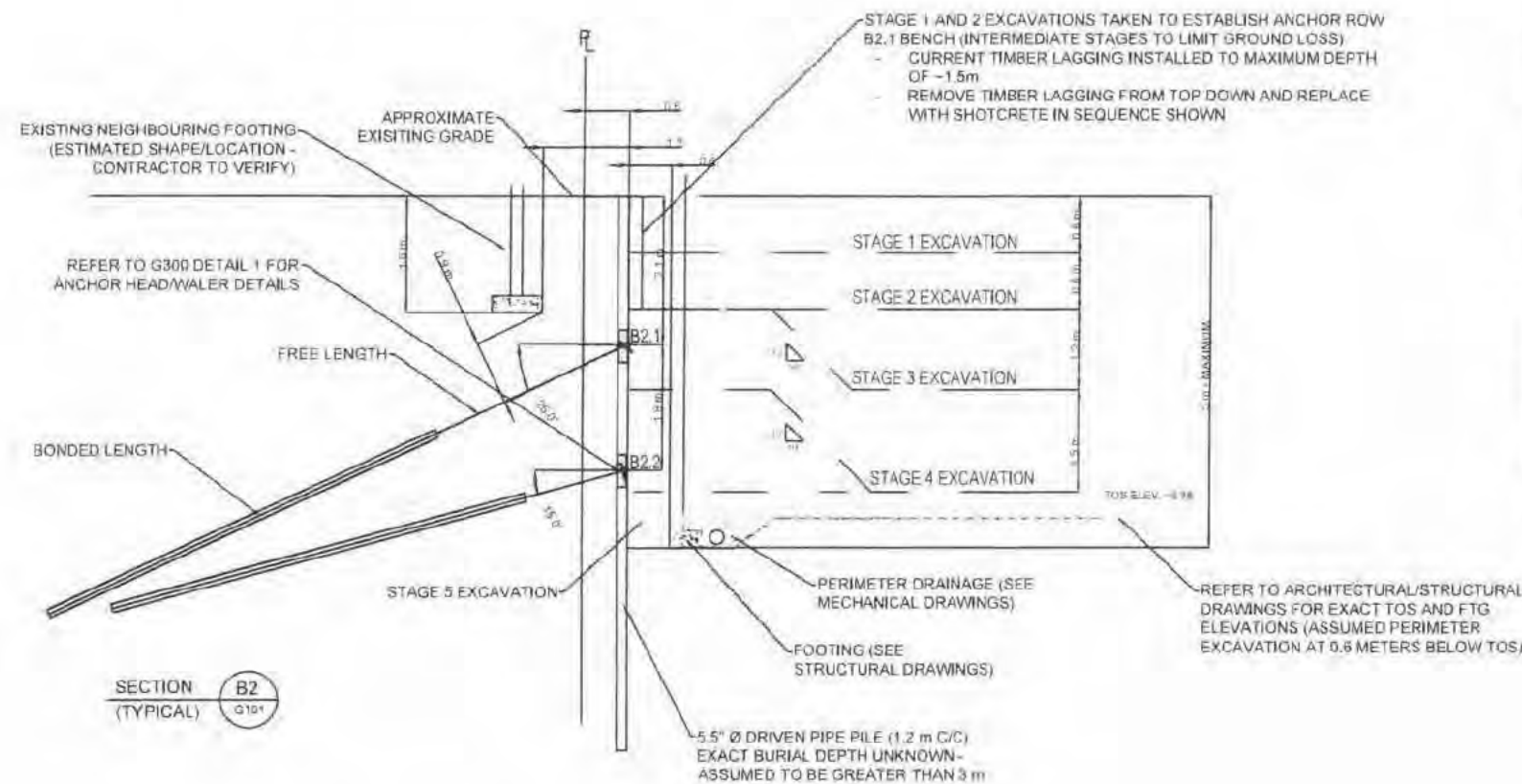
ALL ANCHORS WITHIN 1.5 METERS OF EXISTING GRADE TO BE FULLY REMOVABLE (AS PER CITY OF WHITE ROCK REQUIREMENTS) ALL ANCHORS BELOW 1.5 METERS ARE TO BE POST GROUTED AFTER TENSIONING

CONTRACTOR TO LOCATE ALL UTILITIES AND ADJACENT FOUNDATIONS PRIOR TO ANCHOR INSTALLATION. IF ANY CONFLICTS ARE IDENTIFIED, THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED TO REVIEW THE DESIGN.



SECTION B2 ANCHOR SPECIFICATIONS

ANCHOR	TYPE	HORIZ. SPACING	UBL	BL	LOCKOFF LOAD	PROOF LOAD
B2.1	#7	1.2 m	3.0 m	6.1 m	120 kN (27 kips)	160 kN (36 kips)
B2.2	#7	1.2 m	1.5 m	5.1 m	120 kN (27 kips)	160 kN (36 kips)

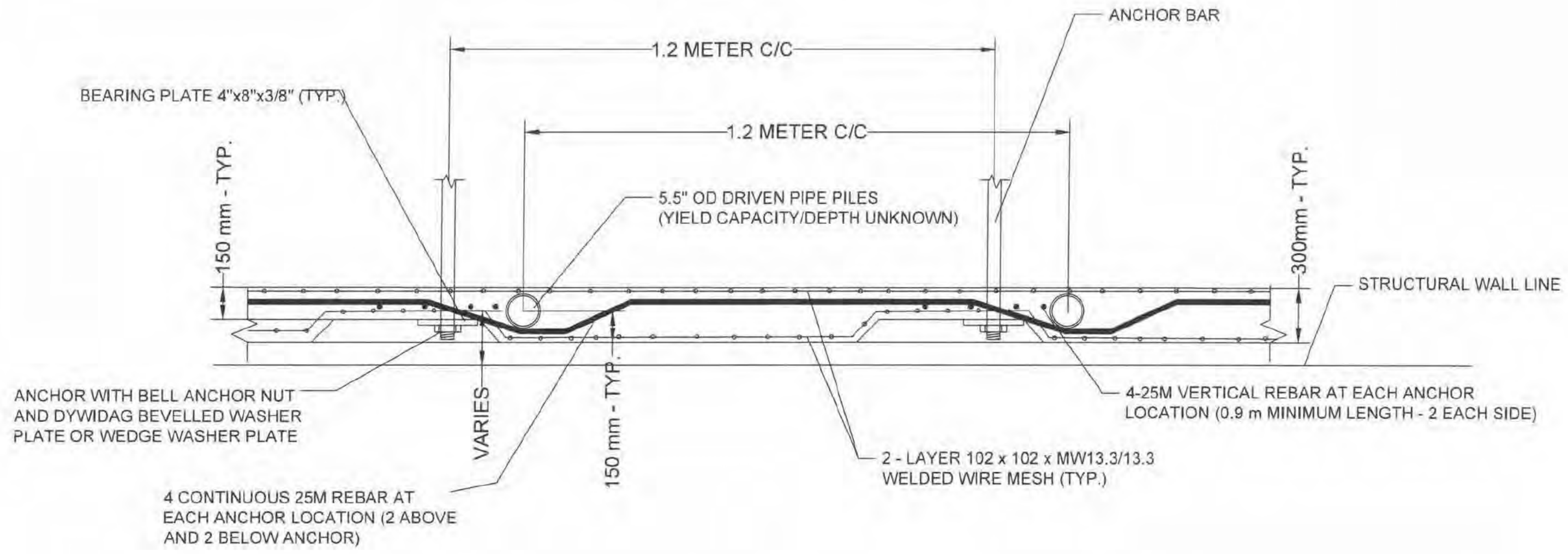
THE BOND LENGTHS INDICATED ARE MINIMUM VALUES. THE CONTRACTOR TO INSTALL ANCHORS TO SATISFY THE LOCKOFF AND PROOF LOAD REQUIREMENTS OF THE DESIGN. MINIMUM BOND DIAMETER EQUAL TO 90mm





SECTION B2 (TYPICAL)

 <p>Davies Geotechnical Inc. #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8 Tel 604-395-2300 Fax. 604-395-2301</p>			<p>DWN BY: BM</p> <p>CHKD BY: BM</p> <p>APP: PD</p> <p>SCALE: 1:100</p>		<p>PROJECT: Residential Shoring 15565 Victoria Avenue, White Rock BC</p> <p>TITLE: TYPICAL CROSS-SECTION VIEW SECTION B2</p>		<p>DATE: MAY 5, 2019</p> <p>PROJECT NO.: Q085</p> <p>REV. NO.: REV. 1</p> <p>DWG No.: G201</p>	
REV. 1	MAY 2019	ISSUED FOR REVIEW	<p>CLIENT: Redacted S. 22</p>		<p>Reviewed</p> 			
REV.	DATE	REVISION						

16-123



DETAIL 1:
5.5" OD PIPE PILE WITH CONTINUOUS 300 mm SHOTCRETE WALER
PLAN VIEW
 NTS

			 Davies Geotechnical Inc. #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8 Tel 604-395-2300 Fax. 604-395-2301	DWN BY BM	PROJECT Residential Shoring 15565 Victoria Avenue, White Rock BC	Reviewed 	DATE MAY 5, 2019
				CHKD BY BM	TITLE ANCHOR HEAD/WALER DETAILS		PROJECT NO. Q088
			CLIENT Redacted S. 22	APP PD		REV. NO. REV. 1	
REV. 1 MAY 2019 ISSUED FOR REVIEW					SCALE NTS		DWG No. G300
REV. DATE REVISION							

A. General Notes

A.1 REFERENCE DRAWINGS

Excavation Design - GeoCan Engineering Inc. - Dated June 25, 2018

All dimensions and details on excavation drawing shall be checked by the Contractor for compatibility with the building design plans before commencing work. Discrepancies shall be reported to the Geotechnical Engineer immediately. The shoring drawings should not be used for layout. All layout should be based upon the Architectural and Structural plans.

A.2 GEOTECHNICAL ENGINEER

The Geotechnical Engineer is Davies Geotechnical Inc.
Phone: 604 395 2300 Fax: 604 395 2301

A.3. NOTIFICATION

The Geotechnical Engineer shall be notified a minimum of 48 hours in advance when excavation and shoring works are to proceed. In addition, the Geotechnical Engineer shall be notified of any changes that deviate from the submitted Shoring and Excavation drawings.

A.4. SOIL CONDITIONS

For site soil conditions refer to Geotechnical Report prepared by Western Geotechnical Consultants Ltd. dated July 18, 2016

Shoring design is based on assumed ground conditions. The Geotechnical Engineer may require alterations or additions to the excavation and shoring if conditions warrant. The bond lengths for the anchors are based upon assumed conditions and must be confirmed at the beginning of the contract. The anchors may be lengthened or shortened based upon the results of this testing/review.

A.5. PERMITS AND ENCROACHMENT

If required, the owner will obtain permits and permissions for excavation and encroachment onto adjacent properties. These shall be obtained in writing and provided to the Geotechnical Engineer prior to commencement of construction.

A.6. UTILITIES

It is the contractor's responsibility prior to commencing the work to confirm the location and depth of all services that may be impacted by the proposed shoring work. Utility companies shall be notified at least 24 hours prior to commencement of work. If necessary adjust anchor locations to avoid damaging services. Inform the geotechnical engineer before proceeding with any adjustments.

A.7 BELOW GRADE STRUCTURE

The contractor must locate and obtain information for any below grade building structure onsite or at neighbour properties prior to commencing with the excavation and anchor installation.

A.8 ADHERENCE TO REGULATIONS

The contractor shall comply with the requirements of all regulatory statutes, federal, provincial and municipal, and comply with the requirements of all government departments including the Department of Fisheries and Oceans (DFO), the British Columbia Ministry of Environment for the protection of aquatic habitat, and City plans during the construction works. The contractor shall ensure that all excavation and construction procedures are undertaken in such a manner as to prevent silt-laden runoff from the work site from entering the downstream drainage system.

Excavation slopes which are not shown on this drawing should conform to applicable regulation, including the Industrial Health and Safety Regulations of the Worker's Compensation Board of British Columbia.

A.9 STABILITY AND GROUND MOVEMENT

The shoring and anchors are temporary (unless otherwise noted) and are designed for the duration of construction only.

Shoring should be installed in such a manner as to prevent any loss of ground or significant movement of adjacent properties. Any damage to adjacent property, services and installations due to lack of good workmanship shall be made at the Contractor's expense. The shoring system is a flexible support system and therefore settlements around the perimeter of the excavation can be expected as well as horizontal movements. It is estimated that the lateral and vertical movements of the top of the excavation should be less than 0.25 inches. Larger movements may occur as a result of changed soil conditions or in response to the contractors installation procedures, if the procedures do not conform to those indicated in these specifications. The Contractor should take appropriate measures during excavation to reduce unnecessary movement.

The Geotechnical Engineer has the authority in an emergency to stop the progress of the work and to order remedial measures as necessary whenever, in his opinion, such stoppage or remedial measures may be necessary for the safety of adjacent property.

A.10. EROSION CONTROL

Unless noted or otherwise directed, all slope cuts shall be covered with welded wire mesh and 6 ml polyethylene sheeting and held securely. Mesh is to be tied to 10M pins driven 2 feet into soil at 20 foot spacing.

A.11 SURCHARGE LOADING

The shoring system as designed and shown does not include any allowance for surcharge loading around the perimeter (other than that indicated on the drawings) of the excavation and within a horizontal distance equivalent to one half the depth of the excavation. These surcharge loads could include stockpiled materials, heavy equipment, pumps trucks or concrete trucks adjacent to the shoring system.

B. MATERIALS

Samples and technical specifications for proposed alternative materials may be submitted to the Geotechnical Engineer for technical review.

B.1 STEEL

Steel beam shall be in accordance with the requirements of the relevant specifications indicated in the design drawings

B.2 CONCRETE

Secant pile concrete shall be batched in accordance with manufactures specifications. Concrete to be 1500 psi (10 Mpa) strength at the time of testing. Concrete Testing should be completed at regular interval and the results sent to geotechnical engineer

B.3 GROUT



Anchor grout shall be batched in accordance with manufactures specifications. Grout to be 3000 psi (20 Mpa) strength at the time of testing and 4300 psi (30 Mpa) at 28 days

B.4 ANCHORS

B.4.1 Anchors shall be sized in accordance with the drawings and specifications as indicated in the cross section tables.
B.4.2 Bond lengths shown on the drawings are minimum. The contractor shall flush excess grout with water to ensure that the design unbonded lengths are achieved. Anchors that do not meet the test load requirements shall be replaced at the Contractor's expense.
B.4.3. Supplier to provide mill certification for all anchor bars used.

B.4.4 Unless otherwise noted, injection anchors to be Ischebeck TITAN T-thread , or alternative approved anchor type, with an ultimate strength of at least 1.67 times the design load, and a yield strength of at least 1.5 times the design load.

B.4.5 Bearing plates shall be Grade 36 with center holes to match anchor bar diameters.

			 <p>Davies Geotechnical Inc. #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8 Tel 604-395-2300 Fax 604-395-2301</p>	DWN BY	BM	PROJECT	Residential Shoring 15565 Victoria Avenue, White Rock BC	Reviewed 	DATE	MAY 6, 2018
				CHKD BY	BM				TITLE	TYPICAL SHOTCRETE AND SHORING GENERAL NOTES (1/2)
REV.1	MAY 2019	ISSUED FOR REVIEW	CLIENT	APP.	PD			REV. NO.	REV. 1	
REV.	DATE	REVISION			SCALE	NTS			DWG No.	G500

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B.5 SOIL DRAINAGE

B.5.1 Construction Dewatering such as well points or pumping wells may be required to be installed, if deemed necessary by the Geotechnical Engineer.
 B.3.2 Weep holes shall be drilled in the shoring wall at the Geotechnical Engineers discretion.

B.4 All backfill to comply with the City of White Rock criteria.

C.0 INSTALLATION

Contractor to perform daily site review around the excavation and perimeter for the purpose of noting any signs of movement in soils or shoring wall around the excavation. The Contractor should make allowance to repair any possible cracks resulting from the shoring/excavation work on the lane, street and adjacent property. Any cracks adjacent to the excavation shall be sealed immediately to prevent infiltration of water. Any such signs should be reported to the Geotechnical Engineer immediately.

C.1 SECANT PILE WALL

Specifications: unless otherwise stated, concrete, reinforcement and formwork shall be in accordance with the requirements of the relevant specifications.

C.2 EXCAVATION

Prior to excavating the Contractor shall consult with the appropriate authorities to determine the locations of all structures and underground services that may be affected by the work. The Engineer shall be notified at least 48 hours prior to starting of work.

C.3 ANCHORS

Storage, handling and installation procedures shall ensure all material is undamaged and free of deteriorous materials at the point of installation.

Anchors shall be installed into a 3.5 inch diameter drill hole.

C.4 DRILLING

C.4.1 Inclusion: Anchors shall be installed as indicated on the supplied drawings, unless a conflict with an underground structure is determined, upon which the Geotechnical Engineer will provide an alternate design.
 C.4.2 Splay: Anchors shall be installed perpendicular to the face of the excavation unless otherwise noted.
 C.4.3 Grouting: All grout shall be introduced at the bottom of the drill hole. Any grout extending into the free length shall be removed. If the total grout used on an anchor exceeds three times the theoretical volume required, the Geotechnical Engineer shall be notified.

C.5 INSTALLATION PROCEDURES

C.5.1 Bulk excavate to Stage 1 elevation as shown on the relevant Section view, no deeper than 1 ft below the first row of anchors.
 C.5.2 The first row of anchors shall be drilled and installed, allowing the grout to set sufficiently prior tensioning
 C.5.3 Tension anchors when grout has achieved a minimum grout strength of of 3000 psi (20 MPa). If anchors fail during testing, a replacement anchor should be installed, unless otherwise directed by the Geotechnical Engineer. All anchors must be proporely locked off at the design loads prior excavating below.
 C.5.4. Repeat the procedure for successive stages of excavation and shoring to the final excavation grade.

D. QUALITY CONTROL AND TESTING

D.1 ANCHORS

The Contractor shall provide a suppliers mill certificate.

D.2 ANCHOR TESTING

The geotechnical engineer is to witness and approve the proof testing of all anchors on the project. The Engineer shall be notified at least 24 hours prior to tensioning, de-tensioning and removal of anchors. This work shall not proceed in the absence of the Engineer without his permission. Anchor testing shall be carried out using a calibrated jack and graduated dial gauge, unless otherwise modified by the Geotechnical Engineer on site.

All anchors shall be tested and tensioned per the specifications on the drawings. Creep for all anchors shall be less than 2mm per log cycle of time. In the event that the creep exceed 0.04" for a 10 minute test, the creep test shall be carried out to 1 hour. in the event that anchors fail to meet the load requirements or creep criteria they shall be replaced. In the event that testing indicates that the unbonded length of the anchors is significantly shorter than specified, the anchor load shall be cycled in an attempt to partially break the soil ground band. In the event that the required unbonded length can not be achieved the anchor shall be replaced.

In the event that ground movements are deemed excessive by the Geotechnical Engineer remedial action may be required. This may include: stopping work temporarily, backfilling, and/or installation of additional anchors

E. DECOMMISSIONING

E.1 BACKFILLING

All backfilling shall comply with the City of White Rock restoration criteria.


E.2 SHORING REMOVAL

Any shotcrete encroaching onto adjacent property should be removed in accordance with the Encroachment Agreement and/or the Authority Having Jurisdiction.

Any earth anchoring rods encroaching onto City property are to be removed within 1.5m of the surface. Shotcrete placed within City Property is to be removed to a depth of 1.5m below surface.

E.3 DETENSIONING

All earth anchoring rods encroaching onto City property below a depth of 1.5m above grade shall be detensioned or post grouted. Do not detension underpinning anchors.

 Davies Geotechnical Inc. #2 - 1520 Cliveden Avenue, Delta, B.C. V3M 6J8 Tel 604-395-2300 Fax. 604-395-2301			DWN BY: BM CHKD BY: BM APP: PD SCALE: NTS	PROJECT: Residential Shoring 15565 Victoria Avenue, White Rock BC TITLE: TYPICAL SHOTCRETE AND SHORING GENERAL NOTES (2/2)	DATE: MAY 5, 2015 PROJECT NO: Q088 REV NO: REV.1 DWG No: G501
REV.1	MAY 2019	ISSUED FOR REVIEW	CLIENT	Redacted S. 22	
REV.	DATE	REVISION			



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MAY 2017

GENERAL NOTES:

- DESIGN CRITERIA: ALL MATERIAL, WORKMANSHIP AND GUARDRAIL LOADS SHALL CONFORM WITH THE REQUIREMENTS OF PARTS 3, 4 & 9 OF THE 2012 BRITISH COLUMBIA BUILDING CODE AND THE 2010 NATIONAL CODE OF CANADA AND ALL REFERENCED CODES. CHANGES MAY BE NECESSARY DUE TO LOCAL BUILDING REGULATIONS AND THE SITE CONDITIONS.
- INSTALLER IS TO SEAL ALL PENETRATIONS THROUGH FLASHINGS, CLADDING OR MEMBRANES WITH APPROVED SEALANT.
- NOTIFY T. N. ENGINEERING LTD. 24 HRS IN ADVANCE FOR INSPECTION OF WOOD BLOCKING C/W METAL STRAP TO RECEIVE CONNECTION OF GUARDRAIL POST PRIOR TO INSTALLATION OF PLYWOOD SHEATHING AND ALSO STRUCTURAL COMPONENTS OF ALUMINUM / GLASS GUARDRAIL TO BE CHECKED AND APPROVED BY A STRUCTURAL ENGINEER PRIOR TO OCCUPANCY OF HOUSE OWNER.
- GENERAL CONTRACTOR TO VERIFY EXISTING CONDITION OF SUPPORTING MEMBERS PRIOR TO INSTALLATION OF STRUCTURAL COMPONENTS OF ALUMINUM RAILS. NOTIFY ANY DISCREPANCY TO STRUCTURAL ENGINEER.
- GENERAL CONTRACTOR SHALL ENSURE THAT WORK IS BEING DONE ACCORDING TO LATEST DRAWINGS "ISSUED FOR CONSTRUCTION".
- GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND DETAILS INDICATED ON THE STRUCTURAL DRAWINGS FOR COMPATABILITY WITH THE ARCHITECTURAL AND OTHER CONSULTANT DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.

MATERIALS (STRUCTURAL STEEL & ALUMINUM) :

- ALL ALUMINUM STRUCTURAL SHAPES (PLATES, ANGLES, CHANNELS, PIPES AND TUBES) ARE ALCAN ALLOY 6061-T6 OR 6005-T5. DESIGN, FABRICATION AND CONSTRUCTION IS ACCORDING TO CAN/CSA-S157-05, CAN/CSA-S157.1-05
- ALL RAILING ALUMINUM CUSTOM EXTRUSIONS SHALL BE ALCAN ALLOY 6005-T5.
- ALL STEEL SHAPES HSS, WIDE FLANGE: CAN/CSA- G40.21-350W ANGLES, CHANNEL, PLATE: CAN/CSA-G40.21-300W UNITSTRUT CHANNEL ASTM A570 GR33 UNITSTRUT FITTINGS ASTM A575 GR33
- ALL DRILLED BOLTS INSTALLED IN CONCRETE TO BE ASTM-F593 Gr.304 OR 316 STAINLESS STEEL MANUFACTURED BY HILTI CANADA LTD.

MATERIALS (STRUCTURAL STEEL & ALUMINUM)(CONTINUED)

- ALL POP RIVETS TO HAVE DOME HEADS, ALUM, SHAFTS AND COATED STEEL MANDRELS AND TO BE MANUFACTURED BY TEXTRON FASTENING SYSTEMS OR COMPARABLE QUALITY.
- ALL LAG SCREWS AND BOLTS TO BE STAINLESS STEEL AND MEET ASTM STANDARD. WHEN DETERMINING THE REQUIRED LENGTH FOR LAG SCREWS PLEASE NOTE THAT THE MINIMUM EMBEDMENT SPECIFIED ON THESE DRAWINGS MEANS THE THREADED PORTION OF THE LAG SCREWS IN FULL DEPTH OF BACKING NOT INCLUDING THE TIP AND THE UNTHREADED SHANK PORTION.

MATERIAL (GLASS) :

- GLASS IS DESIGNED IN CONFORMANCE WITH CAN/CGSB 12.20-M89.

FABRICATION

- ALL PARTS TO BE FABRICATED PLUMB AND SQUARE WITHIN TOLERANCE OF 0.5%
- ALL ALUM. WELDING AS PER CSA W95.2 M-1991, FILLET WELDS SIZE MIN. 3MM, U.N.O.
- ALL STEEL WELDING AS PER CSA W59-03, FILLET WELDS SIZE MIN. 4MM, U.N.O.

INSTALLATION :

- ALL RAIL COMPONENTS TO BE INSTALLED PLUMB AND SQUARE WITH A TOLERANCE OF 0.5%± TO A TOTAL DISPLACEMENT OF 13MM.
- ALL ANCHOR SHIELDS TO BE INSTALLED TO MANUFACTURE INSTRUCTIONS.
- INSTALL LAG SCREWS TO CSA STANDARD 086-01. (SEE ALSO MATERIALS NOTE 5 ABOVE).
- CONCRETE EMBEDMENT FOR 10MMØ KWIK BOLTS 75MM MIN. & FOR 13MMØ KWIK BOLTS EMBEDDED 100MM MIN.
- NO BURNING OF HOLES OR FIELD CUTTING SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE ENGINEER.

WOOD :

- WOOD FRAMING IS PERFORMED BY OTHERS.
- ASSUMED WOOD BACKING D-FIR No.1/2 OR BETTER. LAG SCREWS ARE DESIGNED FOR DRY SERVICE DONDITION.
- GENERAL CONTRACTOR SHALL INFORM ENGINEER IN WRITING IF WOOD SPECIES AND / OR GRADE DIFFERS AND SHALL WAIT FOR DIRECTION FROM ENGINEER BEFORE PROCEEDING.

CONCRETE:

- CONCRETE WORK IS PERFORMED BY OTHERS.
- ASSUMED CONCRETE 28 - DAY COMPRESSIVE STRENGTH IS 30 MPA (4,400 PSI) FOR THE PURPOSES OF ANCHORAGE TO CONCRETE.
- MINIMUM EDGE DISTANCE IN CONCRETE IS AS SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL INFORM ENGINEER IN WRITING IF CONCRETE STRENGTH OR ANCHOR EDGE DISTANCE DIFFERS AND SHALL WAIT FOR DIRECTION FROM THE ENGINEER BEFORE PROCEEDING.

HANDRAIL AND GUARDRAIL LOADS

1. HORIZONTAL DESIGN LOADS: (GUARDRAILS)

BALCONIES OF RESIDENTIAL UNITS : 50 PLF OR 225 LBS ALSO USED WITHIN RESIDENTIAL UNITS FOR GLASS WALLS BELOW 3'-6" HIGH

EXITS, STAIR, WALKWAYS, & MISC.: 50 PLF OR 225 LBS AT ANY LOCATION

CATWALKS IN MECHANICAL SPACES: 225 LBS AT ANY LOCATION

CONTIGUOUS STAIRS, ETC.: 225 LBS AT ANY LOCATION

GRANDSTAND, STADIA, ARENA, ETC.: 200 PLF

VEHICLE GUARDS: 5000 LBS AT 20" ABOVE FLOOR SURFACE AT ANY LOCATION.

ELEMENTS WITHIN GUARDRAIL: 110 LBS AT ANY LOCATION NOT IN COMBINATION WITH FOREGOING LOADS.

2. VERTICAL DESIGN LOADS: (GUARDRAILS)

VERTICAL AT TOP OF GUARDRAIL: 100 PLF NOT IN COMBINATION WITH FOREGOING LOADS.

3. HORIZONTAL DESIGN LOADS: (HANDRAIL)

STAIR HANDRAILS OR BUILDING ELEMENT THAT USED AS HANDRAILS: 200 LBS AT ANY POINT OR 48 PLF.

4. OTHER LOADS:

SEISMIC FACTOR: $S_a(0.2) = 1.10$, $S_a(0.5) = 0.76$
 $S_a(1.0) = 0.35$, $S_a(2.0) = 0.18$
PGA = 0.57

WIND LOAD: $9(1/10) = 7.10$ PSF

$9(1/50) = 9.18$ PSF

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NO.	REVISIONS	DATE
1.	ISSUED FOR BLDG PERMIT	02/21/17



DESIGN:	TNT
DRAWN:	DP
CHECKED:	INT
PROJ. NO.:	SFHG15-17
SCALE:	AS SHOWN
DATE:	FEB. 21, 2017

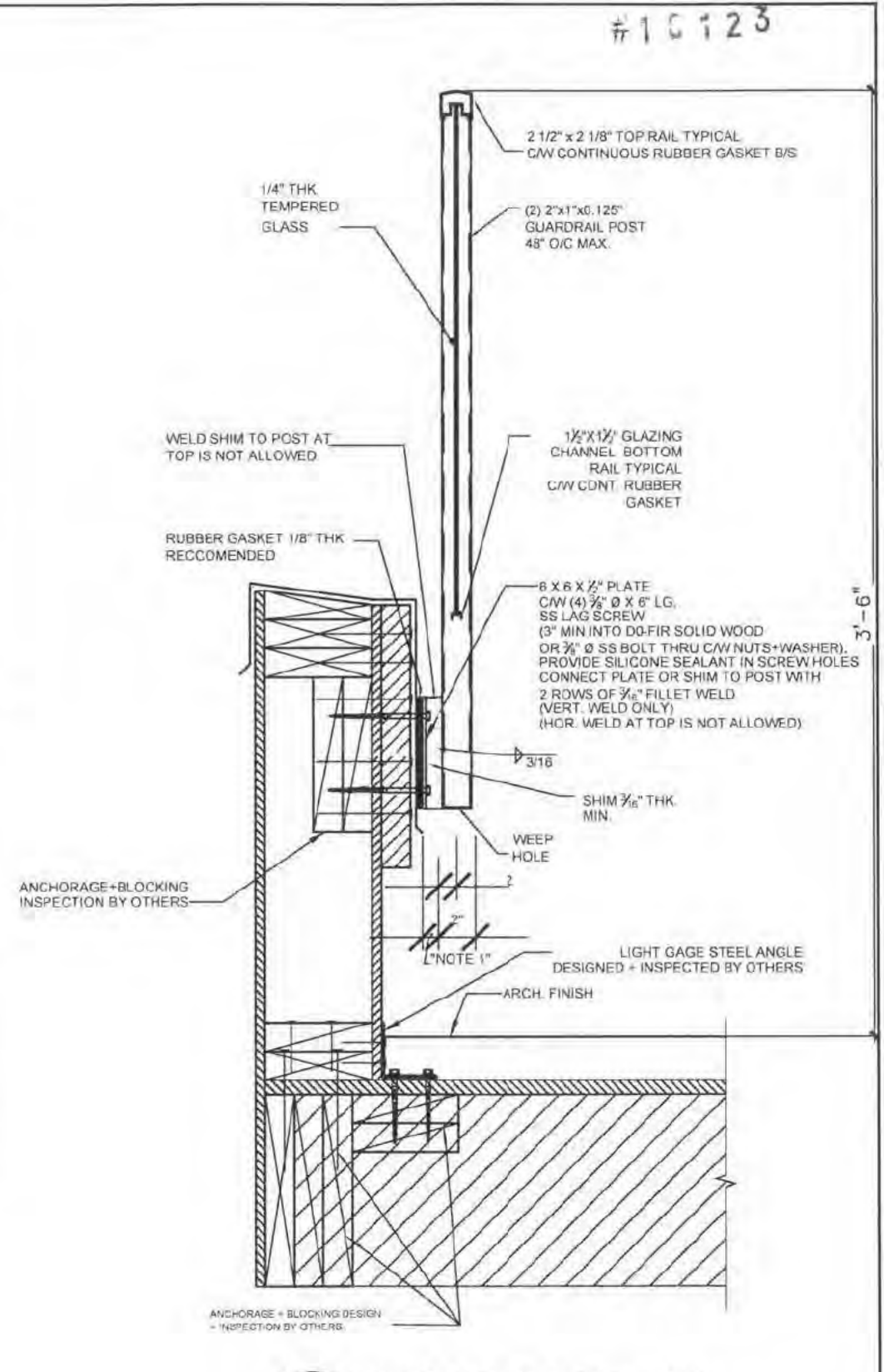
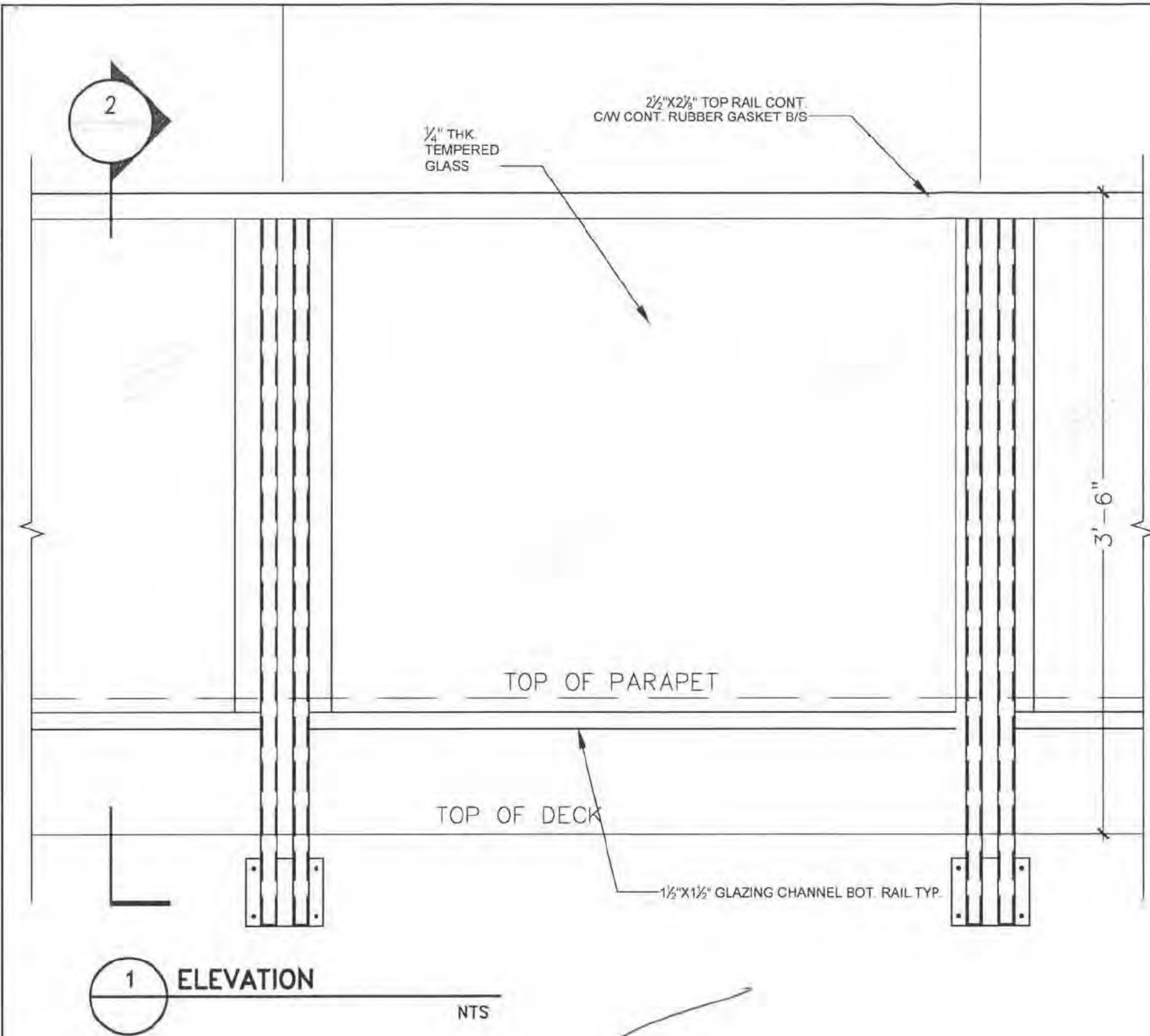
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PROJECT:	SINGLE FAMILY HOUSE 15565 VICTORIA AVE., WHITE ROCK, BC

TITLE:	SPECIFICATIONS
--------	----------------

TONG NGO
ENGINEERING LTD.
16908 77A AVE
SURREY, B.C
V4N 6L2
PH: (604) 572-2120 / F: (604) 572-2118
E-MAIL: info@tongngoengineering.ca

LAST MODIFIED: DRAWING: SK1

#10123



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NO.	REVISIONS	DATE
1.	ISSUED FOR BLDG PERMIT	02/21/17



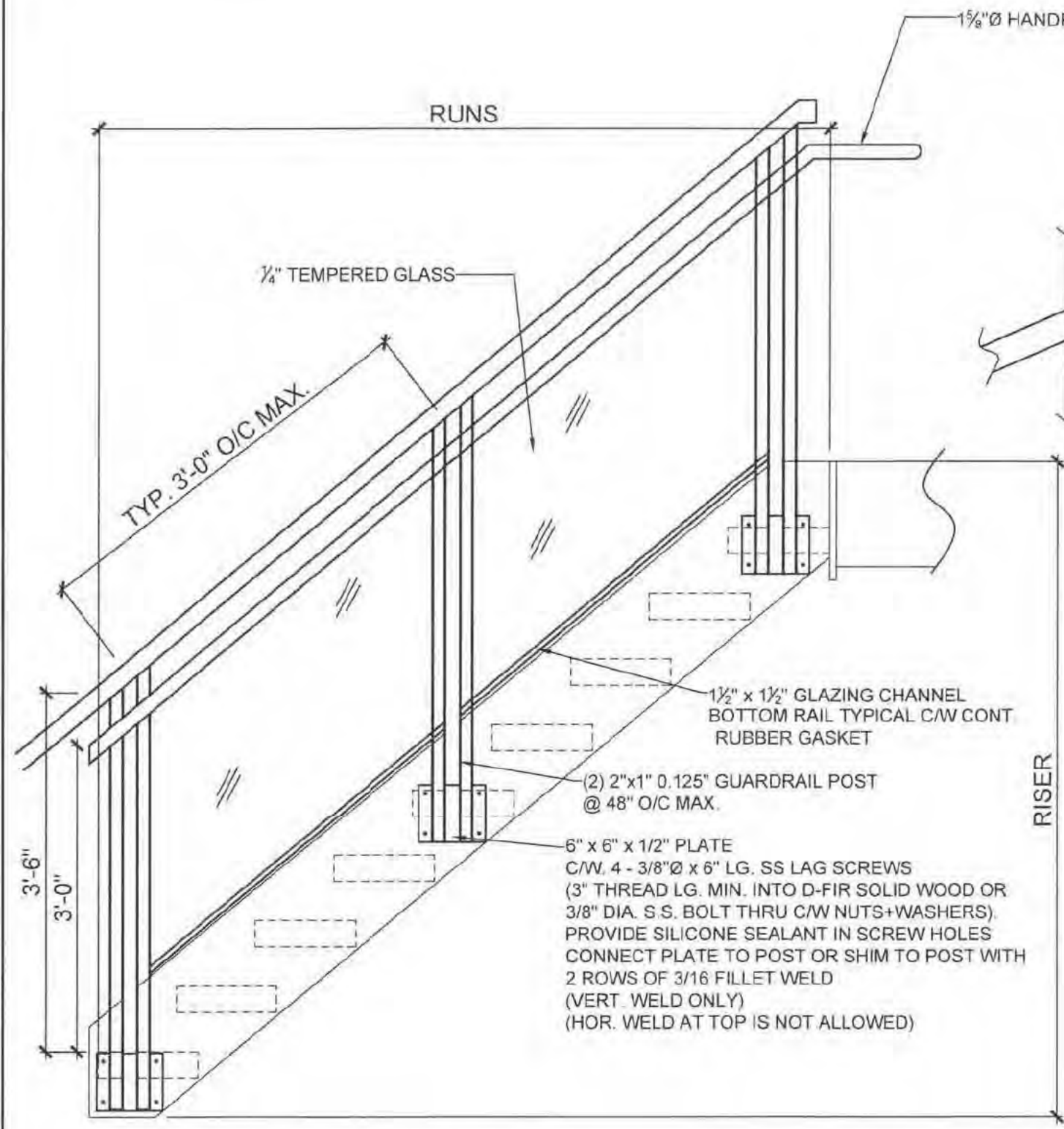
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CHECKED:	TNT
PROJ. NO.:	SFHGD-17
SCALE:	AS SHOWN
DATE:	FEB. 21, 2017

CLIENT:
 PROJECT: SINGLE FAMILY HOUSE
 15565 VICTORIA AVE., WHITE ROCK, BC

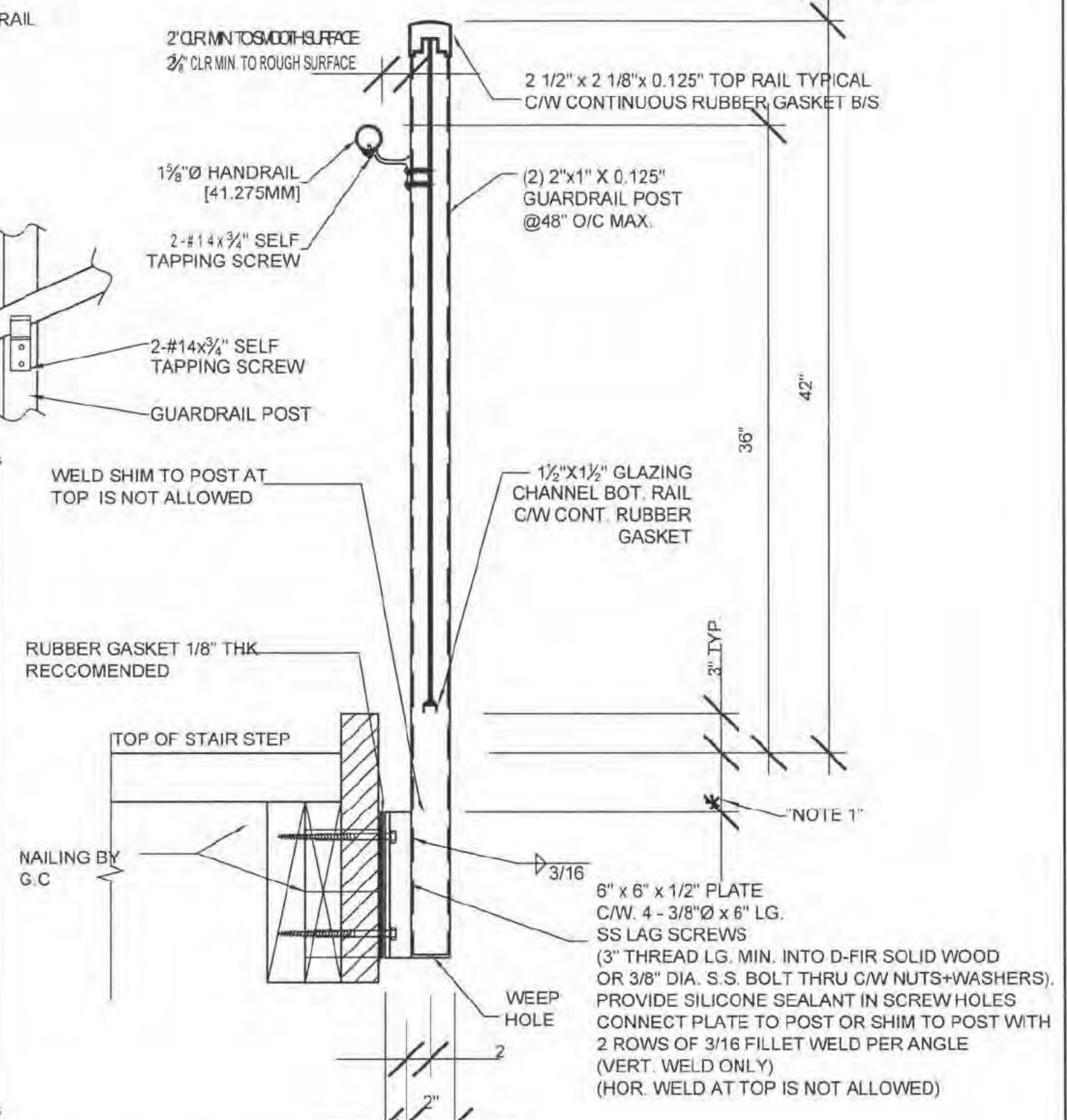
TITLE:
 ELEVATIONS & DETAIL OF EXTERIOR GLASS GUARDRAIL W/ PARAPET WALL

TONG NGO
 ENGINEERING LTD.
 16968 77A AVE SURREY, BC V4N 6L2
 Email: info@tngengineering.ca
 PH: (604) 372-2120 / F: (604) 372-2118
 LAST MODIFIED: DRAWING: SK2

#16123



1 TYPICAL GUARDRAIL ELEVATION
NTS



2 TYPICAL GUARDRAIL SECTION
NTS

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NO.	REVISIONS	DATE
1.	ISSUED FOR BLDG PERMIT	02/21/17

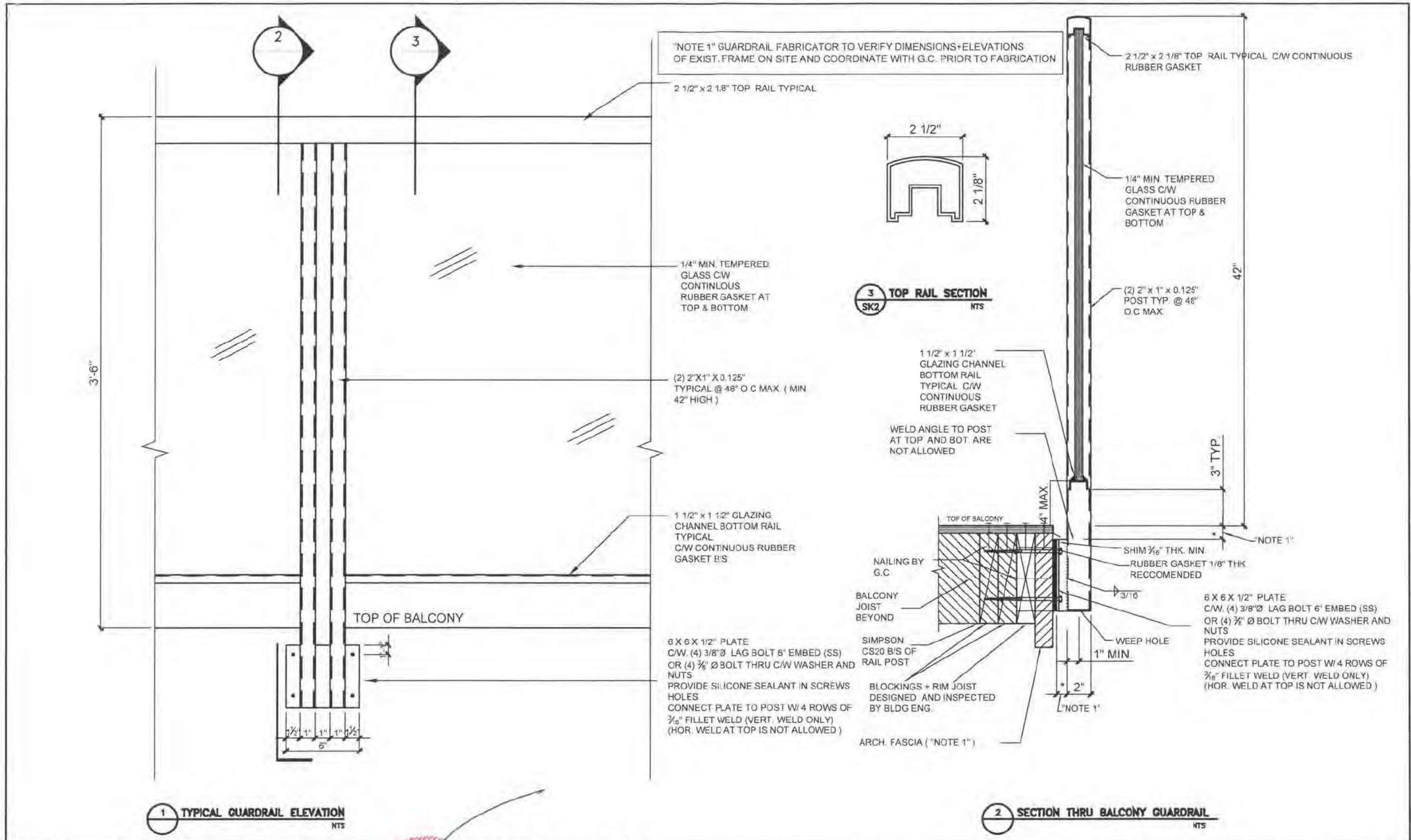


DESIGNER: TNT
DRAWN: DP
CHECKED: TNT
PROJECT NO: SFMGI0-17
SCALE: AS SHOWN
DATE: FEB. 21, 2017

CLIENT: SINGLE FAMILY HOUSE
15565 VICTORIA AVE., WHITE ROCK, BC

TITLE: STAIR GLASS GUARDRAIL SECTION & ELEVATIONS

TONG NGO
ENGINEERING LTD.
16988 77A AVE
SURREY, B.C.
V4N 6L2
E-MAIL: info@tngengineering.ca
PH: (604) 572-2120 / F: (604) 572-2118
LAST MODIFIED: DRAWING: SK3



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NO.	REVISIONS	DATE
1.	ISSUED FOR BLDG PERMIT	02/21/17

SEAL
PROFESSIONAL ENGINEER
T. T. NGO
P. 21974
FEB 21/17

DESIGN: INT
DRAWN: DP
CHECKED: INT
PROJ. NO.: SFMGTD-17
SCALE: AS SHOWN
DATE: FEB. 21, 2017

CLIENT:
PROJECT: SINGLE FAMILY HOUSE
15565 VICTORIA AVE., WHITE ROCK, BC

TITLE: CONNECTION DETAILS

16968 77A AVE
SURREY, B.C
V4N 6L2
EMAIL: info@tongngoengineering.co
TONG NGO
ENGINEERING LTD.
Ph: (604) 572-2120 / T: (604) 572-2118
LAST MODIFIED: DRAWING: SK4

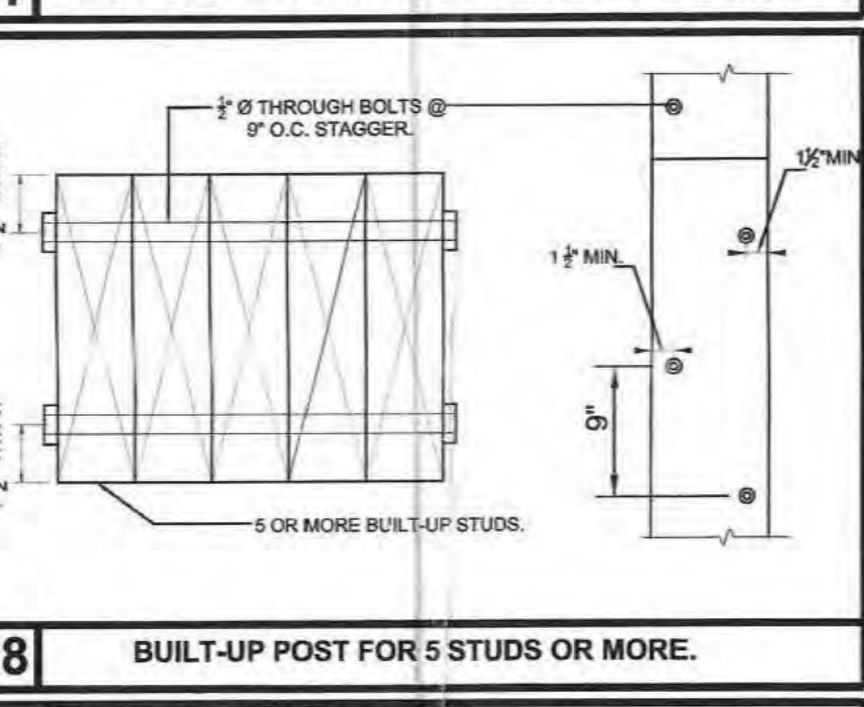
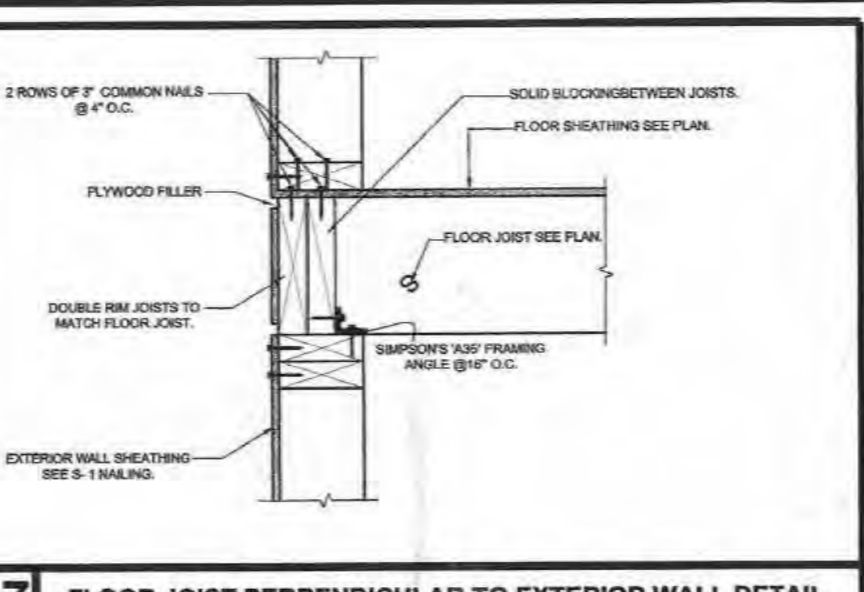
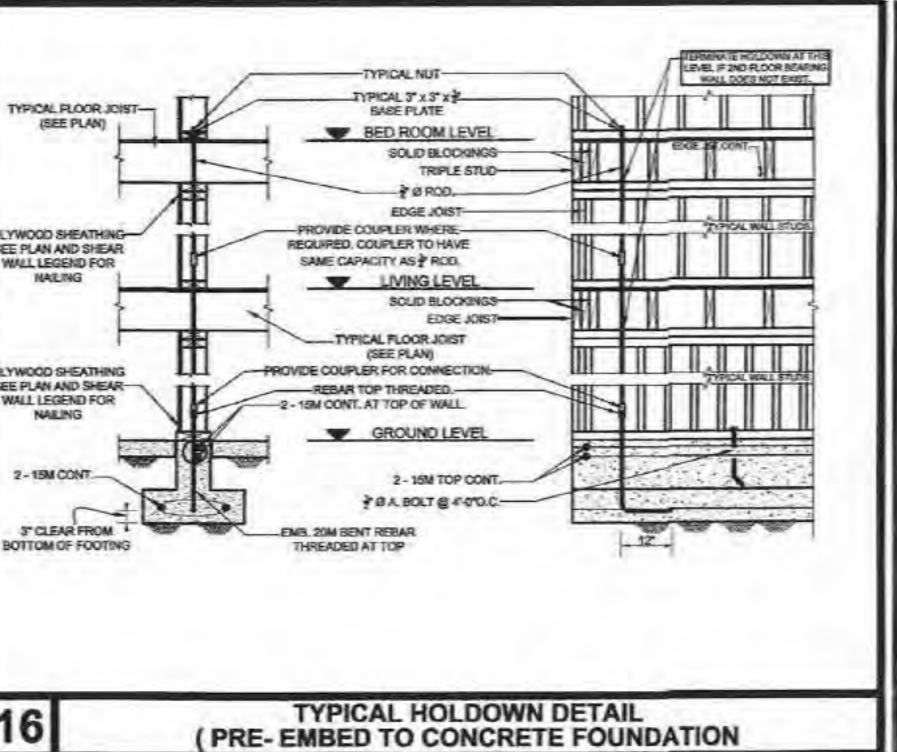
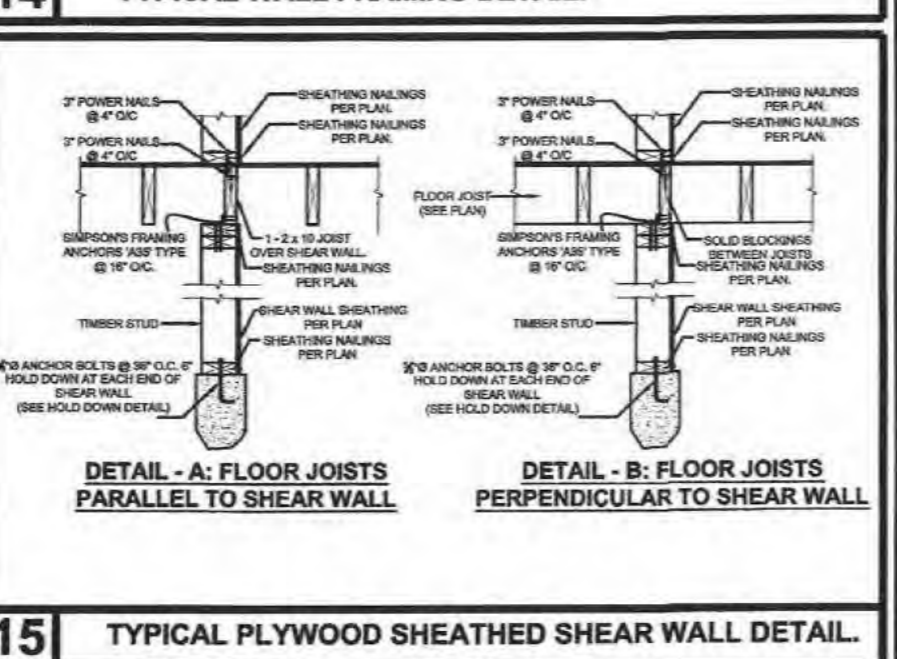
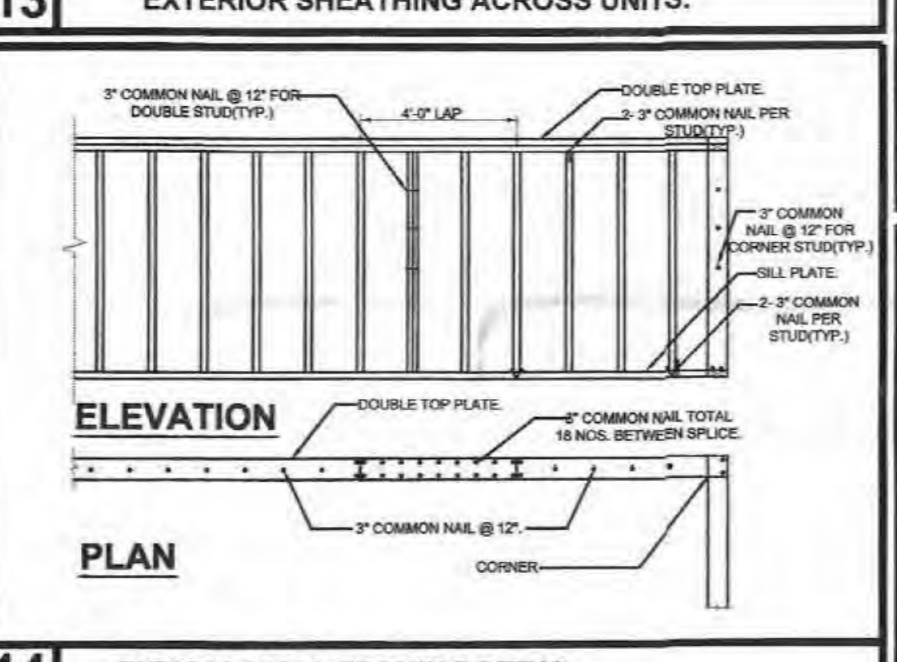
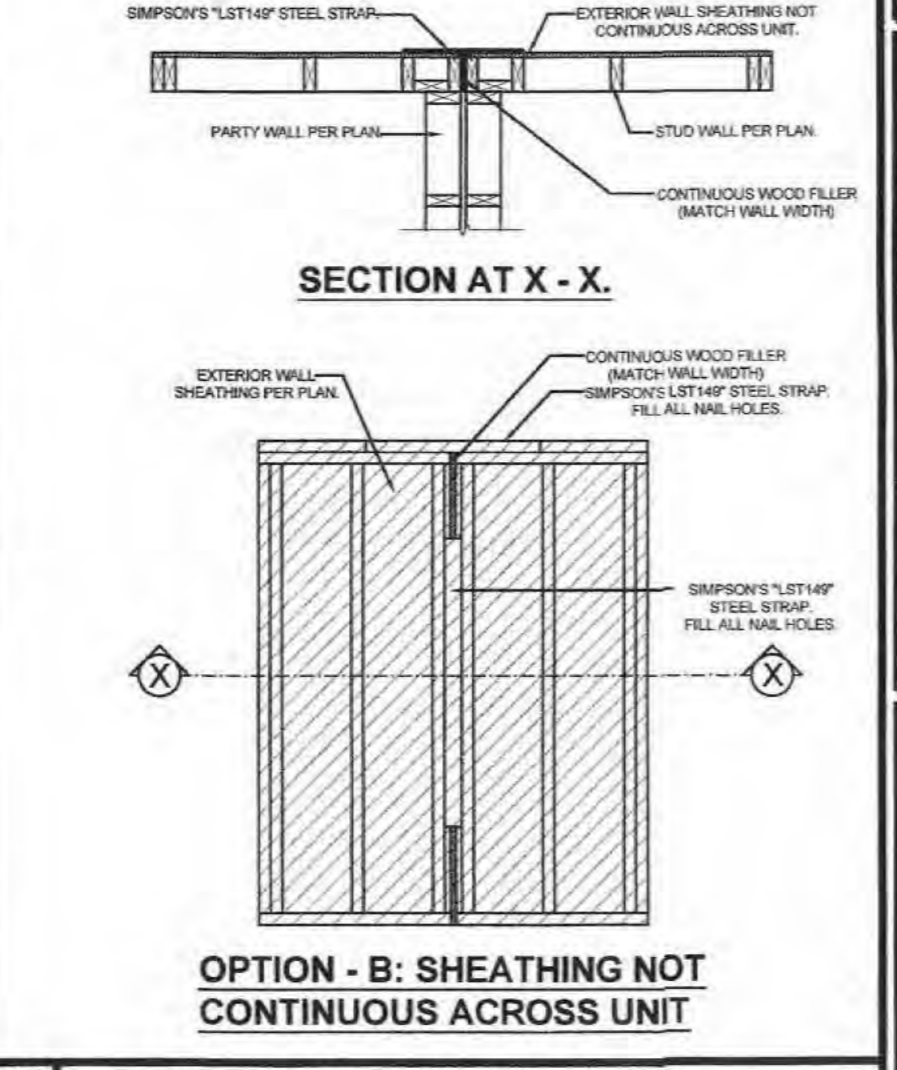
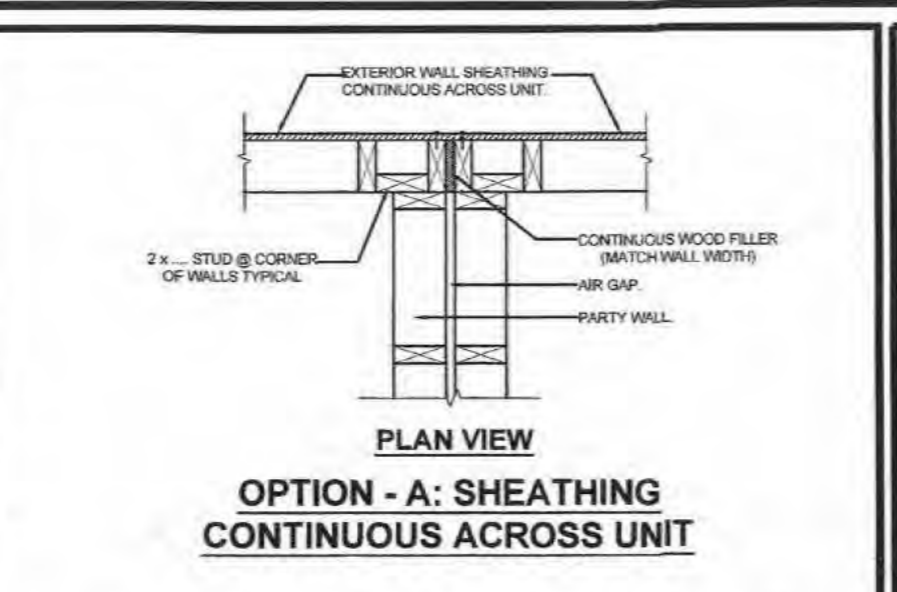
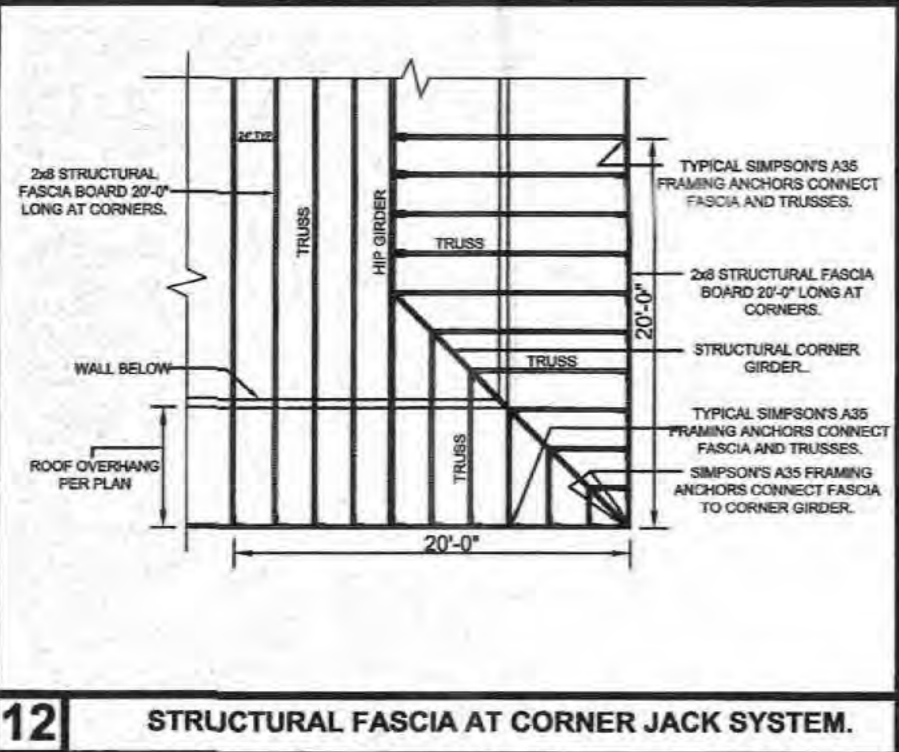
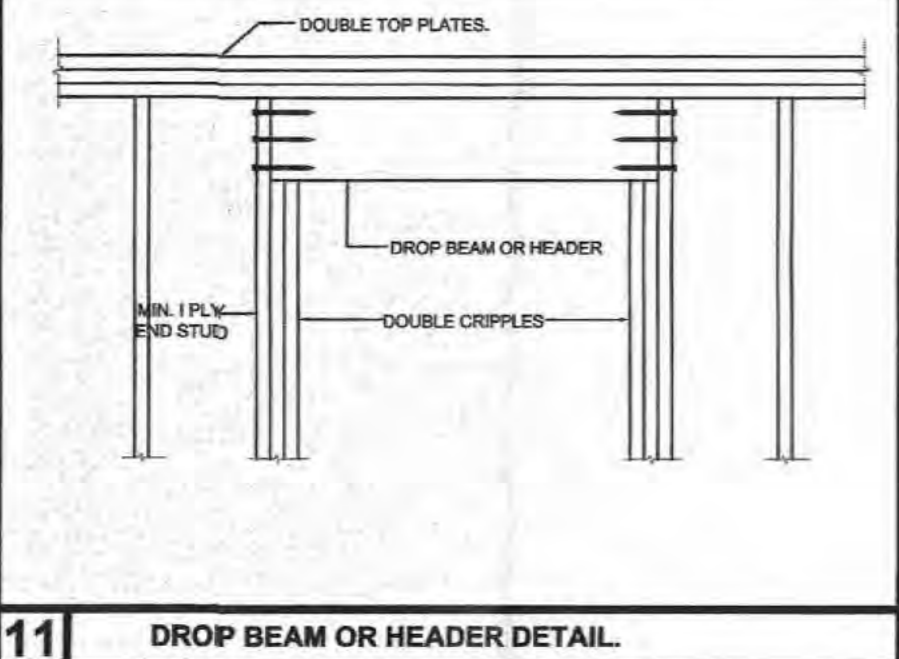
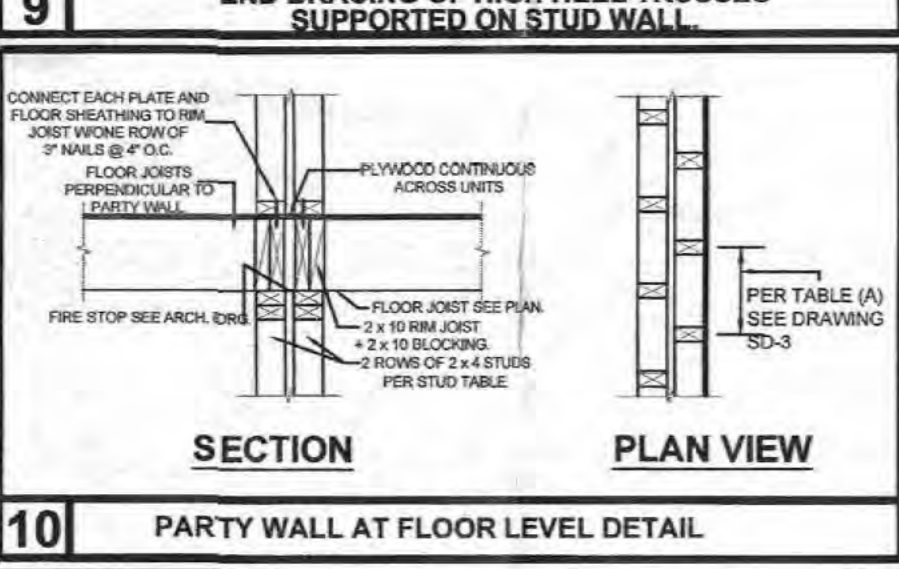
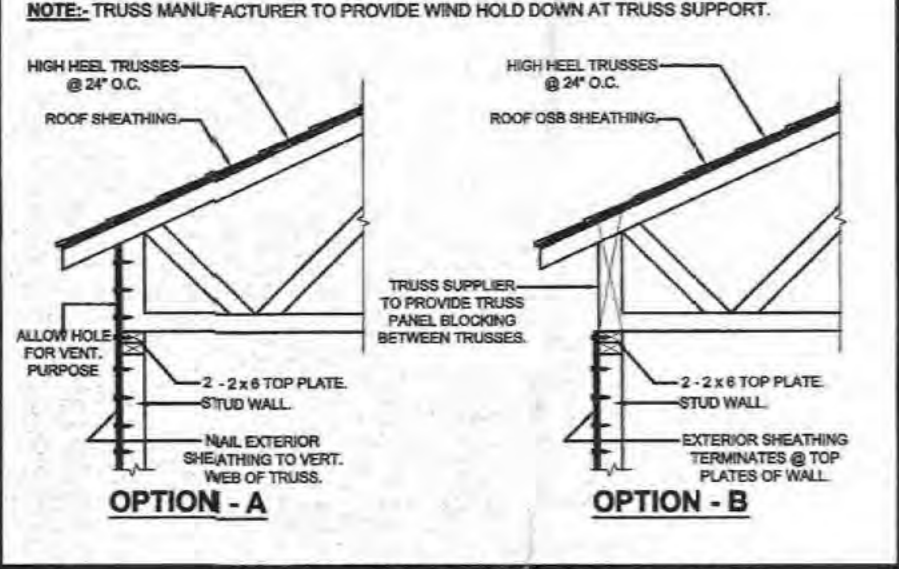
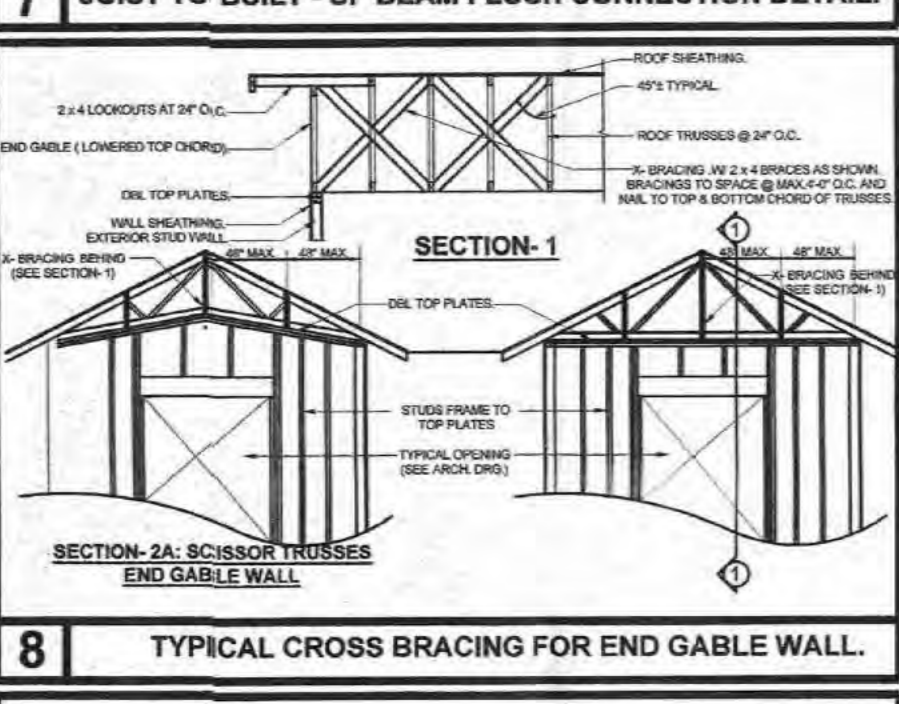
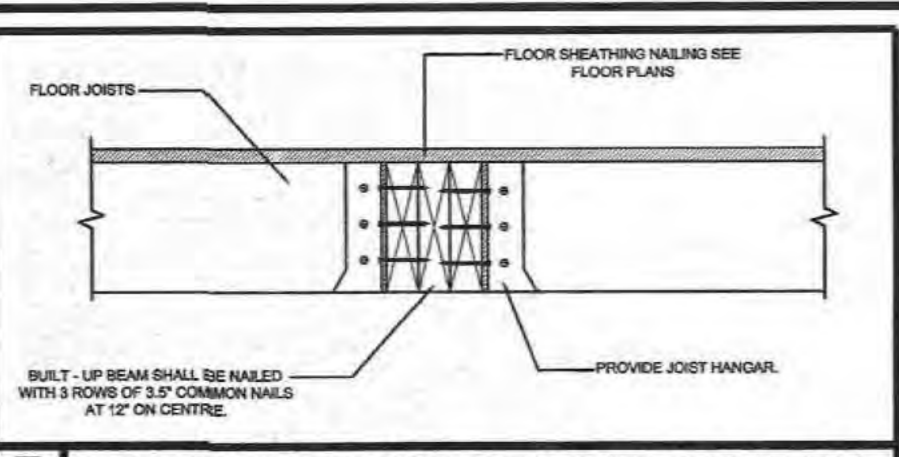
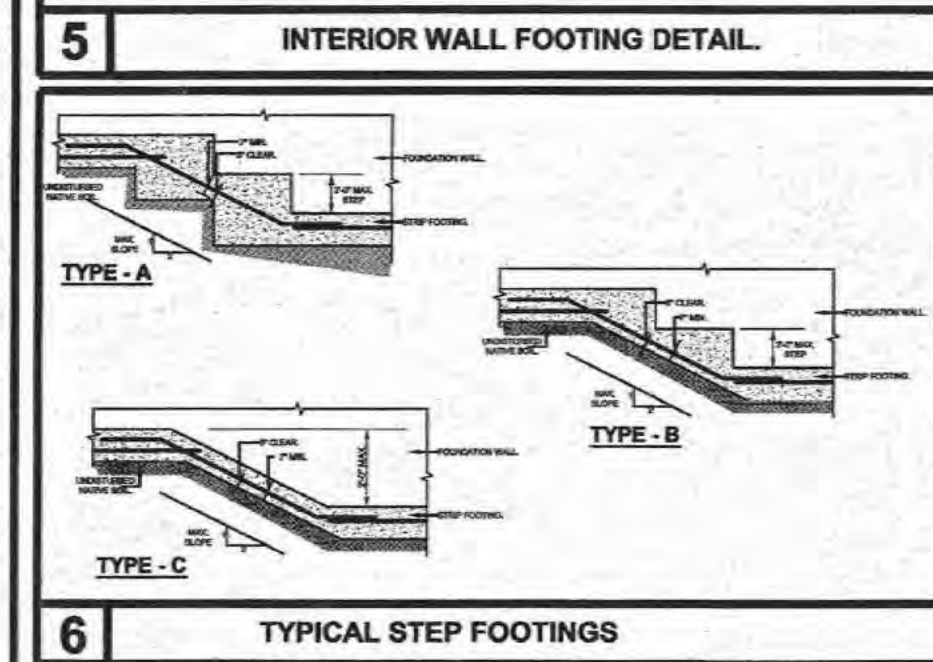
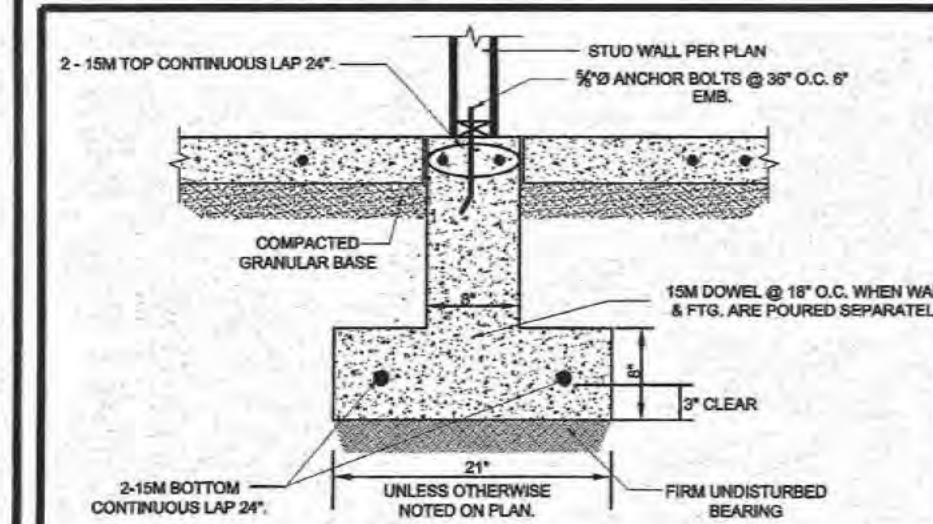
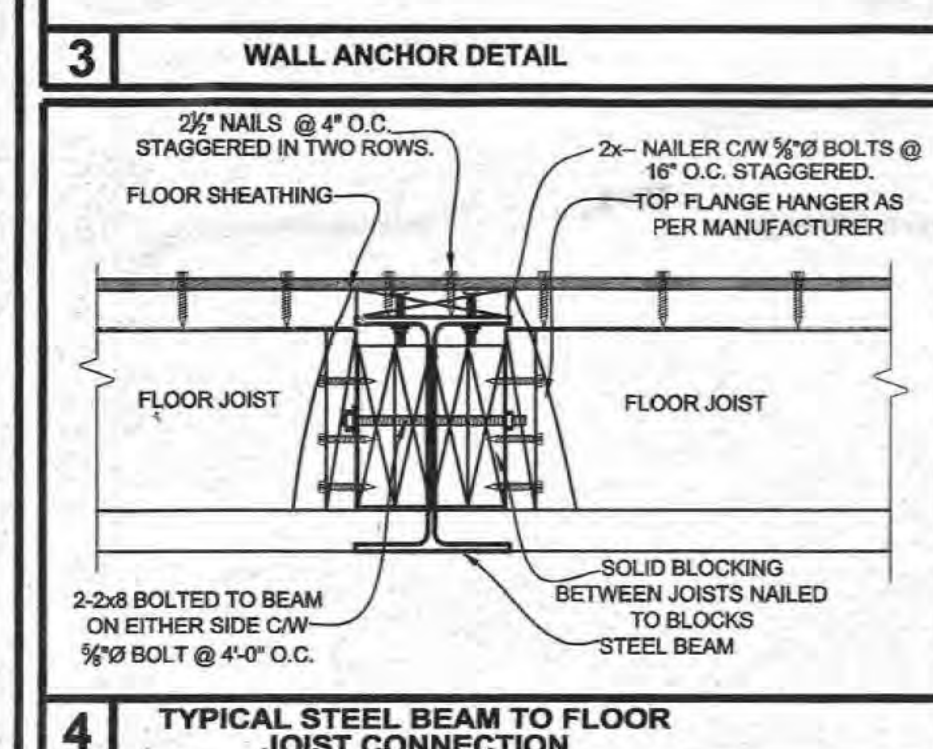
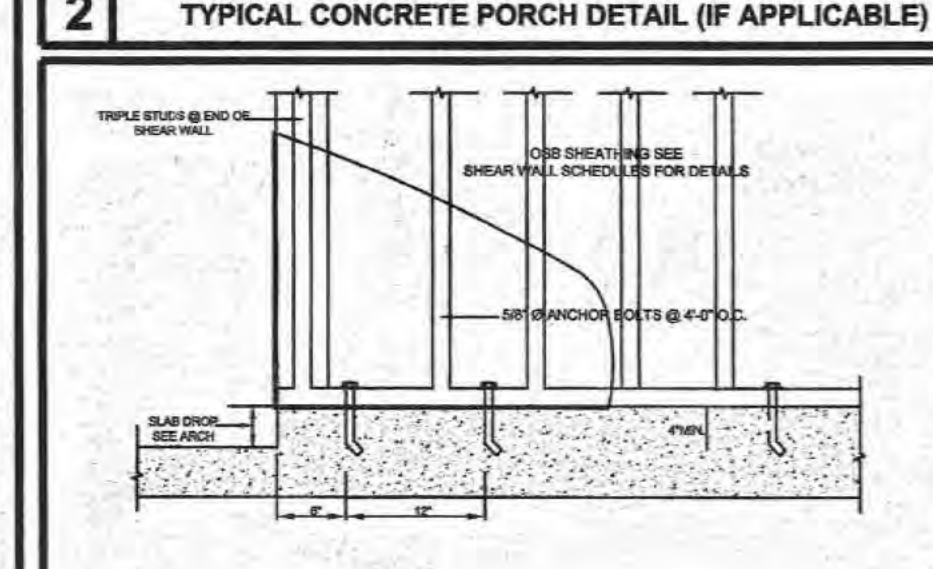
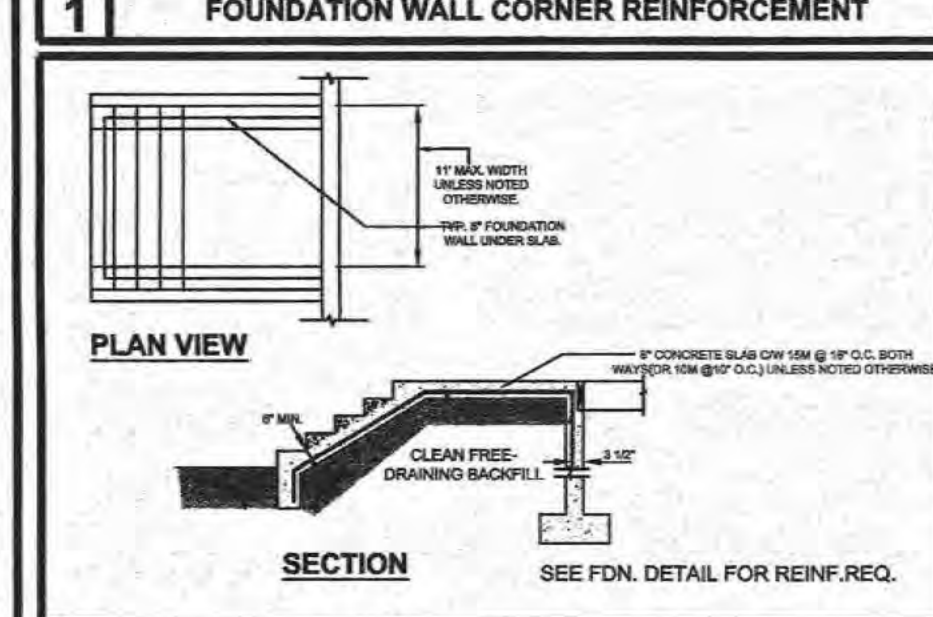
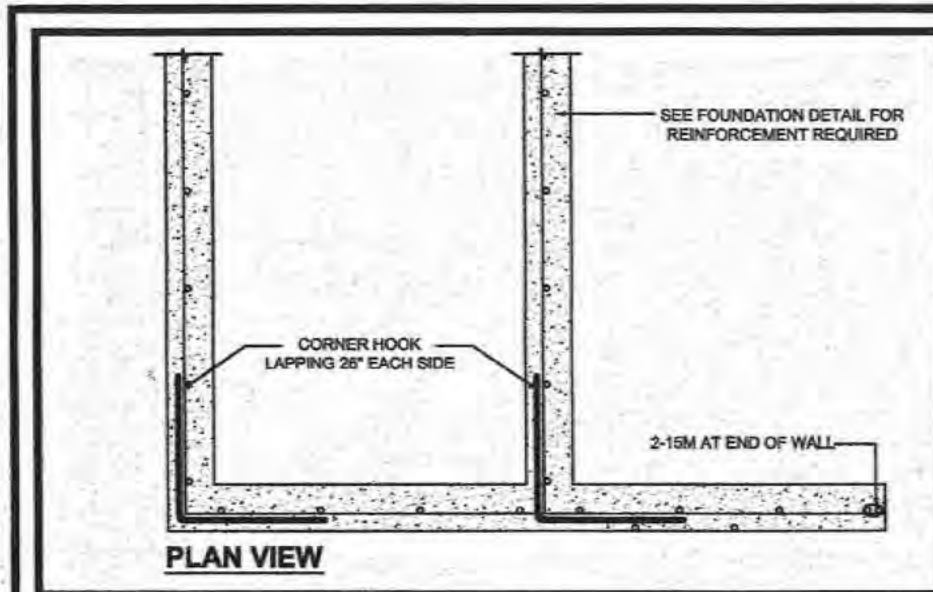


TABLE A: 3 STOREY WOOD FRAME STUD TABLE

FLOOR LEVEL	EXTERIOR WALL	PARTY WALL	LOAD BEARING INTERIOR WALLS
3RD FLOOR LEVEL	2x6 @ 16" O.C. 2x PLYWOOD	2 ROWS OF 2x4 @ 16" O.C.	2x4 @ 16" O.C.
2ND FLOOR LEVEL	2x6 @ 16" O.C. 2x PLYWOOD	2 ROWS OF 2x4 @ 16" O.C.	2x4 @ 16" O.C.
1ST FLOOR LEVEL	2x6 @ 16" O.C. 2x PLYWOOD	2 ROWS OF 2x4 @ 16" O.C.	2x4 @ 16" O.C.

NOTE:
 - THE TABLE IS DESIGNED FOR WALLS UP TO 9'9" HIGH.
 - FOR WALLS ABOVE 9'9" BUT LESS THAN 12'4", THE MINIMUM IS 2x6 @ 16" O.C. STUD WALL.
 - FOR WALLS ABOVE 12'4" BUT LESS THAN 17'4", THE MINIMUM IS 2x6 @ 16" O.C. STUD WALL.
 - STUD WALLS MUST BE BRACED LATERALLY AT ALL FLOOR LEVELS TO PROVIDE TEMPORARY HORIZONTAL BRACE AT MID-HEIGHT OF STUDS DURING CONSTRUCTION.

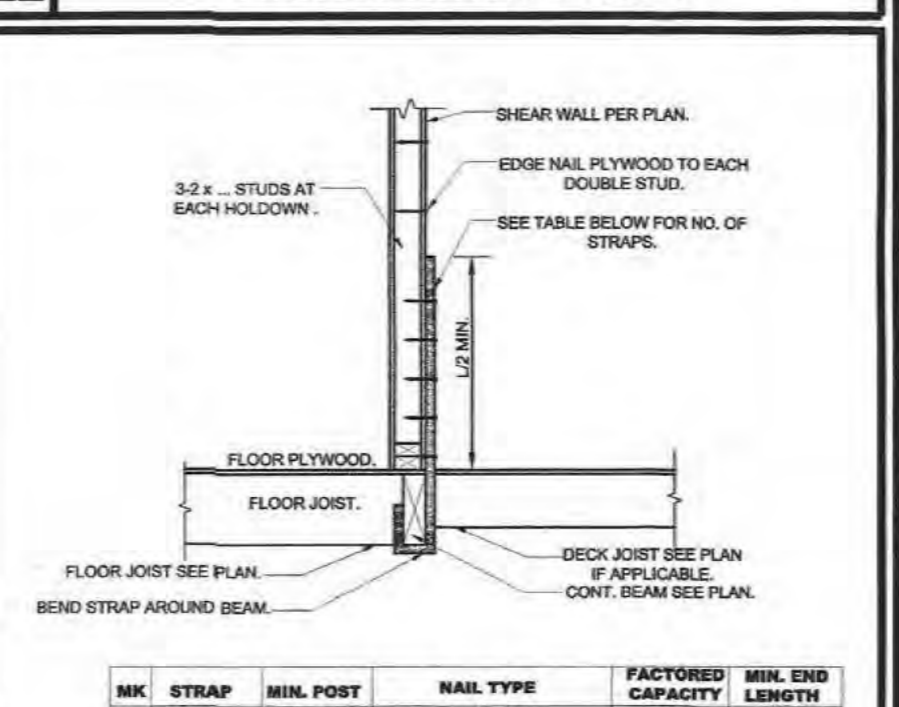
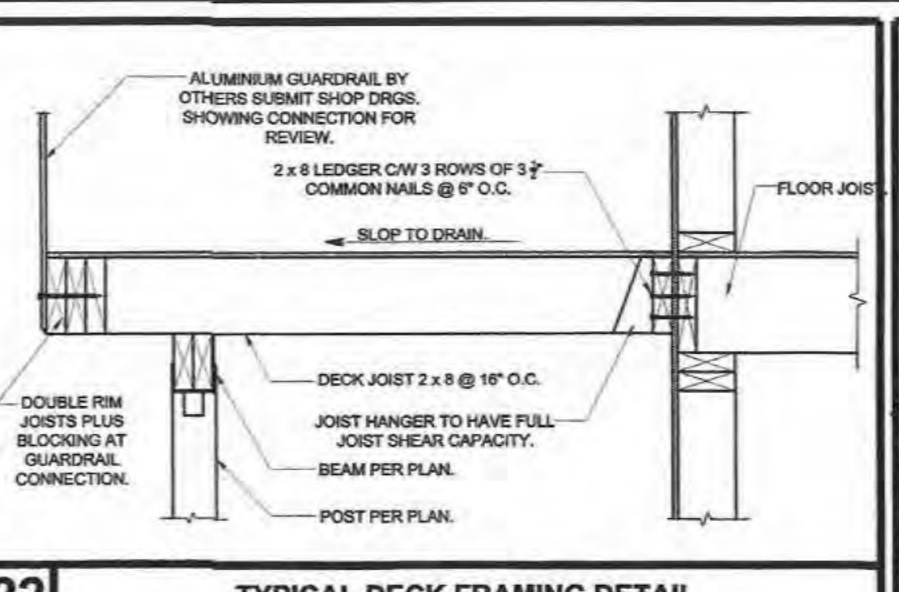
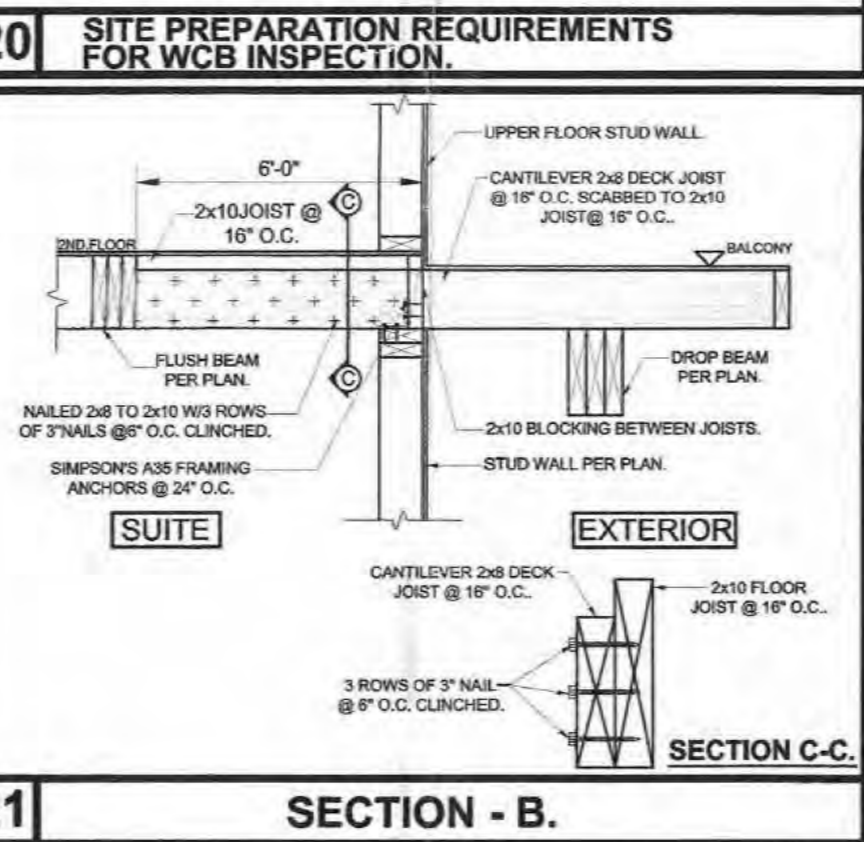
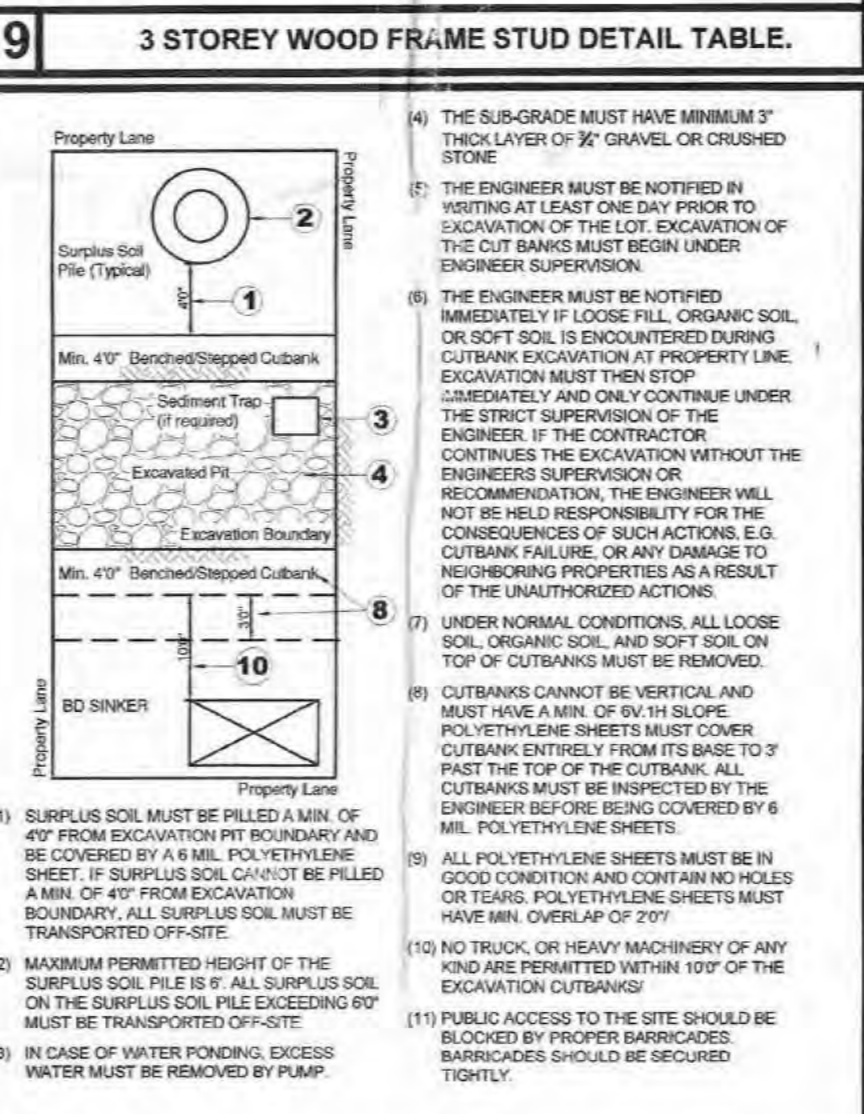
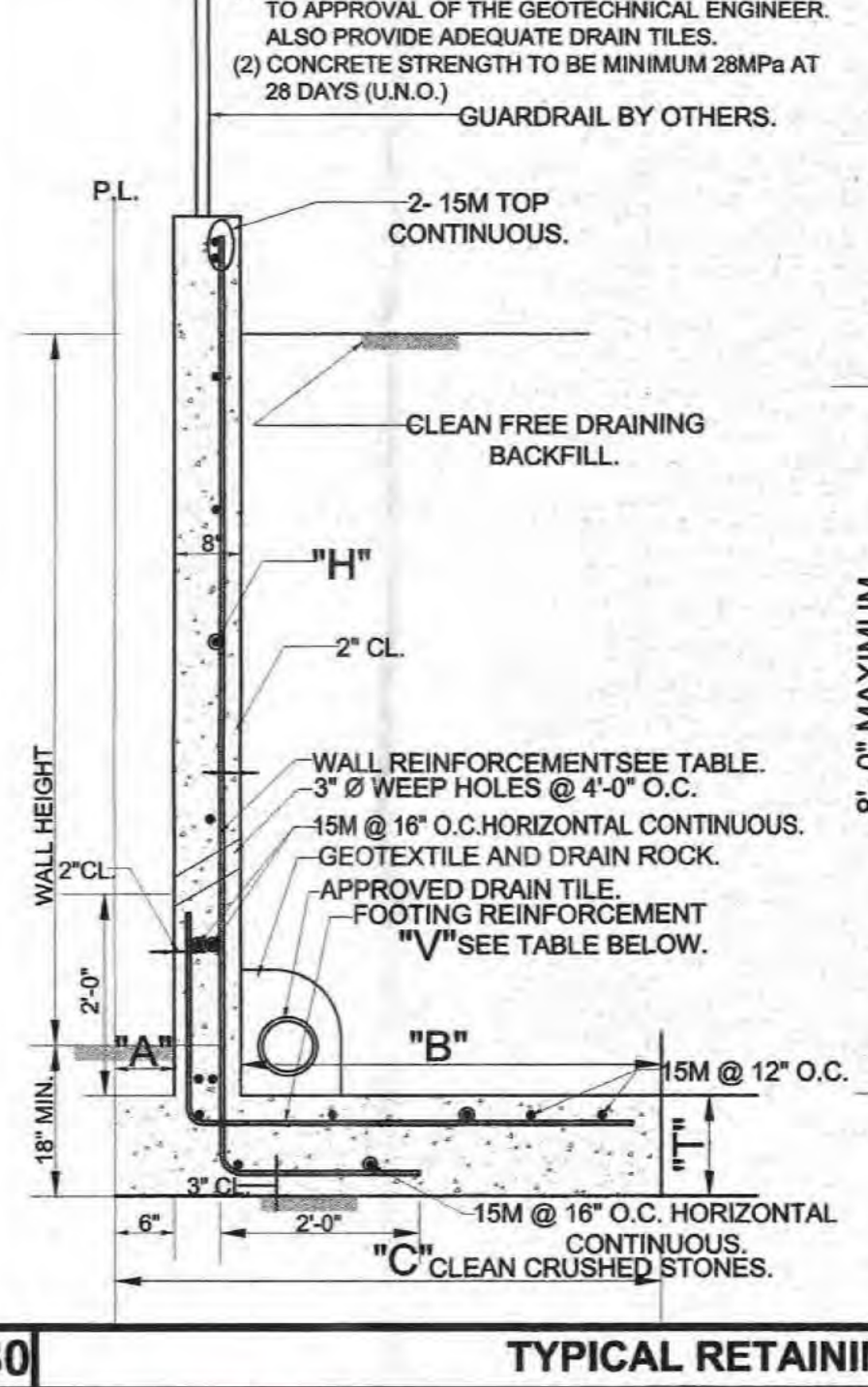
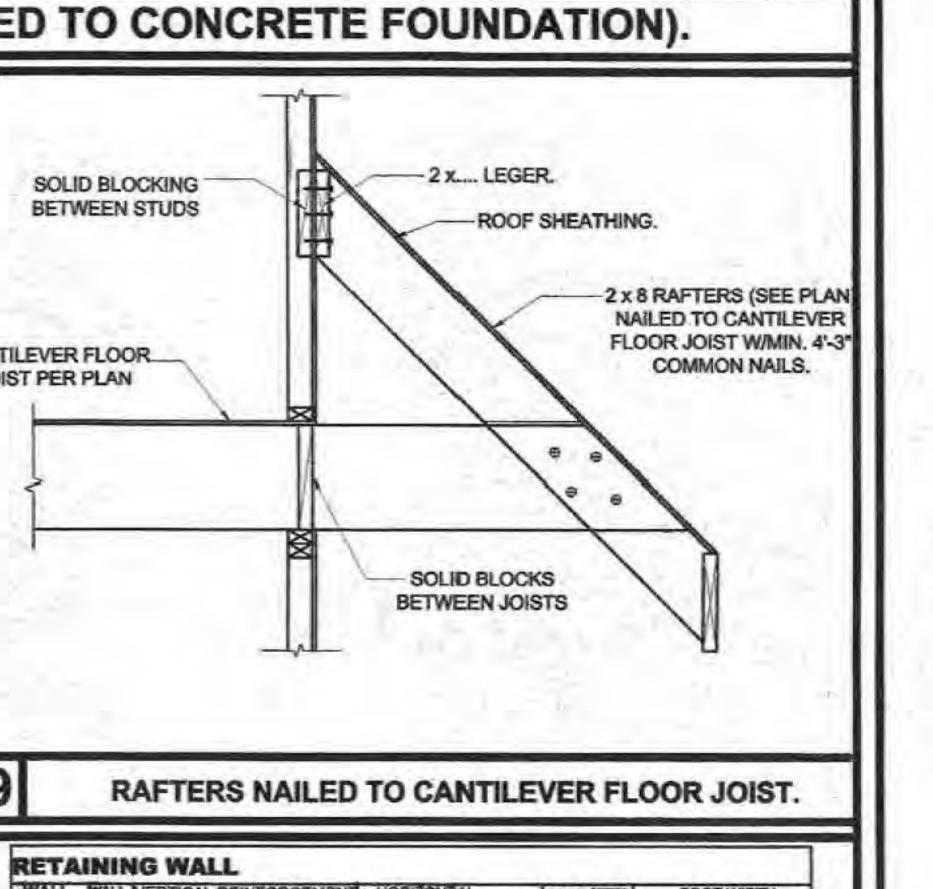
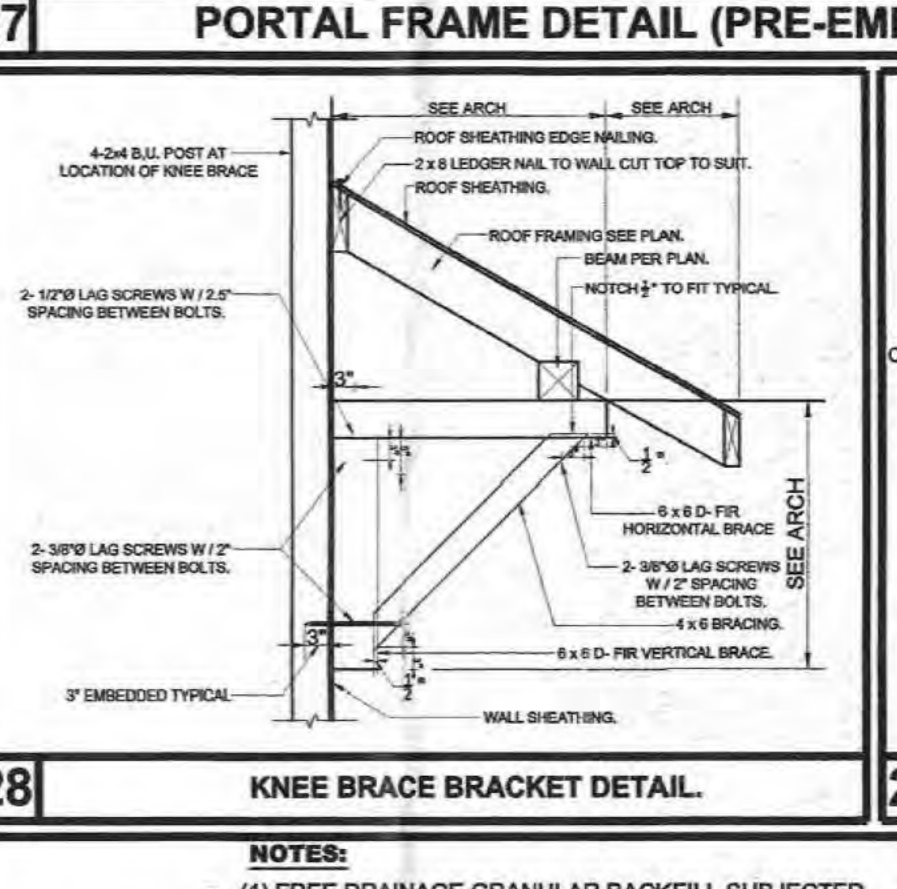
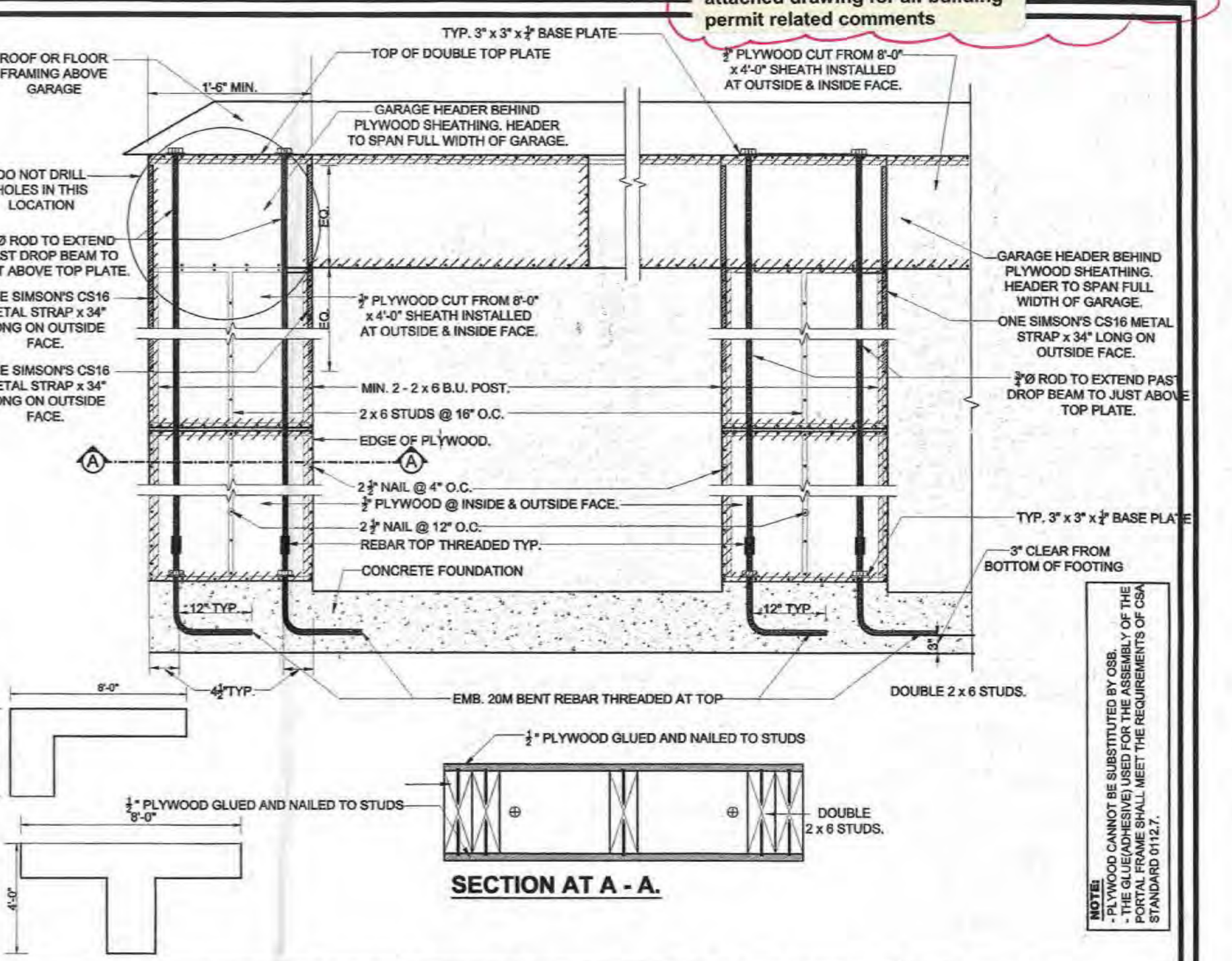
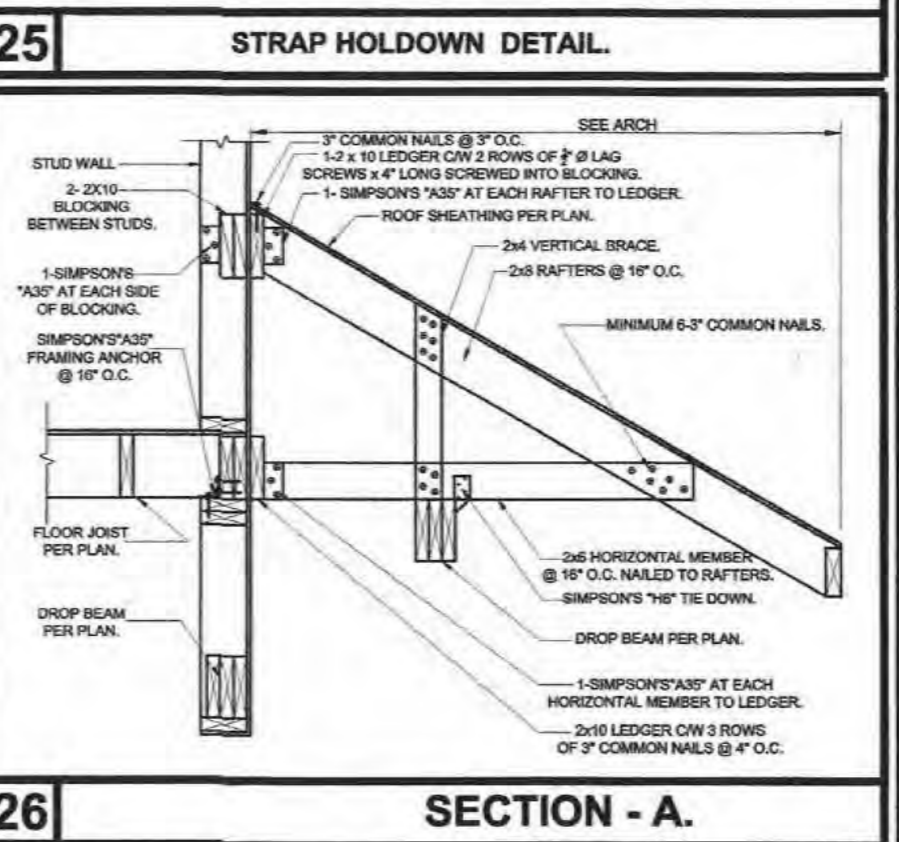
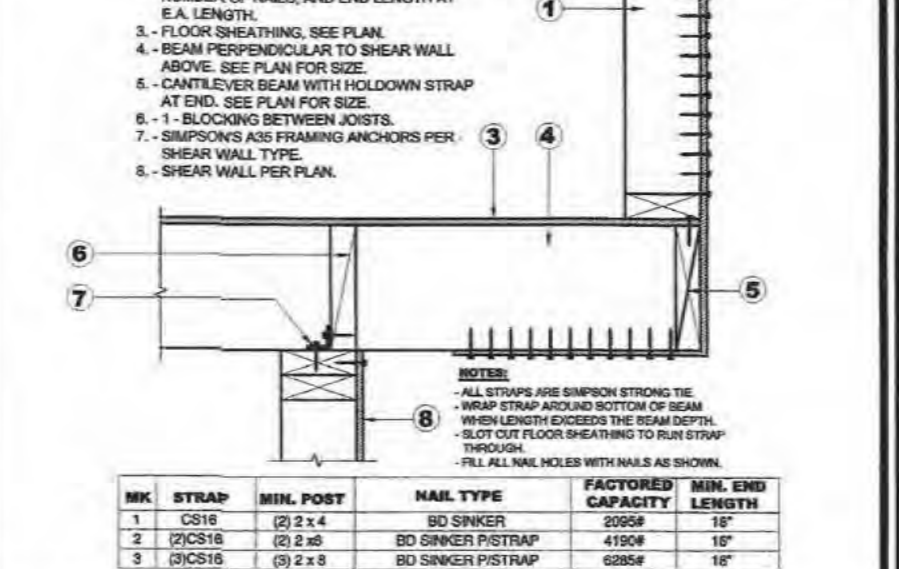


TABLE A: 3 STOREY WOOD FRAME STUD TABLE

MK	STRAP	MIN. POST	NAIL TYPE	FACTORED CAPACITY	MIN. END LENGTH
1	CS15	(2) 2 x 4	BD SINKER	2050#	18"
2	CS15	(2) 2 x 6	BD SINKER PSTRAP	4100#	18"
3	CS15	(2) 2 x 8	BD SINKER PSTRAP	6250#	18"

NOTE:
 - STRAPS MUST BE PLACED ON TOP AND NAILED THROUGH OSB SHEAR PANELS.
 - ALL STRAPS ARE SIMPSON STRONG-TIE.
 - SLOT CUT FLOOR SHEATHING TO RUN STRAP THROUGH.



REFER TO REVISIONS PLANS ATTACHED REVISED AUG 8, 2019.

WE HAVE REVIEWED THE GEOTECHNICAL REPORTS PREPARED BY Ahmed Raza Syed, P.Eng. (RAZA CONSULTANTS LTD.)

REFER TO REVISIONS PLANS ATTACHED REVISED MAY 29/18 BY: NOUN GEOTECH

THE DWELLING HAS BEEN DESIGNED AS PER PART 4 OF BCBC 2012, AND ALSO CONFIRMS THAT THE STRUCTURE HAS BEEN DESIGNED TO RESIST LATERAL LOADS DUE TO WIND AND SEISMIC HAVE BEEN CONSIDERED IN THE DESIGN.

SEISMIC / WIND LOADS AS PER PART- 4 OF BCBC 2012 AND GRAVITY LOADS AS PER CWC(PART-B) EDITION 2009.

- NOTES :- ALL PARALLAM BEAMS TO HAVE MINIMUM 4.5" BEARING AT EACH SUPPORT UNO. ALL PARALLAM BEAMS TO BE MINIMUM 2 ZE GRADE. ALL BEAMS AND HEADERS OTHER THAN PARALLAM TO BE MINIMUM 3-2x10 DF#2 OR BTR U.N.O. ALL BEAMS AND HEADERS TO BE SUPPORTED FOR THE FULL WIDTH. ALL GIRDERS, BEAMS AND HEADERS TO HAVE MINIMUM 3-2x6 FOR SUPPORT UNO. JOIST LAYOUT TO BE PREPARED BY THE MANUFACTURER AND TO BE REVIEWED BY THE PROJECT ENGINEER PRIOR TO STARTING FRAME.

H.D. (HOLD DOWN) HTTS HOLD DOWNS TO BOTH ENDS OF THE SHEAR WALL (TYPICAL). USE MINIMUM 3 STUDS AT BOTH ENDS. LOCATION TO BE CONFIRMED BY THE PROJECT ENGINEER.

- NOTES FOR TJI FLOOR SYSTEM :- TJI FLOOR JOISTS SHALL BE DESIGNED BY MANUFACTURER / SUPPLIER AND INSTALLED AS ON THE PLAN SUBMIT TO V. K. ENGINEERING AND CONSULTING LTD. FOR REVIEW BEFORE INSTALLATION. JOISTS SHALL BE GLUED AND NAILED TO THE SUB-FLOOR. FLOOR ASSEMBLY SHOWN ON THESE DRAWINGS IS FOR GUIDANCE VERIFICATION BY MANUFACTURER/ SUPPLIER OF I-JOISTS IS NEEDED.

LEGEND:- SW - SHEAR WALL (TYPICAL)

FINAL TRUSS LAYOUT TO BE SUBMITTED BY THE BUILDER AND TO BE REVIEWED BY THE PROJECT ENGINEER PRIOR TO STARTING THE FRAMING. ALL POINT LOADS (UNFACTORED) FROM THE GIRDERS TO BE INDICATED ON THE TRUSS LAYOUT BY THE TRUSS MANUFACTURER.

NOTE:- (H-1) SEISMIC TRUSS CLIPS REQUIRED ON ALL TRUSSES (ONE EACH END). (H-2) SEISMIC HOLD-DOWN REQUIRED ON ALL (2) PLY GIRDERS (ONE EACH END) ALL G & 4 PLY GIRDERS (2 EACH END).

SHEAR WALL SCHEDULE:-

Table with 3 columns: DESCRIPTION OF CONSTRUCTION, ANCHORAGE DETAIL, COMMENTS. Includes rows for SW, SW1, and SW2.

PAD FOOTING SCHEDULE

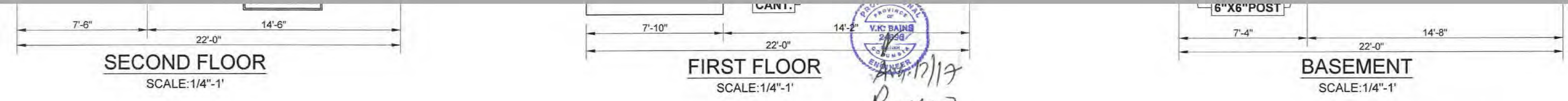
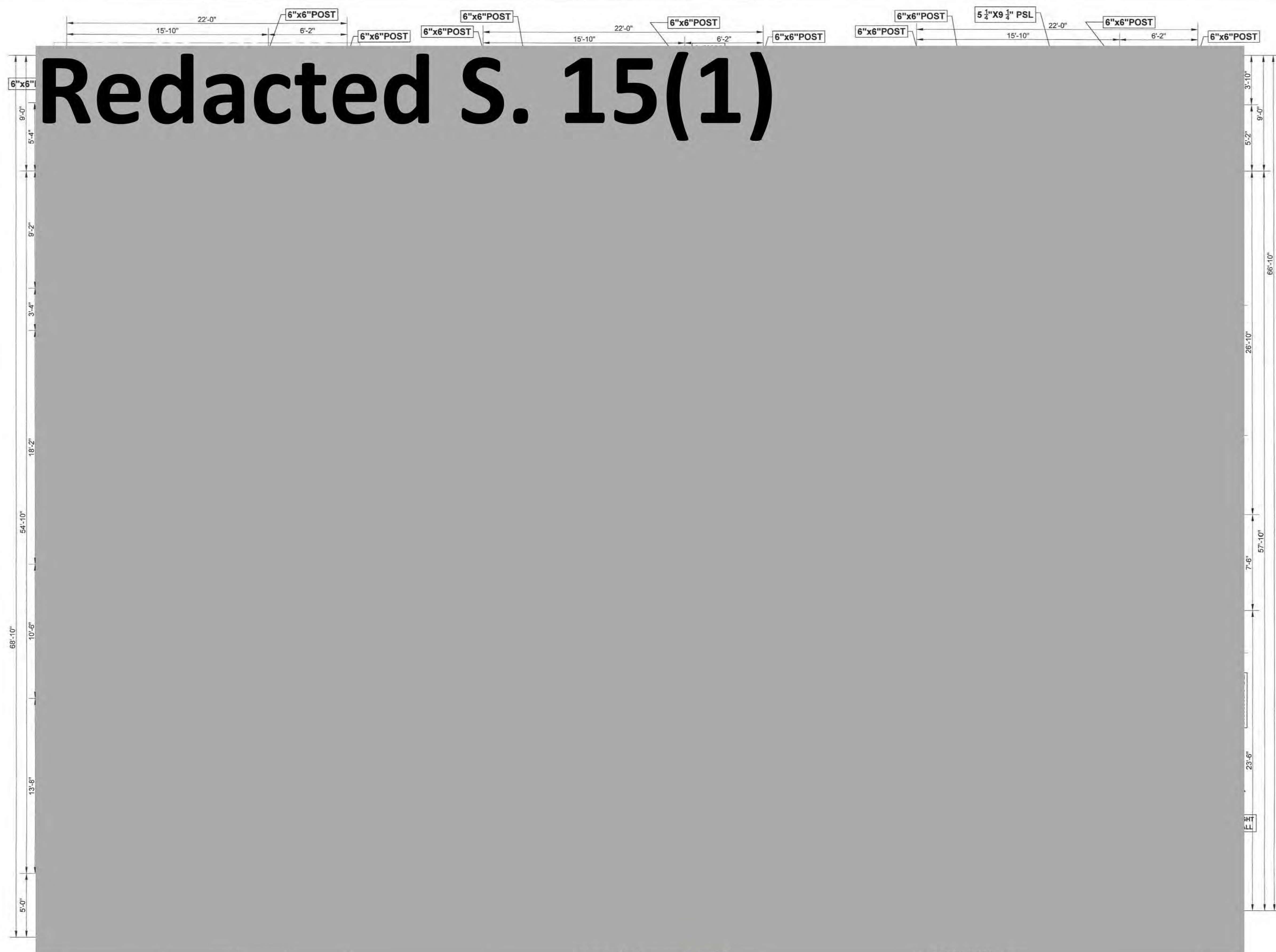
F1 36"x 36"x 10" PAD FTG. C/W 4 -15M REBAR @ EACH WAY BOTTOM.



The review of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

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Redacted S. 15(1)

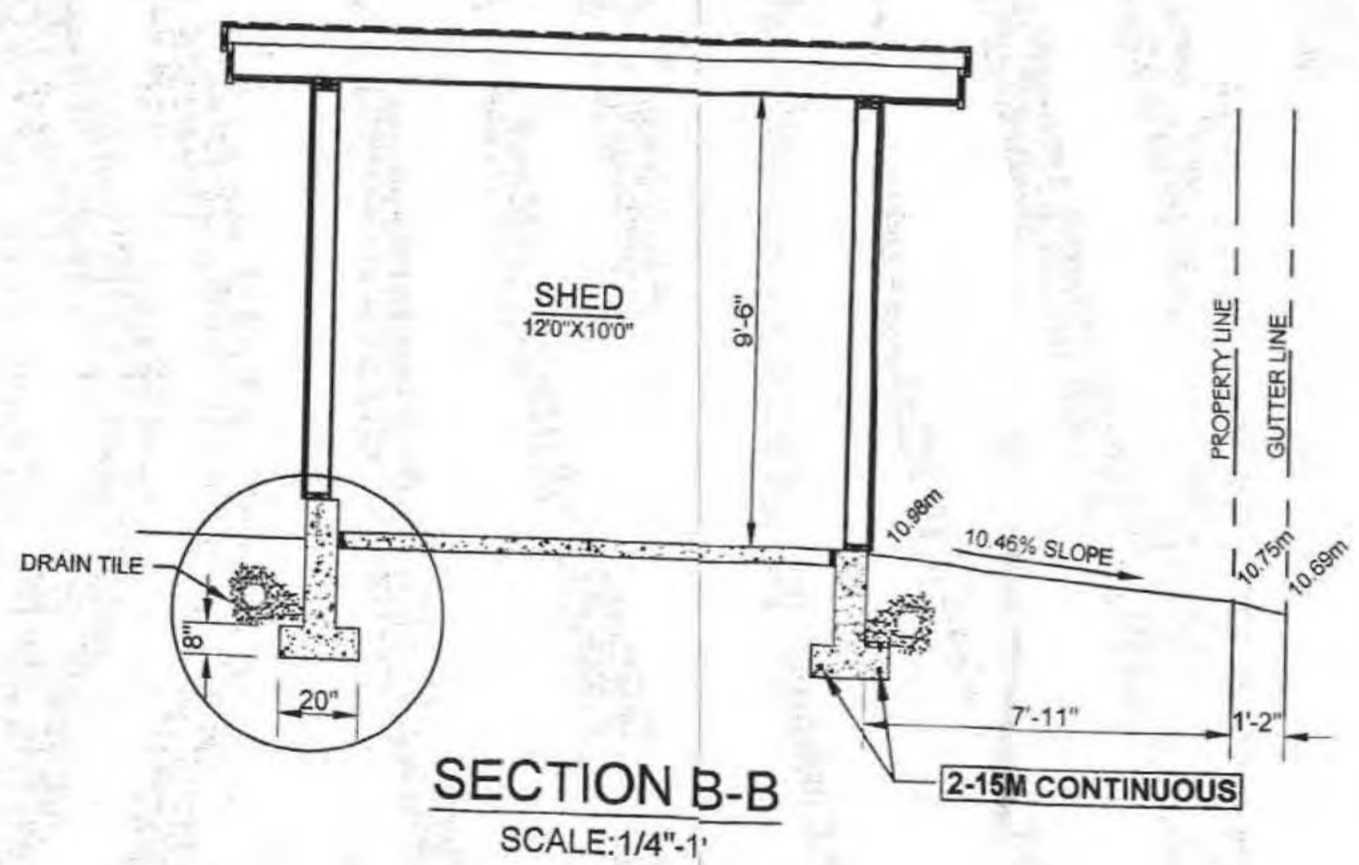
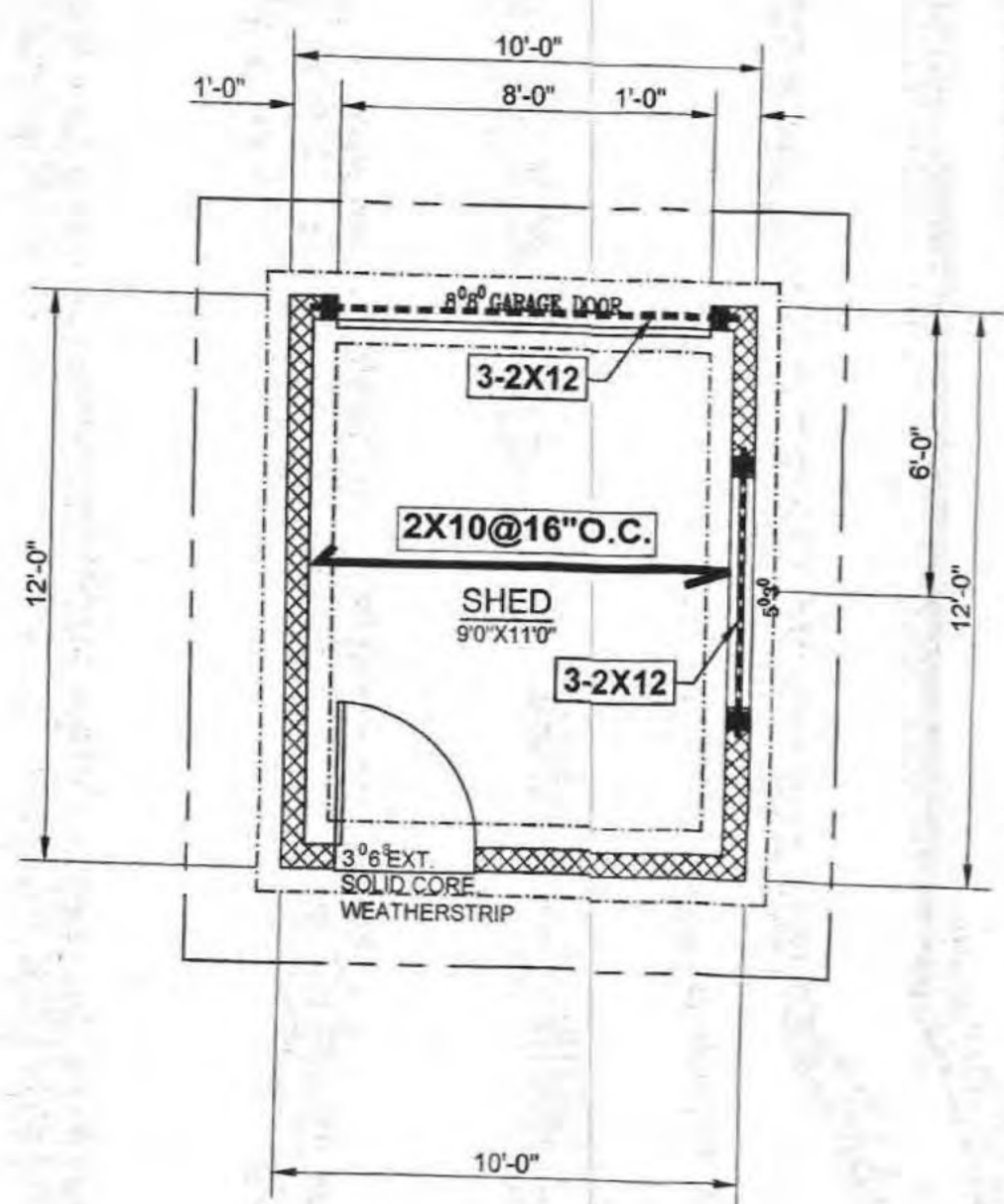


Professional Engineer stamp for V.K. BAINE, dated 17/08/2017, with handwritten 'REVISION' and '17/08/17'.

Table with columns: DESIGN, DRAWN, DATE, SCALE, REVISION NOTES. Includes revision R-1 through R-6.

REVISED DRAWING
 Please refer to corresponding attached drawing for all building permit related comments
 AUG 08 2019

Redacted S. 15(1)



CONTINUOUS
 ANCHOR BOLTS @ 36" O.C.(TYP.)

FOUNDATION
 DETAIL SEE
 ORG. SD - 2

8" THICK
 CONC. WALL
 DRAIN TILE
 CONTINUOUS

SHEAR WALL SCHEDULE:-

DESCRIPTION OF CONSTRUCTION	ANCHORAGE DETAIL	COMMENTS
SW1: 2" PLYWOOD OR OSB 8-1 OR 0-2 ON ONE FACE C/W 2x4 NAILS @ 16" O.C. AT EDGES AND @ 12" O.C. INTERMEDIATE. 2x4 STUDS @ 16" O.C.	PANELS BOLTED TO FOUNDATION WALL C/W 2x4 NAILS @ 16" O.C. MAXIMUM SPACING USE HOLD DOWNS HTTS ON EACH SIDE OF THE WALL AS SPECIFIED.	PROVIDE MSTC40 SIMPSON STRAPS FOR FLOOR TO FLOOR CONNECTION MINIMUM TWO ON EACH SIDE OF SHEAR WALL.
SW2: 2" PLYWOOD OR OSB 8-1 OR 0-2 ON TWO FACE C/W 2x4 NAILS @ 16" O.C. AT EDGES AND @ 12" O.C. INTERMEDIATE. 2x4 OR 2x4 STUDS @ 16" O.C.	PANELS BOLTED TO FOUNDATION WALL C/W 2x4 NAILS @ 16" O.C. MAXIMUM SPACING USE HOLD DOWNS HTTS ON EACH SIDE OF THE WALL AS SPECIFIED.	PROVIDE MSTC40 SIMPSON STRAPS FOR FLOOR TO FLOOR CONNECTION MINIMUM TWO ON EACH SIDE OF SHEAR WALL.

PAD FOOTING SCHEDULE

F1	36"x 36"x 10" PAD FTG. C/W 4 -15M REBAR @ EACH WAY BOTTOM
F2	48"x 48"x 12" PAD FTG. C/W 7 -15M REBAR @ EACH WAY BOTTOM

LEGEND:-
 [Symbol] - SHEAR WALL (TYPICAL)

H.D. (HOLD DOWN)
 HTTS HOLD DOWNS TO BOTH ENDS OF THE SHEAR WALL (TYPICAL). USE MINIMUM 3 STUDS AT BOTH ENDS. LOCATION TO BE CONFIRMED BY THE PROJECT ENGINEER.

NOTES FOR TJI FLOOR SYSTEM :-

- TJI FLOOR JOISTS SHALL BE DESIGNED BY MANUFACTURER / SUPPLIER AND INSTALLED AS ON THE PLAN SUBMIT TO V. K. ENGINEERING AND CONSULTING LTD. FOR REVIEW BEFORE INSTALLATION.
- JOISTS SHALL BE GLUED AND NAILED TO THE SUB-FLOOR.
- FLOOR ASSEMBLY SHOWN ON THESE DRAWINGS IS FOR GUIDANCE VERIFICATION BY MANUFACTURER/SUPPLIER OF JOISTS IS NEEDED.

NOTE:-
 (H-1) SEISMIC TRUSS CLIPS REQUIRED ON ALL TRUSSES (ONE EACH END).
 (H-2) SEISMIC HOLD-DOWN REQUIRED ON ALL (2) PLY GIRDERS (ONE EACH END).
 ALL (3 & 4) PLY GIRDERS (2 EACH END).

NOTES :-

- ALL PARALLAM BEAMS TO HAVE MINIMUM 4.5" BEARING AT EACH SUPPORT UNO.
- ALL PARALLAM BEAMS TO BE MINIMUM 2.2E GRADE.
- ALL BEAMS AND HEADERS OTHER THAN PARALLAM TO BE MINIMUM 3-2x10 DFR2 OR STR UNO.
- ALL BEAMS AND HEADERS TO BE SUPPORTED FOR THE FULL WIDTH.
- ALL GIRDERS, BEAMS AND HEADERS TO HAVE MINIMUM 3-2x6 FOR SUPPORT UNO.
- JOIST LAYOUT TO BE PREPARED BY THE MANUFACTURER AND TO BE REVIEWED BY THE PROJECT ENGINEER PRIOR TO STARTING FRAME.

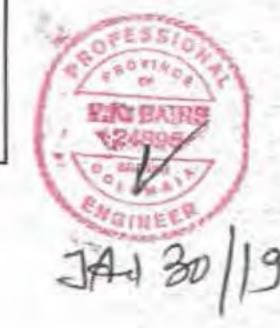
FINAL TRUSS LAYOUT TO BE SUBMITTED BY THE BUILDER AND TO BE REVIEWED BY THE PROJECT ENGINEER PRIOR TO STARTING THE FRAMING. ALL POINT LOADS (UNFACTORED) FROM THE GIRDERS TO BE INDICATED ON THE TRUSS LAYOUT BY THE TRUSS MANUFACTURER.

WE HAVE REVIEWED THE GEOTECHNICAL REPORTS PREPARED BY Ahmed Raza Syed, P.Eng. (RAZA CONSULTANTS LTD.)

THE DWELLING HAVE BEEN DESIGNED AS PER PART 4 OF BCBC 2012, AND ALSO CONFIRMS THAT THE STRUCTURE HAVE BEEN DESIGNED TO RESIST LATERAL LOADS DUE TO WIND AND SEISMIC HAVE BEEN CONSIDERED IN THE DESIGN.
SEISMIC / WIND LOADS AS PER PART- 4 OF BCBC 2012 AND GRAVITY LOADS AS PER CWC(PART-B) EDITION 2009.

NOTE :-

- THIS DRG. IS THE PROPERTY OF M/S V. K. ENGINEERING & CONSULTING LTD., IT SHALL BE USED ONLY FOR THE STRUCTURAL PURPOSE FOR WHICH IT HAS BEEN ISSUED.
- ANY INFORMATION INVOLVING MEASUREMENT OF THE WORKS SHALL BE TAKEN FROM DOCUMENTED DIMENSIONS ON THE ARCHITECTURAL DRAWINGS BY OTHERS AND CONDITIONS ON SITE.
- OBTAINING THE NECESSARY BUILDING PERMITS FROM THE AUTHORITIES HAVING JURISDICTION, THE CLIENT IS RESPONSIBLE FOR ENSURING THAT ALL THE REQUIRED CITY / MUNICIPALITY BUILDING PERMITS ARE OBTAINED FOR THE PROJECT BEFORE COMMENCING WORK.
- ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED IN ANY FORM OR BY ANY MEANS GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING WITHOUT THE WRITTEN PERMISSION OF M/S V. K. ENGINEERING & CONSULTING LTD.

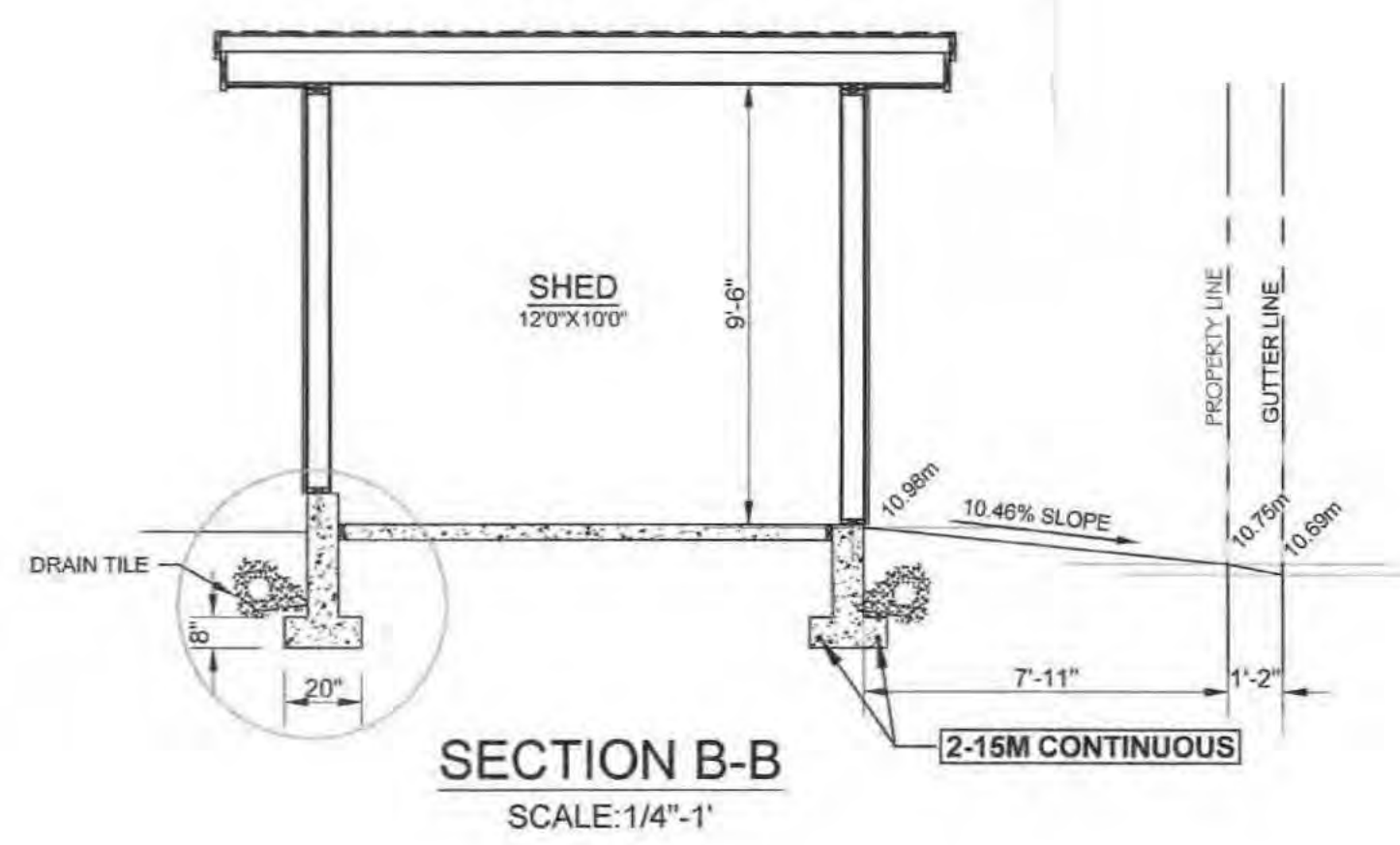
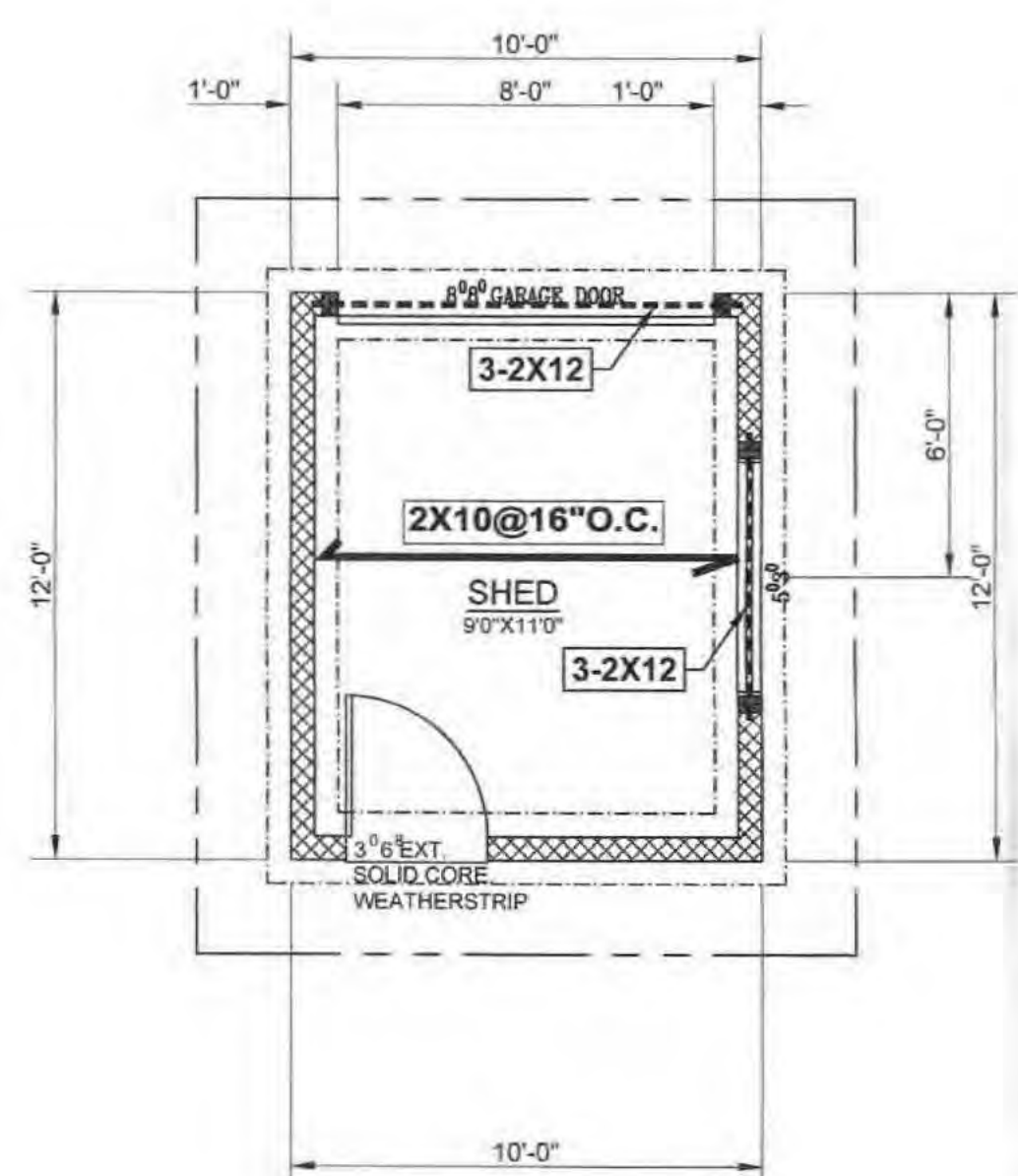


SHEET NO. **S-2** PROJECT: **PROPOSED SINGLE FAMILY DWELLING FOR Redacted S. 22 LOT #16@15565-VICTORIA AVENUE, WHITE ROCK, B.C**

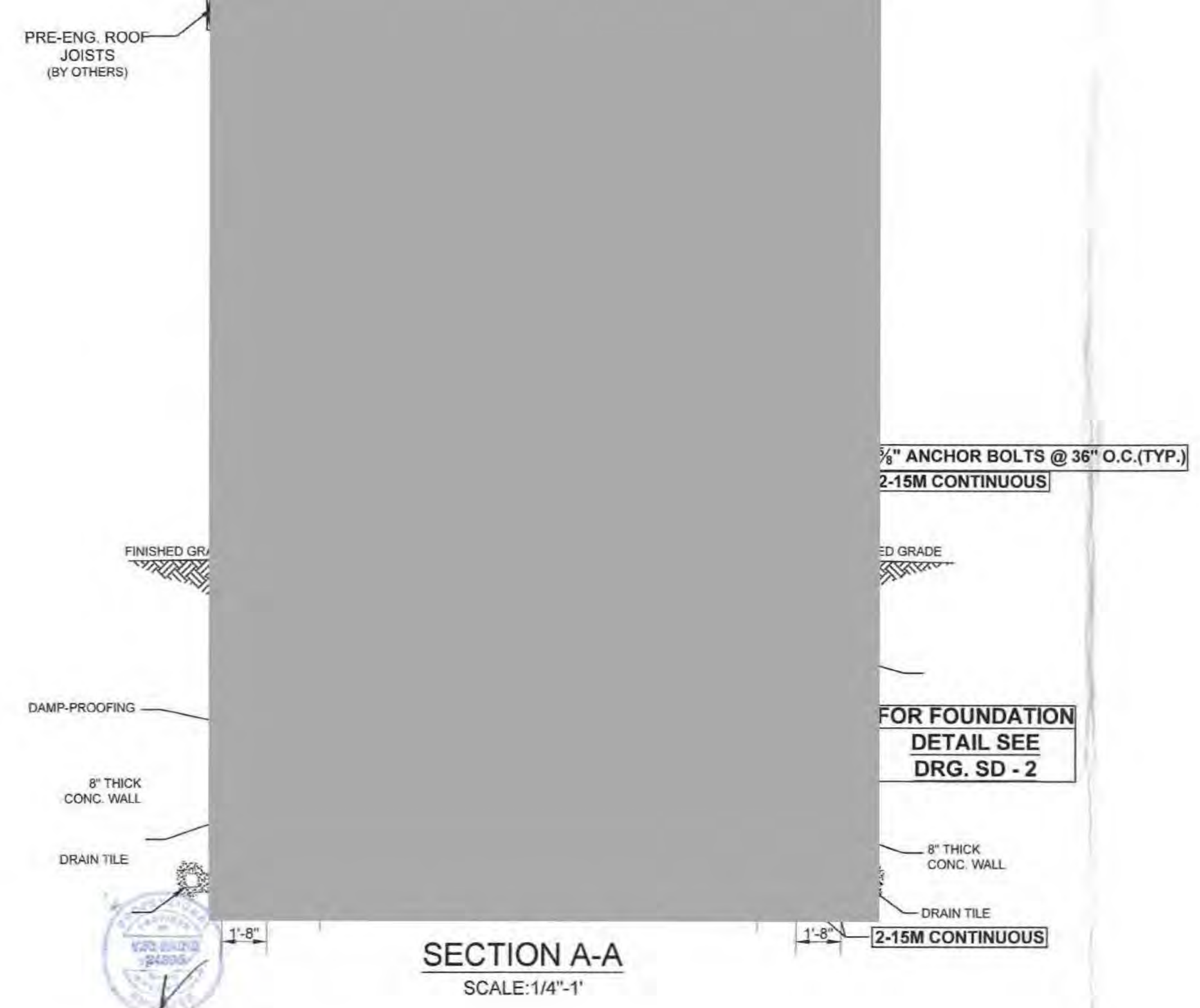
SHEET CONTENTS: **GARAGE PLAN & CROSS - SECTION**

DESIGN:	REVISION NOTES:
DRAWN: R-1	REV: DATE: NOTES:
DATE: 13/05/2016	R-1 17/08/2017 CROSS SECTION GUARDRAIL
SCALE: 1/4" = 1'-0"	R-2
	R-3
	R-4
	R-5
	R-6

V. K. ENGINEERING & CONSULTING LTD.
 SUITE 111-12830 80 AVE,
 SURREY, BC V3W 3A8
 (604) 825-4386, FAX: (604) 585-3501



Redacted S. 15(1)



Aug 17/17
Rev 1/16

SHEAR WALL SCHEDULE:-

DESCRIPTION OF CONSTRUCTION	ANCHORAGE DETAIL	COMMENTS
SW: PLYWOOD OR OSB 9/16 OR 5/8 ON ONE FACE C/W 2X4 NAILS @ 4" O.C. AT EDGES AND @ 8" O.C. INTERMEDIATE (NO BLOCKING)	PANELS BOLTED TO FOUNDATION WALL C/W 3/8" BOLTS @ 3" O.C. MAXIMUM SPACING USE HOLD DOWNS HTTS ON EACH SIDE OF THE WALL AS SPECIFIED	PROVIDE MSTC40 SIMPSON STRAPS FOR FLOOR TO FLOOR CONNECTION MINIMUM TWO ON EACH SIDE OF SHEAR WALL
SW1: PLYWOOD OR OSB 9/16 OR 5/8 ON ONE FACE C/W 2X4 NAILS @ 3" O.C. AT EDGES AND @ 8" O.C. INTERMEDIATE 2 x 4 STUDS @ 16" O.C.	PANELS BOLTED TO FOUNDATION WALL C/W 3/8" BOLTS @ 3" O.C. MAXIMUM SPACING USE HOLD DOWNS HTTS ON EACH SIDE OF THE WALL AS SPECIFIED	PROVIDE MSTC40 SIMPSON STRAPS FOR FLOOR TO FLOOR CONNECTION MINIMUM TWO ON EACH SIDE OF SHEAR WALL
SW2: PLYWOOD OR OSB 9/16 OR 5/8 ON TWO FACE C/W 2X4 NAILS @ 3" O.C. AT EDGES AND @ 8" O.C. INTERMEDIATE 2 x 4 STUDS @ 16" O.C.	PANELS BOLTED TO FOUNDATION WALL C/W 3/8" BOLTS @ 3" O.C. MAXIMUM SPACING USE HOLD DOWNS HTTS ON EACH SIDE OF THE WALL AS SPECIFIED	PROVIDE MSTC40 SIMPSON STRAPS FOR FLOOR TO FLOOR CONNECTION MINIMUM TWO ON EACH SIDE OF SHEAR WALL

PAD FOOTING SCHEDULE

F1	36"x 36"x 10" PAD FTG. C/W 4 -15M REBAR @ EACH WAY BOTTOM
F2	48"x 48"x 12" PAD FTG. C/W 7 -15M REBAR @ EACH WAY BOTTOM

LEGEND:-
SW (Symbol) - SHEAR WALL (TYPICAL)

H.D. (HOLD DOWN)
HTTS HOLD DOWNS TO BOTH ENDS OF THE SHEAR WALL (TYPICAL). USE MINIMUM 3 STUDS AT BOTH ENDS. LOCATION TO BE CONFIRMED BY THE PROJECT ENGINEER.

NOTES FOR TJI FLOOR SYSTEM :-

- TJI FLOOR JOISTS SHALL BE DESIGNED BY MANUFACTURER / SUPPLIER AND INSTALLED AS ON THE PLAN SUBMIT TO V. K. ENGINEERING AND CONSULTING LTD. FOR REVIEW BEFORE INSTALLATION.
- JOISTS SHALL BE GLUED AND NAILED TO THE SUB-FLOOR.
- FLOOR ASSEMBLY SHOWN ON THESE DRAWINGS IS FOR GUIDANCE VERIFICATION BY MANUFACTURER/ SUPPLIER OF I-JOISTS IS NEEDED.

NOTE:-
(H-1) SEISMIC TRUSS CLIPS REQUIRED ON ALL TRUSSES (ONE EACH END).
(H-2) SEISMIC HOLD-DOWN REQUIRED ON ALL (2) PLY GIRDERS (ONE EACH END).
ALL (3 & 4) PLY GIRDERS (2 EACH END).

NOTES :-

- ALL PARALLAM BEAMS TO HAVE MINIMUM 4.5" BEARING AT EACH SUPPORT UNO.
- ALL PARALLAM BEAMS TO BE MINIMUM 2.2E GRADE.
- ALL BEAMS AND HEADERS OTHER THAN PARALLAM TO BE MINIMUM 3-2x10 DF#2 OR BTR U.N.O.
- ALL BEAMS AND HEADERS TO BE SUPPORTED FOR THE FULL WIDTH.
- ALL GIRDERS, BEAMS AND HEADERS TO HAVE MINIMUM 3-2x6 FOR SUPPORT UNO.
- JOIST LAYOUT TO BE PREPARED BY THE MANUFACTURER AND TO BE REVIEWED BY THE PROJECT ENGINEER PRIOR TO STARTING FRAME.

FINAL TRUSS LAYOUT TO BE SUBMITTED BY THE BUILDER AND TO BE REVIEWED BY THE PROJECT ENGINEER PRIOR TO STARTING THE FRAMING. ALL POINT LOADS (UNFACTORED) FROM THE GIRDERS TO BE INDICATED ON THE TRUSS LAYOUT BY THE TRUSS MANUFACTURER.

WE HAVE REVIEWED THE GEOTECHNICAL REPORTS PREPARED BY Ahmed Raza Syed, P.Eng. (RAZA CONSULTANTS LTD.)

THE DWELLING HAVE BEEN DESIGNED AS PER PART 4 OF BCBC 2012, AND ALSO CONFIRMS THAT THE STRUCTURE HAVE BEEN DESIGNED TO RESIST LATERAL LOADS DUE TO WIND AND SEISMIC HAVE BEEN CONSIDERED IN THE DESIGN.

SEISMIC / WIND LOADS AS PER PART- 4 OF BCBC 2012 AND GRAVITY LOADS AS PER CWC(PART-B) EDITION 2009.

NOTE :-
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SHEET NO. **S-2**

PROJECT: **PROPOSED SINGLE FAMILY DWELLING FOR Redacted S. 22 , LOT #16@15565-VICTORIA AVENUE, WHITE ROCK, B.C**
SHEET CONTENTS: **GARAGE PLAN & CROSS - SECTION**

DESIGN:	REVISION NOTES:
DRAWN:	REV: 1 DATE: 17/08/2017 CROSS SECTION GUARDRAIL
DATE:	R-1
SCALE:	R-2
	R-3
	R-4
	R-5
	R-6

V. K. ENGINEERING & CONSULTING LTD.
SUITE 111-12830 80 AVE,
SURREY, BC V3W 3A8
TEL: (604) 825-4386, FAX: (604) 585-3501

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

16-123

15565 Victoria Avenue

Geotechnical

The undersigned also undertakes to notify the authority having jurisdiction in writing as soon as possible if the undersigned's contract for field review is terminated at any time during construction.

I certify that I am a registered professional as defined in the British Columbia Building Code.

Heqing Jian

Registered Professional of Record's Name (Print)

54-22865 Telosky Ave, Maple Ridge

Address (Print)

BC V2X 8Z9

778-987-7461

Phone No.



June 25, 2018

Date

(If the registered professional of record is a member of a firm, complete the following.)

I am a member of the firm GeoCan Engineering Inc. and I sign this letter on behalf of the firm. (Print name of firm)

Note: The above letter must be signed by a registered professional of record, who is a registered professional. The British Columbia Building Code defines a registered professional to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
(b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

[Handwritten signature]

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

16-123

British Columbia
Professional Engineers Association

15565 Victoria Avenue

Geotechnical

PLUMBING

- 4.1 Roof *drainage systems*
- 4.2 Site and foundation *drainage systems*
- 4.3 *Plumbing systems* and devices
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing systems, Part 10 – ASHRAE, NECB or Energy Step Code requirements
- 4.10 Plumbing systems, testing and/or confirmation of Part 10 requirements

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical systems, Part 10 – ASHRAE, NECB or Energy Step Code requirements
- 6.10 Electrical systems, testing and/or confirmation of Part 10 requirements

HJ GEOTECHNICAL — Temporary

- 7.1 *Excavation*
- 7.2 *Shoring*
- 7.3 *Underpinning*
- 7.4 Temporary construction dewatering

HJ GEOTECHNICAL — Permanent

- 8.1 *Bearing capacity of the soil*
- 8.2 Geotechnical aspects of deep *foundations*
- 8.3 *Compaction of engineered fill*
- 8.4 Structural considerations of *soil*, including slope stability and seismic loading
- 8.5 *Backfill*
- 8.6 *Permanent dewatering*
- 8.7 *Permanent underpinning*



June 25, 2018

K

016123



Proof of Professional Liability Insurance

Planning and Development Services Department
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
Phone: 604 541 2136 Fax: 604 541 2153
Website: www.whiterockcity.ca

Form "B"

RE: Address: 15565 Victoria Avenue

Building Permit Application No.: 16-173

The undersigned hereby gives assurance that:

- a) I have fulfilled my obligation to obtain a subsisting policy of professional liability or errors and omissions insurance as outlined in the City of White Rock **Building Bylaw**.
- b) I have enclosed a copy of my certificate of insurance indicating the particulars of such coverage.
- c) I am a registered professional as defined under Section 1.4 of the British Columbia Building Code.
- d) I will notify the Building Official immediately if this insurance coverage is reduced, expired or terminated at any time during construction.

Signed this 26th day of June, 2018 .

Heqing Jian
Print Name of Registered Professional

何清健
Signature of Registered Professional

Geotechnical
Professional's Discipline

Professional's seal

or



Signed this _____ day of _____

Witness Signature

RECEIVED

JUL 05 2018

THE CORPORATION OF THE
CITY OF WHITE ROCK



016123

Certificate of Insurance

No.: GEO-2018-1

Dated: May 24, 2018

This document supersedes any certificate previously issued under this number

This is to certify that the Policy(ies) of insurance listed below ("Policy" or "Policies") have been issued to the Named Insured identified below for the policy period(s) indicated. This certificate is issued as a matter of information only and confers no rights upon the Certificate Holder named below other than those provided by the Policy(ies).

Notwithstanding any requirement, term, or condition of any contract or any other document with respect to which this certificate may be issued or may pertain, the insurance afforded by the Policy(ies) is subject to all the terms, conditions, and exclusions of such Policy(ies). This certificate does not amend, extend, or alter the coverage afforded by the Policy(ies). Limits shown are intended to address contractual obligations of the Named Insured.

Limits may have been reduced since Policy effective date(s) as a result of a claim or claims.


Certificate Holder: GeoCan Engineering Inc. 22865 Telosky Avenue Unit 54 Maple Ridge, BC V2X 8X9 To Whom It May Concern	Named Insured and Address: GeoCan Engineering Inc. 22865 Telosky Avenue Unit 54 Maple Ridge, BC V2X 8Z9 Heqing Jian
---	---

Evidence of Insurance

Type(s) of Insurance	Insurer(s)	Policy Number(s)	Effective/Expiry Dates	Sums Insured Or Limits of Liability	
PROFESSIONAL LIABILITY • Claims Made	Berkley Insurance Company	BC170152	Jun 01, 2018 to Jun 01, 2019	Per Claim	CDN 1,000,000
				Aggregate	CDN 2,000,000

Notice of cancellation:

The insurer(s) affording coverage under the policies described herein will not notify the certificate holder named herein of the cancellation of such coverage.

Marsh Canada Limited 800 - 550 Burrard Street Vancouver, BC V6C 2K1 Telephone: - Fax: - CertificateRequestsVancouver@marsh.com	Marsh Canada Limited  By: _____ Benjamin Kent
--	---

RECEIVED

JUL 02 2014

THE CORPORATION OF THE
CITY OF WHITE ROCK

BRITISH COLUMBIA BUILDING CODE 2012

RECEIVED

#16123

SCHEDULE B

Forming Part of Subsection 2.2.7, Div. C of the British Columbia Building Code

Building Permit No. (Not Authority Having Jurisdiction Use)

MAR 14 2017

THE CORPORATION OF THE CITY OF WHITE ROCK

ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW

- Notes: (i) This letter must be submitted prior to the commencement of construction activities of the components identified below. A separate letter must be submitted by each registered professional of record. (ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities. (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The authority having jurisdiction

CITY OF WHITE ROCK

Name of Jurisdiction (Print)

Re: SINGLE FAMILY HOUSE - GLASS GUARDRAIL

Name of Project (Print)

15565 VICTORIA AVE., WHITE ROCK, BC

Address of Project (Print)

The undersigned hereby gives assurance that the design of the (Initial those of the items listed below that apply to this registered professional of record. All the disciplines will not necessarily be employed on every project.)

- ARCHITECTURAL
STRUCTURAL INT. STAIR + INT./EXT. BALCONY GLASS GUARDRAIL
MECHANICAL
PLUMBING
FIRE SUPPRESSION SYSTEMS
ELECTRICAL
GEOTECHNICAL - temporary
GEOTECHNICAL - permanent



(Professional's Seal and Signature)

FEB. 21, 2017

Date

components of the plans and supporting documents prepared by this registered professional of record in support of the application for the building permit as outlined below substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for field reviews of the above referenced components during construction, as indicated on the "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" below.

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

#16123

Building Permit No.
(for authority having jurisdiction's use)

15565 VICTORIA AVE., WHITE ROCK, BC

Project Address

STRUCTURAL + ARCHITECTURAL (GUARDRAIL)

Discipline

The undersigned also undertakes to notify the *authority having jurisdiction* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during construction.

I certify that I am a *registered professional* as defined in the British Columbia Building Code.

TONG NGO, P.ENG.

Registered Professional of Record's Name (Print)

16968 77A AVENUE,

Address (Print)

SURREY, BC V4N 6L2

604.372.2120

Phone No.



(Professional's Seal and Signature)

FEB-24, 2017

Date

(If the *Registered Professional of Record* is a member of a firm, complete the following.)

I am a member of the firm TONG NGO ENGINEERING LTD.

and I sign this letter on behalf of the firm. (Print name of firm)

Note: The above letter must be signed by a *registered professional of record*, who is a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

#16123

Building Permit No.
(As existing having condition 3.1.1.1)

15565 VICTORIA AVE., WHITE ROCK, BC

Project Address

STRUCTURAL + ARCHITECTURAL (GUARDRAIL)

Discipline

SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

ARCHITECTURAL

- 1.1 ~~Fire-resisting assemblies~~
- 1.2 ~~Fire separations and their continuity~~
- 1.3 ~~Closures, including tightness and operation~~
- 1.4 ~~Egress systems, including access to exit within suites and floor areas~~ INT. STAIR + INT./EXT. BALCONY
- 1.5 ~~Performance and physical safety features (guardrails, handrails, etc.)~~ GLASS GUARDRAIL
- 1.6 ~~Structural capacity of architectural components, including anchorage and seismic restraint~~
- 1.7 ~~Sound control~~
- 1.8 ~~Landscaping, screening and site grading~~
- 1.9 ~~Provisions for fire fighting access~~
- 1.10 ~~Access requirements for persons with disabilities~~
- 1.11 ~~Elevating devices~~
- 1.12 ~~Functional testing of architecturally related fire emergency systems and devices~~
- 1.13 ~~Development Permit and conditions therein~~
- 1.14 ~~Interior signage, including acceptable materials, dimensions and locations~~
- 1.15 ~~Review of all applicable shop drawings~~
- 1.16 ~~Interior and exterior finishes~~
- 1.17 ~~Dampproofing and/or waterproofing of walls and slabs below grade~~
- 1.18 ~~Roofing and flashings~~
- 1.19 ~~Wall cladding systems~~
- 1.20 ~~Condensation control and cavity ventilation~~
- 1.21 ~~Exterior glazing~~
- 1.22 ~~Integration of building envelope components~~
- 1.23 ~~Environmental separation requirements (Part 5)~~
- 1.24 ~~Building Envelope, Part 10/ASHRAE or NECB Requirements~~



(Professional's Seal and Signature)

FEB. 21, 2017

Date

STRUCTURAL

- 2.1 ~~Structural capacity of structural components of the building, including anchorage and seismic restraint~~ INT. STAIR + INT./EXT. BALCONY
- 2.2 ~~Structural aspects of deep foundations~~ GLASS GUARDRAIL
- 2.3 ~~Review of all applicable shop drawings~~
- 2.4 ~~Structural aspects of unbonded post-tensioned concrete design and construction~~

MECHANICAL

- 3.1 ~~HVAC systems and devices, including high building requirements where applicable~~
- 3.2 ~~Fire dampers at required fire separations~~
- 3.3 ~~Continuity of fire separations at HVAC penetrations~~
- 3.4 ~~Functional testing of mechanically related fire emergency systems and devices~~
- 3.5 ~~Maintenance manuals for mechanical systems~~
- 3.6 ~~Structural capacity of mechanical components, including anchorage and seismic restraint~~
- 3.7 ~~Review of all applicable shop drawings~~
- 3.8 ~~Mechanical Systems, Part 10/ASHRAE or NECB Requirements~~

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

#16123

Building Permit No.
105 - Authority Having Jurisdiction's name

15565 VICTORIA AVE., WHITE ROCK, BC

Project Address

STRUCTURAL + ARCHITECTURAL (GUARDRAIL)

Discipline

PLUMBING

- 4.1 Roof drainage systems
- 4.2 Site and foundation drainage systems
- 4.3 Plumbing systems and devices
- 4.4 Continuity of fire separations at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for plumbing systems
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing Systems, Part 10/ASHRAE or NECB Requirements

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of occupancy
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of fire separations at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from buildings of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical Systems, Part 10/ASHRAE or NECB requirements

GEOTECHNICAL — Temporary

- 7.1 Excavation
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep foundations
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



(Professional's Seal and Signature)

FEB. 21, 2017

Date

CRP's Initials



Proof of Professional Liability Insurance

Planning and Development Services Department
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
Phone: 604 541 2136 Fax: 604 541 2153
Website: www.whiterockcity.ca

Form "B"

RE: Address: 15565 VICTORIA AVE., WHITE ROCK

#16123

Building Permit Application No.:

The undersigned hereby gives assurance that:

- a) I have fulfilled my obligation to obtain a subsisting policy of professional liability or errors and omissions insurance as outlined in the City of White Rock **Building Bylaw**.
- b) I have enclosed a copy of my certificate of insurance indicating the particulars of such coverage.
- c) I am a registered professional as defined under Section 1.4 of the British Columbia Building Code.
- d) I will notify the Building Official immediately if this insurance coverage is reduced, expired or terminated at any time during construction.

Signed this 21st day of FEB. / 2017

TONG NGO, P.ENG.

Print Name of Registered Professional

Signature of Registered Professional

STRUCTURAL + ARCHITECTURAL (GUARDRAIL)

Professional's Discipline

Professional's seal

or



Signed this _____ day of _____

Witness Signature

016123



Certificate of Insurance

Vancouver 1600 - 1111 West Georgia St., Vancouver, BC V6E 4G2 Telephone: 604 682 4211 Facsimile: 604 682 3520

Certificate

Holder: To Whom It May Concern

Description: Evidence of Insurance

Name of Insured: Tong Ngo Engineering Ltd.

This is to certify that the policies of insurance listed in the attached Certificate have been issued to the insured named above for the policy period indicated, notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain. The insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies. Limits shown may have been reduced by paid claims/expenses.

Schedule of Insurance

Type of Insurance	Company and Policy Number	Policy Dates	Limit of Liability/Amount
Practice Professional Liability (Claims Made)	Certain Lloyd's Underwriters as arranged by JLT Specialty Limited Policy No. 7066/16-VS2232	Effective: October 12, 2017 Expiry: October 12, 2018	\$ 1,000,000 Per Claim
			\$ 1,000,000 Aggregate Limit
			\$ 1,500 Self Insured Retention (Each and Every ...)

These statements have been made in good faith and are a summary of the insurance cover in force (which is subject to the full terms and conditions of the policy). We accept no responsibility whatsoever for any inadvertent or negligent act, error or omission on our part in preparing these statements or for any loss, damage or expense thereby occasioned to any recipient of this certificate.

Jardine Lloyd Thompson Canada Inc.

Dated September 29, 2017

Per 

Terms and Conditions

This certificate is issued for convenience only. All of the terms and conditions of the Policies referred to are contained in the original document which are not modified or amended by this Certificate. With respect to Liability Insurance Coverages, where an Aggregate limit applies, the Certificate Holder is advised that the limit shown may apply to products/completed operations or projects other than shown in this certificate and the limit may be reduced by Claims/Expenses Paid.

A&E99/09-2014

BRITISH COLUMBIA BUILDING CODE 2012

RECEIVED

MAR 14 2017

SCHEDULE B

Forming Part of Subsection 2.2.7, Div. C of the British Columbia Building Code

#16123

Building Permit No. (not authority having jurisdiction's use)

THE CORPORATION OF THE CITY OF WHITE ROCK

ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW

- Notes: (i) This letter must be submitted prior to the commencement of construction activities of the components identified below. A separate letter must be submitted by each registered professional of record. (ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities. (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The authority having jurisdiction

CITY OF WHITE ROCK Name of Jurisdiction (Print)

Re: Single Family Dwelling Name of Project (Print)

15565 Victoria Avenue, White Rock, BC Address of Project (Print)

The undersigned hereby gives assurance that the design of the (Initial those of the items listed below that apply to this registered professional of record. All the disciplines will not necessarily be employed on every project.)

- ARCHITECTURAL
STRUCTURAL
MECHANICAL
PS PLUMBING JS
FIRE SUPPRESSION SYSTEMS
ELECTRICAL
GEOTECHNICAL - temporary
GEOTECHNICAL - permanent



Feb 17, 17 Date

components of the plans and supporting documents prepared by this registered professional of record in support of the application for the building permit as outlined below substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for field reviews of the above referenced components during construction, as indicated on the 'SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS' below.

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - *Continued*

#16123

Building Permit No.
(for authority having jurisdiction's use)

15565 Victoria Avenue, White Rock, BC

Project Address

Plumbing

Discipline

The undersigned also undertakes to notify the *authority having jurisdiction* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during construction.

I certify that I am a *registered professional* as defined in the British Columbia Building Code.

Jagjot Singh Sidhu

Registered Professional of Record's Name (Print)

108 - 8299 - 129 St.

Address (Print)

Surrey, BC V3W 0A6

604-593-2293

Phone No.



(Professional's Seal and Signature)

Feb 17, 17

Date

(If the *Registered Professional of Record* is a member of a firm, complete the following.)

I am a member of the firm Voltas Engineering Ltd.

and I sign this letter on behalf of the firm.

(Print name of firm)

Note: The above letter must be signed by a *registered professional of record*, who is a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - *Continued*

#16123

Building Permit No.
(for authority having jurisdiction use)

15565 Victoria Avenue, White Rock, BC

Project Address

Plumbing

Discipline

SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 *Fire separations* and their continuity
- 1.3 *Closures*, including tightness and operation
- 1.4 Egress systems, including *access to exit* within *suites* and *floor areas*
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for fire fighting access
- 1.10 Access requirements for *persons with disabilities*
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below *grade*
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)
- 1.24 Building Envelope, Part 10/ASHRAE or NECB Requirements



(Professional's Seal and Signature)

Feb 17 17

Date

STRUCTURAL

- 2.1 Structural capacity of structural components of the *building*, including anchorage and seismic restraint
- 2.2 Structural aspects of *deep foundations*
- 2.3 Review of all applicable shop drawings
- 2.4 Structural aspects of unbonded post-tensioned concrete design and construction

MECHANICAL

- 3.1 HVAC systems and devices, including high *building* requirements where applicable
- 3.2 *Fire dampers* at required *fire separations*
- 3.3 Continuity of *fire separations* at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings
- 3.8 Mechanical Systems, Part 10/ASHRAE or NECB Requirements


 CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

#16123

#16123

Building Permit No.
(for authority having jurisdiction use)

15565 Victoria Avenue, White Rock, BC

Project Address

Plumbing

Discipline

PLUMBING

- 4.1 Roof drainage systems
- 4.2 Site and foundation drainage systems
- 4.3 Plumbing systems and devices
- 4.4 Continuity of fire separations at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for plumbing systems
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing Systems, Part 10/ASHRAE or NECB Requirements

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of occupancy
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of fire separations at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from buildings of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical Systems, Part 10/ASHRAE or NECB requirements

GEOTECHNICAL — Temporary

- 7.1 Excavation
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep foundations
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



Feb 17, 17

Date

CRP's Initials



Proof of Professional Liability Insurance

Planning and Development Services Department
 15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
 Phone: 604 541 2136 Fax: 604 541 2153
 Website: www.whiterockcity.ca

Form "B"

RE: Address: 15565 Victoria Avenue, White Rock, BC

Building Permit Application No.: #16123

The undersigned hereby gives assurance that:

- I have fulfilled my obligation to obtain a subsisting policy of professional liability or errors and omissions insurance as outlined in the City of White Rock **Building Bylaw**.
- I have enclosed a copy of my certificate of insurance indicating the particulars of such coverage.
- I am a registered professional as defined under Section 1.4 of the British Columbia Building Code.
- I will notify the Building Official immediately if this insurance coverage is reduced, expired or terminated at any time during construction.

Signed this 17 day of February 2017 Jagjot Singh Sidhu

Print Name of Registered Professional


Signature of Registered Professional

Sump Pump Only
Professional's Discipline

Professional's seal

or

Signed this 17 day of February 2017 _____

Witness Signature



THIS IS TO CERTIFY THAT insurance has been effected as shown below:

INSURED: **Voltas Engineering Ltd.**
and other insureds who may be identified in the policy.

INSURER: XL Specialty Insurance Company

POLICY NO: **DPX9449178**

POLICY EXPIRY: **March 18, 2019; 12:01 A.M. Local Standard Time**

COVERAGE: **PROFESSIONAL LIABILITY INSURANCE**

LIMIT OF LIABILITY: CAN \$2,000,000. each claim and in the aggregate annually CAN \$2,000,000.

This certificate is valid at the date of issuance. The policy is subject to change, expiration or cancellation without notice to the certificate-holder.

This certificate is issued for information only, and confers no rights on any holder and imposes no liability upon the insurer, which assumes no responsibility whatsoever in furnishing this certificate.

The Policy contains all the terms and conditions of coverage. The policy is not limited to claims by or in connection with the above-noted certificate-holder. The limit of liability may be inclusive of damages and claims expenses; the aggregate limit is the maximum available for all covered claims.

METRIX PROFESSIONAL INSURANCE BROKERS INC.



Authorized Representative

Dated: March 22, 2018
/cz

SCHEDULE

Forming Part of Sentence 7 of the
British Columbia Building Code

#16123

CONFIRMATION OF COMMITMENT BY OWNER
AND COORDINATING REGISTERED PROFESSIONAL

- Notes:
- (i) This letter must be submitted before issuance of a *building* permit.
 - (ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
 - (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

Re: Design and *Field Review* of Construction
by a *Coordinating Registered Professional*

To: The authority having jurisdiction
CITY OF WHITE ROCK

Re: SINGLE FAMILY DWELLING AND DETACHED GARAGE

15565 VICTORIA AVE., WHITE ROCK, BC



VIJAY KUMAR BAINS

The undersigned has retained VIJAY KUMAR BAINS as a *coordinating registered professional* to coordinate the design work and *field reviews* of the *registered professionals of record* required for this project. The *coordinating registered professional* shall coordinate the design work and *field reviews* of the *registered professionals of record* required for the project in order to ascertain that the design will substantially comply with the B.C. Building Code and other applicable enactments respecting safety and that the construction of the project will substantially comply with the B.C. Building Code and other applicable enactments respecting safety, not including the construction safety aspects.

"*field reviews*" are defined in the British Columbia Building Code to mean those reviews of the work

- (a) at a project site of a development to which a *building* permit relates, and
- (b) where applicable, at fabrication locations where *building* components are fabricated for use at the project site

that a *registered professional of record* in his or her professional discretion considers necessary to ascertain whether the work substantially complies in all material respects with the plans and supporting documents prepared by the *registered professional of record* for which the *building* permit is issued.

The *owner* and the *coordinating registered professional* have read Subsection 2.2.7, Division C of the British Columbia Building Code. The *owner* and the *coordinating registered professional* each acknowledge their responsibility to notify the addressee of this letter of the date the *coordinating registered professional* ceases to be retained by the *owner* before the date the *coordinating registered professional* ceases to be retained or, if that is not possible, then as soon as possible. The *coordinating registered professional* acknowledges the responsibility to notify the addressee of this letter of the date a *registered professional of record* ceases to be retained before the date the *registered professional of record* ceases to be retained or, if that is not possible, then as soon as possible.

¹It is the responsibility of the *coordinating registered professional* to ascertain which *registered professionals of record* are required, and to initial each Schedule B.

BRITISH COLUMBIA BUILDING CODE 2012

Schedule A – Continued

#16123

Building Permit No.

15565 VICTORIA AVE., WHITE ROCK, BC

Project Address

The *owner* and the *coordinating registered professional* understand that where the *coordinating registered professional* or a *registered professional of record* ceases to be retained at any time during construction, work on the above project will cease until such time as

- (a) a new *coordinating registered professional* or *registered professional of record*, as the case may be, is retained, and
- (b) a new letter in the form set out in Schedule A or in the form set out in Schedules B, as the case may be, is filed with the *authority having jurisdiction*.

The undersigned *coordinating registered professional* certifies that he or she is a *registered professional* as defined in the British Columbia Building Code, and agrees to coordinate the design work and *field reviews* of the *registered professionals of record* required for the project as outlined in the attached Schedules B including coordination and integration of functional testing of fire protection and life safety systems. (See A-2.2.7.3 in Appendix A.)

Coordinating Registered Professional

VIJAY KUMAR BAINS

Coordinating Registered Professional's Name (Print)

#111A-12830-80 AVE., SURREY, BC

Address (Print)

6048254386

Phone No.

Owner

Redacted S. 22

Owner's Name (Print)

Redacted S. 22

Address (Print)

Redacted S. 22

Date:

July 20, 2016

Owner's or Owner's appointed agent's Signature. If owner is a corporation the signature of a signing officer must be given first. If the signature is that of the agent, a copy of the document that appoints this agent must be attached.



20/ JUNE/2016

(If the *Coordinating Registered Professional* is a member of a firm, complete the following.)

V.K. ENGINEERING AND CONSULTING LTD.

I am a member of the firm

and I sign this letter on behalf of the firm

This letter must be signed by the *owner* or the *owner's* appointed agent and by the *coordinating registered professional*. An agent's letter of appointment must be attached. If the *owner* is a corporation, the letter must be signed by a signing officer of the corporation and the signing officer must set forth his or her position in the corporation.

The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

016123



Proof of Professional Liability Insurance

Planning and Development Services Department
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
Phone: 604 541 2136 Fax: 604 541 2153
Website: www.whiterockcity.ca

Form "B"

RE: Address: LOT 16 - 15565 - Victoria Ave., WHITE ROCK, BC
#16123
Building Permit Application No.: _____

The undersigned hereby gives assurance that:

- a) I have fulfilled my obligation to obtain a subsisting policy of professional liability or errors and omissions insurance as outlined in the City of White Rock **Building Bylaw**.
- b) I have enclosed a copy of my certificate of insurance indicating the particulars of such coverage.
- c) I am a registered professional as defined under Section 1.4 of the British Columbia Building Code.
- d) I will notify the Building Official immediately if this insurance coverage is reduced, expired or terminated at any time during construction.

Signed this 27th day of JULY 2016 VIJAY KUMAR BAINS
Print Name of Registered Professional

Vijay Kumar Bains
Signature of Registered Professional

STRUCTURAL
Professional's Discipline

Professional's seal

or



Signed this _____ day of _____
Witness Signature

016123



200 - 1177 West Hastings Street Vancouver, BC V6E 2K3
T. (604) 669-9600 | 1 (866) 669-9602 | F. (604) 683-9316

**CERTIFICATE OF INSURANCE
NO. 1**

THIS IS TO CERTIFY TO: Whom It May Concern

that the following described policy(ies) or cover note(s) in force at this date have been effected to cover as shown below:

NAMED INSURED: VK Engineering & Consulting Ltd.

ADDRESS: 111-12830 80 Avenue
Surrey, BC V3W 3A8

Description of operations and/or activities and/or locations and/or vehicles to which this certificate applies:

Engineering Firm

TYPE	INSURER	POLICY NO.	POLICY PERIOD from (mm/dd/yyyy) to (mm/dd/yyyy)	LIMIT OF INSURANCE
Professional Liability Insurance	Effected with certain Lloyd's Underwriters under Agreement No. B0713GLOPR1701586	B0713GLOPR1701586/00110	04/10/2017 To 04/10/2018	\$2,000,000 Each and Every Claim \$2,000,000 Aggregate Limit

Additional Information:

For the purposes of the Insurance Companies Act (Canada), this document was issued in the course of Lloyd's Underwriters' insurance business in Canada.

This certificate is issued as a matter of information only and is subject to all the limitations, exclusions and conditions of the above-listed policies as they now exist or may hereafter be endorsed.

Should one of the above-noted policies be cancelled before the expiry date shown, notice of cancellation will be delivered in accordance with the policy provisions.

Limits shown above may be reduced by Claims or Expenses paid.

THIS POLICY CONTAINS A CLAUSE(S) WHICH MAY LIMIT THE AMOUNT PAYABLE.

Every action or proceeding against an insurer for the recovery of insurance money payable under the contract is absolutely barred unless commenced within the time set out in the Insurance Act.

BFL CANADA Insurance Services Inc.

Signed in Vancouver this 13th day of March 2017

Per:

Authorized Representative

016123

V. K. ENGINEERING AND CONSULTING LTD.

12830-80th Ave., Surrey BC., V3W 3A8 PH.:7785937444, CELL.:(604)825-4386

RECEIVED

JUNE 28, 2018

JUL 05 2018

CITY OF WHITE ROCK

THE CORPORATION OF THE
CITY OF WHITE ROCK

ATTN: PLAN CHECKER

16 - 123

Re: 15565-VICTORIA AVE., WHITE ROCK., BC

This is an addendum, pls note that we are aware of new geotechnical engineering firm Geocan Engineering Inc..

We trust that this documentation meets your current requirements. If you have any queries, Please do not hesitate to contact us.

Yours truly



Vijay Kumar Bains, P.Eng
V.K. Engineering & Consulting Ltd

BRITISH COLUMBIA BUILDING CODE 2012

SCHEDULE B

Forming Part of Subsection 2.2.7, Div. C of the
British Columbia Building Code

#16123

ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW

- Notes: (i) This letter must be submitted prior to the commencement of construction activities of the components identified below. A separate letter must be submitted by each *registered professional of record*.
- (ii) This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Officials' Association of B.C., and Union of B.C. Municipalities.
- (iii) In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The *authority having jurisdiction*

CITY OF WHITEROCK

Re: SINGLE FAMILY DWELLING AND DETACHED GARAGE

LOT #16@15565-VICTORIA AVENUE, WHITE ROCK, B.C

The undersigned hereby gives assurance that the design of the
(initial those of the items listed below that apply to this *registered professional of record*. All the disciplines will not necessarily be employed on every project.)

ARCHITECTURAL
 STRUCTURAL
 MECHANICAL
 PLUMBING
 FIRE SUPPRESSION SYSTEMS
 ELECTRICAL
 GEOTECHNICAL — temporary
 GEOTECHNICAL — permanent



JUNE 16/2016

components of the plans and supporting documents prepared by this *registered professional of record* in support of the application for the *building* permit as outlined below substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction, as indicated on the "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" below.

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

#16123

LOT #16@15565-VICTORIA AVE., WHITE ROCK, B.C

STRUCTURAL

The undersigned also undertakes to notify the authority having jurisdiction in writing as soon as possible if the undersigned's contract for field review is terminated at any time during construction.

I certify that I am a registered professional as defined in the British Columbia Building Code.

VIJAY KUMAR BAINS

Registered Professional of Record (Name - Print)

12830-60 AVE .SURREY .BC V3W 3A8

Address - Other

(604) 825- 4386

Phone No.



JUNE 16/2016

I am a member of the firm V.K. ENGINEERING AND CONSULTING LTD. and I sign this letter on behalf of the firm

Note: The above letter must be signed by a registered professional of record, who is a registered professional. The British Columbia Building Code defines a registered professional to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
(b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

[Signature]

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

#16123

LOT #16@15565-VICTORIA AVE., WHITE ROCK, B.C.

STRUCTURAL

SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

ARCHITECTURAL

- 1.1 Fire resisting assemblies
- 1.2 ~~Fire separations and their continuity~~
- 1.3 ~~Closures, including tightness and operation~~
- 1.4 ~~Egress systems, including access to exit within suites and floor areas~~
- 1.5 ~~Performance and physical safety features (guardrails, handrails, etc.)~~
- 1.6 ~~Structural capacity of architectural components, including anchorage and seismic restraint~~
- 1.7 ~~Sound control~~
- 1.8 ~~Landscaping, screening and site grading~~
- 1.9 ~~Provisions for fire fighting access~~
- 1.10 ~~Access requirements for persons with disabilities~~
- 1.11 ~~Elevating devices~~
- 1.12 ~~Functional testing of architecturally related fire emergency systems and devices~~
- 1.13 ~~Development Permit and conditions therein~~
- 1.14 ~~Interior signage, including acceptable materials, dimensions and locations~~
- 1.15 ~~Review of all applicable shop drawings~~
- 1.16 ~~Interior and exterior finishes~~
- 1.17 ~~Dampproofing and/or waterproofing of walls and slabs below grade~~
- 1.18 ~~Roofing and flashings~~
- 1.19 ~~Wall cladding systems~~
- 1.20 ~~Condensation control and cavity ventilation~~
- 1.21 ~~Exterior glazing~~
- 1.22 ~~Integration of building envelope components~~
- 1.23 ~~Environmental separation requirements (Part 5)~~
- 1.24 ~~Building Envelope, Part 10/ASHRAE or NECB Requirements~~



JUNE 16/2016

STRUCTURAL

- 2.1 Structural capacity of structural components of the building, including anchorage and seismic restraint
- 2.2 Structural aspects of ~~deep foundations~~
- 2.3 Review of all applicable shop drawings
- 2.4 ~~Structural aspects of unbonded post-tensioned concrete design and construction~~

MECHANICAL

- 3.1 HVAC systems and devices, including high building requirements where applicable
- 3.2 ~~Fire dampers at required fire separations~~
- 3.3 ~~Continuity of fire separations at HVAC penetrations~~
- 3.4 ~~Functional testing of mechanically related fire emergency systems and devices~~
- 3.5 ~~Maintenance manuals for mechanical systems~~
- 3.6 ~~Structural capacity of mechanical components, including anchorage and seismic restraint~~
- 3.7 ~~Review of all applicable shop drawings~~
- 3.8 ~~Mechanical Systems, Part 10/ASHRAE or NECB Requirements~~

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

#16123

LOT #16@15565-VICTORIA AVE., WHITE ROCK, B.C.

STRUCTURAL

PLUMBING

- 4.1 Roof *drainage systems*
- 4.2 Site and foundation *drainage systems*
- 4.3 *Plumbing systems and devices*
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing Systems, Part 10/ASHRAE or NECB Requirements

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical Systems, Part 10/ASHRAE or NECB requirements

GEOTECHNICAL — Temporary

- 7.1 *Excavation*
- 7.2 *Shoring*
- 7.3 *Underpinning*
- 7.4 Temporary construction dewatering

GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of *deep foundations*
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



JUNE 16/2016

016123

V. K. ENGINEERING AND CONSULTING LTD.

12830-80th Ave., Surrey BC., V3W 3A8 PH.:7785937444, CELL.:(604)825-4386

#16123

MAY29, 2018

CITY OF WHITE ROCK

ATTN: PLAN CHECKER

Re: 15565-VICTORIA AVE., WHITE ROCK., BC

This is an addendum, pls note that we are aware of new geotechnical engineering firm Western Geotechnical Consultants.

We trust that this documentation meets your current requirements. If you have any queries, Please do not hesitate to contact us.

Yours truly



Vijay Kumar Bains, P.Eng
V.K. Engineering & Consulting Ltd

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

16123

Building Permit No.

(See applicable building code jurisdiction)

15565 Victoria Avenue, White Rock, B.C.

Project Address

Building Envelope & Fire Suppression System

Discipline

The undersigned also undertakes to notify the *authority having jurisdiction* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during construction.

I certify that I am a *registered professional* as defined in the British Columbia Building Code.

G.S.PUREWAL

Registered Professional of Record's Name (Print)

108-8299-129 STREET

Address (Print)

SURREY, BC, V3W 0A6

604-593-2293

Phone No.



(Professional's Seal and Signature)

June 13, 2016

Date

(If the Registered Professional of Record is a member of a firm, complete the following.)

I am a member of the firm VOLTAS ENGINEERING LTD.

and I sign this letter on behalf of the firm

(Print name of firm)

Note: The above letter must be signed by a *registered professional of record*, who is a *registered professional*. The British Columbia Building Code defines a *registered professional* to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

CRP's Initials

BRITISH COLUMBIA BUILDING CODE 2012

Schedule B - Continued

#16123

Building Permit No.

and associated documents

15565 Victoria Avenue, White Rock, B.C.

Project address

Building Envelope & Fire Suppression System

Discipline

SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS

(Initial applicable discipline below and cross out and initial only those items not applicable to the project.)

Q **ARCHITECTURAL**

- 1.1 Fire-resisting assemblies
- 1.2 Fire separations and their continuity
- 1.3 Closures, including lightness and operation
- 1.4 Egress systems, including access to exit within suites and floor areas
- 1.5 Performance and physical safety features (guardrails, handrails, etc.)
- 1.6 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.7 Sound control
- 1.8 Landscaping, screening and site grading
- 1.9 Provisions for fire-fighting access
- 1.10 Access requirements for persons with disabilities
- 1.11 Elevating devices
- 1.12 Functional testing of architecturally-related fire emergency systems and devices
- 1.13 Development Permit and conditions therein
- 1.14 Interior signage, including acceptable materials, dimensions and locations
- 1.15 Review of all applicable shop drawings
- 1.16 Interior and exterior finishes
- 1.17 Dampproofing and/or waterproofing of walls and slabs below grade
- 1.18 Roofing and flashings
- 1.19 Wall cladding systems
- 1.20 Condensation control and cavity ventilation
- 1.21 Exterior glazing
- 1.22 Integration of building envelope components
- 1.23 Environmental separation requirements (Part 5)
- 1.24 Building Envelope, Part 10/ASHRAE or NECB Requirements



Professional's Seal and Signature

June 13, 2016

Date

STRUCTURAL

- 2.1 Structural capacity of structural components of the building, including anchorage and seismic restraint
- 2.2 Structural aspects of deep foundations
- 2.3 Review of all applicable shop drawings
- 2.4 Structural aspects of unbonded post-tensioned concrete design and construction

MECHANICAL

- 3.1 HVAC systems and devices, including high building requirements where applicable
- 3.2 Fire dampers at required fire separations
- 3.3 Continuity of fire separations at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings
- 3.8 Mechanical Systems, Part 10/ASHRAE or NECB Requirements

CRP's Initials

Schedule B - Continued

#16123

Building Permit No.

15565 Victoria Avenue, White Rock, B.C.

Project Name

Building Envelope & Fire Suppression System

City/District

PLUMBING

- 4.1 Roof drainage systems
- 4.2 Site and foundation drainage systems
- 4.3 Plumbing systems and devices
- 4.4 Continuity of fire separations at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for plumbing systems
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings
- 4.9 Plumbing Systems, Part 10/ASHRAE or NECB Requirements

FIRE SUPPRESSION SYSTEMS

- 5.1 Suppression system classification for type of occupancy
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Freeze protection measures for fire suppression systems
- 5.14 Functional testing of fire suppression systems and devices

ELECTRICAL

- 6.1 Electrical systems and devices, including high building requirements where applicable
- 6.2 Continuity of fire separations at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from buildings of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings
- 6.9 Electrical Systems, Part 10/ASHRAE or NECB requirements

GEOTECHNICAL — Temporary

- 7.1 Excavation
- 7.2 Shoring
- 7.3 Underpinning
- 7.4 Temporary construction dewatering

GEOTECHNICAL — Permanent

- 8.1 Bearing capacity of the soil
- 8.2 Geotechnical aspects of deep foundations
- 8.3 Compaction of engineered fill
- 8.4 Structural considerations of soil, including slope stability and seismic loading
- 8.5 Backfill
- 8.6 Permanent dewatering
- 8.7 Permanent underpinning



(Professional's Seal and Signature)

June 13, 2016

Date

GSP's Initials

016123



Proof of Professional Liability Insurance

Planning and Development Services Department
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
Phone: 604 541 2136 Fax: 604 541 2153
Website: www.whiterockcity.ca

Form "B"

RE: **Address:** 15565 Victoria Avenue, White Rock, BC
Building Permit Application No.: #16123

The undersigned hereby gives assurance that:

- a) I have fulfilled my obligation to obtain a subsisting policy of professional liability or errors and omissions insurance as outlined in the City of White Rock **Building Bylaw**.
- b) I have enclosed a copy of my certificate of insurance indicating the particulars of such coverage.
- c) I am a registered professional as defined under Section 1.4 of the British Columbia Building Code.
- d) I will notify the Building Official immediately if this insurance coverage is reduced, expired or terminated at any time during construction.

Signed this 13 day of June 2016

G. S Purewal
Print Name of Registered Professional


Signature of Registered Professional

Building Envelope & Fire Suppression System
Professional's Discipline

Professional's seal
or



Signed this _____ day of _____

Witness Signature

TO:

THIS IS TO CERTIFY THAT insurance has been effected as shown below:

INSURED: Voltas Engineering Ltd.
and other insureds who may be identified in the policy.

INSURER: XL Specialty Insurance Company

POLICY NO: DPX9450302

POLICY EXPIRY: March 18, 2020; 12:01 A.M. Local Standard Time

COVERAGE: PROFESSIONAL LIABILITY INSURANCE

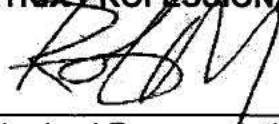
LIMIT OF LIABILITY: CAN \$2,000,000. Each claim and in the
Aggregate annually CAN \$2,000,000.

This certificate is valid at the date of issuance. The policy is subject to change, expiration or cancellation without notice to the certificate-holder.

This certificate is issued for information only, and confers no rights on any holder and imposes no liability upon the insurer, which assumes no responsibility whatsoever in furnishing this certificate.

The Policy contains all the terms and conditions of coverage. The policy is not limited to claims by or in connection with the above-noted certificate-holder. The limit of liability may be inclusive of damages and claims expenses; the aggregate limit is the maximum available for all covered claims.

METRIX PROFESSIONAL INSURANCE BROKERS INC.



Authorized Representative

Dated: March 15, 2019
/ew

RECEIVED

JUL 29 2019

CITY OF WHITE ROCK
DEVELOPMENT SERVICES

HYDRAULIC DESIGN INFORMATION SHEET

Name - SFD Date - June 11 2016
Location - WhiteRock
Building - 15565 Victoria Avenue System No. -
Contractor - Gold Key Fire Protection Ltd. Contract No. -
Calculated By - Greaves Engineering & Testing Services (GETS) Inc. Drawing No. -
Construction: (X) Combustible () Non-Combustible Ceiling Height
OCCUPANCY - RESIDENTIAL

S Type of Calculation: () NFPA 13 Residential () NFPA 13R (X) NFPA 13D
Y Number of Sprinklers Flowing: () 1 (X) 2 () 4 ()
S () Other
T () Specific Ruling Made by Date
E
M Listed Flow at Start Point - 14 Gpm System Type
Listed Pres. at Start Point - 8.2 Psi (X) Wet () Dry
D MAXIMUM LISTED SPACING 16 x 16 () Deluge () PreAction
E Domestic Flow Added - 5 Gpm Sprinkler or Nozzle
S Additional Flow Added - Gpm Make GLOBE Model GL4910
I Elevation at Highest Outlet - 124 Feet Size 7/16 K-Factor 4.9
G Note: Temperature Rating 155
N

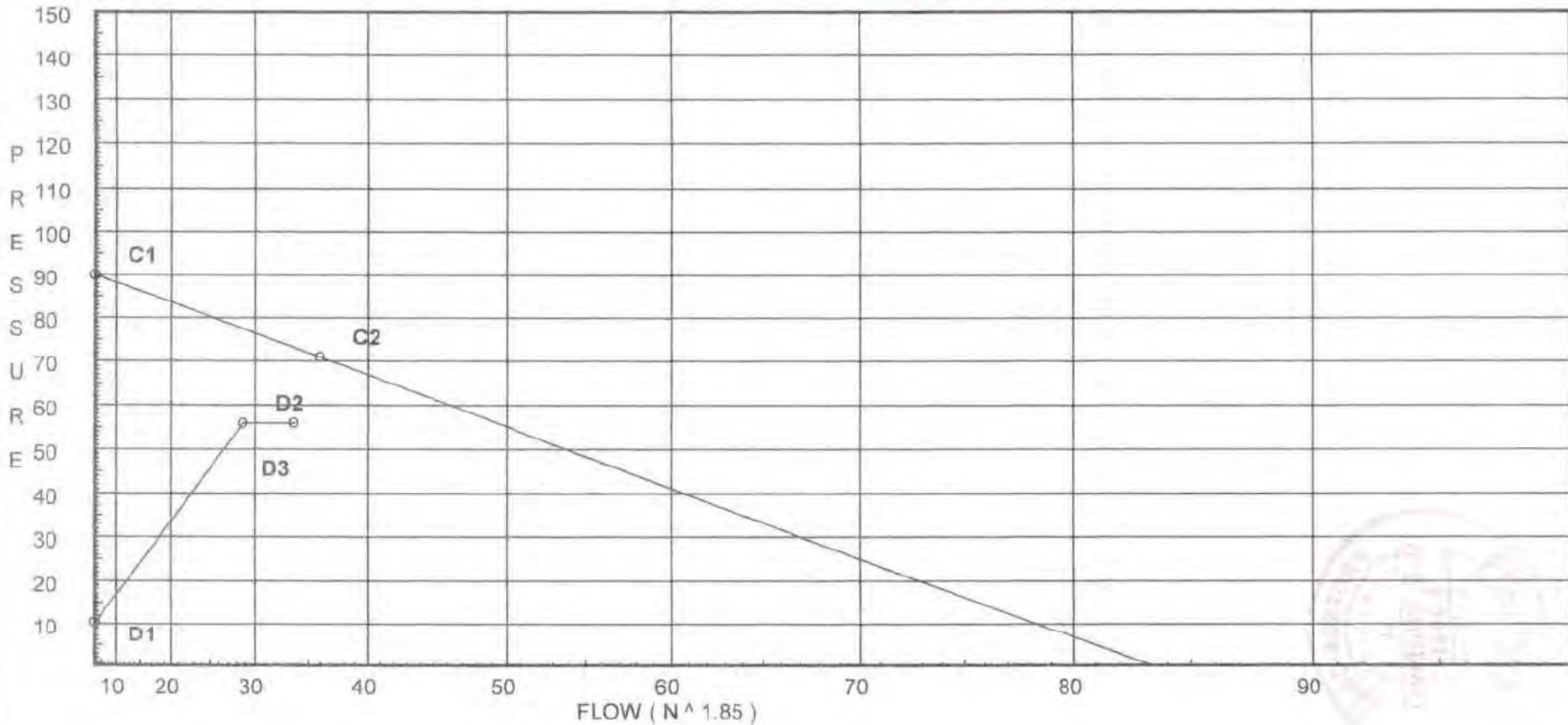
Calculation Summary Gpm Required 33.6838 C-Factor Used: Psi Required 35.98 Overhead 150 At Ref Pt STR Underground 150

W Water Flow Test: Pump Data: Tank or Reservoir:
A Date of Test - Rated Cap. Cap.
T Time of Test - @ Psi Elev.
E Static (Psi) - 90 Elev.
R Residual (Psi) - 71 Other Well
Flow (Gpm) - 36 Proof Flow Gpm
S Elevation - 100
P Location:
P
L Source of Information:
Y



City Water Supply:
 C1 - Static Pressure : 90
 C2 - Residual Pressure: 71
 C2 - Residual Flow : 36

Demand:
 D1 - Elevation : 10.394
 D2 - System Flow : 28.684
 D2 - System Pressure : 55.978
 Hose (Demand) : 5
 D3 - System Demand : 33.684
 Safety Margin : 17.221



Hyd. Ref. Point	Qa Qt	Dia. "C" Pf/Ft	Fitting or Eqv. Ln.	Pipe Ftng's Total	Pt Pe Pf	Pt Pv Pn	*****	Notes	*****
S.1	0.0	1.263	2E 3.707	90.000	36.456				
to		150.0	0.0	3.707	11.732			* Fixed loss = 10	
MTR	28.68	0.0679	0.0	93.707	6.367			Vel = 7.34	
MTR	5.00	1.263	1E 1.853	10.000	54.555			Qa = 5	
to		150.0	1T 3.707	5.560	0.0				
STR	33.68	0.0915	1G 0.0	15.560	1.423			Vel = 8.62	
	0.0								
	33.68				55.978			K Factor = 4.50	

#16123

Hyd. Ref. Point	Qa Qt	Dia. "C" Pf/Ft	Fitting or Eqv. Ln.	Pipe Ftng's Total	Pt Pe Pf	Pt Pv Pn	*****	Notes	*****
*Remote Head to Supply									
H.4 to T.37	14.03	1.101 150.0		4.000 0.0	8.200 0.0			K Factor = 4.90	
T.37 to H.9	14.03	0.0352		4.000	0.141			Vel = 4.73	
T.37 to H.9	0.0	1.101 150.0	1Ptr 1Pel	1.0 7.0	9.000 8.000	8.341 0.0			Vel = 4.73
H.9 to H.17	14.03	0.0354		0.0	17.000	0.601		Vel = 4.73	
H.9 to H.17	14.65	1.101 150.0	1Ptr	1.0 0.0	15.000 1.000	8.942 0.0		K Factor = 4.90	
H.17 to T.46	28.68	0.1326		0.0	16.000	2.121		Vel = 9.66	
H.17 to T.46	0.0	1.101 150.0	1Pel	7.0 0.0	16.000 7.000	11.063 3.465			Vel = 9.66
T.46 to H.16	28.68	0.1326		0.0	23.000	3.049		Vel = 9.66	
T.46 to H.16	0.0	1.101 150.0		0.0 0.0	5.627 0.0	17.577 0.0			Vel = 9.66
H.16 to T.45	28.68	0.1326		0.0	5.627	0.746		Vel = 9.66	
H.16 to T.45	0.0	1.101 150.0	1Ptr 1Ptb	1.0 5.0	8.000 6.000	18.323 0.0			Vel = 9.66
T.45 to T.49	28.68	0.1326		0.0	14.000	1.857		Vel = 9.66	
T.45 to T.49	0.0	1.101 150.0	1Ptr	1.0 0.0	2.000 1.000	20.180 0.0			Vel = 9.66
T.49 to H.20	28.68	0.1323		0.0	3.000	0.397		Vel = 9.66	
T.49 to H.20	0.0	1.101 150.0	1Ptr	1.0 0.0	4.000 1.000	20.577 0.0			Vel = 9.66
H.20 to T.52	28.68	0.1326		0.0	5.000	0.663		Vel = 9.66	
H.20 to T.52	0.0	1.101 150.0	1Ptr	1.0 0.0	6.000 1.000	21.240 0.0			Vel = 9.66
T.52 to T.55	28.68	0.1326		0.0	7.000	0.928		Vel = 9.66	
T.52 to T.55	0.0	1.101 150.0	1Ptr	1.0 0.0	2.000 1.000	22.168 0.0			Vel = 9.66
T.55 to T.56	28.68	0.1327		0.0	3.000	0.398		Vel = 9.66	
T.55 to T.56	0.0	1.101 150.0	2Ptb	10.0 0.0	12.000 10.000	22.566 3.465			Vel = 9.66
T.56 to T.57	28.68	0.1326		0.0	22.000	2.917		Vel = 9.66	
T.56 to T.57	0.0	1.101 150.0	1Ptr	1.0 0.0	8.000 1.000	28.948 0.0			Vel = 9.66
T.57 to H.30	28.68	0.1326		0.0	9.000	1.193		Vel = 9.66	
T.57 to H.30	0.0	1.101 150.0	1Ptb	5.0 0.0	10.000 5.000	30.141 0.0			Vel = 9.66
H.30 to T.58	28.68	0.1326		0.0	15.000	1.989		Vel = 9.66	
H.30 to T.58	0.0	1.101 150.0	1Ptr	1.0 0.0	2.000 1.000	32.130 0.0			Vel = 9.66
T.58 to S.1	28.68	0.1323		0.0	3.000	0.397		Vel = 9.66	
T.58 to S.1	0.0	1.101 150.0	1T 1Ptr	9.563 1.0	6.000 10.563	32.527 1.732			Vel = 9.66
S.1	28.68	0.1326		0.0	16.563	2.197		Vel = 9.66	

Office

#16123

VOLTAS ENGINEERING LTD
#108 8299 - 129 ST
SURREY, BC V3W0A6
Phone: (604) 593-2293

DISCLAIMER

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VOLTAS ENGINEERING LTD. CLIENTS AND
IS PROTECTED BY THE COPYRIGHT OF VOLTAS
ENGINEERING LTD.

PROJECT NO:

SFD
15565 Victoria Avenue
WhiteRock

CLIENT: Gold Key Fire Protection Ltd.

SCALE:

SCALE: 1/8" = 1'-0"

DRAWN BY:

RC

CHECKED BY:

GP

ISSUE DATES:

Date FOR APPROVAL
JUNE 11, 2016

TITLE:

SPRINKLER PLAN
SPECIFICATIONS

DRAWING NO.:

FP - 1

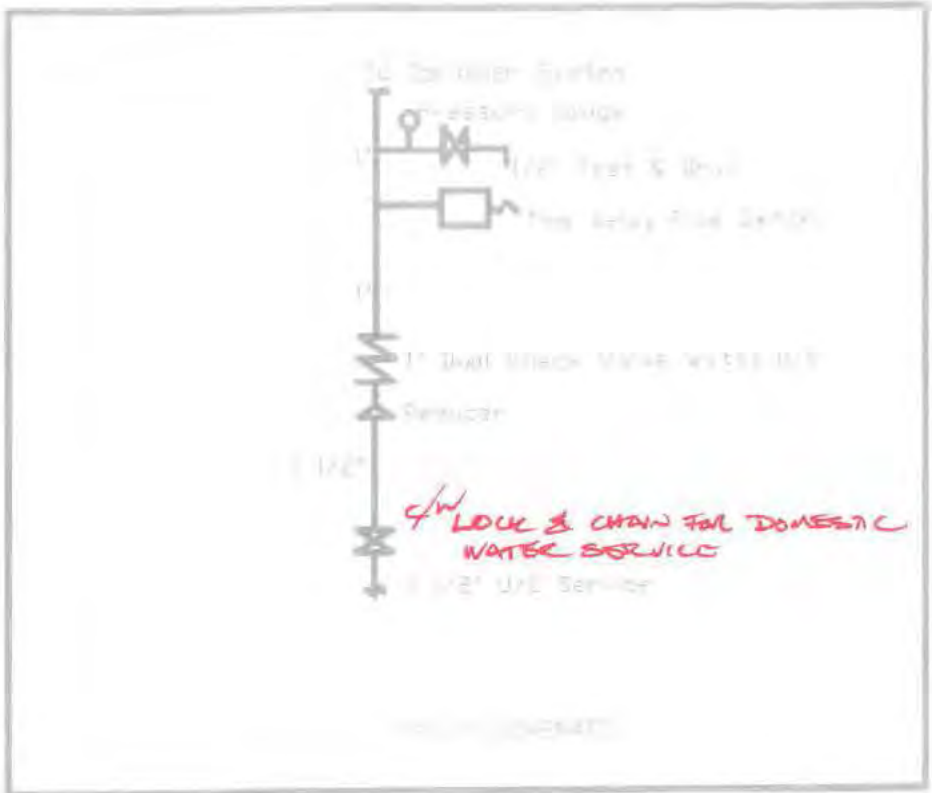
SHEET 1 OF 4

REFER TO
REVISED PLANS
AUG. 8, 2019



11 Basement
13 First Floor
10 Second Floor
34 TOTAL

1. COMPACT THE ATLAS RESIDENT SPRINKLER BY
WALKING ON THE FLOOR THROUGHOUT THE
ENTIRE UNIT TO INSURE THE SPRINKLER IS
NOT DAMAGED BY THE WALKING ON THE
FLOOR. ALL SPRINKLER HEADS SHOULD BE
PROTECTED BY A PROTECTIVE COVER OR
A PROTECTIVE CAP. ALL SPRINKLER HEADS
SHOULD BE INSTALLED IN ACCORDANCE
WITH THE FOLLOWING NOTES:
1. SPRINKLER HEADS SHOULD BE INSTALLED
TO THE 1/2"
2. SPRINKLER HEADS SHOULD BE INSTALLED
TO THE 1/2" MINIMUM CLEARANCE FROM
THE WALL OR CEILING.
3. SPRINKLER HEADS SHOULD BE INSTALLED
TO THE 1/2" MINIMUM CLEARANCE FROM
THE WALL OR CEILING.



Fire Sprinkler Flow
Verification Report to
be submitted at insulation
stage

Sprinklers to comply with the BCBC
- to be designed, constructed and
installed in conformance with the
NFPA 13D standards.

Minimum six (6) spare sprinkler
heads reflecting each type
installed and a wrench to be kept
in a cabinet by the main valve



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 #108 8299 - 129 ST
 SURREY, BC V3W 0A6
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PROJECT NO:

SFD
 15565 Victoria Avenue
 WhiteRock

CLIENT: Gold Key Fire Protection Ltd.

SCALE:

SCALE: 3/16" = 1'-0"

DRAWN BY:

RC

CHECKED BY:

GP

ISSUE DATES:

Date FOR APPROVAL
 JUNE 11, 2016

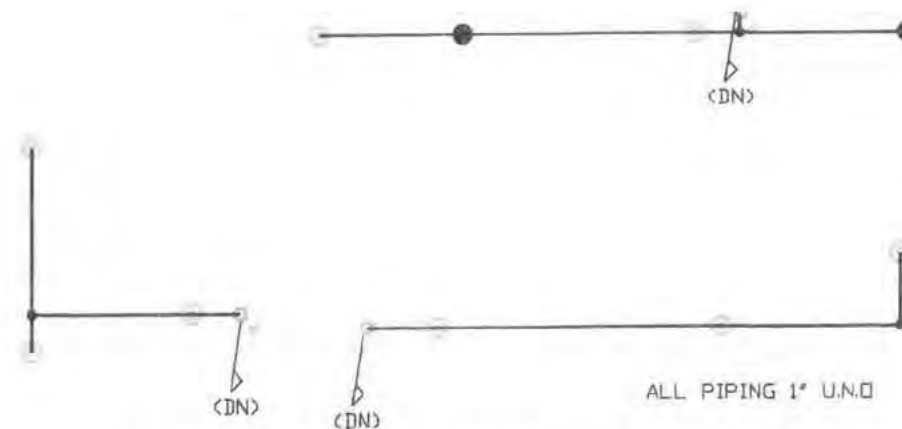
TITLE:

SPRINKLER PLAN
 SECOND FLOOR

DRAWING NO.:

FP - 2

SHEET 2 OF 4



© Globe (L49000007), 10-4.8, Cov 10'100'
 © Victaulic VE7400007, 10-4.8, Cov 10'100'

FLOW THROUGH TOILET
 c/v PRV



VOLTAS ENGINEERING LTD
 #108 8299 - 129 ST
 SURREY, BC V3W 0A6
 Phone: (604) 593-2293

#16123

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PROJECT NO:

SFD
 15565 Victoria Avenue
 WhiteRock

CLIENT: Gold Key Fire Protection Ltd.

SCALE:

SCALE: 3/16" = 1'-0"

DRAWN BY:

RC

CHECKED BY:

GP

ISSUE DATES:

Date FOR APPROVAL
 JUNE 11, 2016

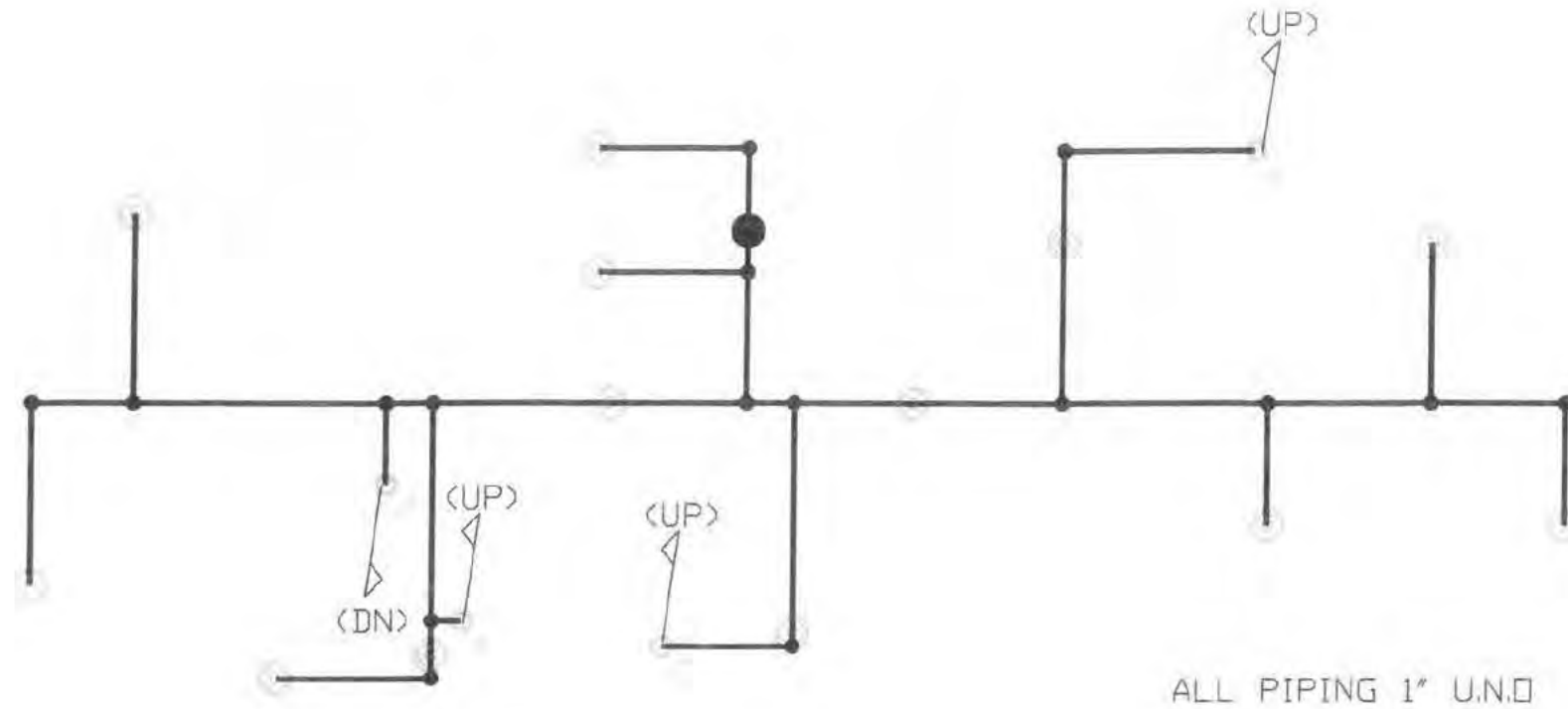
TITLE:

SPRINKLER PLAN
 FIRST FLOOR

DRAWING NO.:

FP - 3

SHEET 3 OF 4



- ⊙ Globe GL4906(155°F), K=4.9, Cov 16'm16'
- Victaulic V2740(200°F), K=4.9, Cov 16'm16'



VOLTAS ENGINEERING LTD
 #108 8299 - 129 ST
 SURREY, BC V3W 0A6
 Phone: (604) 593-2293

#16123

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PROJECT NO:
 SFD
 15565 Victoria Avenue
 WhiteRock
 CLIENT: Gold Key Fire Protection Ltd.

SCALE:
 SCALE: 3/16" = 1'-0"

DRAWN BY:
 RC

CHECKED BY:
 GP

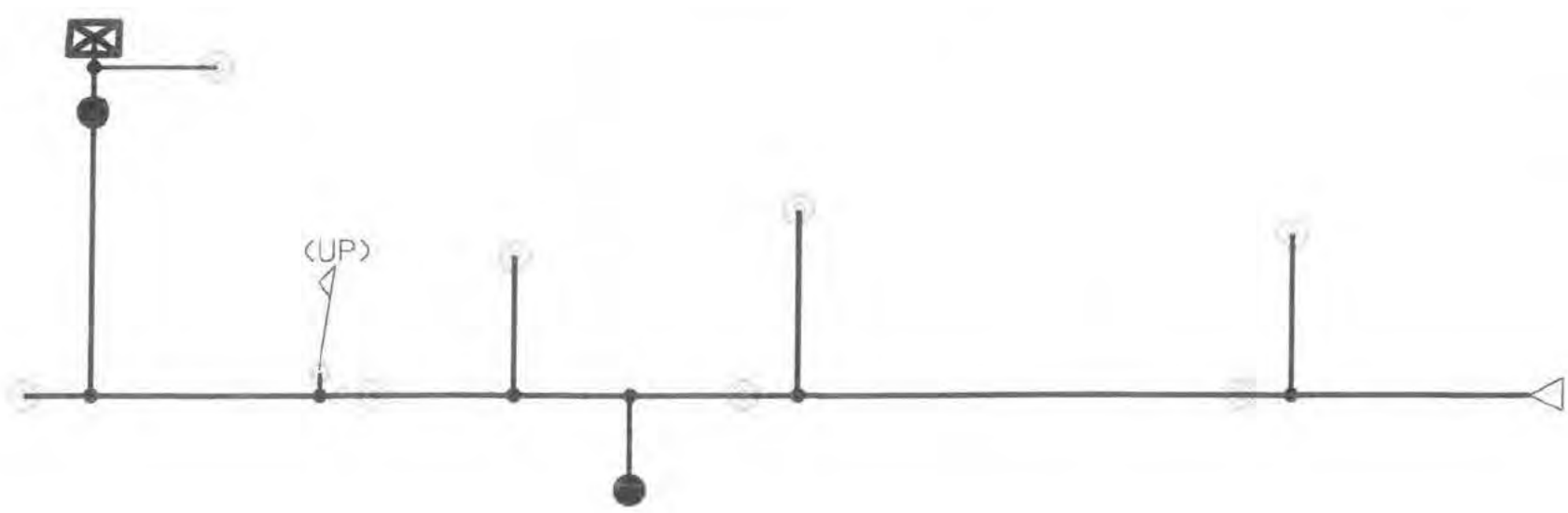
ISSUE DATES:
 Date FOR APPROVAL
 JUNE 11, 2016

TITLE:
 SPRINKLER PLAN
 BASEMENT

DRAWING NO.:

FP - 4

SHEET 4 OF 4



ALL PIPING 1" U.N.

- ⊙ Globe GL4906(155°F), K=4.9, Cov 16'x16'
- Victaulk V2740(200°F), K=4.9, Cov 16'x16'
- ◁ Victaulk V2738 Dry Sidewall(155°F), K=5.6, Cov 14'x14'



HYDRAULIC DESIGN INFORMATION SHEET

Name - 16-1595; 15565 Victoria Avenue Date - 21 JUN 19
 Location - WTR
 Building - x System No. - x
 Contractor - x Contract No. - x
 Calculated By - ASN Drawing No. - x
 Construction: (X) Combustible () Non-Combustible Ceiling Height x
 OCCUPANCY - RESIDENTIAL

S Type of Calculation: ()NFPA 13 Residential ()NFPA 13R (X)NFPA 13D
 Y Number of Sprinklers Flowing: ()1 (X)2 ()4 ()
 S ()Other
 T ()Specific Ruling Made by Date
 E
 M Listed Flow at Start Point - 13 Gpm System Type
 Listed Pres. at Start Point - 7.04 Psi (X) Wet () Dry
 D MAXIMUM LISTED SPACING 16 x 16 () Deluge () PreAction
 E Domestic Flow Added - 5 Gpm Sprinkler or Nozzle
 S Additional Flow Added - Gpm Make GLOBE Model GL4906
 I Elevation at Highest Outlet - 59.23Feet Size 7/16 K-Factor 4.9
 G Note: Temperature Rating 155
 N

Calculation Gpm Required 26.3102 Psi Required 32.88 At Ref Pt STR
 Summary C-Factor Used: Overhead 150 Underground 150

W Water Flow Test: Pump Data: Tank or Reservoir:
 A Date of Test - x Rated Cap. Cap.
 T Time of Test - x @ Psi Elev.
 E Static (Psi) - 122 Elev.
 R Residual (Psi) - 22 Other Well
 Flow (Gpm) - 3360 Proof Flow Gpm
 S Elevation - 38.28

P Location: x
 P
 L Source of Information: x
 Y

REVISED DRAWING

Please refer to corresponding
 attached drawing for all building
 permit related comments

AUG 08 2019

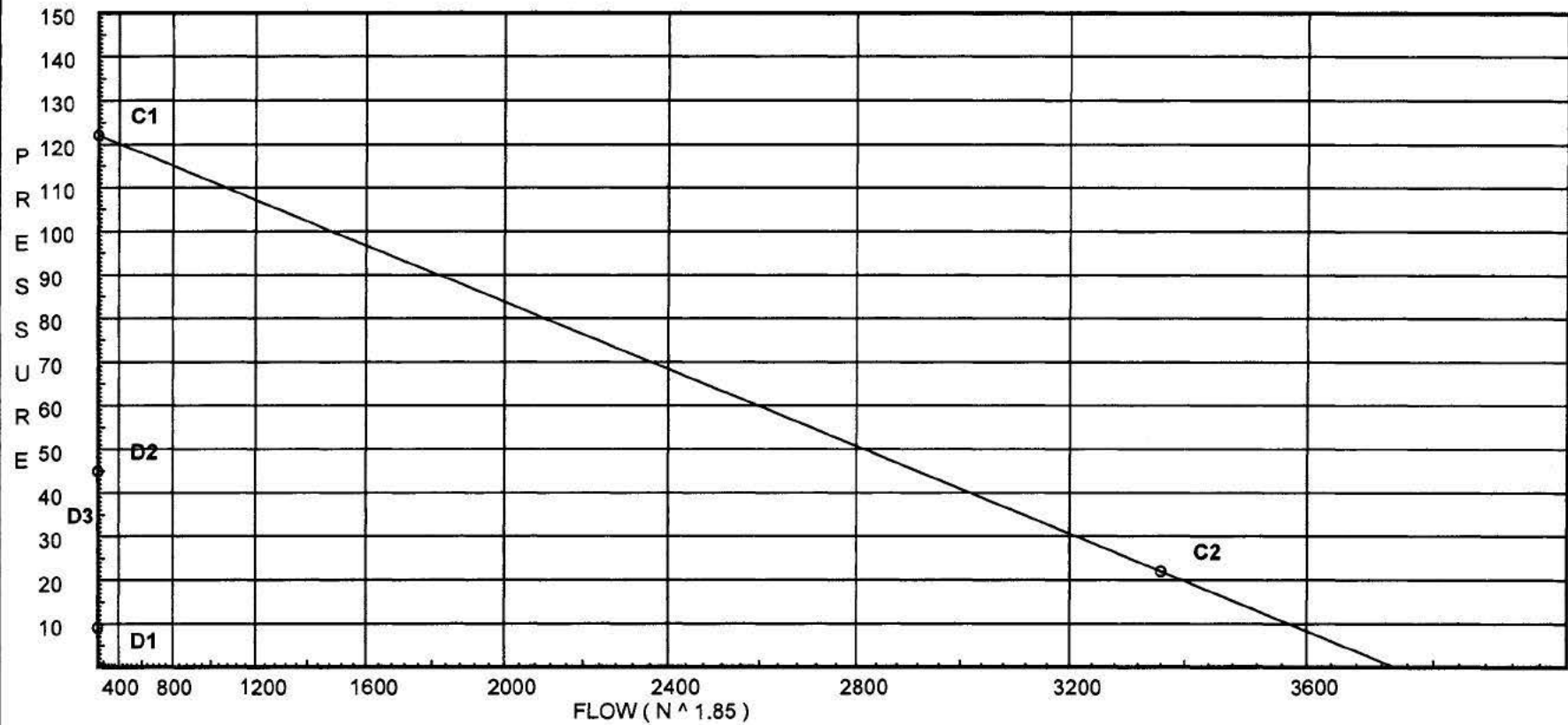
Water Supply Curve C

VOLTAS ENGINEERING LTD
16-1595: 15565 Victoria Avenue - Two Head Calculation (H.8 & H.2)

Page 2
Date 6/21/2019

City Water Supply:
C1 - Static Pressure : 122
C2 - Residual Pressure: 22
C2 - Residual Flow : 3360

Demand:
D1 - Elevation : 9.073
D2 - System Flow : 26.31
D2 - System Pressure : 44.881
Hose (Demand) : 5
D3 - System Demand : 31.31
Safety Margin : 77.101



Fittings Used Summary

VOLTAS ENGINEERING LTD
 16-1595: 15565 Victoria Avenue - Two Head Calculation (H.8 & H.2)

Page 3
 Date 6/21/2019

Fitting Legend

Abbrev.	Name																				
Av	Generic Angle Valve	0	0	12	15	18	24	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Bv	Generic Ball Valve	0	0	4	5	6	7	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Ctb *	Copper Tee-Branch	1.5	2	2	3	3.5	5	6	7.5	9	10.5	13	15	0	0	0	0	0	0	0	0
E	NFPA 13 90' Standard Elbow	1	2	2	3	4	5	6	7	8	10	12	14	18	22	27	35	40	45	50	61
Pej *	CPVC 90'El Harvel-Spears		7	7	8	9	11	12	13	0	0	0	0	0	0	0	0	0	0	0	0
Ptb *	CPVC Tee - Branch	3	3	5	6	8	10	12	15	0	0	0	0	0	0	0	0	0	0	0	0
Ptr *	CPVC Coupling Tee - Run	1	1	1	1	1	1	2	2	0	0	0	0	0	0	0	0	0	0	0	0
T	NFPA 13 90' Flow thru Tee	3	4	5	6	8	10	12	15	17	20	25	30	35	50	60	71	81	91	101	121

Units Summary

Diameter Units	Inches
Length Units	Feet
Flow Units	US Gallons per Minute
Pressure Units	Pounds per Square Inch

Flow Summary - NFPA 2007

VOLTAS ENGINEERING LTD
 16-1595: 15565 Victoria Avenue - Two Head Calculation (H.8 & H.2)

Page 4
 Date 6/21/2019

SUPPLY ANALYSIS

Node at Source	Static Pressure	Residual Pressure	Flow	Available Pressure	Total Demand	Required Pressure
STR	122.0	22	3360.0	121.982	31.31	44.881

NODE ANALYSIS

Node Tag	Elevation	Node Type	Pressure at Node	Discharge at Node	Notes
H.8	59.23	4.9	7.04	13.0	
H.2	59.23	4.9	7.38	13.31	
T.31	59.23		8.62		
T.32	50.23		14.89		
H.6	50.23		16.02		
H.13	50.23		17.94		
T.37	50.23		18.62		
T.36	50.23		19.75		
T.40	40.24		26.68		
T.39	40.24		27.01		
S.1	36.24		30.73		
UG1	38.28		41.55	5.0	
PL	36.28		43.94		
STR	38.28		44.88		

Final Calculations - Hazen-Williams

VOLTAS ENGINEERING LTD
 16-1595: 15565 Victoria Avenue - Two Head Calculation (H.8 & H.2)

Page 5
 Date 6/21/2019

Hyd. Ref. Point	Qa Qt	Dia. "C" Pf/Ft	Fitting or Eqv.	Ln.	Pipe Ftng's Total	Pt Pe Pf	Pt Pv Pn	*****	Notes	*****
H.8 to H.2	13.00 13.0	1.101 150.0 0.0306		0.0 0.0 0.0	11.000 0.0 11.000	7.040 0.0 0.337			K Factor = 4.90 Vel = 4.38	
H.2 to T.31	13.31 26.31	1.101 150.0 0.1130	Ptr Pel	1.0 7.0 0.0	3.000 8.000 11.000	7.377 0.0 1.243			K Factor = 4.90 Vel = 8.87	
T.31 to T.32	0.0 26.31	1.101 150.0 0.1130	2Ptb	10.0 0.0 0.0	11.000 10.000 21.000	8.620 3.898 2.373			Vel = 8.87	
T.32 to H.6	0.0 26.31	1.101 150.0 0.1130	Pel	7.0 0.0 0.0	3.000 7.000 10.000	14.891 0.0 1.130			Vel = 8.87	
H.6 to H.13	0.0 26.31	1.101 150.0 0.1130		0.0 0.0 0.0	17.000 0.0 17.000	16.021 0.0 1.921			Vel = 8.87	
H.13 to T.37	0.0 26.31	1.101 150.0 0.1130		0.0 0.0 0.0	6.000 0.0 6.000	17.942 0.0 0.678			Vel = 8.87	
T.37 to T.36	0.0 26.31	1.101 150.0 0.1131	Pel Ptr	7.0 1.0 0.0	2.000 8.000 10.000	18.620 0.0 1.131			Vel = 8.87	
T.36 to T.40	0.0 26.31	1.101 150.0 0.1130	2Ptb	10.0 0.0 0.0	12.990 10.000 22.990	19.751 4.327 2.597			Vel = 8.87	
T.40 to T.39	0.0 26.31	1.101 150.0 0.1130	Ptr	1.0 0.0 0.0	2.000 1.000 3.000	26.675 0.0 0.339			Vel = 8.87	
T.39 to S.1	0.0 26.31	1.101 150.0 0.1130	Ptr T	1.0 9.563 0.0	7.000 10.563 17.563	27.014 1.732 1.985			Vel = 8.87	
S.1 to UG1	0.0 26.31	1.025 150.0 0.1601	Bv Av 2Ctb	5.4 16.2 4.0	10.000 25.600 35.600	30.731 5.116 5.700			** Fixed Loss = 6 Vel = 10.23	
UG1 to PL	5.00 31.31	1.59 150.0 0.0260	E Ptb	5.687 8.0 0.0	45.000 13.687 58.687	41.547 0.866 1.528			Qa = 5 Vel = 5.06	
PL to STR	0.0 31.31	1.59 150.0 0.0260	Ptb 2E	8.0 11.375 0.0	50.000 19.375 69.375	43.941 -0.866 1.806			Vel = 5.06	
	0.0 31.31					44.881			K Factor = 4.67	

RECEIVED

JUL 29 2019

CITY OF WHITE ROCK
DEVELOPMENT SERVICES

REVISED DRAWING

Please refer to corresponding attached drawing for all building permit related comments

16-123
AUG 08 2019

Office copy

Redacted S. 15(1)

SYMBOL SCHEDULE	
◆	DESCRIPTION
⊠	SPRINKLER MANIFOLD
◆	HIGHEST DEMAND SPRINKLERS FOR CALCULATIONS
⊕	SPRINKLER RISER UP
⊖	SPRINKLER RISER DOWN

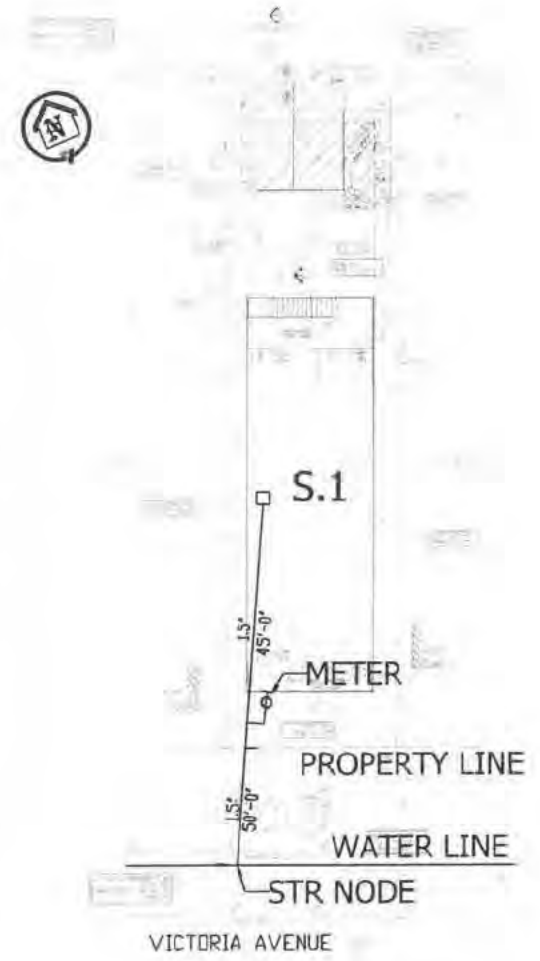
FIRST FLOOR 10 Sprinklers
SECOND FLOOR 9 Sprinklers
THIRD FLOOR 11 Sprinklers
TOTAL 30 Sprinklers

- --- 26 GLOBE Model GL4906 Concealed Pendant Spr FF
K=4.9, 155F°, 7/16" Orifice, Maximum Spacing 16'x16'
Sprinkler head demand: 13 gpm @ 7.04
GL4906-16
- ⊕ --- 4 GLOBE Model GL4910 Recessed Pendant Spr
K=4.9, 175F°, 7/16" Orifice, Maximum Spacing 16'x16'
Sprinkler head demand: 14 gpm @ 8.2
GL4910-16-175

DESIGN INPUTS, ASSUMPTIONS & ADDITIONAL DATA:

1. WATER FLOW & INCOMING LINE SIZE INFORMATION GIVEN BY THE CITY OF WHITEROCK.
 - 1.1. WATER SUPPLY LINE SIZE 40MM(1.5")
 - 1.2. SUMMER STATIC PRESSURE 122 PSI AT STREET.
 - 1.3. RESIDUAL PRESSURE 22 PSI.
 - 1.4. RESIDUAL FLOW 3360 USGPM.
2. ASSUMED LOCATION OF PRESSURE AT THE CITY MAIN AT GRADE ELEVATION.
3. SPRINKLER WATER IS NOT METERED. THERE IS NO DOUBLE CHECK VALVE, ONLY A DUAL CHECK VALVE AT THE SPRINKLER RISER IN MECHANICAL ROOM.
4. ALL HEADS USED AS PER OWNER'S PREFERENCE.

DRAWINGS IN THIS PACKAGE:
SR-1: SPRINKLER LAYOUT FIRST FLOOR
SR-2: SPRINKLER LAYOUT SECOND AND THIRD FLOOR
SR-3: HOUSE ELEVATION & NOTES
SR-4: CALCULATIONS



SITE FLOOR
1/32" = 1'-0"

Water Entry Details		
Pipe Description	Distance (in ft)	Diameter (in inches)
Street to Property Line	50	1.5
Street to Mechanical Room	45	1.5
Mechanical room to Manifold	10	1

FIRST FLOOR
1/8" = 1'-0"

REV	DATE	DESCRIPTION
1	21 JUN 2019	ISSUED FOR BP

ARCHITECT:
CLIENT: **Redacted S. 22**

VOLTAS ENGINEERING LTD.
ENGINEERS, PROJECT MANAGERS.

PHONE: 604-593-2793 FAX: 604-600-9230
#108 8299 125 STREET, SURREY, BC, V3W 0A6
WWW.VOLTASENGINEERING.COM
INFO@VOLTASENGINEERING.COM



PROJECT #: 16-1595
PROJECT ADDRESS:
SINGLE FAMILY DWELLING
15565 VICTORIA AVENUE
WHITEROCK, B.C.

DESIGN DATE: 21 JUN 2019
DSN: ASN CHK: GSP APP: GSP
SCALE: AS SHOWN
DRAWING TITLE:
SPRINKLER LAYOUT
FIRST FLOOR
DRAWING #: SR-1

REVISED DRAWING

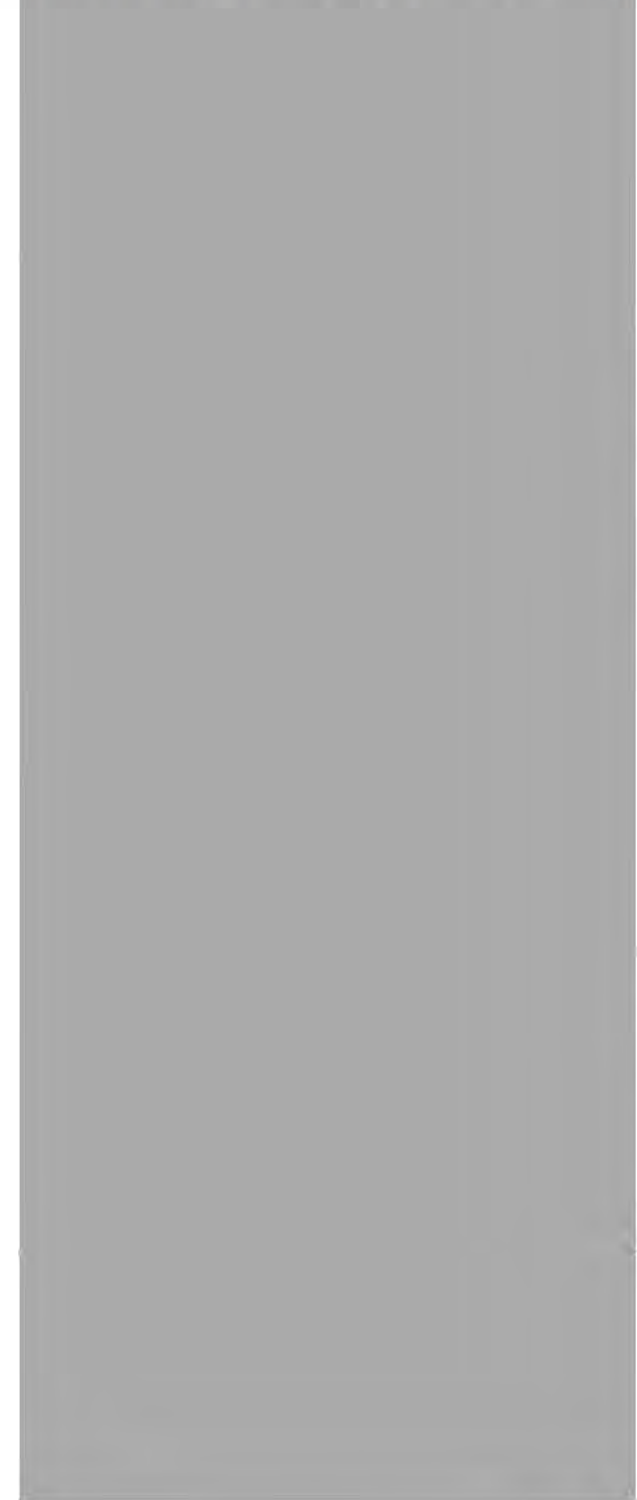
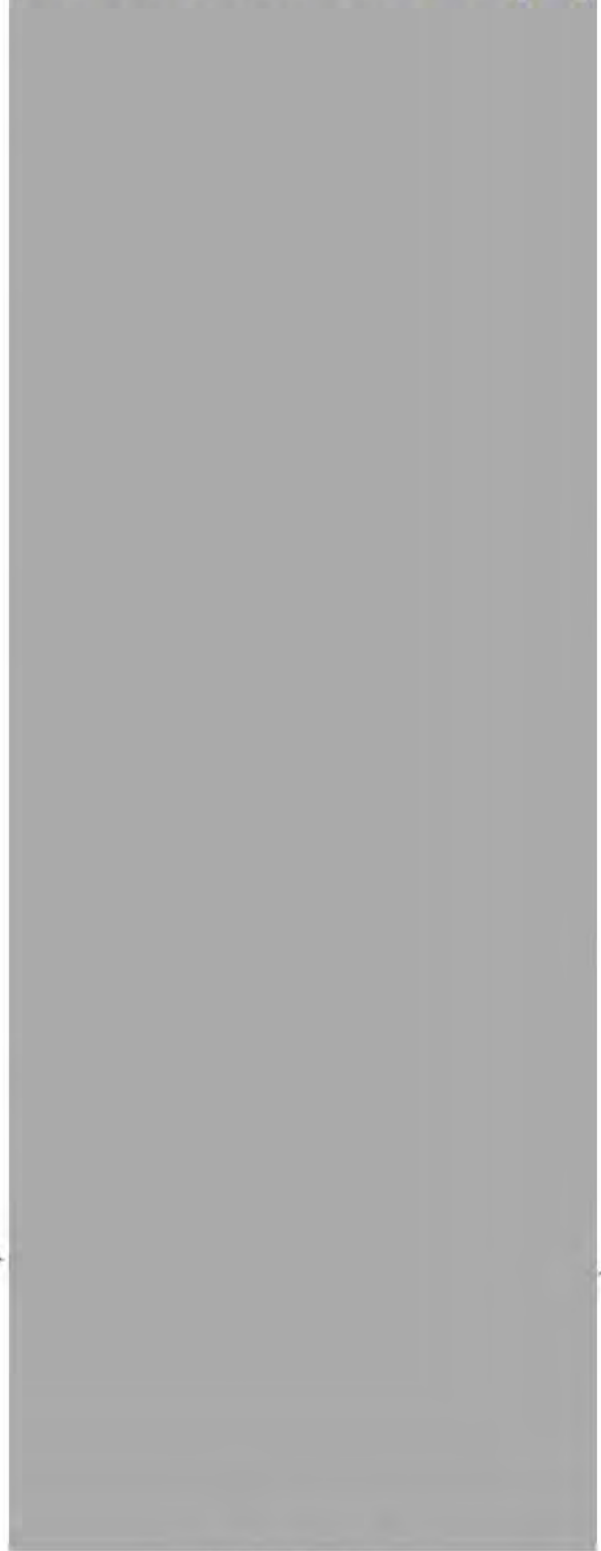
Please refer to corresponding attached drawing for all building permit related comments

AUG 08 2019

16-123

Redacted S. 15(1)

Redacted S. 15(1)



SECOND FLOOR
1/8" = 1'-0"

THIRD FLOOR
1/8" = 1'-0"

SYMBOL SCHEDULE	
◆	DESCRIPTION
⊠	SPRINKLER MANIFOLD
◆	HIGHEST DEMAND SPRINKLERS FOR CALCULATIONS
⊕	SPRINKLER RISER UP
⊖	SPRINKLER RISER DOWN

FIRST FLOOR 10 Sprinklers
 SECOND FLOOR 9 Sprinklers
 THIRD FLOOR 11 Sprinklers
 TOTAL 30 Sprinklers

- --- 26 GLOBE Model GL4906 Concealed Pendent Spr FP
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GL4906-16 Sprinkler head demand: 13 gpm @ 7.04
- ⊕ --- 4 GLOBE Model GL4910 Recessed Pendent Spr
K=4.9, 175F°, 7/16" Orifice, Maximum Spacing 16'x16'
GL4910-16-175 Sprinkler head demand: 14 gpm @ 6.2

DRAWINGS IN THIS PACKAGE:
 SR-1: SPRINKLER LAYOUT FIRST FLOOR
 SR-2: SPRINKLER LAYOUT SECOND AND THIRD FLOOR
 SR-3: HOUSE ELEVATION & NOTES
 SR-4: CALCULATIONS

REV	DATE	DESCRIPTION
1	21 JUN 2019	ISSUED FOR BP

ARCHITECT:
 CLIENT: **Redacted S. 22**

VOLTAS ENGINEERING LTD.
 ENGINEERS. PROJECT MANAGERS.

PHONE: 604-593-2293 FAX: 604-800-9230
 #108 6299 129 STREET, SURREY, BC V3W 0A6
 WWW.VOLTASENGINEERING.COM
 INFO@VOLTASENGINEERING.COM



PROJECT #: 16-1595
 PROJECT ADDRESS:
 SINGLE FAMILY DWELLING
 15565 VICTORIA AVENUE
 WHITEROCK, B.C.

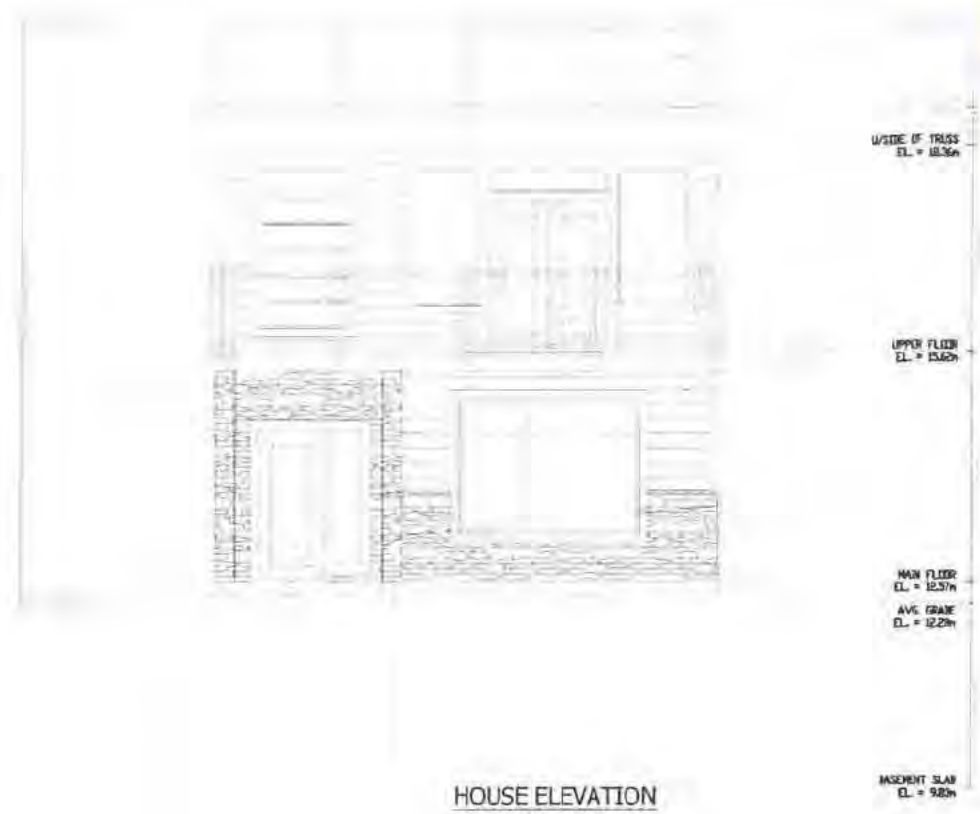
DESIGN DATE: 21 JUN 2019
 DSN: ASN CHK: GSP APP: GSP
 SCALE: AS SHOWN

DRAWING TITLE:
 SPRINKLER LAYOUT
 SECOND &
 THIRD FLOOR

DRAWING #: SR-2

Please refer to corresponding attached drawing for all building permit related comments

AUG 08 2019
16-123

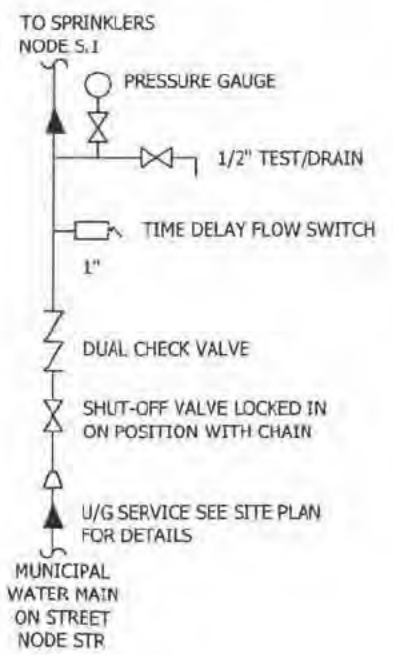


- GENERAL NOTES:
- ALL PIPING, FITTINGS, HANGERS ETC. TO BE INSTALLED IN CONFORMANCE WITH NFPA 13D-2007, THE BC BUILDING CODE-2012, AND BC FIRE CODE-2008.
 - FIRE SPRINKLER FLOW VERIFICATION REPORT TO BE SUBMITTED BY A COMPANY CERTIFIED BY THE STANDARDS COUNCIL OF CANADA OR FLOW TEST PERFORMED BY DESIGN ENGINEER.
 - MINIMUM SIX (6) SPARE SPRINKLER HEADS REFLECTING EACH TYPE INSTALLED COMPLETE WITH A WRENCH, TO BE KEPT IN A CABINET MOUNTED ON THE WALL BY THE MAIN VALVE.
 - FIRE SPRINKLER SYSTEM TO BE INSTALLED AS A FLOW THROUGH SYSTEM TO THE MOST REMOTE WATER CLOSET. THE FLOW THROUGH WATER CLOSET CANNOT EXCEED SIX (4.8) LITRE FLUSH. A PRESSURE-REDUCING VALVE (SUCH AS A WATTS S-P60/B) MUST BE INSTALLED ON THE FLOW THROUGH WATER CLOSET.
 - INSPECTORS TEST DRAIN TO BE PIPED OVER FLOOR DRAIN OR EXTERIOR OF BUILDING WITH ORIFICES EQUIVALENT TO THE SMALLEST SPRINKLER.
 - NON-COMBUSTIBLE PIPING MUST BE USED WHERE COMBUSTIBLE PIPING CANNOT BE PROTECTED.
 - ALL PIPES INSTALLED THAT ARE EXPOSED TO OUTSIDE OR ARE ON COLD SIDE OF WALL SHALL BE INSULATED WITH 3" R20 HIGH DENSITY INSULATION AND ALL JOINTS SHALL BE SEALED WITH EXPANDABLE FOAM.
 - FLOW SWITCH TO BE INTERCONNECTED WITH ALL LOCAL SMOKE ALARMS.
 - SPRINKLERS SHALL NOT BE REQUIRED IN BATHROOMS OF 55 FT² (5.1 M²) AND LESS (UNLESS IT IS ADJACENT TO FIRE SEPARATION IN A TOWN).
 - SPRINKLERS SHALL NOT BE REQUIRED IN CLOTHES CLOSETS, LINEN CLOSETS, AND PANTRIES THAT MEET ALL OF THE FOLLOWING CONDITIONS:
 - THE AREA OF THE SPACE DOES NOT EXCEED 24 FT² (2.2 M²).
 - THE LEAST DIMENSION DOES NOT EXCEED 3 FT (0.9 M).
 - THE WALLS AND CEILINGS ARE SURFACED WITH NONCOMBUSTIBLE OR LIMITED-COMBUSTIBLE MATERIALS AS DEFINED IN NFPA 220, STANDARD ON TYPES OF BUILDING CONSTRUCTION.
 - SPRINKLERS SHALL NOT BE REQUIRED IN GARAGES, OPEN ATTACHED PORCHES, CARPORTS, AND SIMILAR STRUCTURES.
 - SPRINKLERS SHALL NOT BE REQUIRED IN ATTICS WITH OR WITHOUT STORAGE, PENTHOUSE EQUIPMENT ROOMS, ELEVATOR MACHINE ROOMS, CONCEALED SPACES DEDICATED EXCLUSIVELY TO AND CONTAINING ONLY DWELLING UNIT VENTILATION EQUIPMENT, FLOOR/CEILING SPACES, ELEVATOR SHAFTS, CRAWL SPACES, AND OTHER CONCEALED SPACES THAT ARE NOT USED OR INTENDED FOR LIVING PURPOSES (8.3.5, NFPA 13D-2013)
 - WHERE THE FUEL-FIRED EQUIPMENT IS ABOVE ALL OF THE OCCUPIED AREAS OF THE DWELLING UNIT, NO SPRINKLER PROTECTION SHALL BE REQUIRED IN THE CONCEALED SPACES.
 - WHEN FUEL-FIRED EQUIPMENT IS PRESENT BELOW OR ON THE SAME LEVEL AS OCCUPIED AREAS OR DWELLING UNITS, AT LEAST ONE QUICK-RESPONSE INTERMEDIATE TEMPERATURE SPRINKLER SHALL BE INSTALLED ABOVE THE EQUIPMENT.
 - CRAWL SPACES EXCEEDING 5'-11" ARE CONSIDERED STORAGE AREAS AND MUST BE FIRE SPRINKLERED. IF A FURNACE/HOT WATER TANK APPLIANCE IS INSTALLED IN A CRAWL SPACE, THIS SPACE THEN BECOMES A SERVICE SPACE AND MUST BE FIRE SPRINKLERED USING NON-COMBUSTIBLE PIPING.(FOR CITY OF WHITEROCK ONLY)
 - SPRINKLER PIPING SHALL BE TESTED AT 200 PSI PRESSURE.
 - EXPOSED PIPING SHALL BE TYPE L COPPER AND CONCEALED PIPING SHALL BE BLAZEMASTER PROTECTED WITH MINIMUM 1/2" DRYWALL.
 - FIRE SPRINKLER ENGINEER MUST BE CALLED FOR FIELD REVIEW PRIOR TO COVERING UP SPRINKLER PIPING.
 - PENDENT AND UPRIGHT SPRINKLERS IN CLOSETS SHALL BE PERMITTED TO BE INSTALLED WITHIN 12 IN. (305 MM) OF THE CEILING IN ORDER TO AVOID OBSTRUCTIONS NEAR THE CEILING.
 - SIDEWALL SPRINKLERS SHALL BE LOCATED AT LEAST 5 FT (1.52 M) AWAY FROM OBSTRUCTIONS SUCH AS CEILING FANS AND LIGHT FIXTURES. WHERE THE SPRINKLER CANNOT BE LOCATED 5 FT (1.52 M) AWAY FROM THE OBSTRUCTION (AS MEASURED TO THE CENTER OF THE OBSTRUCTION), AN ADDITIONAL SPRINKLER SHALL BE INSTALLED ON THE OTHER SIDE OF THE OBSTRUCTION.
 - PENDENT SPRINKLERS SHALL BE LOCATED AT LEAST 3 FT (914 MM) AWAY FROM OBSTRUCTIONS SUCH AS CEILING FANS AND LIGHT FIXTURES UNLESS THE REQUIREMENTS OF 8.2.5.4 ARE MET. WHERE THE SPRINKLER CANNOT BE LOCATED 3 FT (914 MM) AWAY FROM THE OBSTRUCTION (AS MEASURED FROM THE CENTER OF THE OBSTRUCTION), AN ADDITIONAL SPRINKLER SHALL BE LOCATED ON THE OTHER SIDE OF THE OBSTRUCTION.
 - ENSURE INCOMING WATER PIPE FROM THE CITY CONNECTION IS BELOW THE FROST PROTECTION AS PER BCBC 2012
 - SPRINKLERS SHALL NOT BE REQUIRED FOR CEILING POCKETS/SKYLIGHTS THAT MEET ALL THE FOLLOWING CONDITIONS:
 - THE TOTAL VOLUME OF UNPROTECTED CEILING POCKET DOES NOT EXCEED 100 FT³ (2.83 M³).
 - THE TOTAL AREA OF UNPROTECTED SKYLIGHT CEILING POCKET (SKYLIGHT) DOES NOT EXCEED 32 FT² (2.97 M²).
 - EACH UNPROTECTED CEILING POCKET IS SEPARATED FROM ANY ADJACENT UNPROTECTED CEILING POCKET BY A MINIMUM 10 FT (3.05 M) HORIZONTAL DISTANCE.

Servicing Summary

Hydrant Fire Protection	Hydrant Location	Hydrant Number	Distance to Property'	Estimated Available Fire Flow ²
Nearest hydrant	Victoria Ave & Ash St	#101	37 m	190 L/s
Alternate hydrant #1	Victoria Ave & Finlay St	#297	71 m	193 L/s
Alternate hydrant #2	Columbia Ave & Ash St	#094	106 m	131 L/s
Required fire flow from guidelines ³	67 L/s			
Hydrant fire protection acceptable?	Yes, but confirmation of required fire flow by developer and approval from City of White Rock Fire Department required.			
Service Specifics				
Distance from water main to property line (PL)	11.0 m SW of PL ⁴			
Total distance to furthest sprinkler head (based on data provided by applicant)	30.0 m			
Elevations				
Distribution system water main elevation (hydraulic model junction closest to the development)	12 m			
First floor elevation (provided by the applicant)	13 m			
Highest sprinkler head elevation (provided by the applicant)	19 m			
Pressures (for sprinkler system design)				
	HGL ⁵	Pressure (m W.C.) ⁶		
Maximum static HGL / pressure in water main	102 m	89 m (at first floor elevation)		
Peak Hour Demand (PHD) HGL / pressure in water main	97 m	78 m (at highest sprinkler elevation)		
PHD pressure adequate for sprinkling (i.e. PHD > 12 m W.C.) ⁷	Yes			
Preliminary minimum service size for fire sprinkler system (developer's sprinkler designer to confirm)	38 mm			

STATIC PRESSURE (NODE UG1) = (97 - 9.83 - 1.22)*1.42
 = 85.95*1.42 = 122 PSI
 RESIDUAL PRESSURE = 22 PSI (150 kPa)
 RESIDUAL FLOW = 3360 GPM (212 L/S)



SUPPLY PIPING ARRANGEMENT NTS

DRAWINGS IN THIS PACKAGE:
 SR-1: SPRINKLER LAYOUT FIRST FLOOR
 SR-2: SPRINKLER LAYOUT SECOND AND THIRD FLOOR
 SR-3: HOUSE ELEVATION & NOTES
 SR-4: CALCULATIONS

REV	DATE	DESCRIPTION
1	21 JUN 2019	ISSUED FOR BP

ARCHITECT:

CLIENT: **Redacted S. 22**

VOLTAS ENGINEERING LTD.
 ENGINEERS, PROJECT MANAGERS,
 PHONE: 604-593-2293 FAX: 604-600-9230
 #108 8299 129 STREET, SURREY, BC, V3W 0A6
 WWW.VOLTAENGINEERING.COM
 INFO@VOLTAENGINEERING.COM

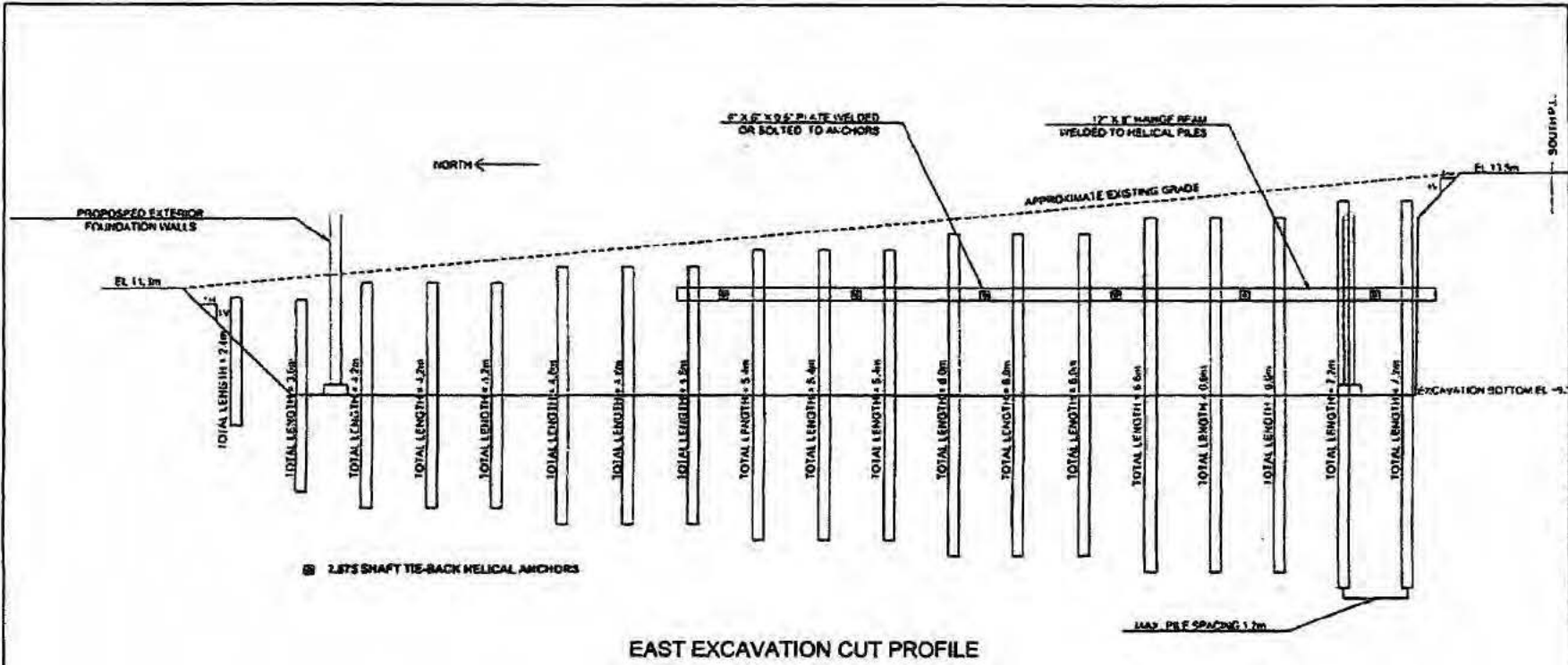
STAMP: PROFESSIONAL ENGINEER, C.S. PIPER, #3384, 19/06/19

PROJECT #: 16-1595
 PROJECT ADDRESS:
 SINGLE FAMILY DWELLING
 15565 VICTORIA AVENUE
 WHITEROCK, B.C.

DESIGN DATE: 21 JUN 2019
 DSN: ASN CHK: GSP APP: GSP
 SCALE: AS SHOWN
 DRAWING TITLE:
 HOUSE ELEVATION & NOTES



DRAWING #: SR-3

016123



NOTES:
 - THE TIE-BACK HELICAL ANCHORS MUST BE DRILLED AT LEAST 3.0M TO THE EAST EXCAVATION CUTS 15° TO THE HORIZONTAL.
 - ENCROACHMENT AGREEMENT MUST BE IN-PLACE PRIOR TO THE ANCHORS INSTALLATION.

Redacted S. 22

 GeoCan Engineering Inc. Unit 54, 22865 Telody Avenue Maple Ridge, BC, V2X 6Z9 Tel: 778-987-7461	Client: [Redacted]		 SEAL	Tie-back Helical Anchors East Excavation Profile		DWG No. 1 of 1
	Location: 15565 Victoria Avenue White Rock, BC					
	FILE No. 18812	DATE September 16, 2019				

TOPOGRAPHIC PLAN OF LOT 16, BLOCK 2, SECTION 11, TOWNSHIP 1, NWD, PLAN 488

#16123

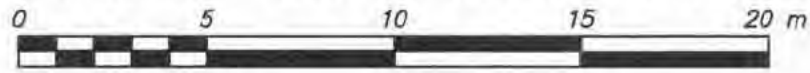
RECEIVED

MAR 13 2017

THE CORPORATION OF THE
CITY OF WHITE ROCK



CIVIC ADDRESS: 15565 Victoria Avenue White Rock, B.C.

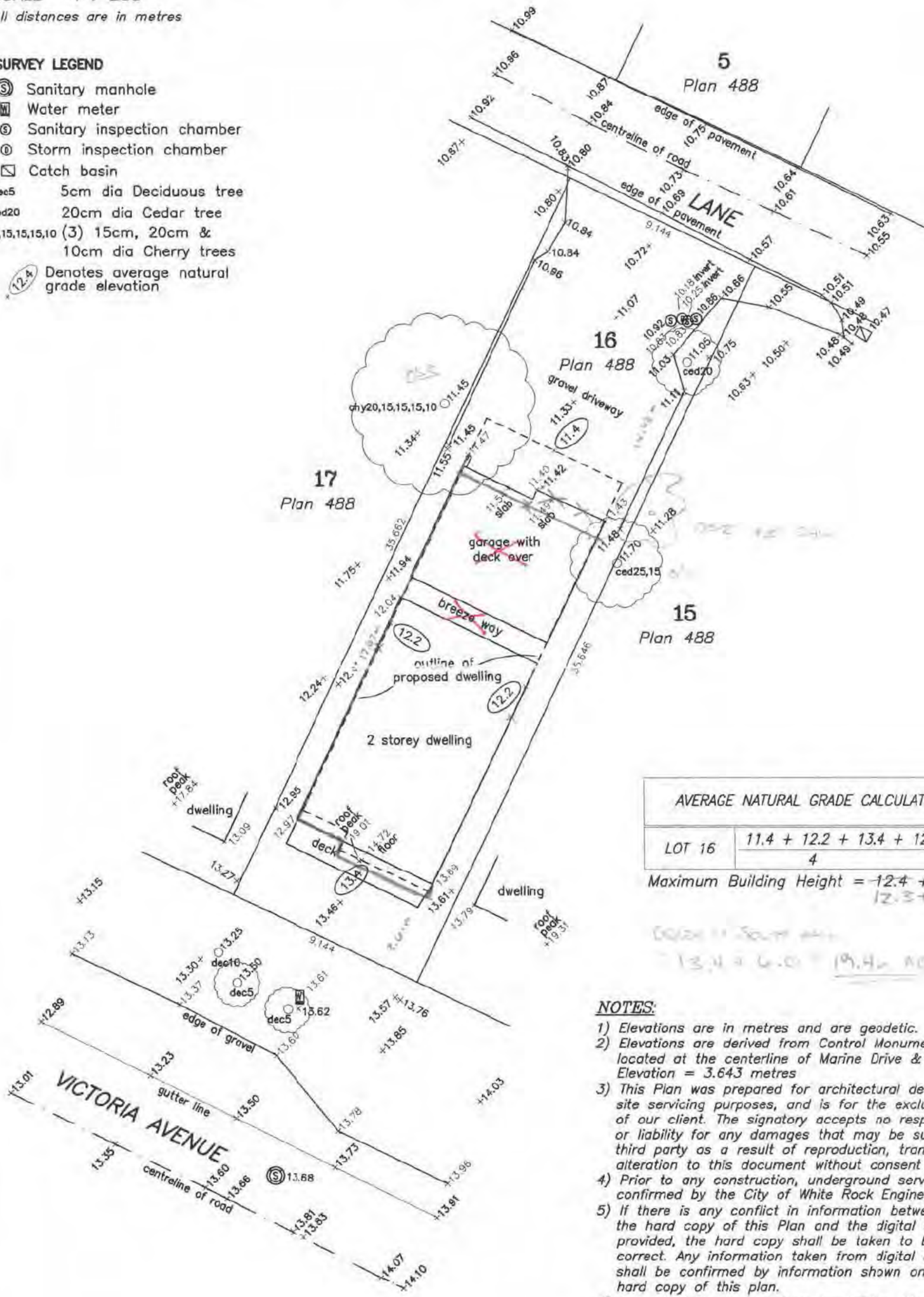


SCALE 1 : 200

All distances are in metres

SURVEY LEGEND

- ⊙ Sanitary manhole
- ⊞ Water meter
- ⊙ Sanitary inspection chamber
- ⊙ Storm inspection chamber
- ⊞ Catch basin
- dec5 5cm dia Deciduous tree
- ced20 20cm dia Cedar tree
- chy20,15,15,15,10 (3) 15cm, 20cm & 10cm dia Cherry trees
- ⊙(12.2) Denotes average natural grade elevation



AVERAGE NATURAL GRADE CALCULATION	
LOT 16	$\frac{11.4 + 12.2 + 13.4 + 12.2}{4} = 12.3 \text{ m}$
Maximum Building Height = $-12.4 + 7.7 = 20.0$	
$12.3 + 7.7 = 20.0 \text{ MGA}$	

$13.4 + 6.0 = 19.4 \text{ MGL}$

NOTES:

- 1) Elevations are in metres and are geodetic.
- 2) Elevations are derived from Control Monument no. 88H3861 located at the centerline of Marine Drive & Balsam Street Elevation = 3.643 metres
- 3) This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.
- 4) Prior to any construction, underground services are to be confirmed by the City of White Rock Engineering Dept.
- 5) If there is any conflict in information between the hard copy of this Plan and the digital data provided, the hard copy shall be taken to be correct. Any information taken from digital data shall be confirmed by information shown on the hard copy of this plan.
- 6) Property lines derived from Land Titles Office records.

Average natural grade added January 26, 2017.
This plan has been prepared in accordance with the Professional Reference Manual with additional specifications from our client and is certified correct this 1st day of April, 2016.

Sean Costello
Sean Costello B.C.L.S. (900)

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 206 - 16055 Fraser Highway
Surrey, B.C. V4N 0G2
Phone: 604-597-3777
Fax: 604-597-3783

Record #	N/A	Reference Number	40527	Status	SENT	Sent Date	Dec 23, 2019 10:02:01 AM
Subject	An Inspection has been completed for Permit: BP016123 (15565 VICTORIA AVE)						
Template Type	INSPECTION RESULTS	System	COMDEV	Scheduled Date	Dec 23, 2019		
Template Name	INSPECTION RESULTS	System Ref	Folder Number: BP016123	Priority	NORMAL		

Main Errors Attachments

From	<ggareau@whiterockcity.ca>	Error	No	Test	No
To	Redacted S. 22	Created On	Dec 23, 2019 09:58:29 AM		
Cc	<jbirkland@whiterockcity.ca>	Created By	dbo		
Bcc		Last Modified On	Dec 23, 2019 09:58:34 AM		
Reply To	<noreply@whiterockcity.ca>	Last Modified By	GUY		

City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149
 White Rock, BC V4B 1Y6 Fax: (604) 541-2153

FOOTING/FOUNDATION FORMS

Address: 15565 VICTORIA AVE
Permit: BP016123 - FOOTING/FOUNDATION FORMS
Date: Dec 23, 2019

Status: PASSED

THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED

- Safety fencing to be installed as discussed

Building Official: GUY GAREAU

- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Email Reference #40527

Record #	N/A	Reference Number	41003	Status	SENT	Sent Date	Jan 9, 2020 10:26:00 AM
Subject	An Inspection has been completed for Permit: BP016123 (15565 VICTORIA AVE)						
Template Type	INSPECTION RESULTS	System	COMDEV	Scheduled Date	Jan 9, 2020		
Template Name	INSPECTION RESULTS	System Ref	Folder Number: BP016123	Priority	NORMAL		

Main Errors Attachments

From	<ggareau@whiterockcity.ca>	Error	No	Test	No
To	Redacted S. 22	Created On	Jan 9, 2020 10:22:19 AM		
Cc	<jbirkland@whiterockcity.ca>	Created By	dbo		
Bcc		Last Modified On	Jan 9, 2020 10:22:23 AM		
Reply To	<noreply@whiterockcity.ca>	Last Modified By	GUY		

City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149
White Rock, BC V4B 1Y6 Fax: (604) 541-2153

DRAINAGE INSPECTION

Address: 15565 VICTORIA AVE
Permit: BP016123 - DRAINAGE INSPECTION
Date: Jan 9, 2020

Status: FAILED

THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED

- Safety fencing to be installed as discussed
- Drain mat paperwork required.
- Drantile to be completed on exterior of south east corner of house.

Building Official: GUY GAREAU

- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Email Reference #41003

Record #	N/A	Reference Number	41181	Status	SENT	Sent Date	Jan 14, 2020 10:04:01 AM
Subject	An Inspection has been completed for Permit: BP016123 (15565 VICTORIA AVE)						
Template Type	INSPECTION RESULTS	System	COMDEV	Scheduled Date	Jan 14, 2020		
Template Name	INSPECTION RESULTS	System Ref	Folder Number: BP016123	Priority	NORMAL		

Main Errors Attachments

From	<ggareau@whiterockcity.ca>	Error	No	Test	No
To	Redacted S. 22	Created On	Jan 14, 2020 10:01:42 AM		
Cc	<jbirkland@whiterockcity.ca>	Created By	dbo		
Bcc		Last Modified On	Jan 14, 2020 10:01:45 AM		
Reply To	<noreply@whiterockcity.ca>	Last Modified By	GUY		

City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149
 White Rock, BC V4B 1Y6 Fax: (604) 541-2153

DRAINAGE INSPECTION

Address: 15565 VICTORIA AVE
Permit: BP016123 - DRAINAGE INSPECTION
Date: Jan 14, 2020

Status: FAILED

THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED

- Safety fencing to be installed as discussed
- Drain mat paperwork required.
- Drantile to be completed on exterior of south east corner of house.
- Work is incomplete, recall when done. \$250 re-inspection fee required

Building Official: GUY GAREAU

- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Email Reference #41181

Record #	N/A	Reference Number	41516	Status	SENT	Sent Date	Jan 22, 2020 10:08:00 AM
Subject	An Inspection has been completed for Permit: BP016123 (15565 VICTORIA AVE)						
Template Type	INSPECTION RESULTS	System	COMDEV	Scheduled Date	Jan 22, 2020		
Template Name	INSPECTION RESULTS	System Ref	Folder Number: BP016123	Priority	NORMAL		

Main Errors Attachments

From	<ggareau@whiterockcity.ca>	Error	No	Test	No
To	Redacted S. 22	Created On	Jan 22, 2020 10:04:11 AM		
Cc	<jbirkland@whiterockcity.ca>	Created By	dbo		
Bcc		Last Modified On	Jan 22, 2020 10:04:14 AM		
Reply To	<noreply@whiterockcity.ca>	Last Modified By	GUY		

City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149
White Rock, BC V4B 1Y6 Fax: (604) 541-2153

DRAINAGE INSPECTION

Address: 15565 VICTORIA AVE
Permit: BP016123 - DRAINAGE INSPECTION
Date: Jan 22, 2020

Status: PASSED

THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED

Building Official: GUY GAREAU

-
- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Email Reference #41516

Record #	N/A	Reference Number	42368	Status	SENT	Sent Date	Jan 29, 2020 10:22:00 AM
Subject	An Inspection has been completed for Permit: BP016123 (15565 VICTORIA AVE)						
Template Type	INSPECTION RESULTS	System	COMDEV	Scheduled Date	Jan 29, 2020		
Template Name	INSPECTION RESULTS	System Ref	Folder Number: BP016123	Priority	NORMAL		

Main Errors Attachments

From	<ggareau@whiterockcity.ca>	Error	No	Test	No
To	Redacted S. 22	Created On	Jan 29, 2020 10:19:35 AM		
Cc	<jbirkland@whiterockcity.ca>	Created By	dbo		
Bcc		Last Modified On	Jan 29, 2020 10:19:40 AM		
Reply To	<noreply@whiterockcity.ca>	Last Modified By	GUY		

City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149
White Rock, BC V4B 1Y6 Fax: (604) 541-2153

DRAINAGE INSPECTION

Address: 15565 VICTORIA AVE
Permit: BP016123 - DRAINAGE INSPECTION
Date: Jan 29, 2020

Status: PASSED

THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED

- All piping to be properly bedded and sloped.

Building Official: GUY GAREAU

-
- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Email Reference #42368

Pre and Post Inspection Report and Photos

MUNICIPAL PROJECT #:			DATE: Dec. 16, 2019		ENGINEER:		
CONSULTANT FILE #:			WEATHER: °C		CONTR/OWNER:		
LOCATION: 15565 Victoria Ave			Rainy		INSPECTOR: Srood Omer		
U/G WORKS	Road/ St/Ave	Manhole Location From/To	Size of Pipe (mm)	Type of Pipe	Type of Joint	Type of Bedding	Type of Backfill
Storm Sewer	NA						
Sanitary Sewer	NA						
Watermain	NA						
Sanitary/Storm/Water Service Connections: NA							
Sanitary/Storm Pipe Testing: NA					Sieve Testing: NA		
Water Testing: NA					Density Testing: NA		
ESC Measures: NA					Other Testing: NA		
A/G WORKS	St/Ave	Subbase	Base	Compact	Concrete/Asphalt Testing	Proof roll	Other
Road Works	NA						
Concrete Curb	NA						
Concrete S/W	NA						
Road Paving	NA						
Retaining Walls	NA						
Street Lighting	NA	BC Hydro: NA			Telus/Shaw: NA		
Road Cuts/Patch: NA		Roads Cleaned: NA			Condition of Traffic Control: NA		
WCB COMPLIANCE: NA		Traffic Control Personnel: NA			Signage: NA		
COMMENTS:							
<ul style="list-style-type: none"> - This pre-use inspection was conducted in response to a road alteration permit. - Please see attached photos. 							
ACTION REQUIRED:							
<ul style="list-style-type: none"> - Security bond to be retained and held until after post-use/demo inspection has been conducted and the general condition of Road and Right of Way infrastructure remains the same and to the approval of the inspector. 							
Signature of Inspector: Srood Omer							

Dec 16, 2019 at 2:17:00 PM



Dec 16, 2019 at 2:17:14 PM





Dec 16, 2019 at 2:20:07 PM



Dec 16, 2019 at 2:20:35 PM



Dec 16, 2019 at 2:20:39 PM



Dec 16, 2019 at 2:21:06 PM



Dec 16, 2019 at 2:21:26 PM



Dec 16, 2019 at 2:21:31 PM





Dec 16, 2019 at 2:22:59 PM



Dec 16, 2019 at 2:23:07 PM



Dec 16, 2019 at 2:23:33 PM



Dec 16, 2019 at 2:23:43 PM



Dec 16, 2019 at 2:23:50 PM





**CITY OF
WHITE ROCK**

**Corporation of the City of White Rock
HIGHWAY AND/OR RIGHT OF WAY USE PERMIT**

RAP 00103 RENEWAL

Associated with Building Permit No. 16-123

Location of Work: 15565 Victoria Avenue	
Effective Date: December 13, 2019	Expiry Date: December 13, 2020

Owner:	Prime Contractor:
Name: Redacted S. 22	Name: s. 22 – 0907574 BC LTD
Address: Redacted S. 22	Address:
Telephone 1:	Telephone 1: 778-895-5024
Telephone 2:	Telephone 2:

A. PERMISSION IS HEREBY GRANTED TO: Redacted S. 22 – 0907574 BC LTD
to do the following work at the above location:

- Construct / improve driveway access from Lane as per comments shown on revised site plan date stamped received April 24, 2017. Driveway and Boulevard restoration must be completed to meet the completion requirements described below prior to the return of the **\$7,000.00** Security:
- Driveway access within the City Blvd (road edge to PL) to slope up a minimum 2%.
- Driveway from the property line to the edge of garage slab to have a slope not exceeding 15%.
- Backfill under the driveway within the City Boulevard must be structural fill (3" minus material) compacted to 95% Modified Proctor Density.
- Driveway access width through the City Boulevard (road edge to PL) may match the width of the lot.
- Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Cost to remove, repair or replace curb, gutter, sidewalk, and letdown works to be borne by the owner/developer and performed by the City.
- No retaining walls or "landscape rock" are permitted on the City Boulevard.
- Remaining City Boulevard must be restored with a minimum 150mm of topsoil and sod.
- Any alterations or improvements on the City Boulevard must first be approved by the Engineering Department.

B. COMPLETION REQUIREMENTS

- For inspection please call 604-541-2181
- Note: A charge of \$255.00 shall be paid for each additional inspection made not mentioned above.
- All Works to be completed to the satisfaction of the Director of Engineering and Municipal Operations

C. CONDITIONS OF PERMIT

- I hereby agree to abide by all the terms of this permit and the City's Street and Traffic By-law which pertain to this permit.
- The applicant confirms to the City that in undertaking the Works, the applicant shall strictly adhere to the Design Drawings approved for road and right of way use permit and obtain the prior written approval of the City Engineer for any changes to the Design Drawings.
- I understand the City will return the security upon completion of a one year maintenance period, from the date of the acceptance the Works by the City, and if required a submission and acceptance of any as-built drawing minus any costs incurred by the City for inspections, rectifying the Work, or damage to City property.
- The security amount will be released to the person or company whose name is on the original payment.
- I further agree to indemnify and save the City harmless against any and all claims, actions or expenses whatsoever or by whomsoever brought against the City by reason of the City granting me this City Road and Right of Way Use permit or by reason of the construction of the above-referred Work, including any matter that may arise under the Worker's Compensation Act, R.S.B.C. 1996, c. 492 ("the Act") and its regulations.
- This permit is not valid without insurance. The Corporation of the City of White Rock must be named as additional insured on policy for a minimum of \$5,000,000.00 liability. The Prime Contractor must be skilled in the work assigned, and must comply with the Act and its Occupational Health and Safety Regulations. The Prime Contractor must comply with the "BC Manual for Traffic Control for Work on Roadways".
- The Prime Contractor must have a valid City of White Rock business license.
- All works shall be completed in accordance with all current Corporation of the City of White Rock construction specifications and standard drawings. The Prime Contractor shall not employ or sub-contract with any party not skilled in the work assigned. As-built drawing may be required with the attached specifications prior to release of security.
- If the conditions of this permit are not met, the Director of Engineering and Municipal Operations has the right to revoke this permit.
- Street cleaning charges will be deducted from the security deposit if roads are not kept clean to a satisfactory level as determined by the Engineering Inspector.

- The owner must retain a BC Land Surveyor to install or locate the property pins. The owner must protect property pins throughout the course of construction and up to final inspection. The owner is responsible for ensuring that a BC Land Surveyor verifies the location of the property pins before final inspection. The Engineering Inspector will not perform a final inspection if property pins are missing. If there are no property pins at time of inspection, a BC Land Surveyor will need to submit a posting plan and re-establish the property pins.

PRIME CONTRACTOR'S DECLARATION AS PER WORKER'S COMPENSATION ACT

I/We acknowledge, in accordance with the provisions of the *Worker's Compensation Act*, R.S.B.C. 1996, Chapter 492 that I/we are the "Prime Contractor" and are qualified to act as the "Prime Contractor". I/we accept the duties and responsibilities for the coordination of health and safety in accordance with the Act. I/we will do everything that is reasonably practicable to establish and maintain a system or process that will ensure compliance with the Act and the Occupational Health and Safety Regulations made thereunder.

Issued By: Royal S.

Name of Prime Contractor: _____

Signature of Authorized Signatory: _____

Redacted S. 22

Redacted S. 22

Date: DEC/16/2019

FEES AND SECURITY

Security Amount (Paid at Demo) ~~\$5,000.00~~

Security Amount \$2,000.00

Permit Fee \$540.00

TOTAL \$2,540.00

Deposit Receipt No.: _____

Redacted S. 22

035

DATE 2019-12-16
Y Y Y Y M M D D

PAY TO THE
ORDER OF

CITY OF WHITE ROCK

\$ 2000

Two thousand dollars

TWO DOLLARS



ROYAL BANK OF CANADA
SCOTTSDALE MALL BRANCH
7157-120TH ST.
DELTA, B.C. V4E 2A9

Redacted S. 22

MEMO

15565 VICTORIA AVE
WHITE ROCK DEPOSIT

Redacted S. 21





CITY OF WHITE ROCK

15322 BUENA VISTA AVENUE, WHITE ROCK, BC V4B 1Y6

Building: 604.541.2149 | E: building@whiterockcity.ca
Planning: 604.541.2136 | E: planning@whiterockcity.ca
Engineering: 604.541.2181 | E: operations@whiterockcity.ca

FEE SLIP



Folder: RAP00103
ENGINEERING
RROW ALTERATION PERMIT - RROW-ALT

Address: 15565 VICTORIA AVE

Description	Quantity	Amount	Description	Quantity	Amount
Bd Rd&row Altr	1.00	540.00	Bd Rd&row Appl	1.00	54.00
Dep Rd&row	1.00	2,000.00			
Summary	Amount	Received	Outstanding		
Fees	594.00	54.00	540.00		
Deposit	2,000.00	0.00	2,000.00		
TOTAL	\$2,594.00	\$54.00	\$2,540.00		

Thank You for Your Payment

Receipt: 15420/8
 Dated: Dec 15, 2019 11:15:51 AM
 Station: OPS I/OFS FRONT-COUNTER
 DPMT RAP00103 540.00
 DEPOS RAP00103 2,000.00
 Total 2,540.00
 VISA -540.00
 CHEQUE #039 **Redacted 5.22** -2,000.00

City of White Rock
15322 Buena Vista Ave
White Rock BC V4B 1Y6



Application for Permission to Construct Works or Alter
City Boulevards and Roadways

I/We hereby apply for permission to construct or alter the road and right of way, within the limits of City of White Rock lands, and in accordance with the particulars, plans and specifications submitted herewith. It is understood that the completion of this form constitutes an APPLICATION ONLY and that the works applied for will not commence until a covering permit has been issued by the Engineering and Municipal Operations Department, signed by the Director of Engineering and Municipal Operations or his designate. The proposed works are to be undertaken at the following location(s):

All proposed works are to conform to the current Street and Traffic Bylaw. Design drawings, certified by a registered professional engineer, may be required. Upon completion of this work the City of White Rock has no obligation or responsibility to maintain this work or replace it if destroyed or altered. The City may at any time undertake road or boulevard improvements that may require the removal of the above described works. Both the removal of the works as well as the restoration of the boulevard, following completion of the City improvements, will be the responsibility of the applicant and succeeding property owners of the address listed below.

Traffic Management Plans are to conform to the latest edition of the Ministry of Transportation and Highways "Traffic Control Manual for Works on Roadways".

Securities deposited with the City may be held for up to one year following successful completion and inspection of the works, and fulfillment of the terms and conditions of the road and right of way use permit issued. All works are to be completed to the satisfaction of the Director of Engineering and Municipal Operations, or his designate, who will determine when the security is released and the final dollar amount released.

Name of Owner(s): **Redacted S. 22**

Name of Applicant(s): **Redacted S. 22**

Telephone Numbers (H): _____ (B): _____ (C): **Redacted S. 22**

Email Address: **Redacted S. 22**

Site Address: 15565 VICTORIA AVE Postal Code: V4B 1H8

Signature of Owner: **Redacted S. 22** Date: DEC/12/2019

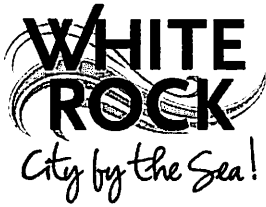
Signature of Applicant: **Redacted S. 22** Date: DEC/12/2019

Application Fee Paid? Y N Date: DEC/13/2019 Amount: _____

The proposed works are described as follows: Please provide a sketch and/or written description, using measurements where possible. Please be specific in your request.

CONSTRUCTION FOR NEW HOUSE
1 year.
BP# 16-123

Approved by: _____ Date: _____



CITY OF WHITE ROCK
15322 BUENA VISTA AVENUE
WHITE ROCK, BC V4B 1Y6
T: 604.541.2139 | F: 604.541.2153
MONDAY - FRIDAY | 8:30 A.M. - 4:30 P.M.
EMAIL: licences@whiterockcity.ca

BUSINESS LICENCE

ECONOMIC DEVELOPMENT

THIS LICENCE MUST BE POSTED IN A CONSPICUOUS PLACE ON THE BUSINESS PREMISES.
IT IS NON TRANSFERABLE, AND IS VOID ON CHANGE OF OWNERSHIP.

BUSINESS & MAILING ADDRESS:

0907574 BC LTD
BOX 204-7728 128 ST
SURREY, BC V3W 1L3

ACCOUNT NO:

13567

LICENCE NO:

00023853

LICENCE FEE:

\$150.00

BUSINESS LOCATION:

BUSINESS - OUT OF TOWN

ISSUED DATE:

Dec 12, 2019

EXPIRES ON:

Apr 05, 2020

LICENCEE:

0907574 BC LTD
BOX 204-7728 128 ST
SURREY, BC V3W 1L3

HAS PAID THEIR REQUIRED LICENCE FEE AND IS ENTITLED TO CARRY ON THE BUSINESS AS DESCRIBED AS:

BUILDING CONTRACTOR

IN A LAWFUL MANNER, THIS LICENCE IS ISSUED SUBJECT TO THE PROVISIONS OF ALL BY-LAWS OF THE CITY OF WHITE ROCK, NOW OR HEREAFTER, AND ANY AND ALL AMENDMENTS THAT MAY BE MADE DURING THE DURATIONS OF THIS LICENCE MUST COMPLY TO SAID BY-LAWS.

THIS LICENCE MUST BE POSTED IN A CONSPICUOUS PLACE ON THE BUSINESS PREMISES. IT IS NON-TRANSFERABLE AND IS VOID ON CHANGE OF OWNERSHIP

0907574 BC LTD
BOX 204-7728 128 ST
SURREY, BC V3W 1L3



CERTIFICATE OF LIABILITY INSURANCE

This certificate does not amend, extend or alter the coverage afforded by the policies below.

1. CERTIFICATE HOLDER - NAME AND MAILING ADDRESS

White Rock City Hall
16322 Buena Vista Avenue

White Rock BC V4B1Y6

2. INSURED'S FULL NAME AND MAILING ADDRESS

0907574 BC Ltd
13144-62A Street

Surrey BC

3. DESCRIPTION OF OPERATIONS/LOCATIONS/AUTOMOBILES/SPECIAL ITEMS TO WHICH THIS CERTIFICATE APPLIES (not only with respect to the operations of the Named Insured)

16565 Victoria Avenue

4. COVERAGES

This is to certify that the policies of insurance listed below have been issued to the insured named above for the policy period indicated notwithstanding any requirements, terms or conditions of any contract or other document with respect to which this certificate may be issued or may pertain. The insurance afforded by the policies described herein is subject to all the terms, exclusions and conditions of such policies. **LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS**

TYPE OF INSURANCE	INSURANCE COMPANY AND POLICY NUMBER	EFFECTIVE DATE YYYY/MM/DD	EXPIRY DATE YYYY/MM/DD	LIMITS OF LIABILITY (Canadian dollars unless indicated otherwise)		
				COVERAGE	DED.	AMOUNT OF INSURANCE
COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> Claims Made OR <input checked="" type="checkbox"/> Occurrence <input checked="" type="checkbox"/> Products and/or completed operations <input checked="" type="checkbox"/> Employer's Liability <input type="checkbox"/> Cross Liability <input type="checkbox"/> Waiver of Subrogation <input checked="" type="checkbox"/> Tenants Legal Liability <input type="checkbox"/> Pollution Liability Extension <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Non-Owned Automobiles <input type="checkbox"/> Hired Automobiles	Special Risk Insurance Brokers SR040017	2019/ 4 / 8	2020/ 4 / 7	Commercial General Liability		
				Bodily Injury and Property Damage Liability - - General Aggregate	5,000	5,000,000
				- Each Occurrence	5,000	5,000,000
				Products and Completed Operations Aggregate	5,000	5,000,000
				<input checked="" type="checkbox"/> Personal Injury Liability	1,000	5,000,000
				<input checked="" type="checkbox"/> Personal and Advertising Injury Liability		
				Medical Payments	1,000	25,000
				Tenants Legal Liability	1,000	250,000
				Pollution Liability Extension		
AUTOMOBILE LIABILITY				Non-Owned Automobile		
<input type="checkbox"/> Described Automobiles				Hired Automobiles		
<input type="checkbox"/> All Owned Automobiles				Bodily Injury and Property Damage Combined		
<input type="checkbox"/> Leased Automobiles **				Bodily Injury (Per Person)		
** All Automobiles leased in excess of 30 days where the insured is required to provide insurance				Bodily Injury (Per Accident)		
				Property Damage		
				Each Occurrence		
EXCESS LIABILITY				Aggregate		
<input type="checkbox"/> Umbrella Form						
<input type="checkbox"/>						
OTHER LIABILITY (SPECIFY)						
<input type="checkbox"/>						
<input type="checkbox"/>						

5. CANCELLATION

Should any of the above described policies be cancelled before the expiration date thereof, the issuing company will endeavor to mail 0 days written notice to the certificate holder named above, but failure to mail such notice shall impose no obligation or liability of any kind upon the company, its agents or representatives.

6. BROKERAGE/AGENCY FULL NAME AND MAILING ADDRESS

Golden Ears Insurance Services Ltd.
#108 - 7045 - 128th Street
Surrey, BC V3W 4E1

BROKER CLIENT ID: 090757

7. ADDITIONAL INSURED NAME AND MAILING ADDRESS

(Commercial general Liability - but only with respect to the operations of the Named Insured)

White Rock City Hall
15322 Buena Vista Avenue

White Rock BC V4B1Y6

8. CERTIFICATE AUTHORIZATION

Issuer Golden Ears Insurance Services Ltd.

Contact Number(s)

Authorized Representative

Type	No	Type	No
Type Phone	No (604) 607-7607	Type Fax	No (604) 607-7513

Signature of Authorized Representative *[Signature]*

Date 2019 | 12 | 12

E-Mail Address sonda@goldenearsinsurance.com



Assessment Department Location
Mailing Address 6951 Westminster Highway
PO Box 5350 Richmond BC
Station Terminal V7C 1C6
Vancouver BC V6B 5L5 www.worksafebc.com

Clearance Section
Telephone 604 244 6380
Toll Free within Canada
1 888 922 2768
Fax 604 244 6390

Redacted S. 22

December 11, 2019

Person/Business : 0907574 B.C. LTD.
Account number : 987926

This letter provides clearance information for the purposes of Section 51 of the *Workers Compensation Act*.

We confirm that the above-referenced firm is active, in good standing, and has met WorkSafeBC's criteria for advance clearance. Accordingly, if the addressee on this letter is the prime contractor, the addressee will not be held liable for the amount of any assessment payable for work undertaken by the above-referenced firm to **January 01, 2020**.

This firm has had continuous coverage with us since January 01, 2016.

Employer Service Centre
Assessment Department

Clearance Reference # : C131347703
CLRAAA-M

Now you can report payroll and pay premiums online.
Visit www.worksafebc.com

Please refer to your account number in your correspondence or when contacting the Assessment Department.
To alter this document constitutes fraud.



CITY OF WHITE ROCK

15322 BUENA VISTA AVENUE, WHITE ROCK, BC V4B 1Y6

Building: 604.541.2149 | E: building@whiterockcity.ca
Planning: 604.541.2136 | E: planning@whiterockcity.ca
Engineering: 604.541.2181 | E: operations@whiterockcity.ca

FEE SLIP



Folder: RAP00103
ENGINEERING
RROW ALTERATION PERMIT - RROW-ALT

Address: 15565 VICTORIA AVE

Description	Quantity	Amount	Description	Quantity	Amount
Bd Rd&row Appl	1.00	54.00			
Summary	Amount	Received	Outstanding		
Fees	54.00	0.00	54.00		
TOTAL	\$54.00	\$0.00	\$54.00		

Receipt#: 15420/2
 Dated: Dec 13, 2019 10:30:26 AM
 Station: OPS 1/OPS FRONT-COUNTER
 CDPMT RAP00103 54.00
 Total 54.00
 VISA -54.00

City of White Rock
 15322 Buena Vista Ave
 White Rock BC V4B 1Y6

Thank You for Your Payment

