

July 30, 2020

FOI No: 2020-30

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *For the property at 14971 Prospect Avenue, requesting all permit applications, permits, site plans, landscaping plans and correspondence between the City and the owner or the owner's representatives, that approved, rejected, illustrated or discussed encroaching trees and landscaping located on the west side of the Blackwood Street public street right-of-way, between the property's lot boundary with 1279 Blackwood Street to approximately 15m to the south, for the period of 1995 to present*
- *At the same location, any City records pertaining to approvals or work orders for planting City street trees at this location, for the period of 1995 to 2005*

It appears that certain trees along the west side of Blackwood Street were installed pursuant to a building permit relating to garden improvements located on the adjacent section of 14971 Prospect Avenue. I have pulled any records from that building permit that reference trees along Blackwood Street.

Access to these records is available. However, some of the information in the records is excepted from the disclosure requirements of the Act. I have severed the excepted information so that I could disclose to you the remaining information as attached.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

The severed information is excepted from disclosure under section 22 of the Act. Severing is necessary to avoid disclosing any third-party personal information without permission.

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "K Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.



THE CORPORATION OF THE CITY OF WHITE ROCK
DEPARTMENT OF PERMITS & LICENCES

TEL: 541-2136
FAX: 541-2153
15322 Buena Vista Ave.

APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. Dec 15, 1999

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to the building as follows:

STORM + SANITARY SEWER RECD

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: Development Permit #

Correct description of property

Street Size of land

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land?

What are they, and what are they being used for?

How heated?

Entire value, when completed \$ **Redacted S. 22**

Name and mail address of owner **Redacted S. 22** Phone:

Name and mail address of builder Phone:

Name and address of architect (if any) Russell Housingsworth 604 925 9095

Name and address of person or persons to whom permit is to be issued: Bob 604 925 9096 FAX

Name Address

Do you require to use street for placing material?

How long? Days

And I agree to conform to all requirements of said By-Law.

Roll No. 1826.007 Signature of Applicant:

Building Permit Fee:

Plan Checking Fee:

Permit No. 00003

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. Dec 15 19 99

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to construct a garden the building as follows:
shown in the enclosed drawings dated Dec 16-99:
L.1.1, L.2.1-2.3, L.3.1-3.3, L.4.1-4.9

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: C.D. 7 Development Permit #

Correct description of property Lot 3, Section 10, Township 1, NWP, Plan

Street 1267 Blackwood St / 14971 Prospect Size of land 10050 sq. ft. LMP 40039

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? No

What are they, and what are they being used for? /

How heated? /

Entire value, when completed \$ 250,000

Name and mail address of owner Redacted S. 22 Phone: Redacted S. 22

14971 Prospect Ave, White Rock V4B 2B3

Name and mail address of builder Russo Enterprises Phone: 604 925 9095

1514 Marine Drive West Vancouver, V7V 1H8

Name and address of architect (if any) Russell Hollingsworth 604 925 9095

604 925 9096 FAX

Name and address of person or persons to whom permit is to be issued:

Name Norman Goddard Address Hollingsworth Corp. 1514 Marine Dr.

West Vancouver

Do you require to use street for placing material? No

How long? / Days /

And I agree to conform to all requirements of said By-Law.

Roll No. Signature of Applicant: Norman Goddard

Building Permit Fee: building - 1685⁰⁰

Plan Checking Fee: fiche - 50⁰⁰

Permit No. 02130 SSW - 66⁰⁰

\$ 1801⁰⁰

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

THE CORPORATION OF THE CITY OF WHITE ROCK
DEPARTMENT OF PERMITS & LICENCES

TEL: 541-2136
FAX: 541-2153
15322 Huena Vista Ave.



APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. Dec 15, 19 99

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to construct a garden the building as follows:
shown in the enclosed drawings dated Dec 16 99:
L.1, L.2.1-2.3, L.3.1-3.3, L.4.1-4.9

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: CD-7 Development Permit #

Correct description of property Lot 3, Section 10, Township 1, N.W.P. Plan

Street 1267 Blackwood St / 14971 Prospect Size of land 10050 sq ft LMP 40039

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? No

What are they, and what are they being used for? /

How heated? /

Entire value, when completed \$ 250,000

Name and mail address of owner Redacted S. 22 Phone: Redacted S. 22

14971 Prospect Ave, White Rock VAB 2B3

Name and mail address of builder Rusco Enterprises Phone: 604 925 9095

1514 Marine Drive West Vancouver, V7V 1H8

Name and address of architect (if any) Russell Hollingsworth 604 925 9095

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West Vancouver

Do you require to use street for placing material? No

How long? / Days /

And I agree to conform to all requirements of said By-Law.

Roll No. Signature of Applicant: Norman Goddard

Building Permit Fee: building - 1685⁰⁰

Plan Checking Fee: fiche - 50⁰⁰

Permit No. 90003 SSW - 66⁰⁰ 71801⁰⁰

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

PLAN OF TOPOGRAPHY OF
 LOT 3, SECTION 10, TOWNSHIP 1,
 NEW WESTMINSTER DISTRICT,
 PLAN LMP 40039
 CITY OF WHITE ROCK

B.C.G.S. 92G.006

SCALE 1/8" = 1 FOOT

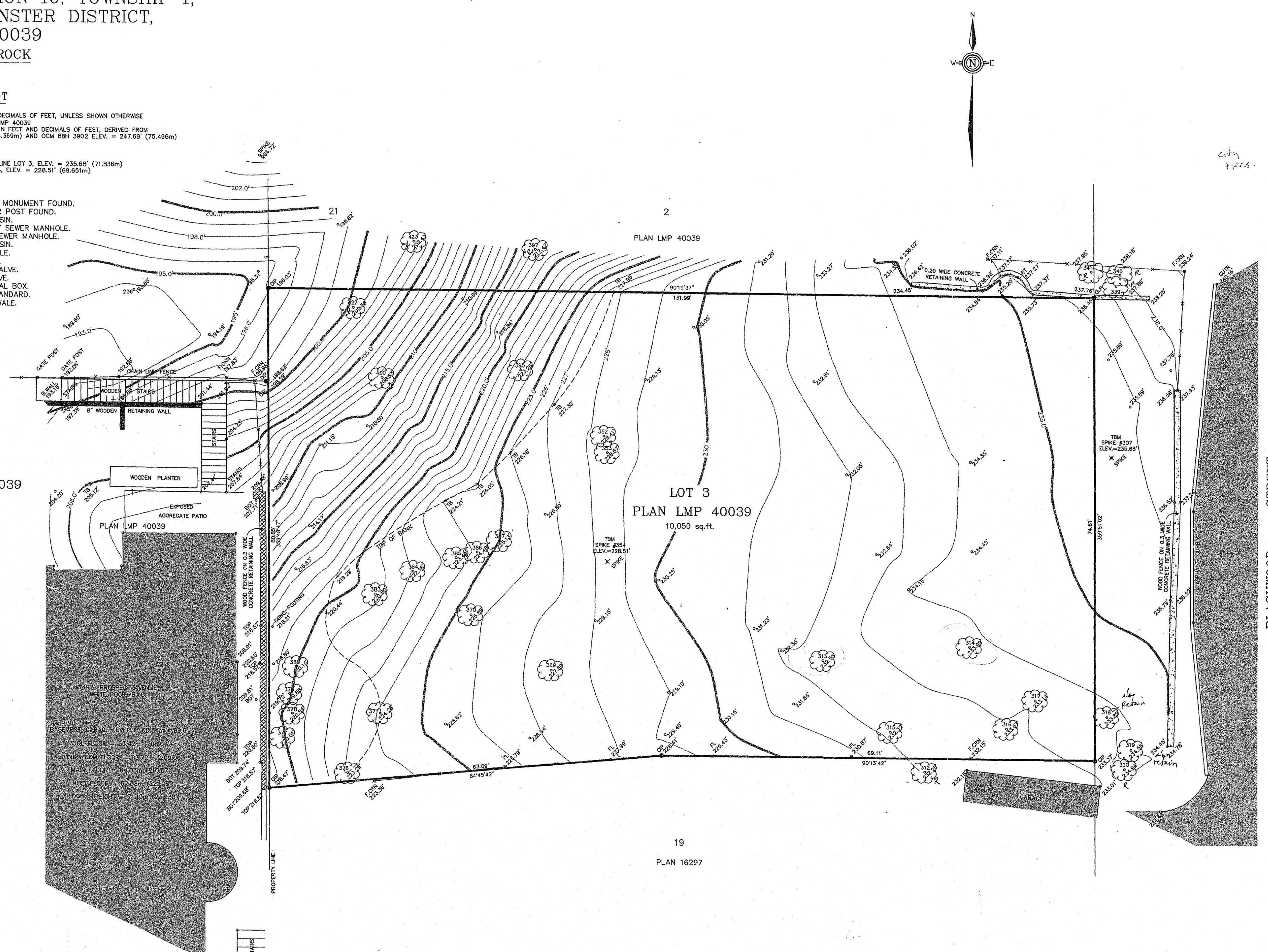
-ALL DIMENSIONS ARE IN FEET AND DECIMALS OF FEET, UNLESS SHOWN OTHERWISE
 -BEARINGS ARE BASED UPON PLAN LMP 40039
 -ELEVATIONS ARE GEODETIC, SHOWN IN FEET AND DECIMALS OF FEET, DERIVED FROM
 OCM 88H 3859 ELEV. = 309.61' (94.369m) AND OCM 88H 3902 ELEV. = 247.69' (75.496m)

TEMPORARY BENCHMARKS (TBM)

SPIKE #307 NEAR EAST PROPERTY LINE LOT 3, ELEV. = 235.68' (71.836m)
 SPIKE #354 NEAR CENTER OF LOT 3, ELEV. = 228.51' (69.651m)

LEGEND

- ⊙ OCM DENOTES CONTROL MONUMENT FOUND.
- OIP DENOTES IRON BAR POST FOUND.
- ▣ CB DENOTES CATCHBASIN.
- SAN.MH DENOTES SANITARY SEWER MANHOLE.
- STM.MH DENOTES STORM SEWER MANHOLE.
- LB DENOTES LAWN BASIN.
- PP DENOTES POWERPOLE.
- HYD DENOTES HYDRANT.
- WV DENOTES WATER VALVE.
- GV DENOTES GAS VALVE.
- EEB DENOTES ELECTRICAL BOX.
- LS DENOTES LIGHT STANDARD.
- DENOTES DITCH/SWALE.



TREES TO BE REMOVED:
 ALL TREES LISTED BELOW
 EXCEPT NOTED 'R' - RETAIN.

TREE LIST			
POINT #	TRUNK β (m)	TYPE	CROWN β (m)
312	0.50	CEDAR	7.0
313	0.50	FIR	8.0
314	0.60	FIR	10.0
315	0.35	(2) BIRCH	6.0
316	0.35	BIRCH	6.0
317	0.25	(2) BIRCH	6.0
318	0.45	FIR	8.0
319	0.50	FIR	10.0
320	0.25 - 0.35	(5) BIRCH CLUSTER	10.0
339	0.12	CHERRY	6.0
340	0.12	CHERRY	6.0
341	0.12	CHERRY	6.0
352	0.12	FIR	6.0
353	0.25	FIR	5.0
369	0.15	PEAR	3.0
370	0.20	APPLE	4.0
371	0.20	APPLE	4.0
376	±1.5	LAUREL BUSH	5.0
377	0.10	CEDAR	2.0
378	0.08	CEDAR	2.0
379	0.12	HEMLOCK	3.0
380	0.10	HEMLOCK	2.0
383	0.30	FIR	6.0
384	0.10	FIR	3.0
385	0.10	FIR	3.0
386	0.20	FIR	6.0
387	0.30	FIR	6.0
395	0.30	(2) ALDERS	8.0
397	0.60	CEDAR	10.0
400	0.60	HEMLOCK	10.0
422	0.70	CEDAR	10.0
423	0.70	CEDAR	10.0

21 to be removed.
 22 replacement (on site)
 6 replacement (off site)

LOT 1
 PLAN LMP 40039

LOT 3
 PLAN LMP 40039
 10,050 sq.ft.

BLACKWOOD STREET

19
 PLAN 16297

THIS 13th DAY OF MAY, 1999.

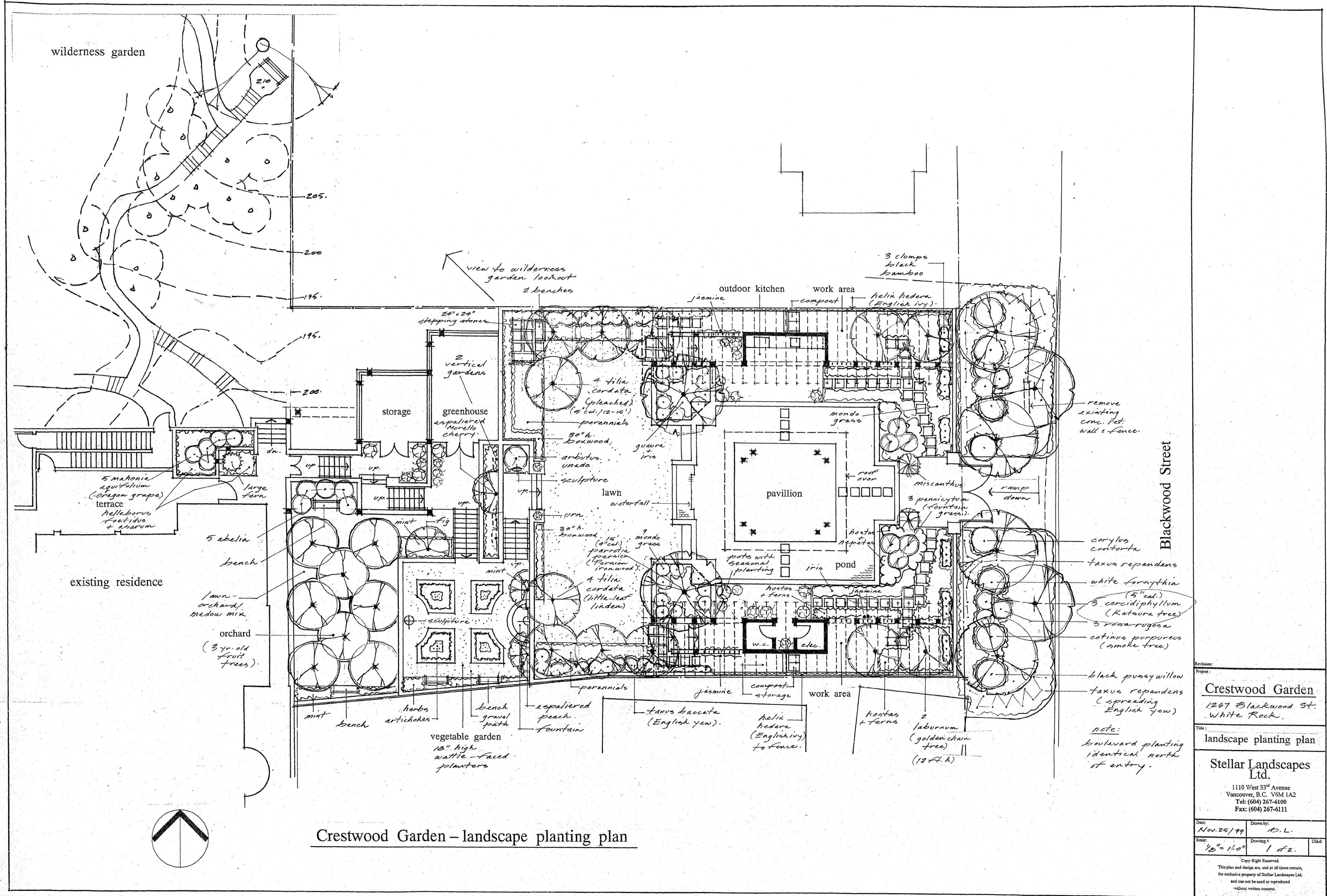
WARREN E. BARNARD (695) B.C.L.S.

WATSON & BARNARD
 B.C. LAND SURVEYORS
 1524-56th STREET
 DELTA, B.C. V4L 2A8
 TEL: 943-9433 FAX: 943-0421
 E-mail: warren@wbsurveyors.bc.ca

FILE: 106137P3
 PLOT: 99/S/17
 MAP: W.R. 10

C:\VADO\W12\106137P3 Mon May 17 07:16:01 1999 copyright WATSON & BARNARD - LAND SURVEYORS

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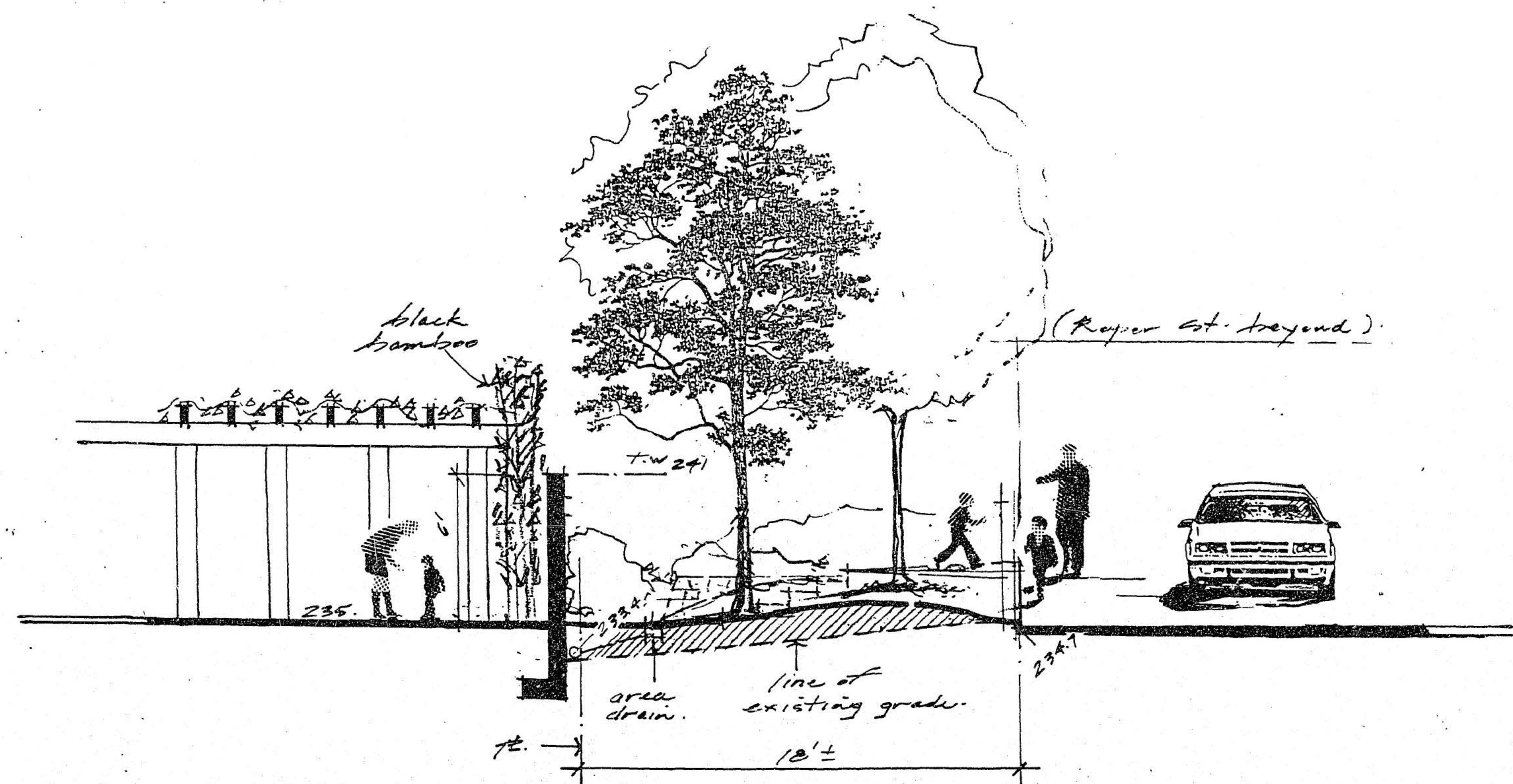
Blackwood Street

- corylus cornuta
- taxus repandens
- white forsythia (5" cal.)
- 3 cercidiphyllum (Katsura tree)
- 3 rosa rugosa
- cotinus purpureus (smoke tree)
- black pussy willow
- taxus repandens (spreading English yew)
- note: boulevard planting identical north of entry.

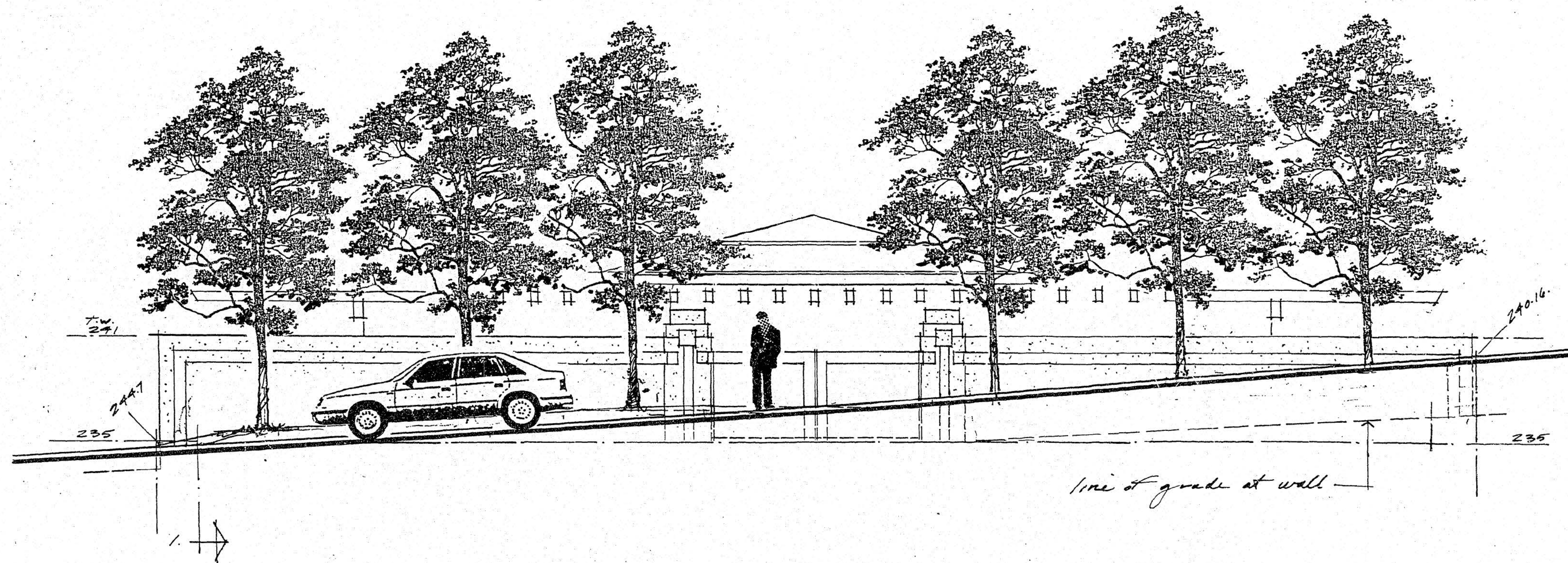
Crestwood Garden - landscape planting plan

Project: Crestwood Garden	
1267 Blackwood St. White Rock.	
Title: landscape planting plan	
Stellar Landscapes Ltd.	
1110 West 33rd Avenue Vancouver, B.C. V6M 1A2 Tel: (604) 267-6100 Fax: (604) 267-6111	
Date: Nov. 25/99	Drawn by: D.L.
Scale: 1/8" = 1'-0"	Sheet: 1 of 2

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detail section at Blackwood Street



elevation to Blackwood Street

Revisions:
Project: **Crestwood Garden**

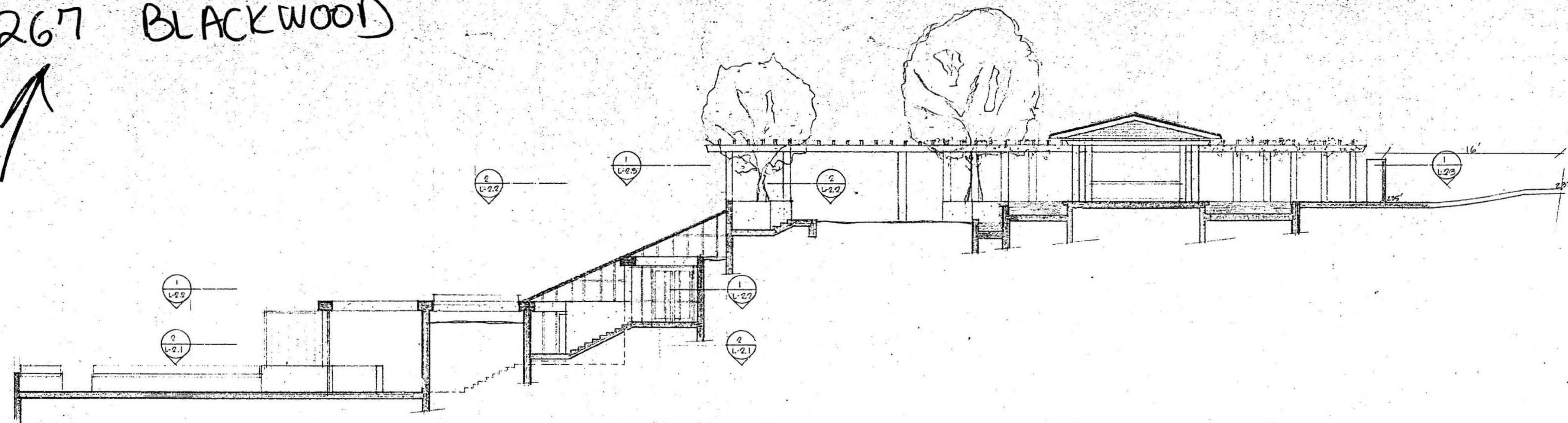
Title: **elevation / detail section**

Stellar Landscapes Ltd.
1110 West 33rd Avenue
Vancouver, B.C. V6M 1A2
Tel: (604) 267-6100
Fax: (604) 267-6111

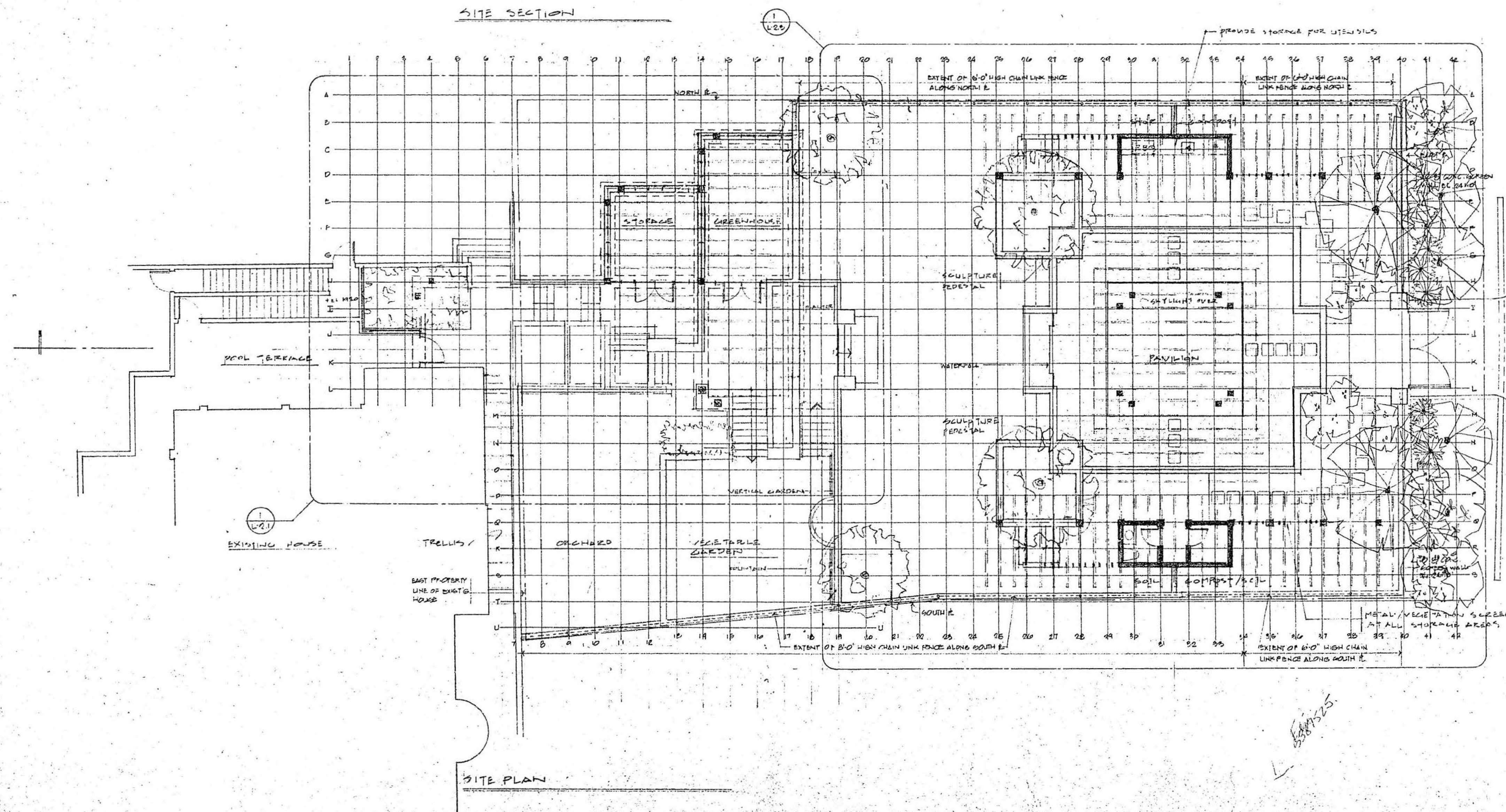
Date: **Nov. 25 / 99** Drawn by: **D.L.**
Scale: **1/4" = 1'-0"** Drawing #: **2 of 2** Chkd:

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1267 BLACKWOOD



SITE SECTION



SITE PLAN

GATE COLUMNS TO BE SIMILAR TO EXIST DRIVEWAY ENTRY COLUMN

LEGAL DESCRIPTION
 LOT 3, SECTION 10, TOWNSHIP 1
 N.W.D. DISTRICT, PLAN LMP 40039

ZONING
 20-7 COMPREHENSIVE DEVELOPMENT

SITE COVERAGE (%)
 PERMITTED:
 PROPOSED: 1280

BUILDING AREAS (A)
 PERMITTED:
 PROPOSED: 1280

BUILDING HEIGHT
 PERMITTED:
 PROPOSED: 14.0'

CITY OF WHITE ROCK
 Permits & Licences
 DEC 22 1998
RECEIVED

CRESTWOOD GARDEN PLAN
 SCALE: 1/8"=1'-0"

REV.	DESCRIPTION	DATE	ISSUED	DATE
1	GENERAL REVISIONS	11/26/98		

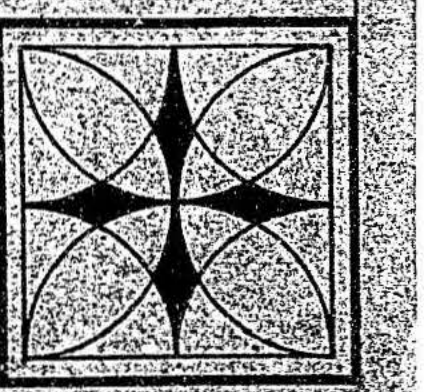
THIS DRAWING, INCLUDING THE PRINCIPLES OF DESIGN AND CONCEPT, IS THE PROPERTY AND COPYRIGHT OF AND IS SUBMITTED BY HOLLINGSWORTH CORPORATION WITH THE AGREEMENT THAT IT IS NOT TO BE REPRODUCED, COPIED OR LOANED IN WHOLE OR IN PART. IT IS NOT TO BE USED IN ANY MANNER THAT MAY CONSTITUTE A DETRIMENT DIRECTLY OR INDIRECTLY TO HOLLINGSWORTH CORPORATION. ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN AGREEMENT TO THE ABOVE.

THIS DRAWING SHALL NOT BE SCALED.
 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUM, AND LEVELS PRIOR TO COMMENCEMENT OF WORK.
 ANY ERRORS AND OMISSIONS TO BE REPORTED TO THE DESIGNER IMMEDIATELY.

Redacted S. 22 RESIDENCE
 1267 Blackwood
 14971 PROSPECT AVE., WHITE ROCK, BC

HOLLINGSWORTH CORPORATION

DATE: Aug 98
 DRAWN: [Signature]
 REVISED: [Signature]
 DRAWING NO. 121



**THE CITY OF WHITE ROCK
PERMIT TO BUILD**

14971 Prospect Avenue
D.F.

Date: January 11, 2000 Roll # 1826.007 Dev. Permit No. Permit No. 00003

Owner: Redacted S. 22	Location: <u>1267 Blackwood Street</u>
Address: <u>14971 Prospect Ave</u>	Legal: <u>Lot 3 Sec 10 T.1 NWD LMP40039</u>
Architect: <u>Russell HOLLINGSWORTH</u>	Dev. Permit Area:
Contractor: <u>RUSCO ENTERPRISES</u>	Zone: <u>CD7</u>
Contractor's Address: <u>1514 Marine Dr, West Vancouver</u>	Occupancy: <u>Garden</u>
	Name of Project:

Description of Construction: 825-9095 Lot Size:

Truss Plan Req'd: Survey Plan Req'd: Max. Height:

Size: Storeys: Min. Yards: Front: R. Side: L. Side: Rear:

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ 250,000
Permit Fee	\$ 1,685
Fiche	\$ 50
SSW	\$ 66
Total Fees	\$ 1,801

Redacted S. 22

Owner or Authorized Agent

Building Inspector

[Signature] (OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED

06/21/03 R.



The Corporation Of The
City Of White Rock
877 Keil Street White Rock BC V4B 4V6

Engineering & Operations Department Facsimile: (604)541-2190 Telephone: (604)541-2181

March 7, 2003

PRELIMINARY LAYOUT APPROVAL – REZONING – 14971 Prospect Avenue

Dear Sir:

This is to advise you that your rezoning application for the property at 14971 Prospect Avenue may be approved, subject to the following conditions:

1. Lot shall be serviced with connection for water, storm sewer and sanitary sewer. All services shall be designed, inspected and certified by a Professional Engineer. Prior to the commencement of design, the Consultant is to contact the Engineering and Operations Department to arrange for a pre-design meeting. The Consultant shall provide confirmation of Errors & Omissions Insurance in the amount of \$500,000. and confirm that the contractual mandate with the Owner will permit the Consultant to provide the required level of construction inspection and the preparation of record drawings.
2. A Stormwater Management Plan shall be provided, including but not limited to: pre-development and proposed post-development elevations at all lot corners; minimum building elevations; the minor (10-year) and major (100-year) systems/routing; all proposed swales/easements/right-of-ways; and details of required siltation controls; all as required in the City Engineering Standards and Specifications.
3. Works & Services shall be required on existing road frontage as outlined below, all to City standards:
 - a) **ROADWORKS**
PROSPECT AVENUE: Local Road Narrow (6.0m width): Widen road to ultimate road width from existing north edge of pavement along the Prospect Avenue frontage of 40 linear meters. Complete road reconstruction (MMCD G5) including 300mm granular sub-base, 200mm granular base materials and min 75mm of asphalt as well as concrete rollover curb (MMCD C-4) and 1.5m wide concrete sidewalk.

BLACKWOOD STREET: Local Road (8.5m width): Widen road to ultimate road width from existing west edge of pavement along the Blackwood Street frontage of 23 linear meters. Complete road reconstruction (MMCD G5) including 300mm granular sub-base, 200mm granular base materials and min 75mm of asphalt as well as concrete rollover curb (MMCD C-4) and 1.5m wide concrete sidewalk.
4. The Consultant shall communicate with White Rock Utilities, BC Hydro, Telus, Rogers Cable and BC Gas to obtain final designs for new servicing and/or relocation of existing works. All



The Corporation Of The
City Of White Rock
877 Keil Street White Rock BC V4B 4V6

Engineering & Operations Department Facsimile: (604)541-2190 Telephone: (604)541-2181

new extensions of hydro/telephone/cable servicing (off-site or on-site) shall be by underground facilities. Both lots must be serviced underground therefore an additional right-of-way may be required.

5. The required works shall be completed to the satisfaction of the City Engineer prior to granting of Final Approval, or a Servicing Agreement may be entered into for completion of the works. The Consultant shall prepare an estimate of the cost for the required works for the purpose of determining the required security to be deposited with the City for the Servicing Agreement. The City will undertake to provide these services once all the approvals are in place.
6. Removal of any City owned trees located within the road allowance will require approval by way of a City Right-of-Way Permit. Location and extent of any replacement planting to be determined in consultation with the Parks Manager.

This conditional approval is valid for 6 months from the date of this letter.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,
White Rock, B.C.
Tel. No.: 541-2136
Fax. No.: 541-2153

Inspection Report

NAME: ... *RIFCO ENT. (Redacted S. 22)* ... PERMIT No. ... *00003* ...
 ADDRESS: ... *1267 BLACKWOOD ST* ... SHEET No. ... *1* ...
 TYPE OF INSPECTION: ... *FINAL* ... DATE: ... *OCT 21/03* ...
 AREA OF INSPECTION:

SCHEDULE C'S REVIEW

FINAL INSPECTION PASSED

** ~~LAST~~ FINAL ^{GRADE} ASPHALT AT SANITARY SEWER TO BE RESOLVED
 WITH KEVIN POLLARD*

SIGNATURE: INSPECTOR: *[Signature]*

DATE:

Please sign this form when the work is completed and return to the above department.