

June 19, 2020

FOI No: 2020-21

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has received your request for access to the following information pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *any boulevard improvement permits, variances, or approved lot plans issued for the following:*

*15368, 15372, and 15376 Victoria Avenue
1120 Martin Street*

Access to these records is available. However, some of the information in the records is exempted from the disclosure requirements of the Act. I have severed the exempted information so that I could disclose to you the remaining information as attached.

The severed information is exempted from disclosure under section 22 of the Act. Severing is necessary to avoid disclosing any third-party personal information without permission.

Please contact our office if you have any questions or concerns.

Sincerely,



Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

City Road and Right of Way Use Permit

BUILDING PERMIT No.: 09-030

Effective: August 11, 2009
Expiry: August 11, 2010

OWNER

Name: **Redacted S. 22**
Address: **1120 Martin Street
White Rock, BC V4B 3V9**
Telephone Numbers: **s. 22**

BUILDER

Name: **Golder Associates Innovative
Applications (GAIA) Inc.
C/O David Siddle**
Address: **500 - 4260 Still Creek Drive
Burnaby, BC, V5C 6C6**
Telephone Numbers: **778-837-3507**

LOCATION OF WORK: 1120 Martin Street

**PERMISSION IS HEREBY GRANTED TO: Golder Associates Innovative Applications
(GAIA) Inc. C/O David Siddle**

Driveway Access:

Driveway access from Martin Street as per comments shown on site plan prepared by Golder Associates and date stamped received May 12, 2009, in conjunction with specifications and designs sealed by S. Lange, Professional Engineer and A.E Pederson, Professional Engineer, of Golder Associates. Driveway and Boulevard restoration must be completed to meet the following requirements prior to the refund of the Security Bond:

- Driveway access approved off Martin Street.
- Driveway must slope up at 2% from the road edge through the City Boulevard and the maximum driveway slope (property line to edge of driveway) is 15%.
- Backfill under driveway within the City Boulevard must be structural fill (3" minus free draining granular material) compacted to 95% Modified Proctor Density.
- Driveway access through the City Boulevard must be asphalt or brick pavers (concrete not permitted).
- Driveway access through the City Boulevard (road edge to property line) to be 4.5m in width.
- Retaining walls within the City Boulevard are to be designed and engineered as per plans and specifications sealed by S. Lange and A.E Pederson (Golder Associates). Retaining walls and site work within the City Boulevard to be inspected and approved by Golder Associates. The City of White Rock's Operations Department must be informed when these works are underway. Please call 604-541-2181.
- Remaining City Boulevard (road to property line) must be restored with a minimum 150mm of top soil and sod or a landscaping ground cover approved by the City.
- Any alterations or improvements on City Boulevard must first be approved by the Engineering Department.

APPLICANTS SIGNATURE _____ DATE _____

Road and Boulevard

For Inspection please call: 541-2181

The applicant must call for an Engineering Inspection prior to pouring or placing of driveway. Failure to do so may result in forfeiture of security bond

NOTE A CHARGE OF \$50.00 SHALL BE PAID FOR EACH ADDITIONAL INSPECTION MADE NOT MENTIONED ABOVE.

APPLICANTS SIGNATURE _____ DATE _____

Prime Contractor Obligations:

This permit is not valid without insurance. The Corporation of the City of White Rock must be named as additional insured on policy for a minimum of \$5,000,000.00 liability. The Prime Contractor must be skilled in the work assigned, and must comply with the Worker's Compensation Act and Occupational Health and Safety Regulations. The Prime Contractor must comply with the "BC Manual for Traffic Control for Work on Roadways"

The contractor must have a valid City of White Rock business license.

All works shall be completed in accordance with all currently City of White Rock construction specifications and standard drawings. The applicant shall not employ a contractor not skilled in the work assigned. As-built drawing may be required with the attached specifications prior to release of security deposit. The following City inspections are required to satisfy the terms of this permit:

I hereby agree to all the terms of the Street and Traffic By-law which pertain to this permit and deposit wherewith the same to guarantee the fulfillment of the terms of and within the time specified for the permit. A refund of the security deposit will be issued upon successful completion of this work and if required a submission and acceptance of an as-built drawing (and after all City inspections are passed) minus any additional cost incurred by the City of White Rock.

I further agree to indemnify and save the City harmless against any and all claims, actions or expenses whatsoever or by whomsoever brought against the City by reason of the City granting me this City Road and Right of Way Use permit or by reason of the construction of the above referred works.

APPLICANTS SIGNATURE _____ DATE _____

ISSUED BY:

Engineering Department

FEEs	
ROW Security Bond	\$0.00
Permit Fee	\$50.00
<i>TOTAL</i>	\$50.00
DEPOSIT RECEIPT NO.	

Designation of Prime Contractor for City Road and Right-of-Way Permits

Prime Contractor's Declaration as per Worker's Compensation Act

I/we acknowledge, in accordance with the Worker's Compensation Act (RSBC 1996) Chapter 492, Part 3, Division 3, Section 118 and 119 that I/we are the "Prime Contractor" and are qualified to act as the "Prime Contractor". I/we accept the duties and responsibilities for the coordination of health and safety in accordance with the Worker's Compensation Act. And further that I/we will do everything that is reasonably practicable to establish and maintain a system or process that will ensure compliance with the Workers Compensation Act and the Occupational Health and Safety Regulations.

Prime Contractor's Representative

Owner's Representative

Print Name

Print Name

Date: -----

Date: -----



Corporation of the City of White Rock - Public Works Department

BUILDING PERMIT #09-030

Address:

1120 Martin Street

Contractor: **Golder Associates Innovative Applications (GAIA) Inc. c/o Dave Siddle**

Legal Description:

"Lot 1, Plan BCP4817, Section 10, Township 1, New Westminster Land District"

Owner's Name:

Redacted S. 22

Phone #:

Redacted S. 22

Date Filed:

February 20, 2009

Date Paid:

October 3, 2008

Date Installed:

Sanitary Sewer Service

*Depth and Location are approximate and to be used as a guide only

Proposed Location:

100mm PVC service 1.3m from the lowest property corner

Approximate Depth:

To be determined during installation

Main Extension Required:

Yes No

Remarks:

Cap-Off Fee	(\$25.00 if not collected at time of Demo Permit	\$0.00
Connection Fee	(\$1,200.00)	\$1,200.00
Inspection Fee	(\$50.00)	\$50.00
Total Cost for Sanitary Connection		\$1,250.00 <i>Paid</i>

Storm Sewer Service

*Depth and Location are approximate and to be used as a guide only

Proposed Location:

100mm PVC service 1.0m from the lowest property corner

Approximate Depth:

To be determined during installation

Main Extension Required:

Yes No

Remarks:

If owner/builder cannot establish gravity, a restrictive covenant will need to be registered with Development Services.

Cap-Off Fee	(\$25.00 if not collected at time of Demo Permit	\$0.00
Connection Fee	(\$1,200.00)	\$1,200.00
Inspection Fee	(\$50.00)	\$50.00
Total Cost for Storm Connection		\$1,250.00 <i>Paid</i>

Total Cost For Storm & Sanitary Services

Paid ~~\$2,500.00~~

Driveway Access

*Owner or Contractor must complete a "City Road & ROW Permit" for City Engineer's approval of all proposed works that cross City Boulevard.

Maximum Allowable Driveway Grade: 15%

Proposed Driveway Grade:

Remarks:

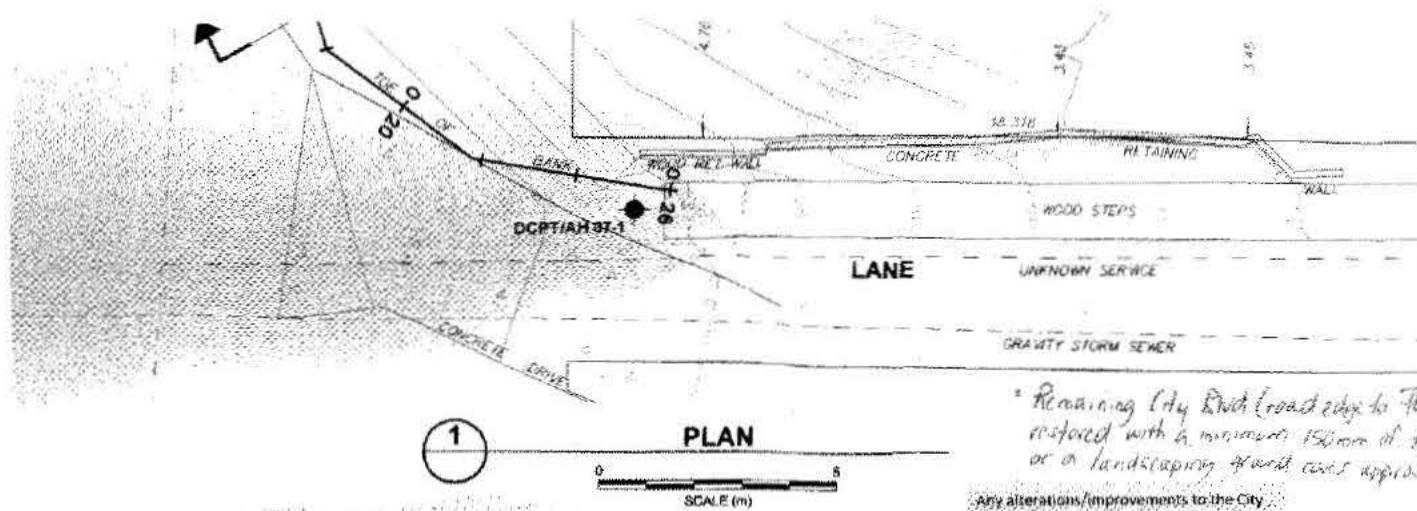
General Requirements

- IF THE ABOVE LOCATION OF THE NEW SERVICE IS NOT WHERE THE OWNER / BUILDER WOULD LIKE THEY MUST REQUEST A NEW LOCATION THROUGH PUBLIC WORKS AND AN ADDITIONAL FEE WILL BE REQUIRED
- Owner / Builder must expose existing sanitary service at the property line for Cap-Off by Public Works Foreman. Failure to do so will result in denial for request of a Building Permit.
- All work must conform to the Corporation of the City of White Rock Standards and Specifications
- All inspections on private property to be carried out by the City's Building Department
- The owner / builder is responsible for maintaining and lowering the Inspection Chamber to no lower than finished grade. Any replacement / repairs to the Inspection Chamber must be done by the City and the costs will be charged to the owner.
- All services will be installed at the lowest possible elevation, however, the City is not responsible for providing a gravity service. It is the owner's / builder's responsibility to connect at that elevation at property line whether by gravity or sump pump
- Notify Public Works Foreman (541-2181) **two weeks** prior to service installation to allow for scheduling of work

AS

Date:

Applicant's Signature:



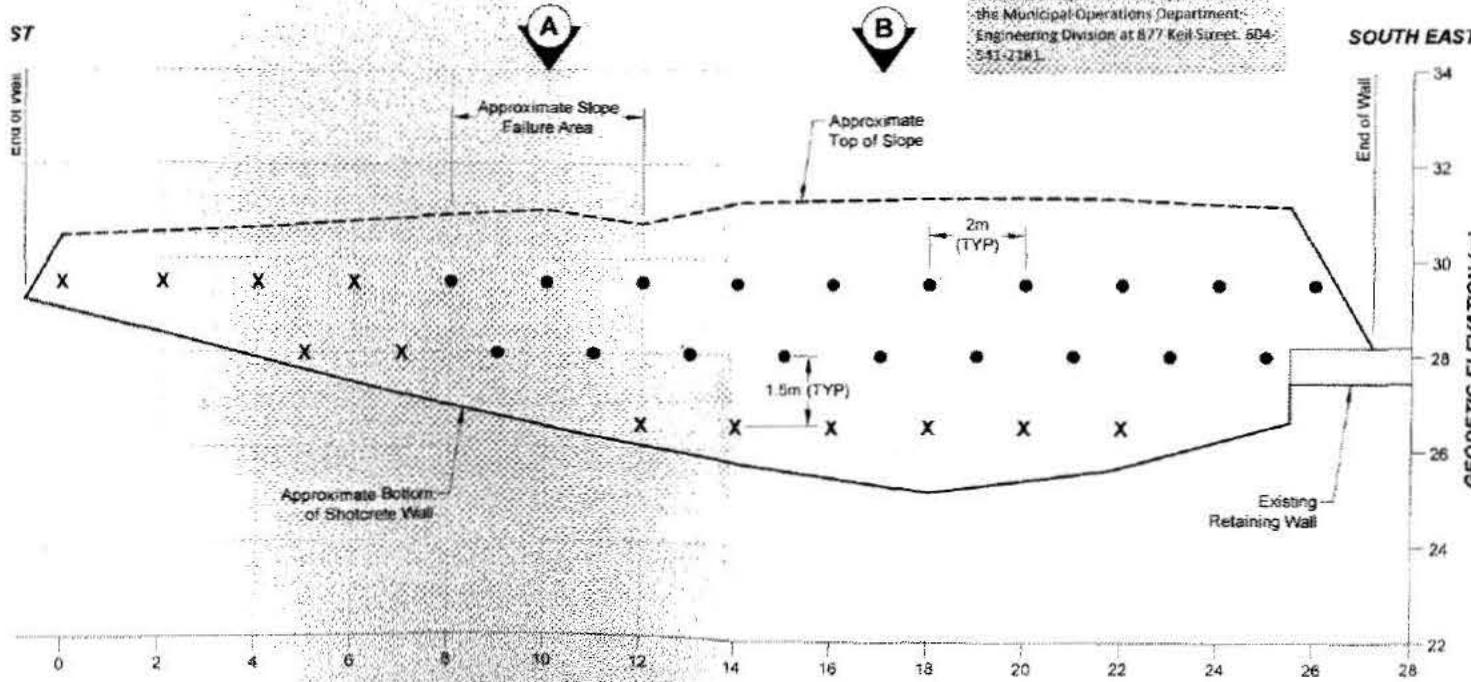
The City of White Rock's Operations Department must be notified when these works are underway in order to ensure Traffic Management procedures are in place. Certified Traffic Control people must be used during all periods when work is conducted on the roadway.



3 TYPICAL SOIL NAIL SHOTCRETE WALL
Not to Scale

Remaining City Blvd (road edge to P) must be restored with a minimum 150mm of top soil and seed or a landscaping gravel cover approved by the City.

Any alterations/improvements to the City Boulevard require written approval from the Municipal Operations Department - Engineering Division at 877 Keil Street, 504-591-2181.



2 WALL PROFILE
SCALE (m)

LEGEND

- APPROXIMATE AUGERHOLE LOCATION
- X ● SOIL NAILS
- L TOTAL LENGTH OF NAIL (m) (INCLUDES ANCHOR STICKOUT)
- LOAD LOCK-OFF LOAD (kN)
- BAR STEEL BAR SIZE (CANADIAN STANDARD METRIC SIZE)
- f_y MINIMUM BAR YIELD STRENGTH (MPa)

WALL SEGMENTS				
SYMBOL	L(m)	LOAD kN	BAR	f _y (MPa)
X	3.0	20kN	T30x16	480
●	4.5	30kN	T30x16	480



**CITY OF
WHITE ROCK**

**Corporation of the City of White Rock
HIGHWAY AND/OR RIGHT OF WAY USE PERMIT**

Associated with Building Permit No. 14-040

Location of Work: 15368 Victoria Avenue	
Effective Date: June 23, 2014	Expiry Date: June 23, 2015

Owner:	Prime Contractor:
Name: s. 22	Name: s. 22
Redacted S. 22	Address:
Telephone 1:	Telephone 1: Redacted S. 22
Telephone 2	Telephone 2

A. PERMISSION IS HEREBY GRANTED TO: Redacted S. 22

to do the following work at the above location:

- Construct / improve access from Lane as per comments shown on revised site plan date stamped received June 17, 2014 and designed by DCS Design Inc. Driveway access and boulevard restoration must be completed to meet the completion requirements described below prior to the return of the **\$5,000.00** Security:
- Driveway access within the City Boulevard to slope up a minimum 2% from the road edge to PL.
- Driveway from the property line to the garage slab to have a slope not exceeding 15%.
- Backfill under the driveway within the City Boulevard must be structural fill (3" minus material) compacted to 95% Modified Proctor Density.
- Driveway access width through the City Boulevard (road edge to PL) may match the width of the lot.
- Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Cost to remove, repair or replace curb, gutter, sidewalk, and letdown works to be borne by the owner/developer and performed by the City.

Victoria Avenue Parking Pad/Right of Way:

- Access approved off of Victoria Avenue as proposed.
- Access to slope up a minimum 2% from the road edge to back of parking pad.
- Backfill under the access within the City Blvd. must be structural fill (3" minus material) compacted to 95% Modified Proctor Density.

- Access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Access through the City Blvd. (road edge to the edge of parking pad) must be 6.0m in width.
- Depth of parking pad/access from the road edge to the back edge of the parking pad to be 7.5m.
- No obstruction to pedestrian movement is permitted within 2.0m of the road edge.
- Remaining City Blvd. must be restored with 150mm of topsoil and sod or a landscaping ground cover approved by the City.

B. COMPLETION REQUIREMENTS

- Inspections of retaining walls, boulevard grading or re-grading and associated works are the responsibility of the contractor and their consultant. Inspection reports are to be submitted to the City of White Rock's Engineering Dept. and to the satisfaction of the Director of Engineering and Municipal Operations.
- The engineer of record must certify the works complete and submit to the City a letter certifying the works upon completion and provide as-built drawings, if necessary, to the satisfaction of the Director of Engineering and Operations. Failure to do so may result in forfeiture of security bond.

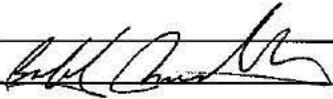
C. CONDITIONS OF PERMIT

- I hereby agree to abide by all the terms of this permit and the City's Street and Traffic By-law which pertain to this permit.
- I have deposited as security the amount of \$5,000.00 with the City to guarantee the fulfillment of the conditions and completion requirements of this permit and of the Work within the time specified for the permit.
- I understand the City will return the security upon successful completion of this Work and if required a submission and acceptance of an as-built drawing (and after all City inspections are passed) minus any costs incurred by the City in respect of inspecting or rectifying the Work.
- I further agree to indemnify and save the City harmless against any and all claims, actions or expenses whatsoever or by whomsoever brought against the City by reason of the City granting me this City Road and Right of Way Use permit or by reason of the construction of the above-referred Work, including any matter that may arise under the Worker's Compensation Act, R.S.B.C. 1996, c. 492 ("the Act") and its regulations.
- This permit is not valid without insurance. The Corporation of the City of White Rock must be named as additional insured on policy for a minimum of \$5,000,000.00 liability. The Prime Contractor must be skilled in the work assigned, and must comply with the Act and its Occupational Health and Safety Regulations. The Prime Contractor must comply with the "BC Manual for Traffic Control for Work on Roadways".
- The Prime Contractor must have a valid City of White Rock business license.
- All works shall be completed in accordance with all current Corporation of the City of White Rock construction specifications and standard drawings. The Prime Contractor shall not employ or sub-contract with any party not skilled in

the work assigned. As-built drawing may be required with the attached specifications prior to release of security. The following City inspections are required to satisfy the terms of this permit.

PRIME CONTRACTOR'S DECLARATION AS PER WORKER'S COMPENSATION ACT

I/We acknowledge, in accordance with the provisions of the *Worker's Compensation Act*, R.S.B.C. 1996, Chapter 492 that I/we are the "Prime Contractor" and are qualified to act as the "Prime Contractor". I/we accept the duties and responsibilities for the coordination of health and safety in accordance with the *Act*. I/we will do everything that is reasonably practicable to establish and maintain a system or process that will ensure compliance with the *Act* and the Occupational Health and Safety Regulations made thereunder.

Issued By: 

Name of Prime Contractor: _____

Signature of Authorized Signatory: _____ Date: _____

FEES AND SECURITY	
Security Amount (paid at demo)	\$2,500.00
Additional Security required	\$2,500.00
Permit Fee	\$150.00
	TOTAL \$2,650.00
Deposit Receipt No.:	



Corporation of the City of White Rock - Public Works Department

BUILDING PERMIT #14-040

Address: 15368 Victoria Avenue Applicant: S. 22
 Legal Description: Lot A, Block 22, Plan 486, Section 11, Township 1, New Westminster Land District
 Owner's Name: Redacted S. 22 Phone #: Redacted S. 22

Date Filed: _____ Date Paid: _____
 Date Installed: _____

Sanitary Sewer Service *Depth and Location are approximate and to be used as a guide only
 Existing Location: 8.5' East of SW PL
 Approximate Depth: 4'
 Main Extension Required: Yes No
 Remarks: NOTE: Service Connection Fees are taken as a deposit only and may be subject to additional charges as per the City of White Rock's Sewer Connection Bylaw No. 396 As well as confirmation by the City of White Rock's Public Works Department.

Cap-Off Fee	(\$100.00 if not collected at time of Demo Permit	\$100.00
Connection Fee	(\$2,500.00)	\$2,500.00
Inspection Fee	(\$100.00)	\$100.00
Total Cost for Sanitary Connection	Paid at Demo	\$2,700.00

Storm Sewer Service *Depth and Location are approximate and to be used as a guide only
 Proposed Location: To be installed by the owner/developer as per the executed Works and Servicing agreement and approved plan submitted
 Approximate Depth: As per approved drawings
 Main Extension Required: Yes No
 Remarks: NOTE: Service Connection Fees are taken as a deposit only and may be subject to additional charges as per the City of White Rock's Sewer Connection Bylaw No. 396 As well as confirmation by the City of White Rock's Public Works Department.

If a gravity storm sewer connection cannot be established a restrictive covenant will need to be registered on the title of the property at the Land Title Office, identifying that the lot cannot be drained by gravity and must be serviced by a privately owned pump. The registered owner of the lot will be responsible for maintaining the pump system.

Cap-Off Fee	N/A
Connection Fee	N/A
Inspection Fee	N/A
Total Cost for Storm Connection	N/A

Total Cost For Storm & Sanitary Services \$2,700.00

- General Requirements**
- IF THE ABOVE LOCATION OF THE NEW SERVICE IS NOT WHERE THE OWNER / BUILDER WOULD LIKE THEY MUST REQUEST A NEW LOCATION THROUGH PUBLIC WORKS AND AN ADDITIONAL FEE WILL BE REQUIRED
 - Owner / Builder must expose existing sanitary service at the property line for Cap-Off by Public Works Foreman. Failure to do so will result in denial for request of a Building Permit.
 - All work must conform to the Corporation of the City of White Rock Standards and Specifications
 - All inspections on private property to be carried out by the City's Building Department
 - The owner / builder is responsible for maintaining and lowering the Inspection Chamber to no lower than finished grade. Any replacement / repairs to the Inspection Chamber must be done by the City and the costs will be charged to the owner.
 - All services will be installed at the lowest possible elevation, however, the City is not responsible for providing a gravity service. It is the owner's / builder's responsibility to connect at that elevation at property line whether by gravity or sump pump.
 - The owner/builder is responsible to determine the minimum basement elevation of the works proposed, and is also responsible in determining if a restrictive covenant is required. MBE for gravity connections are determined to be 200mm above the existing grade of the road or the 100 year hydraulic grade line as determined by the owner/developer or their consultant.
 - Notify Public Works Foreman (541-2181) two weeks prior to service installation to allow for scheduling of work

Date: _____ Applicant's Signature: _____

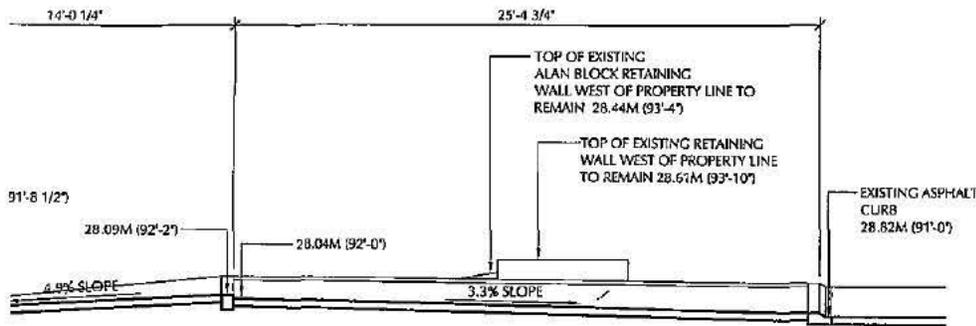
fill
 1" concrete
 and) must
 at edge of
 2.0m of
 150mm
 at base

re-grading
 of and the
 by of White Rock
 Engineering and

submit to
 and provide

DRAWING INDEX:

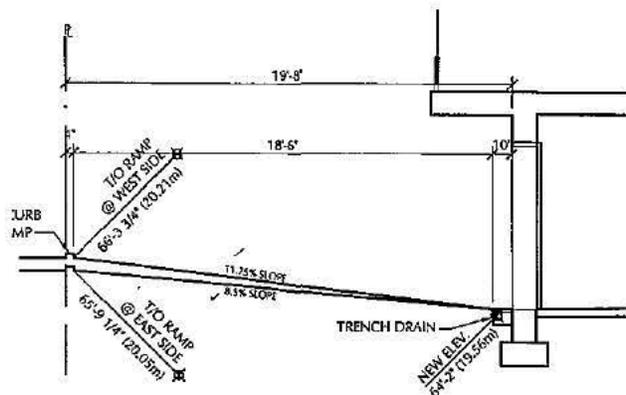
- A1 - GENERAL NOTES
SITE PLAN
- A2 - FLOOR PLANS
WALL SCHEDULE
- A3 - FLOOR PLANS
WALL SCHEDULE
AREA DIAGRAMS
- A4 - EAST AND NORTH
ELEVATIONS
- A5 - WEST AND SOUTH
ELEVATIONS
- A6 - BUILDING SECTIONS
ROOF AND FLOOR
SCHEDULES



SECTION THROUGH FRONT OF PROPERTY

SCALE: 3/16" = 1'-0"

as of record, as
 shown in report



SECTION AT DRIVEWAY RAMP

SCALE: 3/16" = 1'-0"

15368 Victoria Ave.
 Bp# 14-040
 RS-3
Redacted S. 22

DCS DESIGN INC.

15422 93A AVENUE,
 SURREY, B.C. V3R 9P8 CANADA
 TEL: 604584-8819 FAX: 604-594-8817
 EMAIL: dcsdesign@shaw.ca

CONSULTANT:

PROJECT:

**WHITEROCK RESIDENCE
 15368 VICTORIA AVENUE
 WHITEROCK, B.C.**

CLIENT:

TMC DEVELOPMENTS

DRAWING CONTENTS

**GENERAL NOTES
 SITE PLAN**

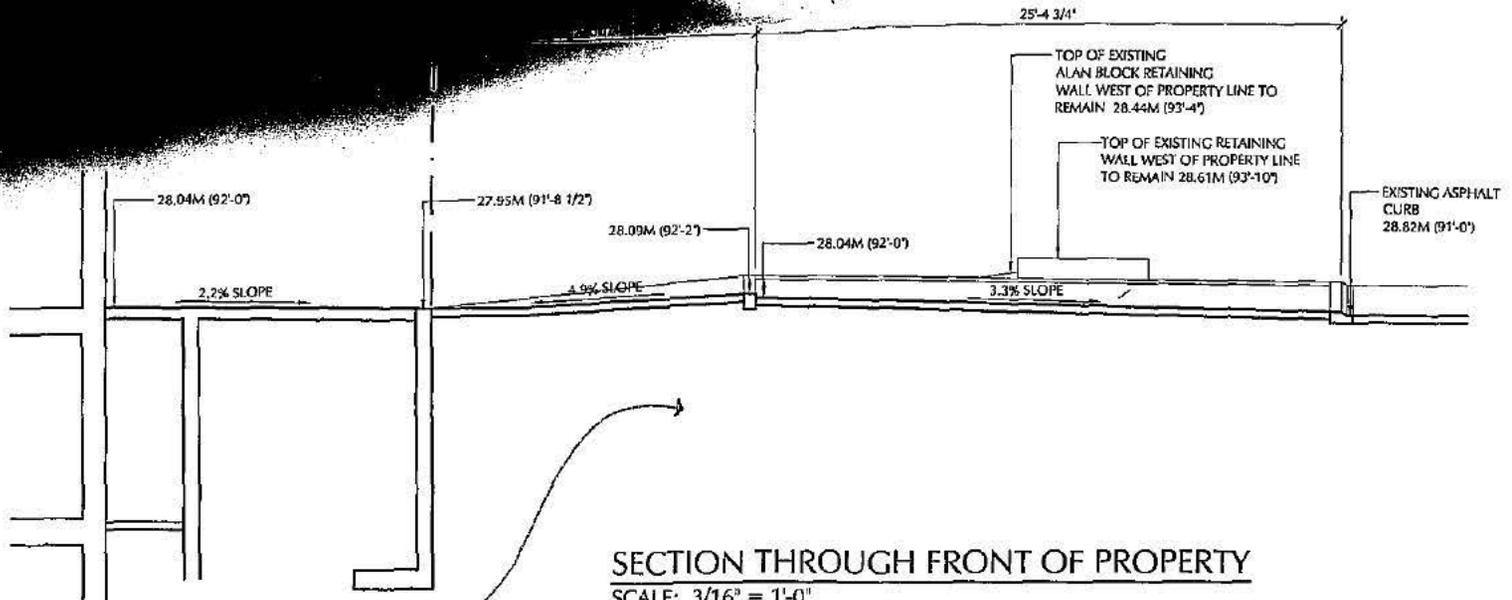
DRAWN BY: DCS	DATE: FEBRUARY 2014
CHECKED BY: DCS	JOB NO.: 201401a
SCALE: AS NOTED	

DRAWING NO.

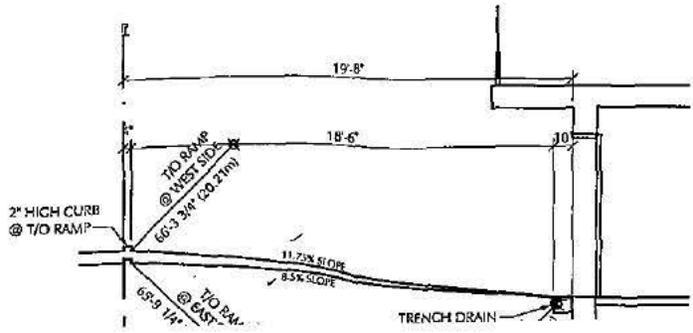
A1

THE CORPORATION OF
 THE CITY OF WHITE ROCK
RECEIVED

Retaining walls, backfill and grading or re-grading
 shall be the responsibility of the contractor and their
 subcontractors. The contractor shall be responsible for the
 removal of any and all debris, rocks, etc.



Fill area to be certified by engineer of record, as per the proposal within the geotechnical report for the site.



15368 Victoria Ave.
 Bp# 14-040
 RS-3

Redacted S. 22

CONSULTANT:

PROJECT:

WHITEROCK RESII
 15368 VICTORIA AVE
 WHITEROCK, E

CLIENT:

TMC DEVELOPMENT

DRAWING CONTENTS

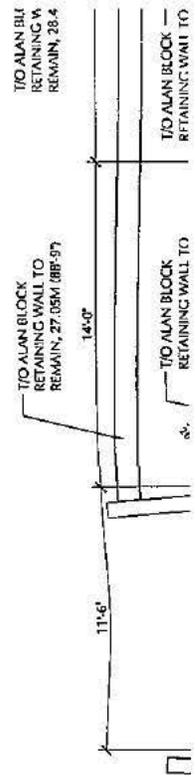
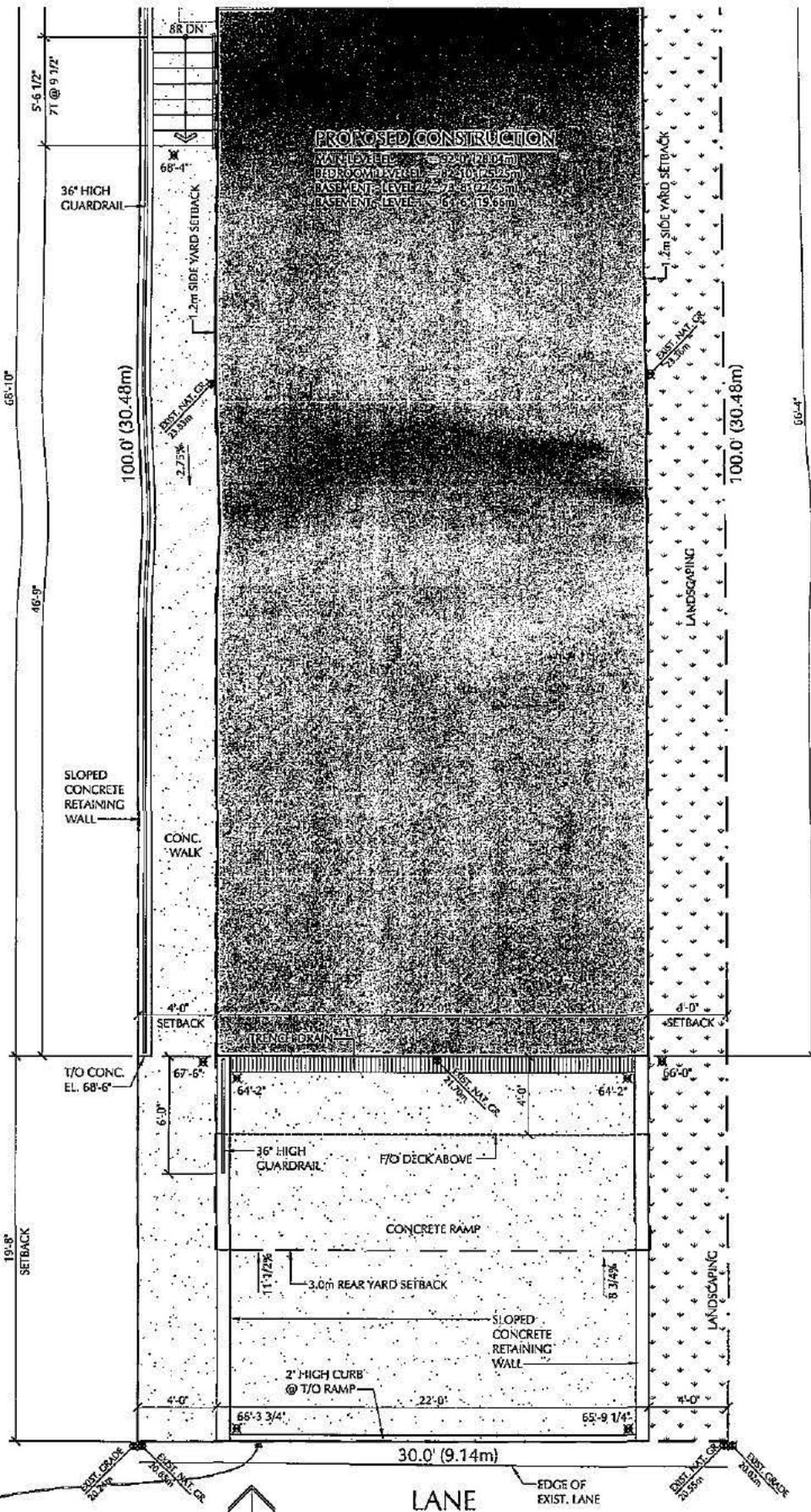
GENERAL NOTE
 SITE PLAN

DRAWN BY: DCS	DATE: FEBRU
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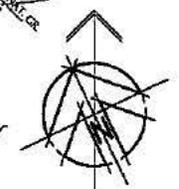
CHECKED BY: DCS	JOB NO.: 20140
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sq.m.)
 sq.m.)
 sq.m.)

sq.m.)
 sq.m.)



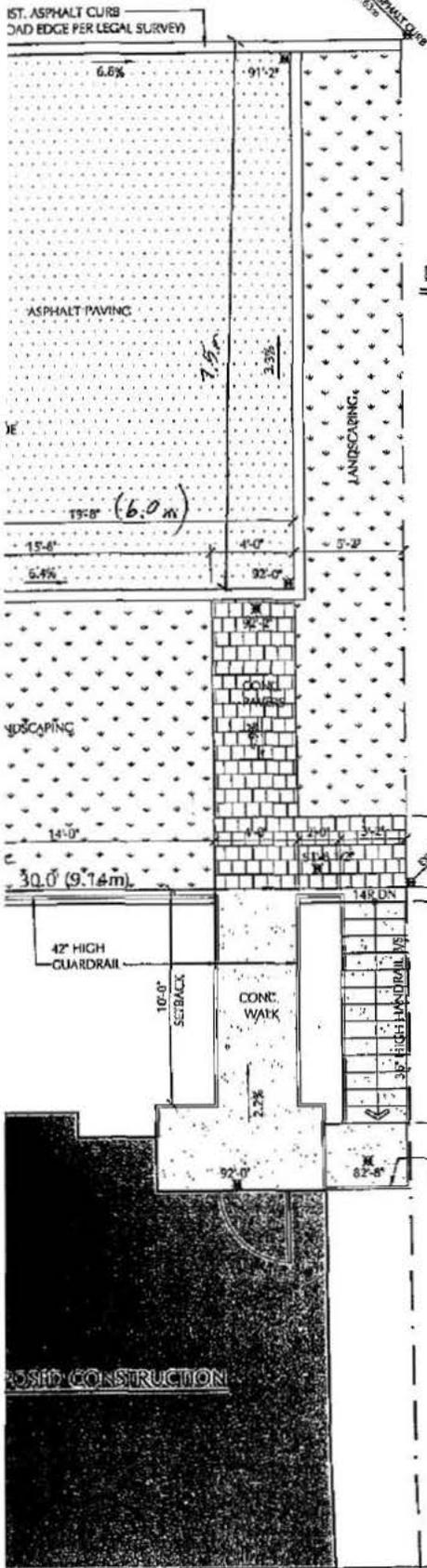
2" x 6" asphalt rain curb to be installed by owner/developer



LOWER SITE PLAN
SCALE: 3/16" = 1'-0"

ASSUMED NORTH

VICTORIA AVENUE



- Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Driveway access width through the City Blvd (road edge to RE) may match the width of the lot.
- 2"x6" asphalt rain curb to be installed, as noted, by the owner/developer.
- Cost to remove, repair, or replace curb, gutter, sidewalk and letdown works to be borne by the owner/developer.
- No structures such as retaining walls or "landscape rock" is permitted on the City Blvd.

Victoria Avenue Parking Pad/Right of Way

- Parking pad/access approved off of Victoria Avenue.
- Access to slope up a minimum 2% from the road edge to the back of parking pad.
- Backfill under the access within the City Blvd. must be structural fill (3" minus material) compacted to 95% modified Proctor density.
- Access through the City Blvd must be asphalt or brick pavers. Concrete is not permitted.
- Access through the City Blvd (road edge to edge of parking pad) must be 6.0m in width.
- Depth of parking pad/access from the road edge to the back edge of parking pad to be 7.5m
- No obstruction to pedestrian movement is permitted within 2.0m of the edge of pavement.
- Remaining City Blvd (road edge to RE) must be restored with 150mm of topsoil and sod or a landscaping grand cover approved by the City.

Note: Inspections of retaining walls, banks and grading or re-grading and associated works are the responsibility of the contractor and their consultant. Inspection reports are to be submitted to the City of White Rock's Engineering Dept. and to the satisfaction of the Director of Engineering and Municipal Operations.

The engineer of record must certify the works complete and submit to the City a letter certifying the works upon completion and provide as-built's, if necessary, to the satisfaction of the Director of Engineering and Municipal Operations. Failure to do so may result in forfeiture of security bond.



- GENERAL:
- The national edition.
 - The component and other exterior line up. It is the structure
- THE BUILDING:
- Lot grade information result responsibility All dimensions authority
 - Grade structure for required site plan external patterns
 - Any practice,



**CITY OF
WHITE ROCK**

**Corporation of the City of White Rock
HIGHWAY AND/OR RIGHT OF WAY USE PERMIT**

Associated with Building Permit No. 14-039

Location of Work: 15372 Victoria Avenue	
Effective Date: June 23, 2014	Expiry Date: June 23, 2015

Owner:	Prime Contractor:
Name: s. 22	Name: s. 22
Redacted S. 22	Address:
Telephone 1:	Telephone 1: Redacted S. 22
Telephone 2	Telephone 2

A. PERMISSION IS HEREBY GRANTED TO: s. 22

to do the following work at the above location:

- Construct / improve access from Lane as per comments shown on revised site plan date stamped received June 17, 2014 and designed by DCS Design Inc. Driveway access and boulevard restoration must be completed to meet the completion requirements described below prior to the return of the **\$5,000.00** Security:
- Driveway access within the City Boulevard to slope up a minimum 2% from the road edge to PL.
- Driveway from the property line to the garage slab to have a slope not exceeding 15%.
- Backfill under the driveway within the City Boulevard must be structural fill (3" minus material) compacted to 95% Modified Proctor Density.
- Driveway access width through the City Boulevard (road edge to PL) may match the width of the lot.
- Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Cost to remove, repair or replace curb, gutter, sidewalk, and letdown works to be borne by the owner/developer and performed by the City.

Victoria Avenue Parking Pad/Right of Way:

- Access approved off of Victoria Avenue as proposed.
- Access to slope up a minimum 2% from the road edge to back of parking pad.
- Backfill under the access within the City Blvd. must be structural fill (3" minus material) compacted to 95% Modified Proctor Density.

- Access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Access through the City Blvd. (road edge to the edge of parking pad) must be 6.0m in width.
- Depth of parking pad/access from the road edge to the back edge of the parking pad to be 7.5m.
- No obstruction to pedestrian movement is permitted within 2.0m of the road edge.
- Remaining City Blvd. must be restored with 150mm of topsoil and sod or a landscaping ground cover approved by the City.

B. COMPLETION REQUIREMENTS

- Inspections of retaining walls, boulevard grading or re-grading and associated works are the responsibility of the contractor and their consultant. Inspection reports are to be submitted to the City of White Rock's Engineering Dept. and to the satisfaction of the Director of Engineering and Municipal Operations.
- The engineer of record must certify the works complete and submit to the City a letter certifying the works upon completion and provide as-built drawings, if necessary, to the satisfaction of the Director of Engineering and Operations. Failure to do so may result in forfeiture of security bond.

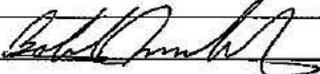
C. CONDITIONS OF PERMIT

- I hereby agree to abide by all the terms of this permit and the City's Street and Traffic By-law which pertain to this permit.
- I have deposited as security the amount of \$5,000.00 with the City to guarantee the fulfillment of the conditions and completion requirements of this permit and of the Work within the time specified for the permit.
- I understand the City will return the security upon successful completion of this Work and if required a submission and acceptance of an as-built drawing (and after all City inspections are passed) minus any costs incurred by the City in respect of inspecting or rectifying the Work.
- I further agree to indemnify and save the City harmless against any and all claims, actions or expenses whatsoever or by whomsoever brought against the City by reason of the City granting me this City Road and Right of Way Use permit or by reason of the construction of the above-referred Work, including any matter that may arise under the Worker's Compensation Act, R.S.B.C. 1996, c. 492 ("the Act") and its regulations.
- This permit is not valid without insurance. The Corporation of the City of White Rock must be named as additional insured on policy for a minimum of \$5,000,000.00 liability. The Prime Contractor must be skilled in the work assigned, and must comply with the Act and its Occupational Health and Safety Regulations. The Prime Contractor must comply with the "BC Manual for Traffic Control for Work on Roadways".
- The Prime Contractor must have a valid City of White Rock business license.
- All works shall be completed in accordance with all current Corporation of the City of White Rock construction specifications and standard drawings. The Prime Contractor shall not employ or sub-contract with any party not skilled in

the work assigned. As-built drawing may be required with the attached specifications prior to release of security. The following City inspections are required to satisfy the terms of this permit.

PRIME CONTRACTOR'S DECLARATION AS PER WORKER'S COMPENSATION ACT

I/We acknowledge, in accordance with the provisions of the *Worker's Compensation Act*, R.S.B.C. 1996, Chapter 492 that I/we are the "Prime Contractor" and are qualified to act as the "Prime Contractor". I/we accept the duties and responsibilities for the coordination of health and safety in accordance with the *Act*. I/we will do everything that is reasonably practicable to establish and maintain a system or process that will ensure compliance with the *Act* and the Occupational Health and Safety Regulations made thereunder.

Issued By: 

Name of Prime Contractor: _____

Signature of Authorized Signatory: _____ Date: _____

FEES AND SECURITY	
Security Amount (paid at demo)	\$2,500.00
Additional Security required	\$2,500.00
Permit Fee	\$150.00
	TOTAL \$2,650.00
Deposit Receipt No.:	



Corporation of the City of White Rock - Public Works Department

BUILDING PERMIT #14-039

Address: 15372 Victoria Avenue Applicant: S. 22
 Legal Description: Lot 9, Block 23, Plan 488, Section 11, Township 1, New Westminster Land District
 Owner's Name: Redacted S. 22 Phone #: Redacted S. 22

Date Filed: _____ Date Paid: _____
 Date Installed: _____

Sanitary Sewer Service

*Depth and Location are approximate and to be used as a guide only

Existing Location: 34' East of SW Pl.
 Approximate Depth: 5'
 Main Extension Required: Yes No

NOTE: Service Connection Fees are taken as a deposit only and may be subject to additional charges as per the City of White Rock's Sewer Connection Bylaw No. 396 As well as confirmation by the City of White Rock's Public Works Department.

Remarks:

Cap-Off Fee	(\$100.00 if not collected at time of Demo Permit	\$100.00
Connection Fee	(\$2,500.00)	\$2,500.00
Inspection Fee	(\$100.00)	\$100.00
Total Cost for Sanitary Connection	<i>Paid at Demo</i>	\$2,700.00

Storm Sewer Service

*Depth and Location are approximate and to be used as a guide only

Proposed Location: To be installed by the owner/developer as per the executed Works and Servicing agreement and approved plan submitted
 Approximate Depth: As per approved drawings
 Main Extension Required: Yes No

NOTE: Service Connection Fees are taken as a deposit only and may be subject to additional charges as per the City of White Rock's Sewer Connection Bylaw No. 396 As well as confirmation by the City of White Rock's Public Works Department.

If a gravity storm sewer connection cannot be established a restrictive covenant will need to be registered on the title of the property at the Land Title Office, identifying that the lot cannot be drained by gravity and must be serviced by a privately owned pump. The registered owner of the lot will be responsible for maintaining the pump system.

Cap-Off Fee	N/A
Connection Fee	N/A
Inspection Fee	N/A
Total Cost for Storm Connection	

Total Cost For Storm & Sanitary Services \$2,700.00

General Requirements

- IF THE ABOVE LOCATION OF THE NEW SERVICE IS NOT WHERE THE OWNER / BUILDER WOULD LIKE THEY MUST REQUEST A NEW LOCATION THROUGH PUBLIC WORKS AND AN ADDITIONAL FEE WILL BE REQUIRED
- Owner / Builder must expose existing sanitary service at the property line for Cap-Off by Public Works Foremen. Failure to do so will result in denial for request of a Building Permit.
- All work must conform to the Corporation of the City of White Rock Standards and Specifications
- All inspections on private property to be carried out by the City's Building Department
- The owner / builder is responsible for maintaining and lowering the Inspection Chamber to no lower than finished grade. Any replacement / repairs to the Inspection Chamber must be done by the City and the costs will be charged to the owner.
- All services will be installed at the lowest possible elevation, however, the City is not responsible for providing a gravity service. It is the owner's / builder's responsibility to connect at that elevation at property line whether by gravity or sump pump.
- The owner/builder is responsible to determine the minimum basement elevation of the works proposed, and is also responsible in determining if a restrictive covenant is required. MBE for gravity connections are determined to be 200mm above the existing grade of the road or the 100 year hydraulic grade line as determined by the owner/developer or their consultant.
- Notify Public Works Foreman (541-2181) two weeks prior to service installation to allow for scheduling of work

Date: _____ Applicant's Signature: _____

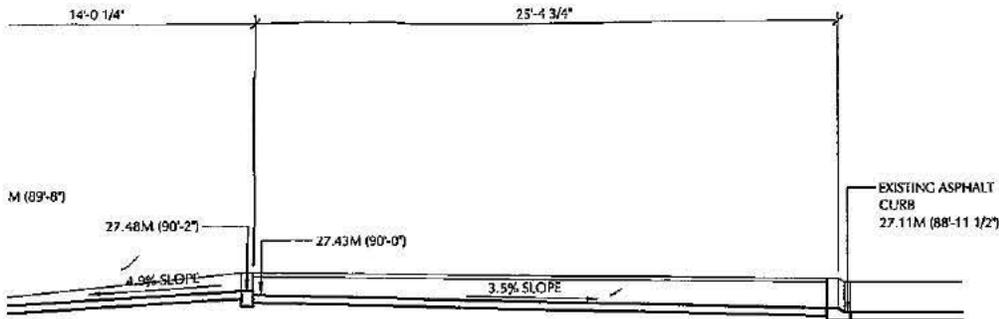
to edge of the parking

on the edge of pavement
50mm of topsoil and

grading and associated
consultant, inspection
Engineering Dept. and
municipal operations.
not submit to the City
de. as-built, if
ring and municipal
of security band.

DRAWING INDEX:

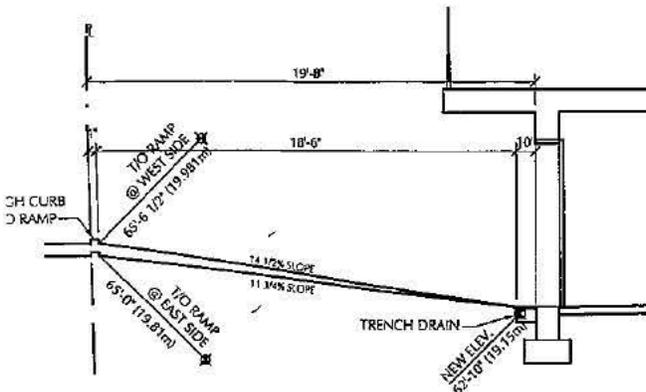
- A1 - GENERAL NOTES
SITE PLAN
- A2 - FLOOR PLANS
WALL SCHEDULE
- A3 - FLOOR PLANS
WALL SCHEDULE
AREA DIAGRAMS
- A4 - EAST AND NORTH
ELEVATIONS
- A5 - WEST AND SOUTH
ELEVATIONS
- A6 - BUILDING SECTIONS
ROOF AND FLOOR
SCHEDULES



SECTION THROUGH FRONT OF PROPERTY

SCALE: 3/16" = 1'-0"

by engineer of record,
the geo-technical expert



SECTION AT DRIVEWAY RAMP

SCALE: 3/16" = 1'-0"

15372 Victoria Ave.
Bp# 14-039
RS-3

Redacted S. 22

THE CORPORATION OF
THE CITY OF WHITE ROCK
RECEIVED

FEB 17 2014

Operations Department

DESIGN INC.

15422 93A AVENUE,
SURREY, B.C. V3R 8P8 CANADA
TEL: 604-584-8819 FAX: 604-584-8817
EMAIL: dcsdesign@shaw.ca

CONSULTANT:

PROJECT:

**WHITEROCK RESIDENCE
15372 VICTORIA AVENUE
WHITEROCK, B.C.**

CLIENT:

TMC DEVELOPMENTS

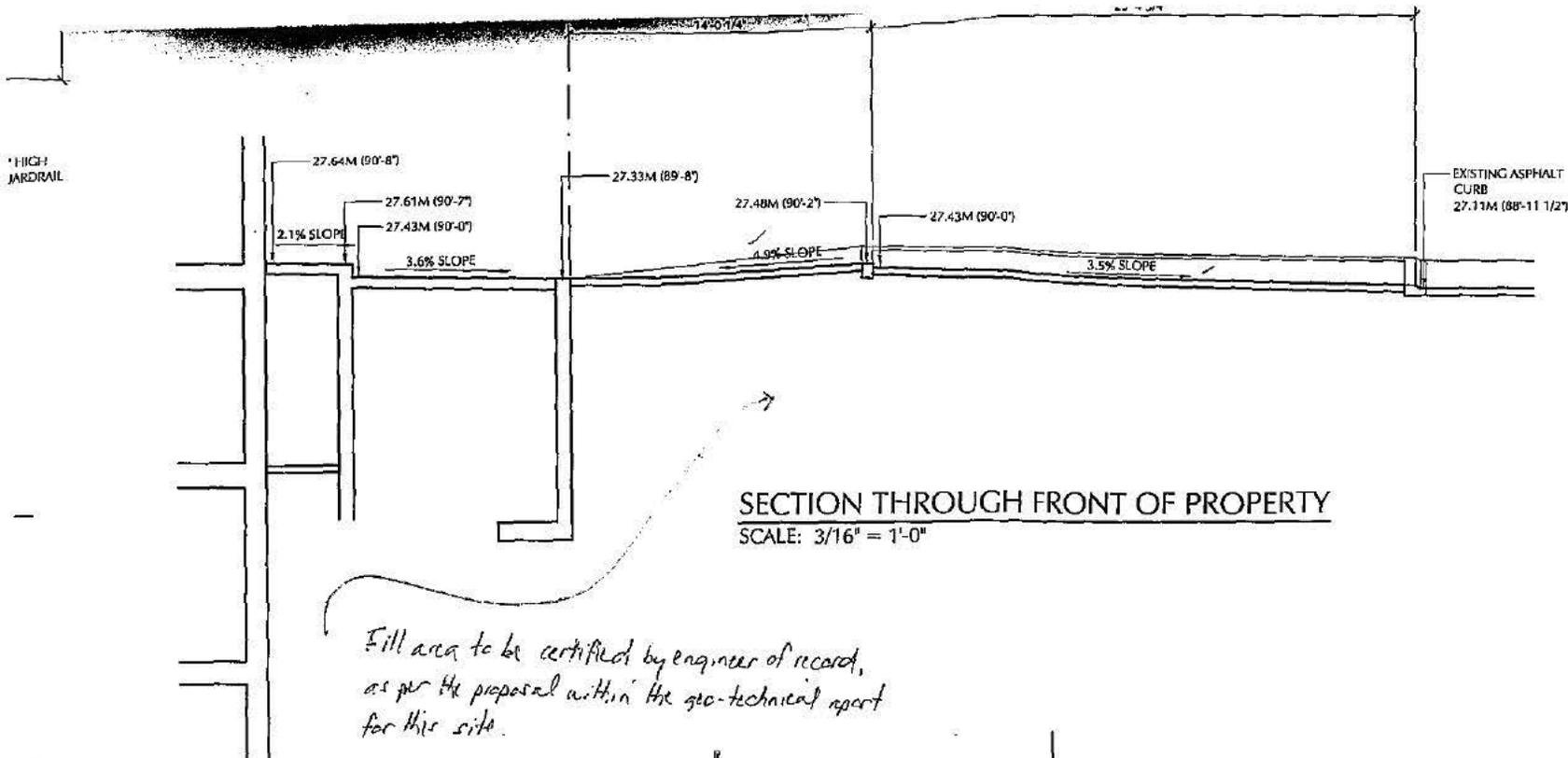
DRAWING CONTENTS

**GENERAL NOTES
SITE PLAN**

DRAWN BY: DCS	DATE: FEBRUARY 2014
CHECKED BY: DCS	JOB NO.: 201401b
SCALE: AS NOTED	

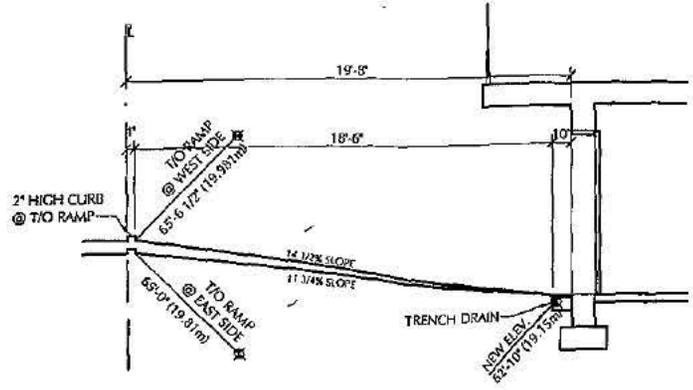
DRAWING NO.

A1



*Fill area to be certified by engineer of record,
as per the proposal within the geo-technical report
for this site.*

SECTION THROUGH FRONT OF PROPERTY
SCALE: 3/16" = 1'-0"



SECTION AT DRIVEWAY RAMP
SCALE: 3/16" = 1'-0"

15372 Victoria Ave.
Bp# 14-039
RS-3
Redacted S. 22

THE CORPORATION OF
THE CITY OF WHITE ROCK
RECEIVED
JAN 17 2014
Operations Department

CONSULTANT:

PROJECT:
**WHITEROCK RESIDENCE
15372 VICTORIA AVENUE
WHITEROCK, B.C.**

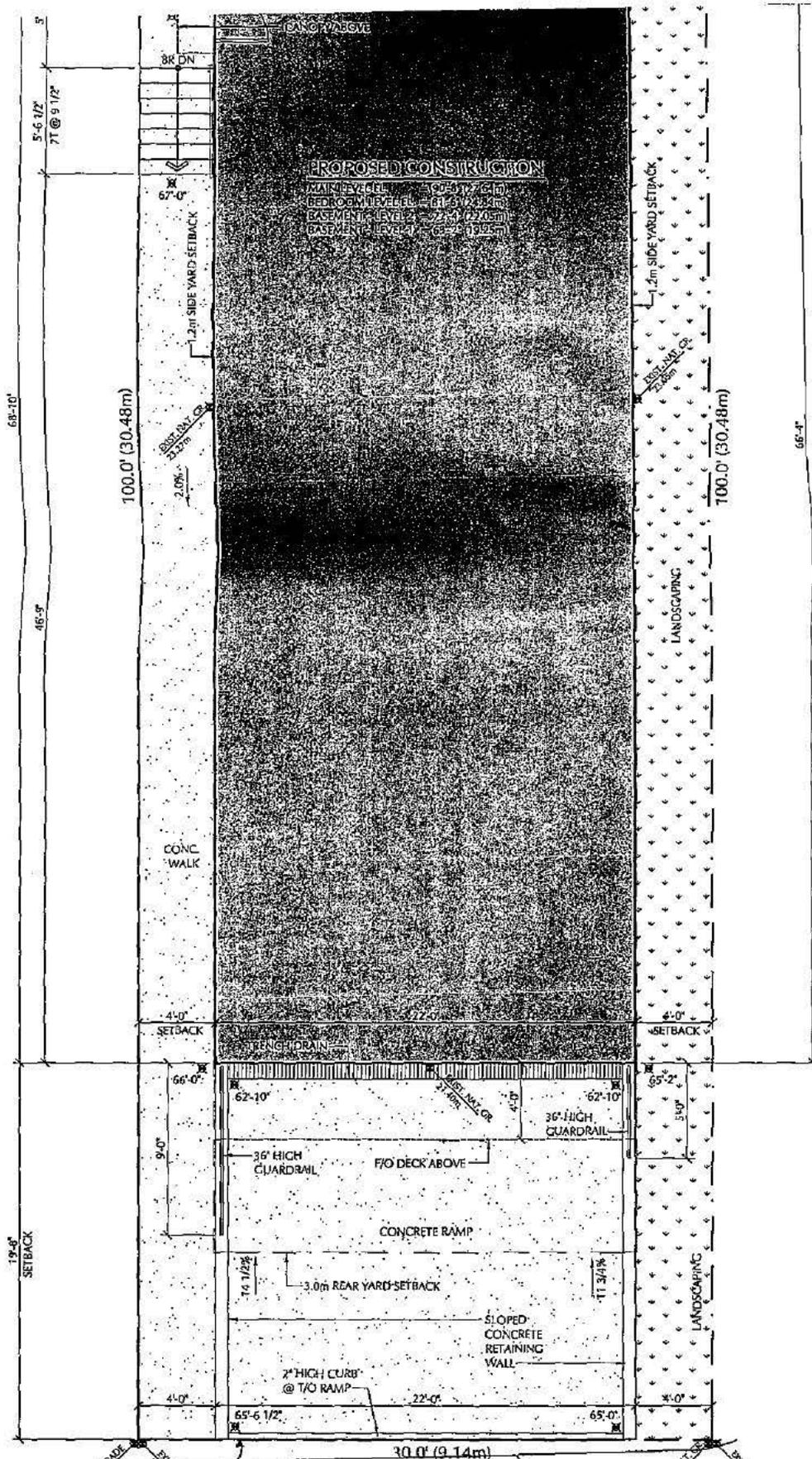
CLIENT:
TMC DEVELOPMENTS

DRAWING CONTENTS
**GENERAL NOTES
SITE PLAN**

DRAWN BY: DCS	DATE: FEBRUARY 2014
CHECKED BY: DCS	JOB NO.: 201401b
SCALE: AS NOTED	
DRAWING NO.	

A1

23.16m (75'-11 3/4")



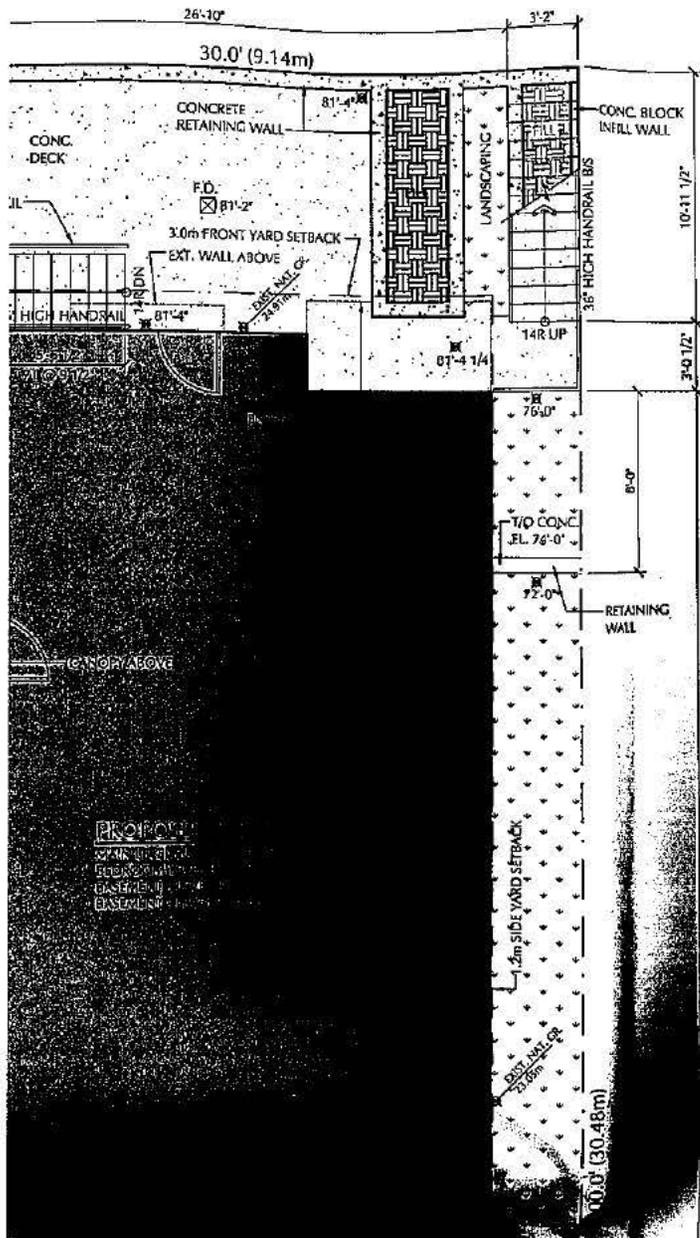
PROPOSED CONSTRUCTION
 MAIN LEVEL = 100.0 (30.48m)
 BEDROOM LEVEL = 91.3 (27.8m)
 BASEMENT LEVEL 1 = 77.4 (23.2m)
 BASEMENT LEVEL 2 = 68.2 (20.7m)

LOWER SITE PLAN
 SCALE: 3/16" = 1'-0"

ASSUMED NORTH

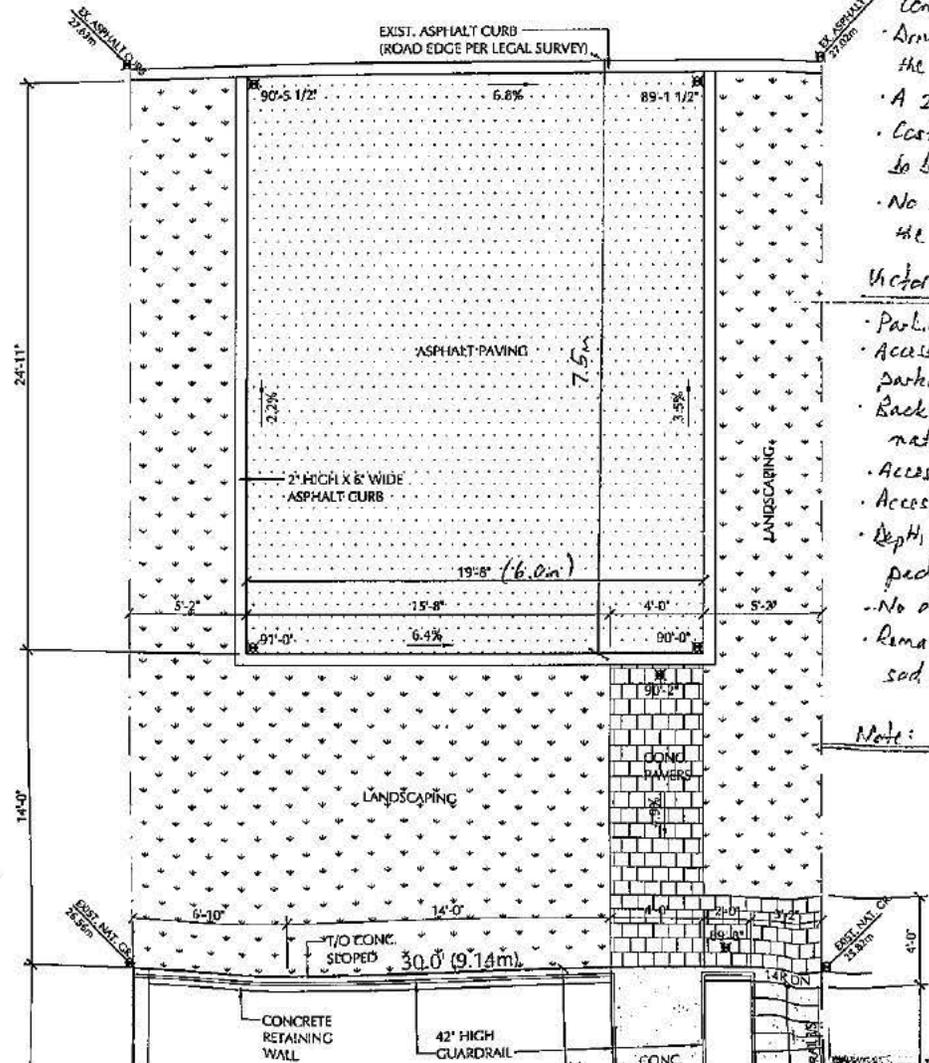
2" x 6" asphalt rain curb to be installed by owner/developer

A
SYNC
 CIVIC A
 15372 VICT
 LEGAL I
 LOT 9
 BLOCK 23
 SECTION 11
 TOWNSHIP
 PLAN 488 N
 ZONING
 RS3 ONE UN
 SETBACK
 HOUSE:
 FRONT YARD
 REAR YARD
 SIDE YARD (E)
 SIDE YARD (W)
 FRONT & I
 MINIMUM AJ
 PROVIDED:



Improvements to the City
 written approval from
 Department
 377 (Call Street)

VICTORIA AVENUE



Engineering Comments:

- Driveway access approved of
- Driveway access within the
- from the road edge to its.
- Driveway from the R. to op
- Backfill under the driveway
- fire draining granular m
- Driveway access through
- Concrete is not permitted
- Driveway access width is
- the width of the lot.
- A 2" x 6" asphalt rain cu
- Cost to remove, replace, or
- to borne by the owner/dw
- No structures such as res
- the City Blvd.

Victoria Avenue Parking Pad

- Parking pad/access approved
- Access to slope up a minimum
- parking pad
- Backfill under the access wi
- material) compacted to 9
- Access through the City Blvd
- Access through the City Blvd
- Depth of parking pad/acc
- pad) to be 7.5m.
- No obstruction to pedestri
- Remaining City Blvd. (road
- sod or a landscaping q

Note: Inspections of retain

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reports are to be sub

to the satisfaction o

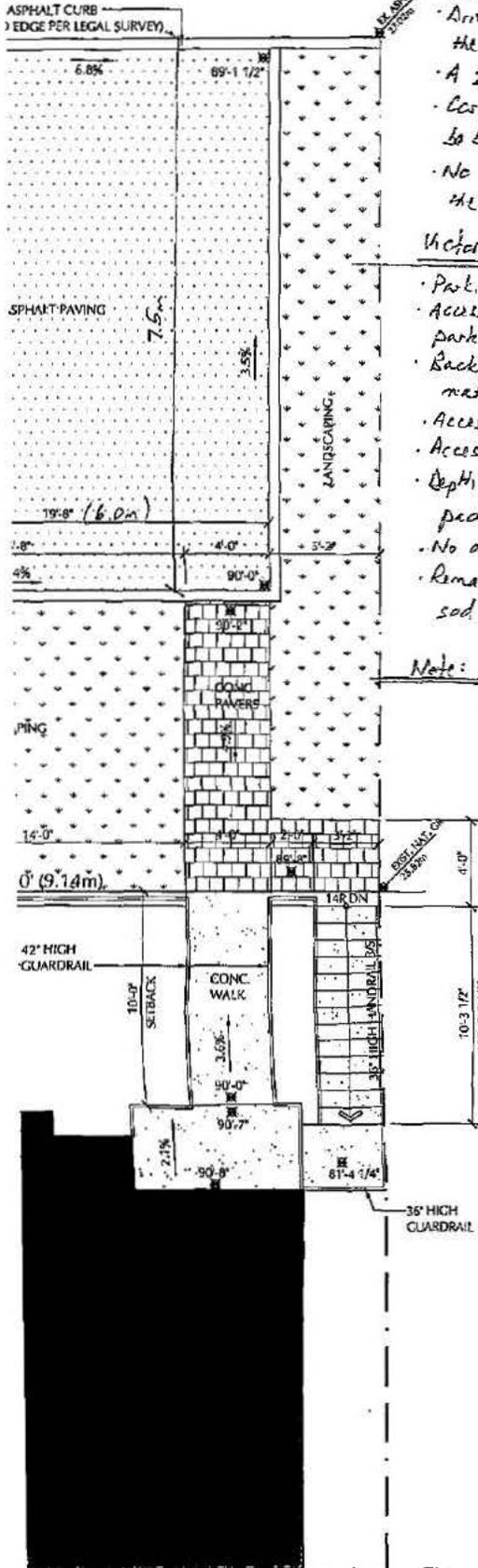
The engineer of recor

a letter certifying t

necessary, to the sa

operations. Failure t

VICTORIA AVENUE



- Driveway access approved off of Lane.
- Driveway access within the City Blvd. (road edge to R) to slope up a minimum 2% from the road edge to R.
- Driveway from the R to garage slab to have a slope not exceeding 15%.
- Backfill under the driveway within the City Blvd. must be structural fill (3" minus fines draining granular material) compacted to 95% modified Proctor density.
- Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Driveway access width through the City Blvd. (road edge to R) may match the width of the lot.
- A 2"x6" asphalt rain curb to be installed, as noted, by the owner/developer.
- Cost to remove, replace, or repair curb, gutter, sidewalk or retaining works to be borne by the owner/developer.
- No structures such as retaining walls or "landscape rock" is permitted on the City Blvd.

Victoria Avenue Parking Pad / Right of Way:

- Parking pad/access approved off of Victoria Avenue.
- Access to slope up a minimum 2% from the road edge to the back of the parking pad.
- Backfill under the access within the City Blvd. must be structural fill (3" minus material) compacted to 95% modified Proctor density.
- Access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Access through the City Blvd. (road edge to edge of parking pad) must be 6.0m in width.
- Depth of parking pad/access from the road edge to the back edge of the parking pad) to be 7.5m.
- No obstruction to pedestrian movement is permitted within 2.0m of the edge of pavement.
- Remaining City Blvd. (road edge to R) must be restored with 150mm of topsoil and sod or a landscaping ground cover approved by the City.

Note: Inspections of retaining walls, hallow grading or re-grading and associated works are the responsibility of the contractor and their consultant. Inspection reports are to be submitted to the City of White Rock's Engineering Dept. and to the satisfaction of the Director of Engineering and Municipal Operations.

The engineer of record must certify the works complete and submit to the City a letter certifying the works upon completion and provide as-built's, if necessary, to the satisfaction of the Director of Engineering and Municipal Operations. Failure to do so may result in forfeiture of security bond.

GENERAL:

1. The building shall conform to the current national, provincial and local codes.
2. The building component and occupant shall be responsible for the exterior work outside of line up. Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
3. Dimensions exterior work outside of line up. Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.

THE BUILDING:

1. Lot gear from a required information, a result of responsibility. All dimensions easements authorities.
2. Grade is structure for required site plan or extremely irregular patterns or.
3. Any retaining practice, on





**CITY OF
WHITE ROCK**

**Corporation of the City of White Rock
HIGHWAY AND/OR RIGHT OF WAY USE PERMIT**

Associated with Building Permit No. 14-038

Location of Work: 15376 Victoria Avenue	
Effective Date: June 24, 2014	Expiry Date: June 24, 2015

Owner:	Prime Contractor:
Name: s. 22	Name: s. 22
Redacted S. 22	Address:
Telephone 1:	Telephone 1: Redacted S. 22
Telephone 2	Telephone 2

A. PERMISSION IS HEREBY GRANTED TO: s. 22

to do the following work at the above location:

- Construct / improve access from Lane as per comments shown on revised site plan date stamped received June 17, 2014 and designed by DCS Design Inc. Driveway access and boulevard restoration must be completed to meet the completion requirements described below prior to the return of the **\$13,000.00** Security:
- Driveway access within the City Boulevard to slope up a minimum 2% from the road edge to PL.
- Driveway from the property line to the garage slab to have a slope not exceeding 15%.
- Backfill under the driveway within the City Boulevard must be structural fill (3" minus material) compacted to 95% Modified Proctor Density.
- Driveway access width through the City Boulevard (road edge to PL) may match the width of the lot.
- Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Cost to remove, repair or replace curb, gutter, sidewalk, and letdown works to be borne by the owner/developer and performed by the City.

Victoria Avenue Parking Pad/Right of Way:

- Access approved off of Victoria Avenue as proposed.
- Access to slope up a minimum 2% from the road edge to back of parking pad.
- Backfill under the access within the City Blvd. must be structural fill (3" minus material) compacted to 95% Modified Proctor Density.

- Access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Access through the City Blvd. (road edge to the edge of parking pad) must be 6.0m in width.
- Depth of parking pad/access from the road edge to the back edge of the parking pad to be 7.5m.
- No obstruction to pedestrian movement is permitted within 2.0m of the road edge.
- Remaining City Blvd. must be restored with 150mm of topsoil and sod or a landscaping ground cover approved by the City.

Retaining Walls on City Property:

- Retaining walls approved as proposed on the site plan and as per sealed detail and specifications provided by M.G.J. Yip, P.Eng. of Western Geotechnical Consultants Ltd and date stamped received June 13, 2014. No additional retaining walls are permitted on the City Blvd.
- The owner/contractor agrees to register a restrictive covenant on the title of the property for retaining walls constructed on the City boulevard as determined by the Director of Engineering and Municipal Operations and prior to the release of securities as part of this permit.

B. COMPLETION REQUIREMENTS

- Inspections of retaining walls, boulevard grading or re-grading and associated works are the responsibility of the contractor and their consultant. Inspection reports are to be submitted to the City of White Rock's Engineering Dept. and to the satisfaction of the Director of Engineering and Municipal Operations.
- The engineer of record must certify the works complete and submit to the City a letter certifying the works upon completion and provide as-built drawings, if necessary, to the satisfaction of the Director of Engineering and Operations. Failure to do so may result in forfeiture of security bond.

C. CONDITIONS OF PERMIT

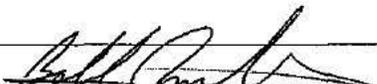
- I hereby agree to abide by all the terms of this permit and the City's Street and Traffic By-law which pertain to this permit.
- I have deposited as security the amount of \$13,000.00 with the City to guarantee the fulfillment of the conditions and completion requirements of this permit and of the Work within the time specified for the permit.
- I understand the City will return the security upon successful completion of this Work and if required a submission and acceptance of an as-built drawing (and after all City inspections are passed) minus any costs incurred by the City in respect of inspecting or rectifying the Work.
- I further agree to indemnify and save the City harmless against any and all claims, actions or expenses whatsoever or by whomsoever brought against the City by reason of the City granting me this City Road and Right of Way Use permit or by reason of the construction of the above-referred Work, including

any matter that may arise under the Worker's Compensation Act, R.S.B.C. 1996, c. 492 ("the Act") and its regulations.

- This permit is not valid without insurance. The Corporation of the City of White Rock must be named as additional insured on policy for a minimum of \$5,000,000.00 liability. The Prime Contractor must be skilled in the work assigned, and must comply with the Act and its Occupational Health and Safety Regulations. The Prime Contractor must comply with the "BC Manual for Traffic Control for Work on Roadways".
- The Prime Contractor must have a valid City of White Rock business license.
- All works shall be completed in accordance with all current Corporation of the City of White Rock construction specifications and standard drawings. The Prime Contractor shall not employ or sub-contract with any party not skilled in the work assigned. As-built drawing may be required with the attached specifications prior to release of security. The following City inspections are required to satisfy the terms of this permit.

PRIME CONTRACTOR'S DECLARATION AS PER WORKER'S COMPENSATION ACT

I/We acknowledge, in accordance with the provisions of the *Worker's Compensation Act*, R.S.B.C. 1996, Chapter 492 that I/we are the "Prime Contractor" and are qualified to act as the "Prime Contractor". I/we accept the duties and responsibilities for the coordination of health and safety in accordance with the Act. I/we will do everything that is reasonably practicable to establish and maintain a system or process that will ensure compliance with the Act and the Occupational Health and Safety Regulations made thereunder.

Issued By: 

Name of Prime Contractor: _____

Signature of Authorized Signatory: _____ Date: _____

FEES AND SECURITY	
Security Amount	\$5,000.00
Additional Security for Retaining Walls	\$8,000.00
Permit Fee	\$150.00
	TOTAL \$13,150.00
Deposit Receipt No.:	



Corporation of the City of White Rock - Public Works Department

BUILDING PERMIT #14-038

Address: 15376 Victoria Avenue Applicant: S. 22
 Legal Description: Lot 10, Block 23, Plan 488, Section 11, Township 1, New Westminster Land District
 Owner's Name: Redacted S. 22 Phone #: Redacted S. 22

Date Filed: Date Paid:
 Date Installed:

Sanitary Sewer Service *Depth and Location are approximate and to be used as a guide only
100mm PVC service 1.3m from the lowest property corner or to be determined at time of installation
 Existing Location: **To be determined during installation**
 Approximate Depth: **To be determined during installation**
 Main Extension Required: Yes No
 Remarks: **NOTE: Service Connection Fees are taken as a deposit only and may be subject to additional charges as per the City of White Rock's Sewer Connection Bylaw No. 396 As well as confirmation by the City of White Rock's Public Works Department.**

Cap-Off Fee	(\$150.00 if not collected at time of Demo Permit	\$150.00
Connection Fee	(\$3,000.00)	\$3,000.00
Inspection Fee	(\$150.00)	\$150.00
Total Cost for Sanitary Connection		\$3,150.00

Storm Sewer Service *Depth and Location are approximate and to be used as a guide only
To be installed by the owner/developer as per the executed Works and Servicing agreement and approved plan submitted
 Proposed Location: **As per approved drawings**
 Approximate Depth: Yes No
 Main Extension Required:
 Remarks: **NOTE: Service Connection Fees are taken as a deposit only and may be subject to additional charges as per the City of White Rock's Sewer Connection Bylaw No. 396 As well as confirmation by the City of White Rock's Public Works Department.**

If a gravity storm sewer connection cannot be established a restrictive covenant will need to be registered on the title of the property at the Land Title Office, identifying that the lot cannot be drained by gravity and must be serviced by a privately owned pump. The registered owner of the lot will be responsible for maintaining the pump system.

Cap-Off Fee	N/A
Connection Fee	N/A
Inspection Fee	N/A
Total Cost for Storm Connection	

Total Cost For Storm & Sanitary Services \$3,150.00

General Requirements

- IF THE ABOVE LOCATION OF THE NEW SERVICE IS NOT WHERE THE OWNER / BUILDER WOULD LIKE THEY MUST REQUEST A NEW LOCATION THROUGH PUBLIC WORKS AND AN ADDITIONAL FEE WILL BE REQUIRED
- Owner / Builder must expose existing sanitary service at the property line for Cap-Off by Public Works Foreman.
- Failure to do so will result in denial for request of a Building Permit.
- All work must conform to the Corporation of the City of White Rock Standards and Specifications
- All inspections on private property to be carried out by the City's Building Department
- The owner / builder is responsible for maintaining and lowering the Inspection Chamber to no lower than finished grade. Any replacement / repairs to the Inspection Chamber must be done by the City and the costs will be charged to the owner.
- All services will be installed at the lowest possible elevation, however, the City is not responsible for providing a gravity service. It is the owner's / builder's responsibility to connect at that elevation at property line whether by gravity or sump pump.
- The owner/builder is responsible to determine the minimum basement elevation of the works proposed, and is also responsible in determining if a restrictive covenant is required. MBE for gravity connections are determined to be 200mm above the existing grade of the road or the 100 year hydraulic grade line as determined by the owner/developer or their consultant.
- Notify Public Works Foreman (541-2181) two weeks prior to service installation to allow for scheduling of work

us. Concrete practice, and are entirely the responsibility of the builder.

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by the City.

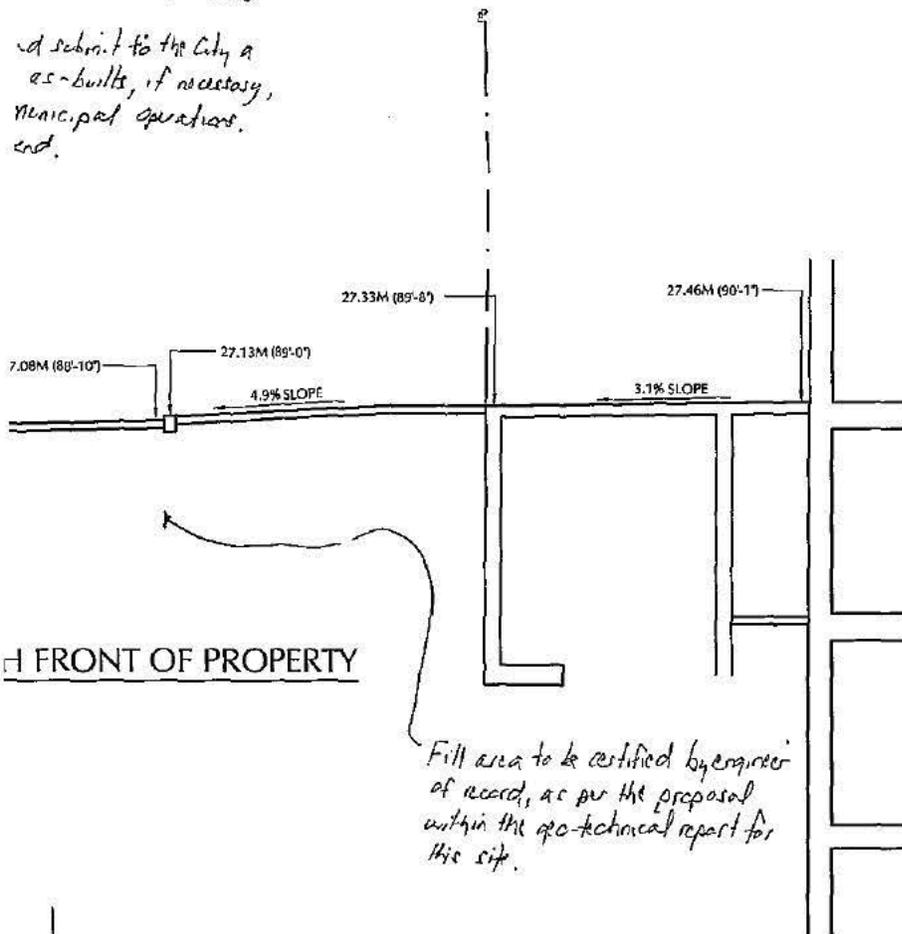
per sealed
of date stamped
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ding and associated
resultant. Inspection reports
t. and to the satisfaction

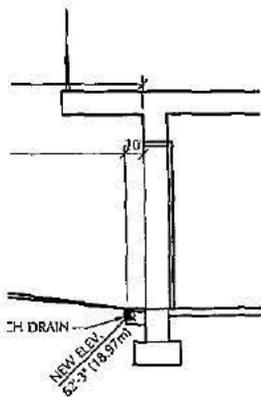
ed submit to the City a
as-built, if necessary,
Municipal operations.
end.

DRAWING INDEX:

- A1 - GENERAL NOTES
SITE PLAN
- A2 - FLOOR PLANS
WALL SCHEDULE
- A3 - FLOOR PLANS
WALL SCHEDULE
AREA DIAGRAMS
- A4 - WEST AND NORTH
ELEVATIONS
- A5 - EAST AND SOUTH
ELEVATIONS
- A6 - BUILDING SECTIONS
ROOF AND FLOOR
SCHEDULES



FRONT OF PROPERTY



EWAY RAMP

15376 Victoria Avenue
B P# 14-038
RS-3

Redacted S. 22

THE CORPORATION OF
THE CITY OF WHITE ROCK
RECEIVED

JUN 17 2014

Operations Department

DCS DESIGN INC.

1542 BAYVIEW
SURREY
TEL: 604-591-1111
EMAIL: info@dcsgroup.com

CONSULTANT:

PROJECT:

**WHITEROCK RESIDENCE
15376 VICTORIA AVENUE
WHITEROCK, B.C.**

CLIENT:

TMC DEVELOPMENTS

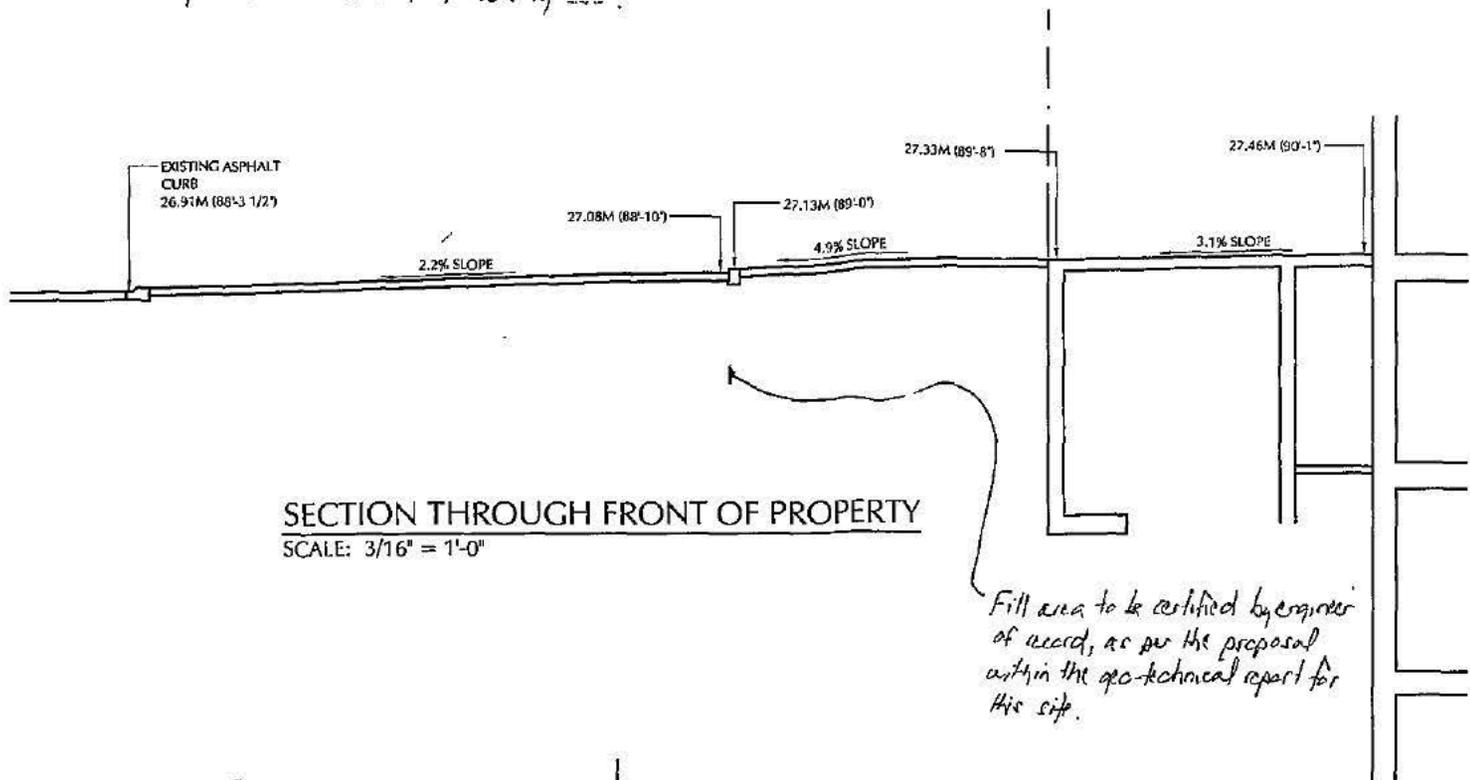
DRAWING CONTENTS

**GENERAL NOTES
SITE PLAN**

DRAWN BY: DCS	DATE: FEBRUARY 2014
CHECKED BY: DCS	JOB NO.: 201401c
SCALE: AS NOTED	

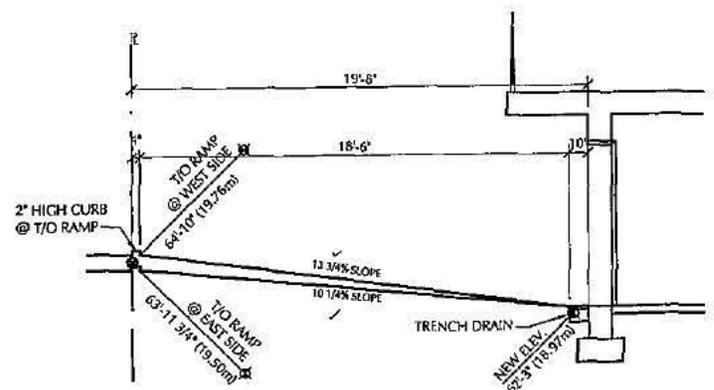
DRAWING NO.

A1



SECTION THROUGH FRONT OF PROPERTY
SCALE: 3/16" = 1'-0"

Fill area to be certified by engineer of record, as per the proposal within the geo-technical report for this site.



SECTION AT DRIVEWAY RAMP
SCALE: 3/16" = 1'-0"

15376 Victoria Avenue
B P# 14-038
RS-3

Redacted S. 22

THE CORPORATION OF
THE CITY OF WHITE ROCK
RECEIVED

JUN 17 2014

Operations Department

CONSULTANT:

PROJECT:

**WHITEROCK RE!
15376 VICTORIA
WHITEROCK**

CLIENT:

TMC DEVELOP

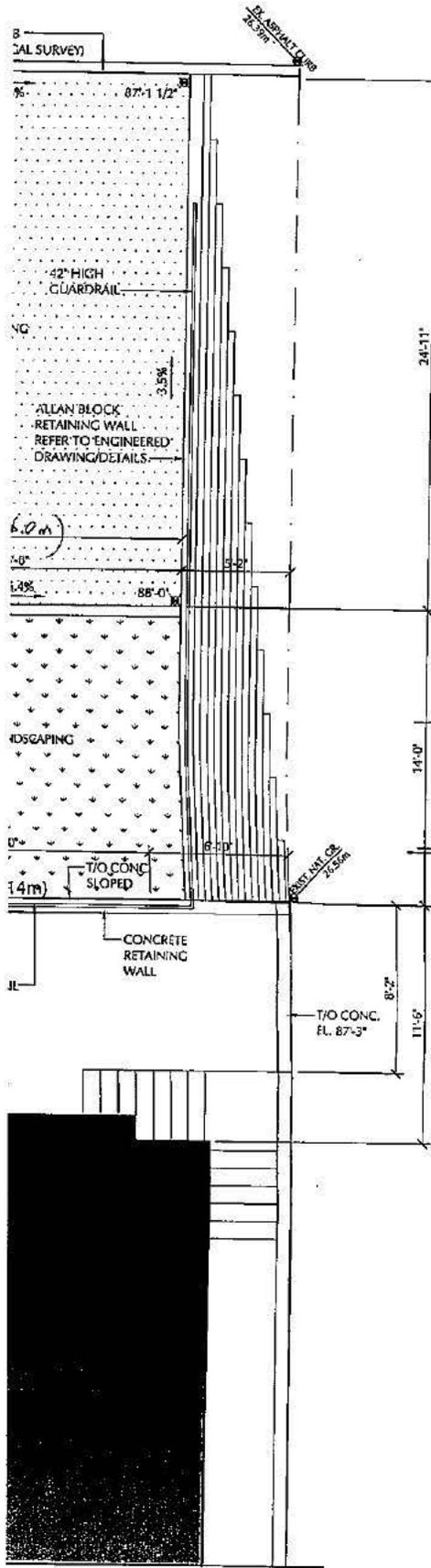
DRAWING CONTENTS

**GENERAL NO
SITE PLAN**

DRAWN BY: DCS	DATE
CHECKED BY: DCS	DATE
SCALE: AS NOTED	
DRAWING NO.	

A1

3/4" = 22.82m (74'-10 1/2")
1/8" = 3.05m (10'-0")



- Driveway access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Driveway access width through the City Blvd. (road edge to RL) may match the width of the lot.
- A 2"x6" asphalt raincurb to be installed as noted, by the owner/developer.
- Cost to remove, replace, or repair curb, gutter, sidewalk or kitchen works to be borne by the owner/developer.

Victoria Avenue Parking Pad / Right-of-Way

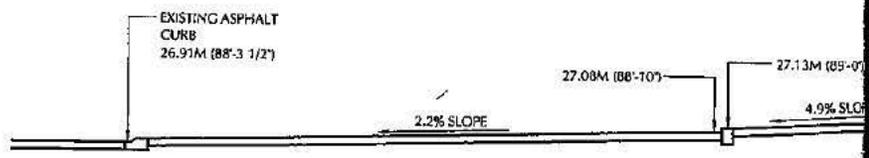
- Parking pad/access approved off of Victoria Avenue.
- Access to slope up a minimum 2% from the road edge to the back of the parking pad.
- Backfill under the access within the City Blvd. must be structural fill (3" max material) compacted to 95% modified Proctor density.
- Access through the City Blvd. must be asphalt or brick pavers. Concrete is not permitted.
- Access through the City Blvd. (road edge to edge of parking pad) must be 6.0m in width.
- Depth of parking pad/access from the road edge to the back edge of the parking pad to be 7.5m.
- No obstruction to pedestrian movement is permitted within 2.0m of the edge of pavement.
- Remaining City Blvd. (road edge to RL) must be restored with 150mm of topsoil and seed or a landscaping grand cover approved by the City.

Retaining Walls on City Property:

- Retaining walls approved as proposed on site plan and as per sealed detail and specifications provided by M.G.J. Yip, P.Eng. and date stamped received June 13, 2014. No additional retaining walls are permitted on the City Blvd.

Note:

- Inspections of retaining walls, backfill grading or re-grading and associated works are the responsibility of the contractor and their consultant. Inspection reports are to be submitted to the City of White Rock's Engineering Dept. and to the satisfaction of the Director of Engineering and Municipal Operations.
- The engineer of record must certify the works complete and submit to the City a letter certifying the works upon completion and provide as-builts, if necessary, to the satisfaction of the Director of Engineering and Municipal Operations. Failure to do so may result in forfeiture of security bond.



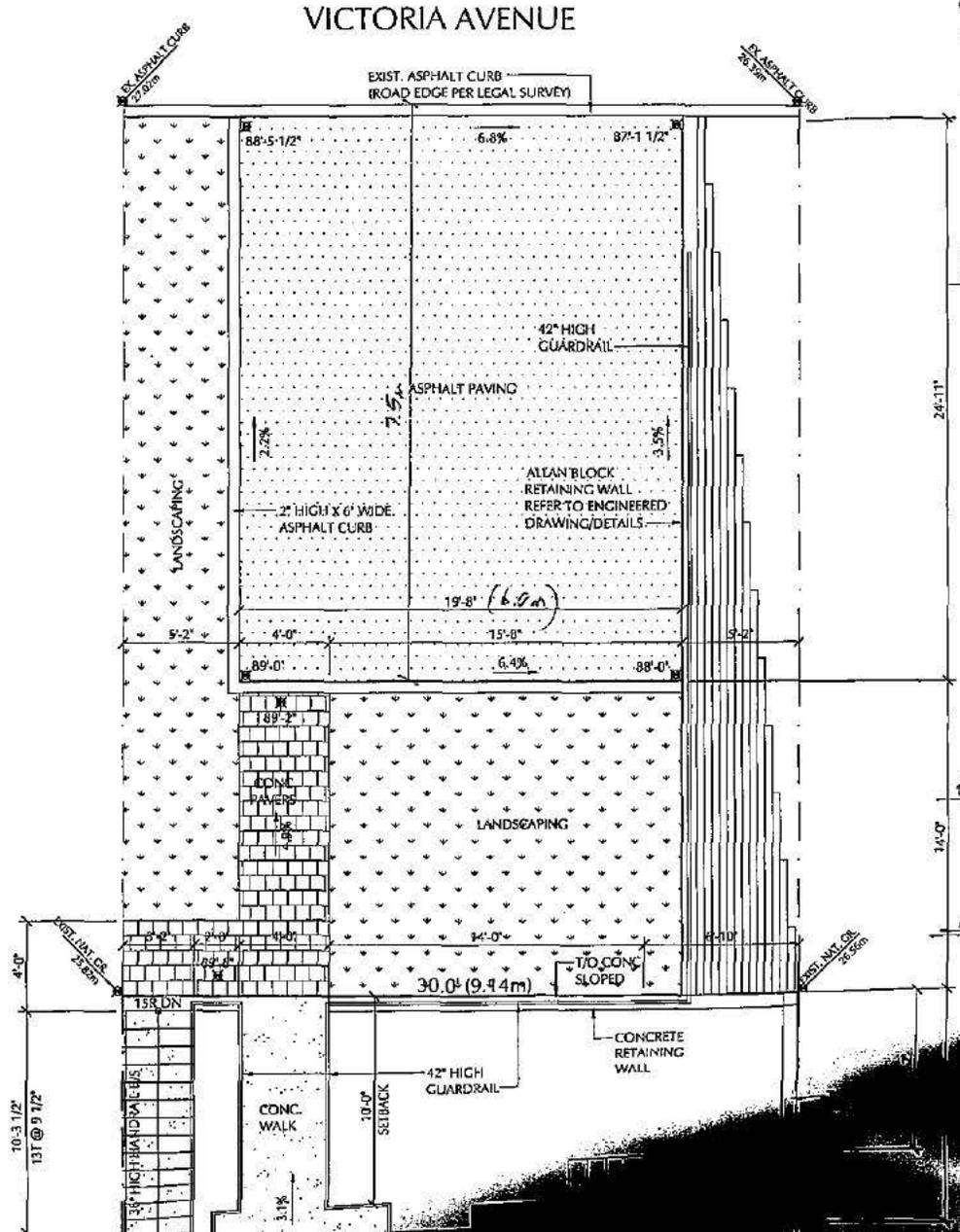
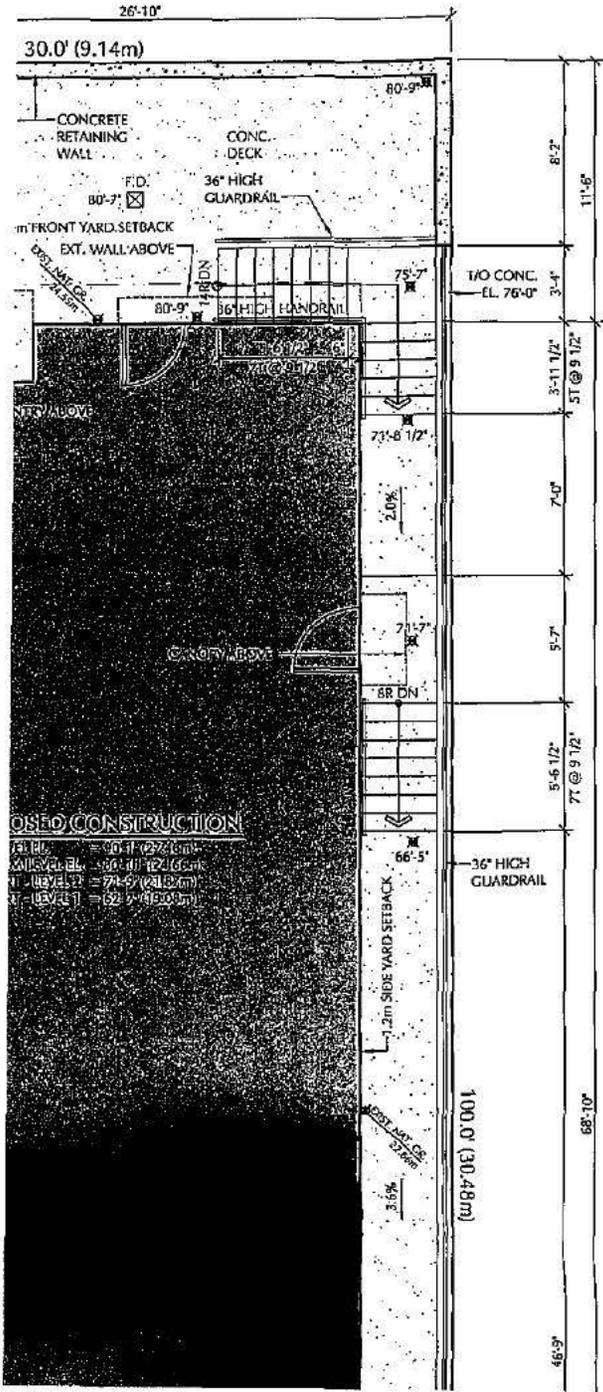
SECTION THROUGH FRONT OF PROPERTY
SCALE: 3/16" = 1'-0"

PLAN
0"

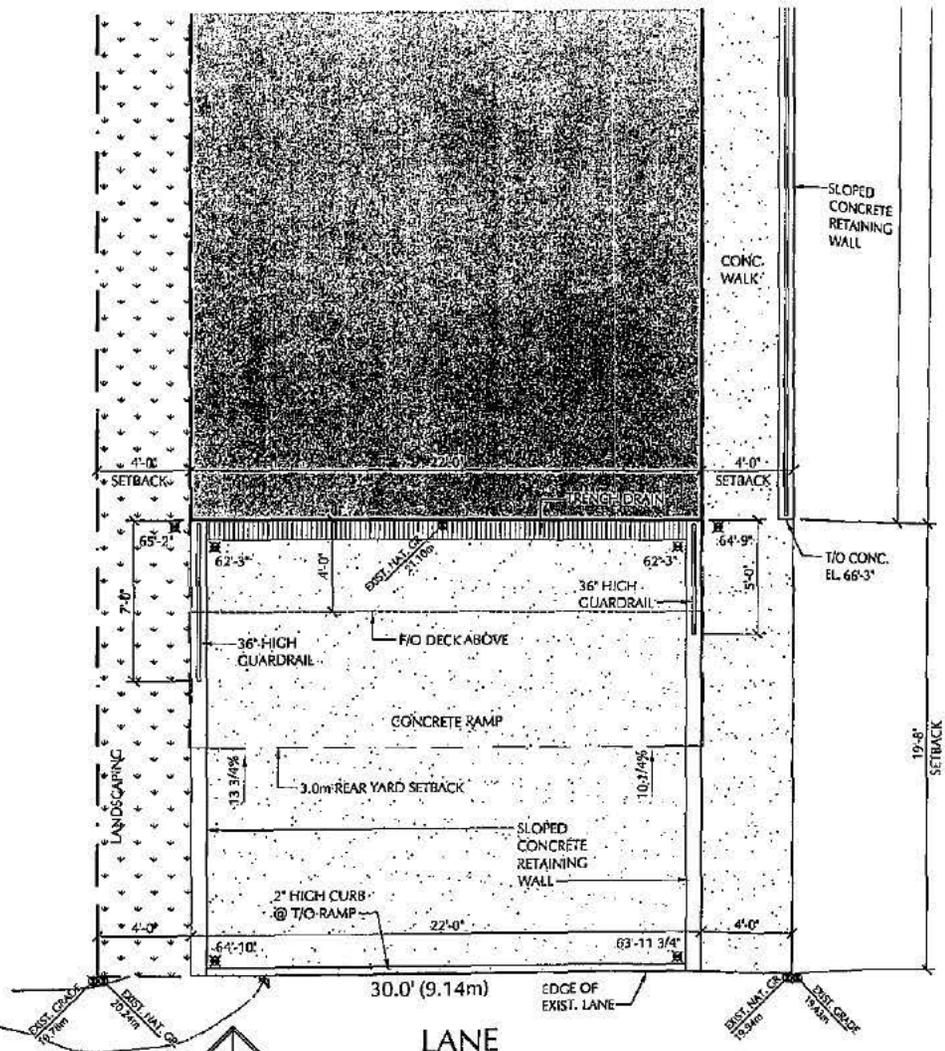
components in
land accepted
3. Dimensions
exterior walls
outside of wall
line up. Dimen
It is the respo
structure before

THE BUILDING

1. Lot geometry
from a registered
information, we
a result of the
responsibility to
All dimensions
easements or
authorities before
2. Grade is to
structure for a
for required sw
site plan are a
extremely impo
patterns are not
3. Any retaining
practice, and o



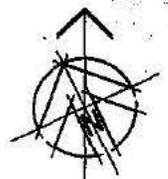
- Driveway access within the City from the road edge to the...
 - Driveway from the R.E. to garage
 - Backfill under the driveway w (3\"/>
 - Driveway access through the c
 - Concrete is not permitted.
 - Driveway access width throug the width of the lot.
 - A 2\"/>
 - Cost to remove, replace, or rep to be borne by the owner/
- Victoria Avenue Parking Pad/1
- Parking pad/access approv
 - Access to slope up a minor the parking pad.
 - Backfill under the access w (3\"/>
 - Access through the City, 8m is not permitted.
 - Access through the City 6.0m in width.
 - Depth of parking pad/access the parking pad to be 7.5.
 - No obstruction to pedestrian edge of pavement.
 - Remaining City Blvd (road & topsoil) and set of a lan
- Retaining Walls on City Property
- Retaining walls approved detail and specifications p received June 13, 2014. No
- Note:
- Inspections of retaining & works are the responsibility are to be...



2" x 6" asphalt curb to be installed by owner/developer

LOWER SITE PLAN
SCALE: 3/16" = 1'-0"

ASSUMED NORTH



ASSUMED NORTH

UPPER SITE PLAN
SCALE: 3/16" = 1'-0"

SYNOPSIS:

CIVIC ADDRESS:
15376 VICTORIA AVENUE

LEGAL DESCRIPTION:

LOT 10
BLOCK 23
SECTION 11
TOWNSHIP 1
PLAN 488 NWD

ZONING:

RS3 ONE UNIT (HILLSIDE) RESIDENTIAL HOME

SETBACKS:

HOUSE:	MIN. ALLOWED:	PROVIDED:
FRONT YARD (SOUTH)	- 3m	10'-0" (3.05m)
REAR YARD (NORTH)	- 3m	19'-8" (5.99m)
SIDE YARD (EAST)	- 1.2m	4'-0" (1.22m)
SIDE YARD (WEST)	- 1.2m	4'-0" (1.22m)

FRONT & REAR COMBINED SETBACK:

MINIMUM ALLOWABLE = 9m
PROVIDED: 3.05m + 5.99m = 9.04m

AREA SUMMARIES:

SITE:
3000 sq. ft. (278.7 sq.m.)

HOUSE:
MAIN FLOOR
BEDROOM LEVEL
TOTAL

LOT COVERAGE:
MAX. ALLOWABLE (50%) - 1500
PROVIDED (49.98%) - 1499

RESIDENTIAL GROSS FLOOR AREA:
MAX. ALLOWABLE (0.7) - 2100
PROVIDED (0.70) - 2099

BUILDING HEIGHT:

HOUSE:
AVG. NATURAL GRADE: 21.10
MAX. HEIGHT ALLOWED: 22.00
ELEVATION @ PARAPET = 100.00
PROVIDED: 30.48m + 22.82m