

August 6, 2020

FOI No: 2020-33

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *"as built" or addendum architectural drawings, for SL 18 -14869 Marine Drive, and SL 17 1101 Elm St, of Marine Court Strata Corp. NW (S) 2317.*

As discussed, it does not appear that the City has current as built drawings for these two commercial strata units. I have located various interior plans and permitting records that may be of assistance in tracing the history of alterations from the original development plans.

Access to these records is available. However, some of the information in the records is exempted from the disclosure requirements of the Act. I have severed the exempted information so that I could disclose to you the remaining information as attached.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

The severed information is excepted from disclosure under section 22 of the Act. Severing is necessary to avoid disclosing any third-party personal information without permission. Any names, phone numbers, or addresses that could not be verified as business contact information has been redacted.

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

THE CITY OF WHITE ROCK PERMIT TO BUILD

Date: MAY 21, 1986 Roll # Dev. Permit No. Permit No. 103

Owner: D. ARON SCHAFER & ASSOC
 Address:
 Architect:
 Contractor: **Redacted S. 22**
 Contractor's Address: **Redacted S. 22**

Location: 1101 ELM
 Legal: 327A W-1
 Dev. Permit Area: YES Zone: C-2
 Occupancy: COMMERCIAL
 Name of Project: RESTAURANT

Description of Construction: FRAME / GARAGE Lot Size:
 Truss Plan Req'd.: NO Survey Plan Req'd.: NO Max. Height:
 Size: EXISTING Storeys: 1 Min. Yards: Front: - R. Side: - L. Side: - Rear: -

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				<u>N/A</u>
Beams				
Stairways				

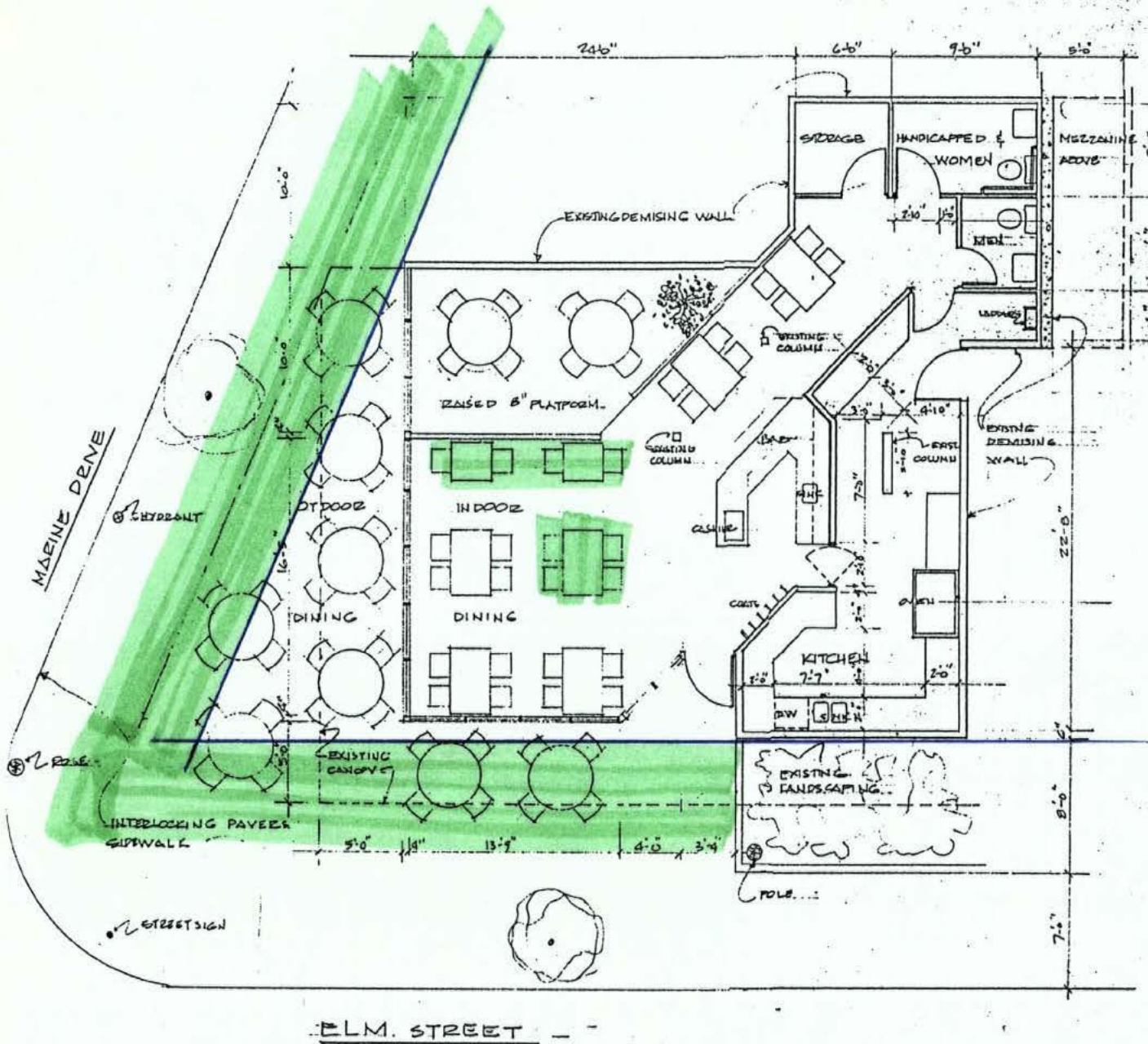
Int. Partitions:
 Heating:
 Ventilation:
 Insulation:
 Plans Filed: YES

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ <u>5000</u>
Permit Fee	\$ <u>50</u>
	\$
	\$
Total Fees	\$ <u>5050</u>

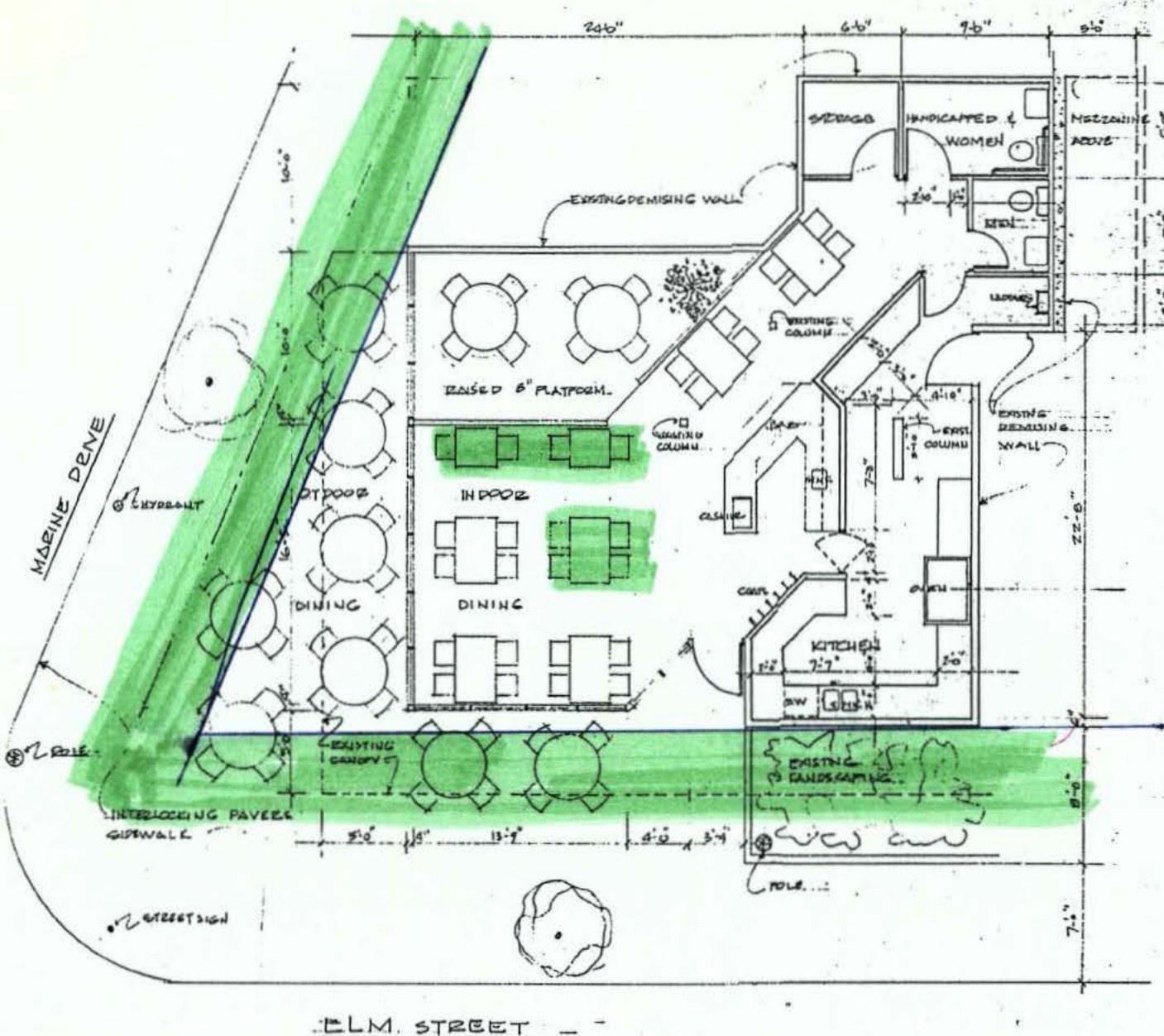
Owner or Authorized Agent: **Redacted S. 22**

B. W. Hall (OVER)
 Building Inspector



- 5# ABC TYPE EXTINGUISHER
- 20# BC TYPE EXTINGUISHER
- MOUNTED AS PER FIRE MARSHAL
- DETAILED PLANS OF CONSTRUCTION AND INSTALLATION OF CANOPY AND DUCT TO NFPA 96.
- HEAT DETECTORS / STORAGE AREAS TO CODE
- PULL STATIONS AT EXTERIOR DOORS
- EXTERIOR SEATING / GUARD TO APPROVAL OF PLANNER AND ENGINEER
- MAX 40 SEATS INSIDE AND IN UNSHATED OUTSIDE AREA.
- IF ADDITIONAL SEATING AND PROVISION FOR PARKING IS PROVIDED PROPOSED IN FUTURE THEN RESTAURANT ON ADDITIONAL PAVING PLUMBING
- 101 ELM ST. IS REQUIRED.
- WHITE ROCK D.C.
- STORAGE AREAS TO HAVE 1 HR RATING AND SMOKE DETECTOR.
- OWNER: Redacted S. 22
- DESIGNER: GEORGE FALEIKO
- BA ARCH - TEL 571-6268
- SCALE: 1/4" = 1'-0"
- DATE: MAY 5 1986

ELM. STREET



- 5" ABC TYPE EXTINGUISHER ✓
- 20 BC TYPE EXTINGUISHER
- MOUNTED AS PER FIRE MARSHALL
- DETAILED PANS OF CONSTRUCTION AND INSTALLATION OF CANOPY AND DUCT TO NFPA 96.
- HEAT DETECTORS / STORAGE AREAS TO CODE ✓
- PULL STATIONS AT EXTERIOR DOORS ✓
- EXTERIOR SEATING GUARDED TO APPROVAL OF PLANNER AND ENGINEER ✓
- MAXIMUM 40 SEATS INSIDE AND IN UNSHADED OUTSIDE AREA ✓
- IF ADDITIONAL SEATING AND PROVISION FOR PARKING IS PROVIDED IN FUTURE THEN ADDITIONAL PLUMBING IS REQUIRED ✓

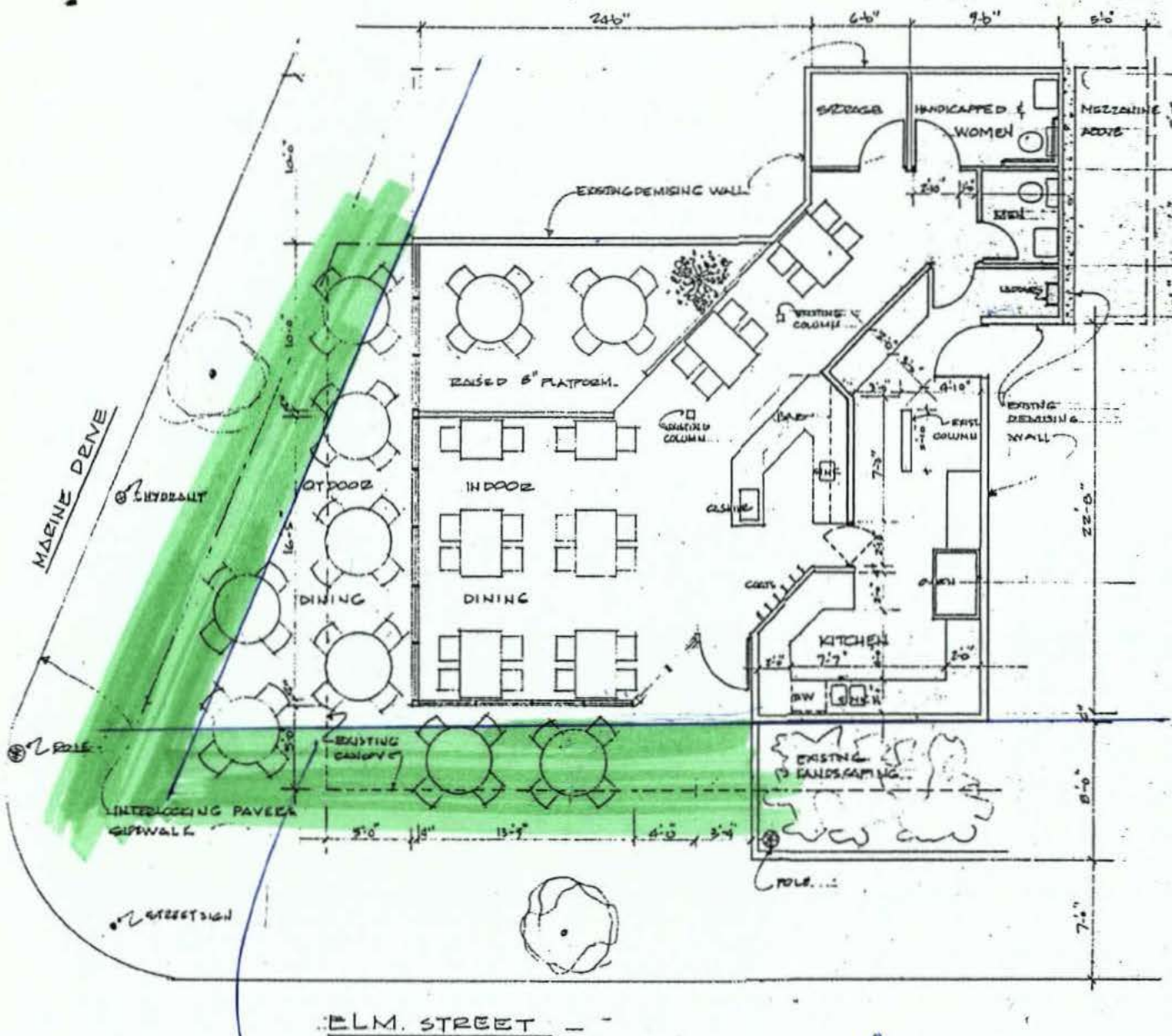
PROPOSED RESTAURANT ON
1101 ELM ST.
WHITE ROCK D.C.

OWNER: Redacted S. 22

DESIGNER: GEORGE FALEIKO
D. ARCH - TEL 571-6228

SCALE: 1/4" = 1'-0"
DATE: MAY 5 1986

ELM STREET



PROPOSED
RESTAURANT ON
1101 ELM ST.
WHITE ROCK D.C.

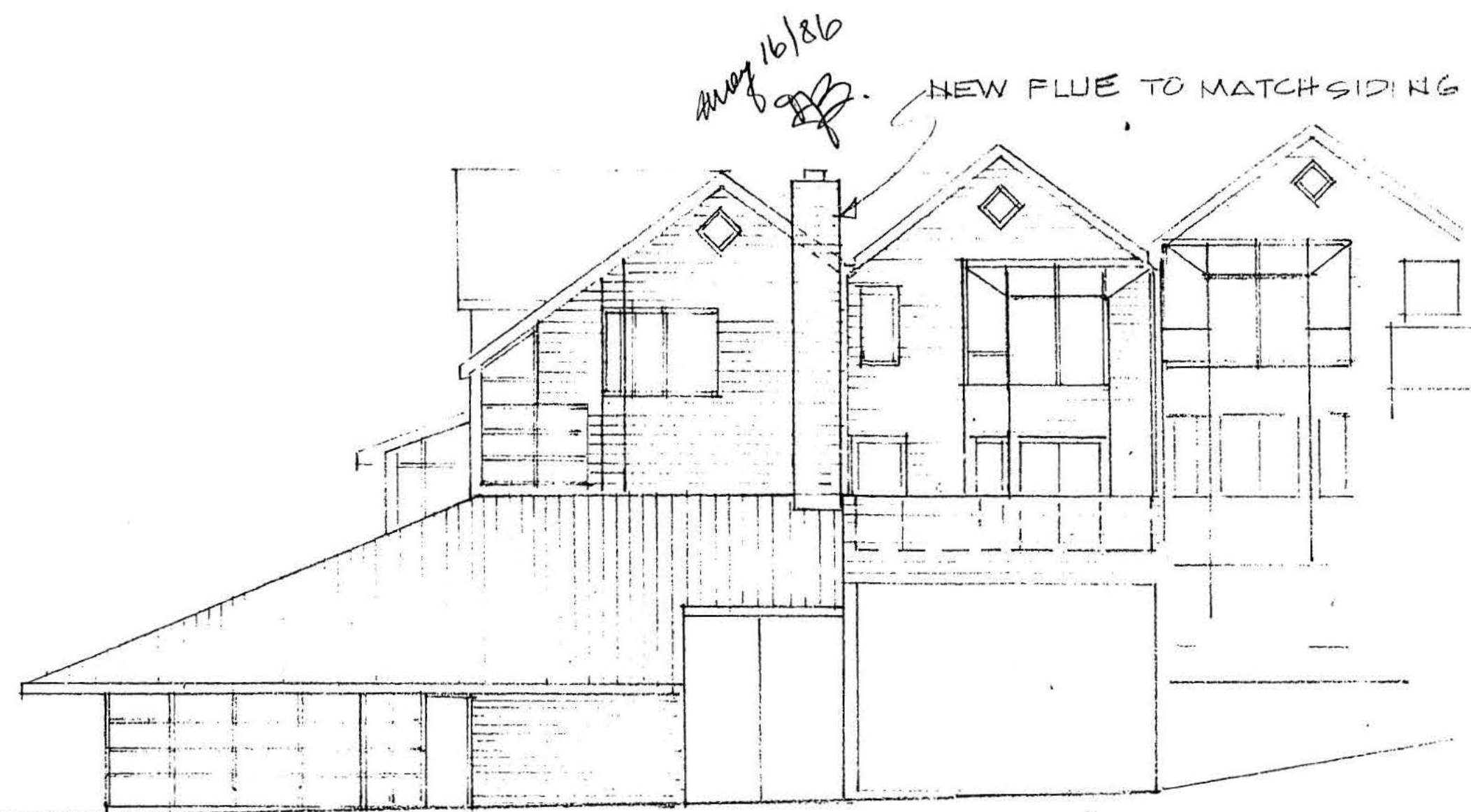
OWNER: **Redacted S. 22**

DESIGNER: GEORGE PALEIKO
ARCH - TEL 571-2260

SCALE: 1/4" = 1'-0"
DATE: MAY 5 1986

ELM. STREET

See planner D.J. re fencing to sidewalk.



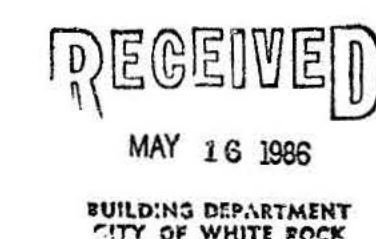
EXISTING ELEVATION (ELM ST.)
SCALE 1/8" = 1'-0"

- MAXIMUM 40 SEATS - EXTERIOR CHAIRS AND TABLES MARKED IN BLUE TO BE MOVED FROM INTERIOR
- EXTERIOR SEATING GUARD TO BE TO APPROVAL OF PLANNER AND ENGINEER
- ADDITIONAL SEATING TO PERMITTED 40 SEATS MAXIMUM INSIDE AND OUTSIDE TOTAL WILL REQUIRE APPROVAL FROM CITY ENGINEER AND ADDITIONAL PLUMBING FACILITIES
- SIDING TO PLANNERS APPROVAL CHECK WITH FIRE DEPT RE DUCT SIZE

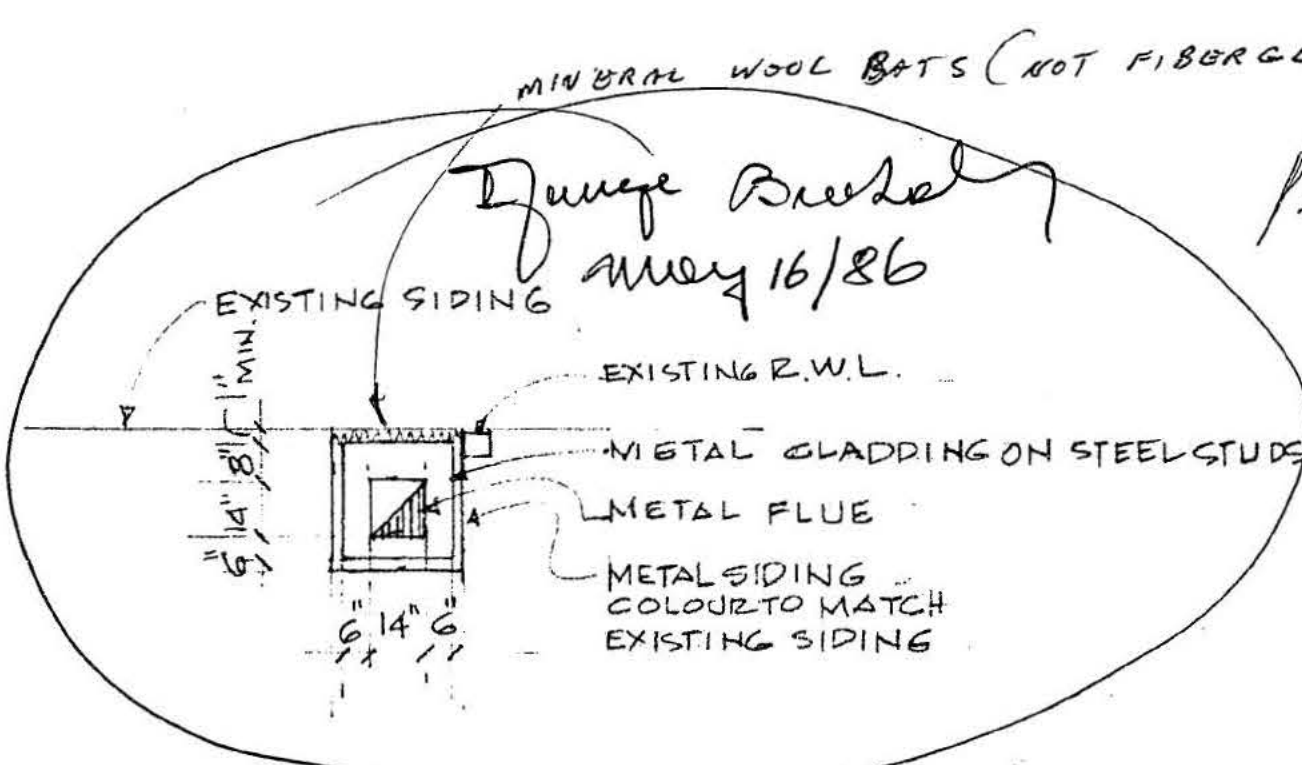
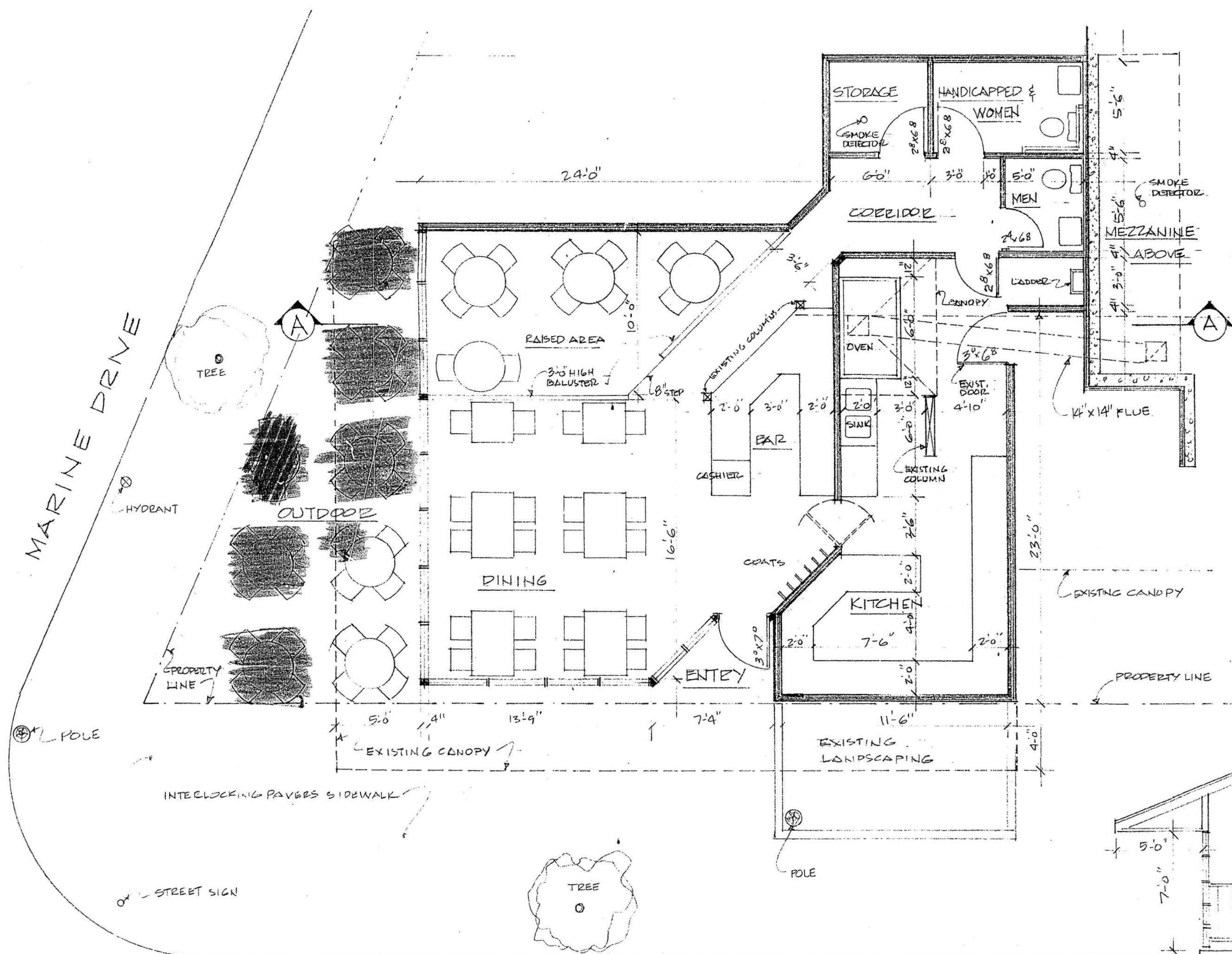
The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



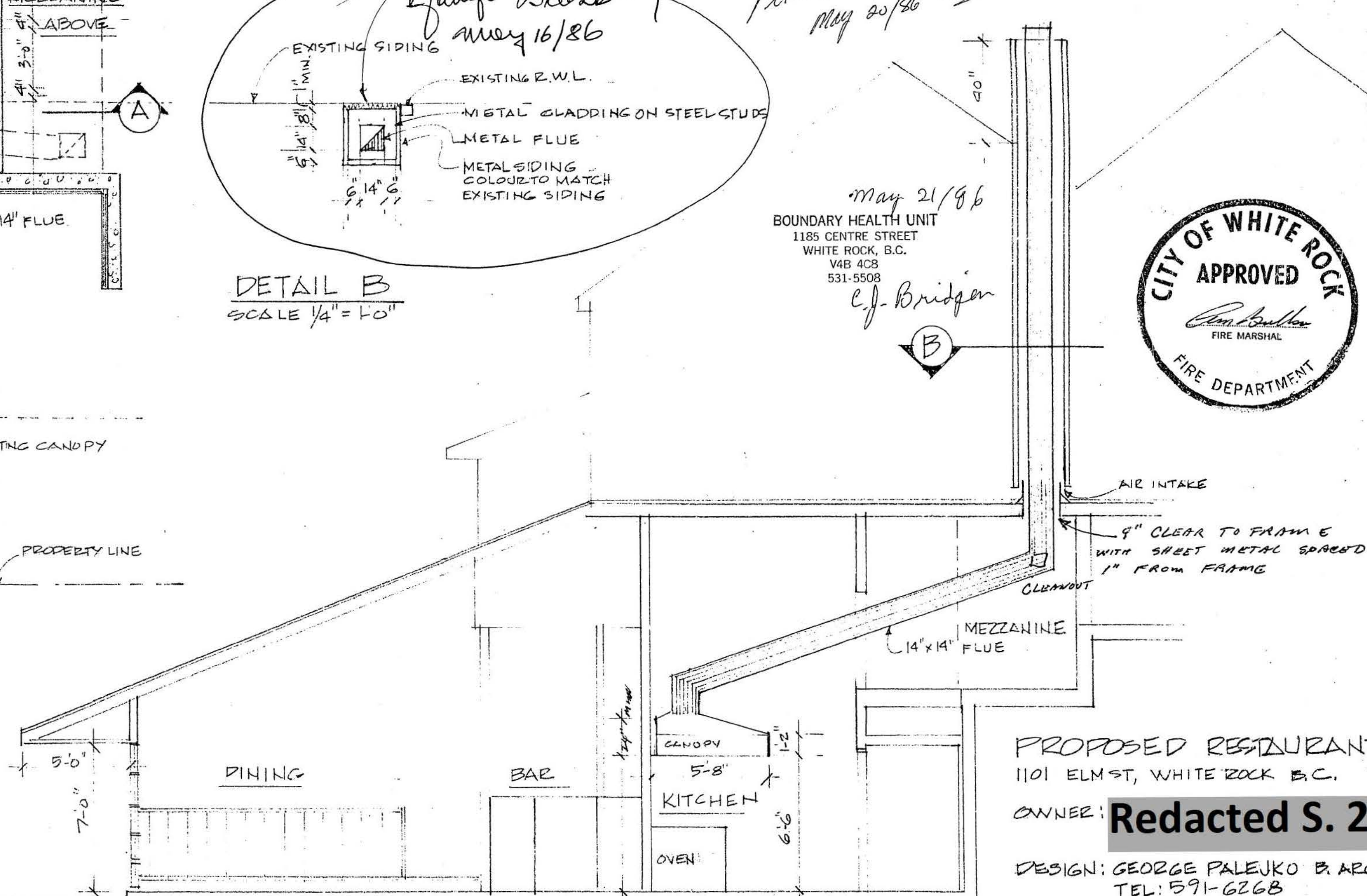
- CANOPY + DUCT TO CONFORM TO ZEPH#96 AND NBC 1990 (CERTIFIED PLANS REQUIRED)
- 20 B.C. RATED EXTINGUISHER MOUNTED IN KITCHEN
- 5LB A.B.C. EXTINGUISHER IN EATING AREA
- CANOPY + DUCT CLEARANCES TO BE MIN. 16" FROM COMBUSTIBLES
- FIRE ALARM PULL STATIONS AT EXITS
- HEAT DET. IN STORAGE AREAS



The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



DETAIL B
SCALE 1/4" = 1'-0"



SECTION A-A SCALE 1/4" = 1'-0"

May 21/86
BOUNDARY HEALTH UNIT
1185 CENTRE STREET
WHITE ROCK, B.C.
V4B 4C8
531-5508
C.J. Bridger

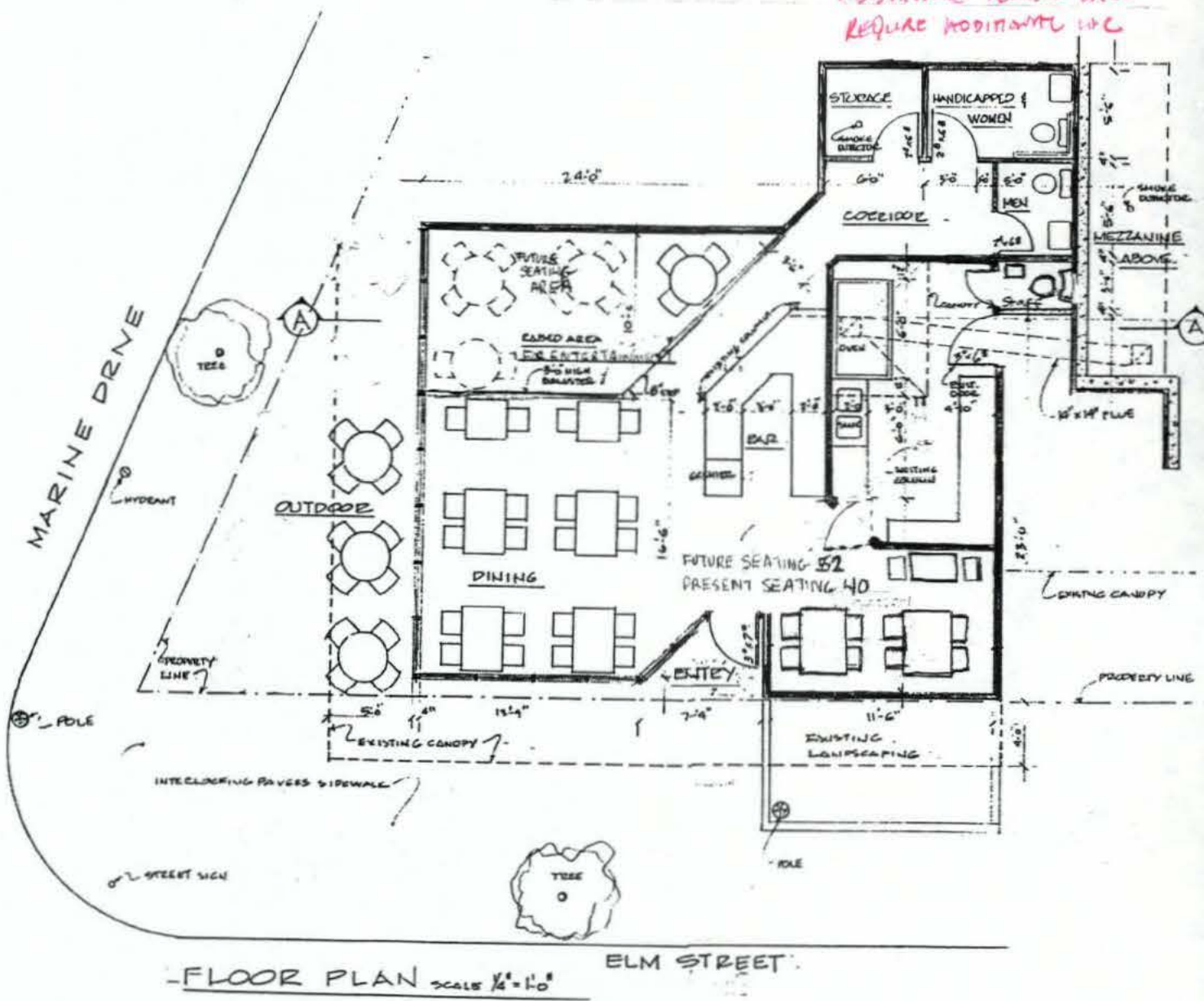


FLOOR PLAN SCALE 1/4" = 1'-0"
#103-1986
ELM STREET
1101 ELM

PROPOSED RESTAURANT
1101 ELM ST, WHITE ROCK B.C.
OWNER: **Redacted S. 22**
DESIGN: GEORGE PALEJKO B. ARCH.
TEL: 591-6268
DATE: MAY 15 1986



ADDITIONAL SEATING WILL
REQUIRE MODIFICATION I.P.C.



- FLOOR PLAN scale 1/4" = 1'-0" -

PROPOSED RESTAURANT

1101 ELM ST. WHITE ROCK B.C.

OWNER: **Redacted S. 22**

DESIGN: GEORGE PALEJKO B. ARCH. 591-6268

This Plan is approved
for liquor permit
purposes only

[Signature]
FIRE DEPT.
CITY OF WHITE ROCK

May 27/86
BOUNDARY HEALTH UNIT
1185 CENTRE STREET
WHITE ROCK, B.C.
V4B 4C8
531-5508

[Signature]



APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. May 12, 1988

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to

to Alter entry (EXIT) the building as follows:

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: C-2 Development Permit #

Correct description of property

Street 1101 Elm Size of land

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for? COMMERCIAL

How heated? N/A

Entire value, when completed \$ 900⁰⁰

Name and mail address of owner BARRA HOLDINGS LTD Phone: do **Redacted S. 22**

..... do **Redacted S. 22**

Name and mail address of builder owner Phone:

Name and address of architect (if any) N/A

Name and address of person or persons to whom permit is to be issued:

Name owner Address

Do you require to use street for placing material? No

How long? Days

And I agree to conform to all requirements of said By-Law.

Roll No. Signature of Applicant: **Redacted S. 22**

Building Permit Fee: 25⁰⁰

Plan Checking Fee:

Permit No. ~~73~~ 74

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

THE CITY OF WHITE ROCK

PERMIT TO BUILD

Date MAY 16 19 84 Roll # _____ Dev. Permit No. _____ Permit No. 74

Owner KARKIN HOLDINGS LTD
 Address c/o. 14886 McBeth Rd.
 Architect DAVID MEEK
 Contractor _____
 Contractor's Address _____

Location 1101 KLM.
 Legal _____
 Dev. Permit Area: _____ Zone: C-2
 Occupancy Commercial
 Name of Project _____

Description of Construction ALL STOREFRONT Lot Size _____
 Truss Plan Req'd.: _____ Survey Plan Req'd.: _____ Max. Height: _____
 Size: _____ Stores: _____ Min. Yards: Front _____ R. Side _____ L. Side _____ Rear _____

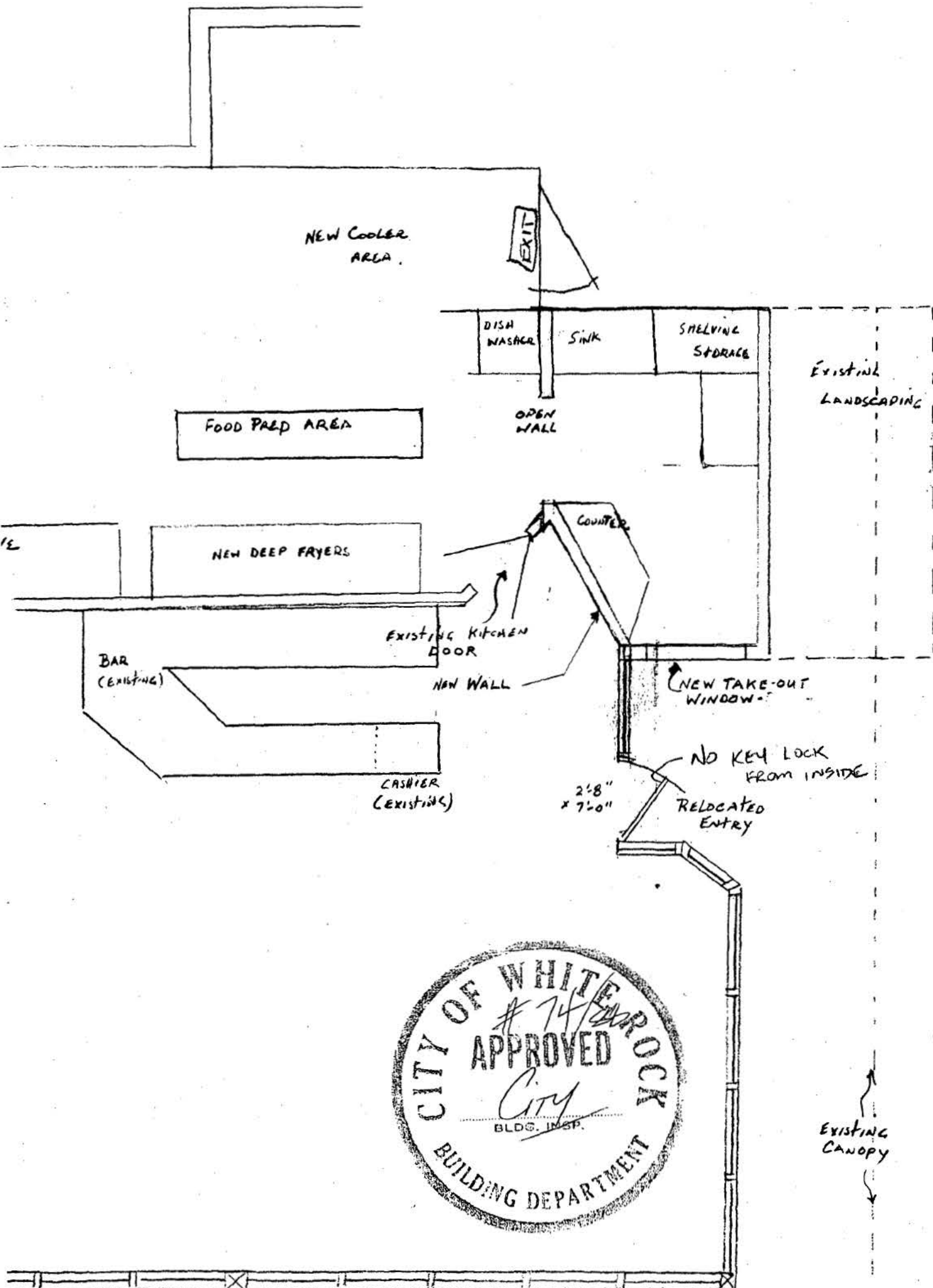
	Basement	1st	2nd	Roof
Basement				
Footings				
Columns <u>As per</u>		<u>NON BEARING</u>		
Beams <u>see</u>				
Stairways				

Int: Partitions _____
 Heating _____
 Ventilation _____
 Insulation YES
 Plans Filed _____

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ <u>900⁻</u>
Permit Fee	\$ <u>25⁰⁰</u>
	\$ _____
	\$ _____
Total Fees	\$ <u>25⁰⁰</u>

Owner or Authorized Agent [Signature] B. W. Hall Building Inspector [Signature] (OVER)

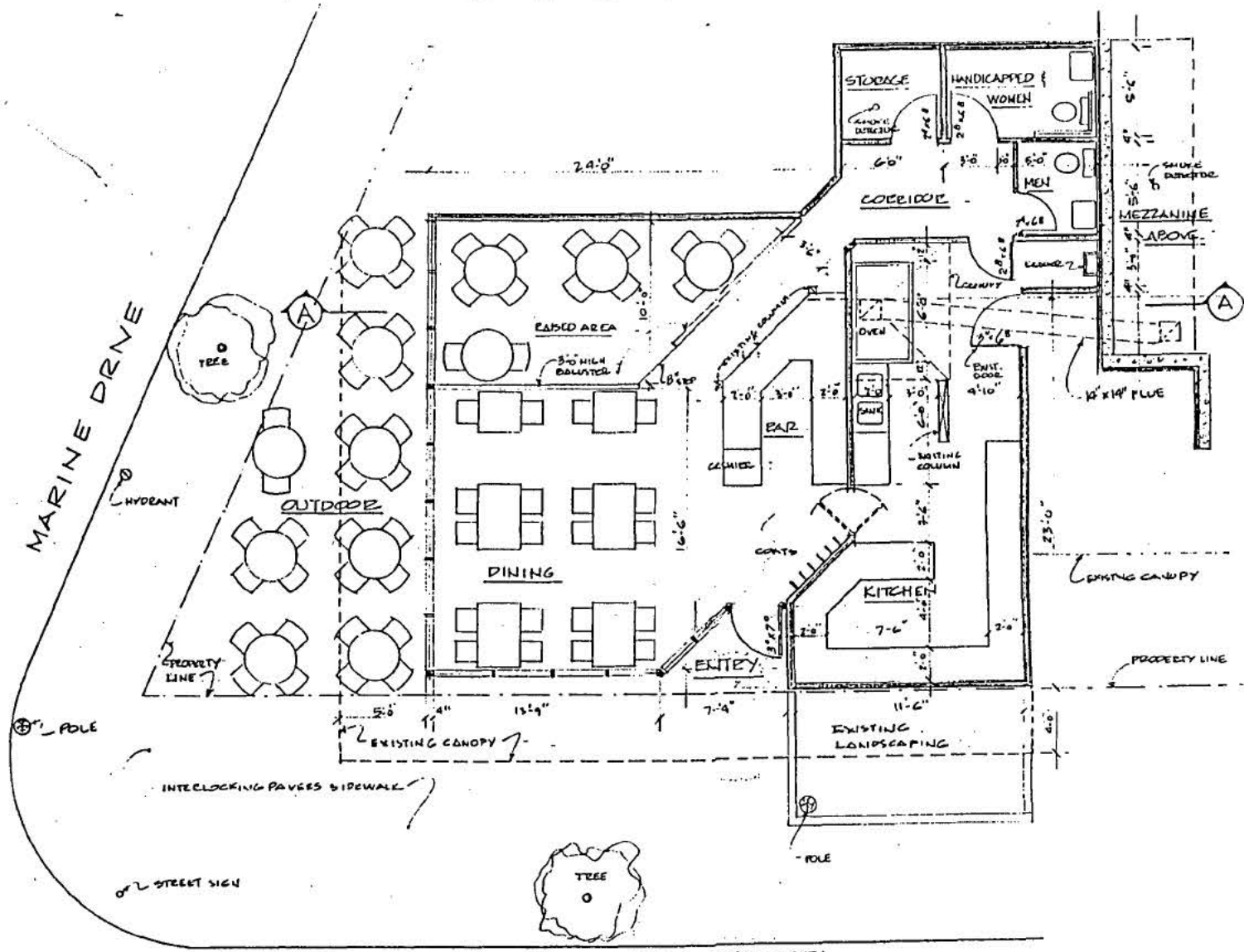


The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

OUTDOOR TABLES

MARINE DRIVE PROPERTY

ELM STREET

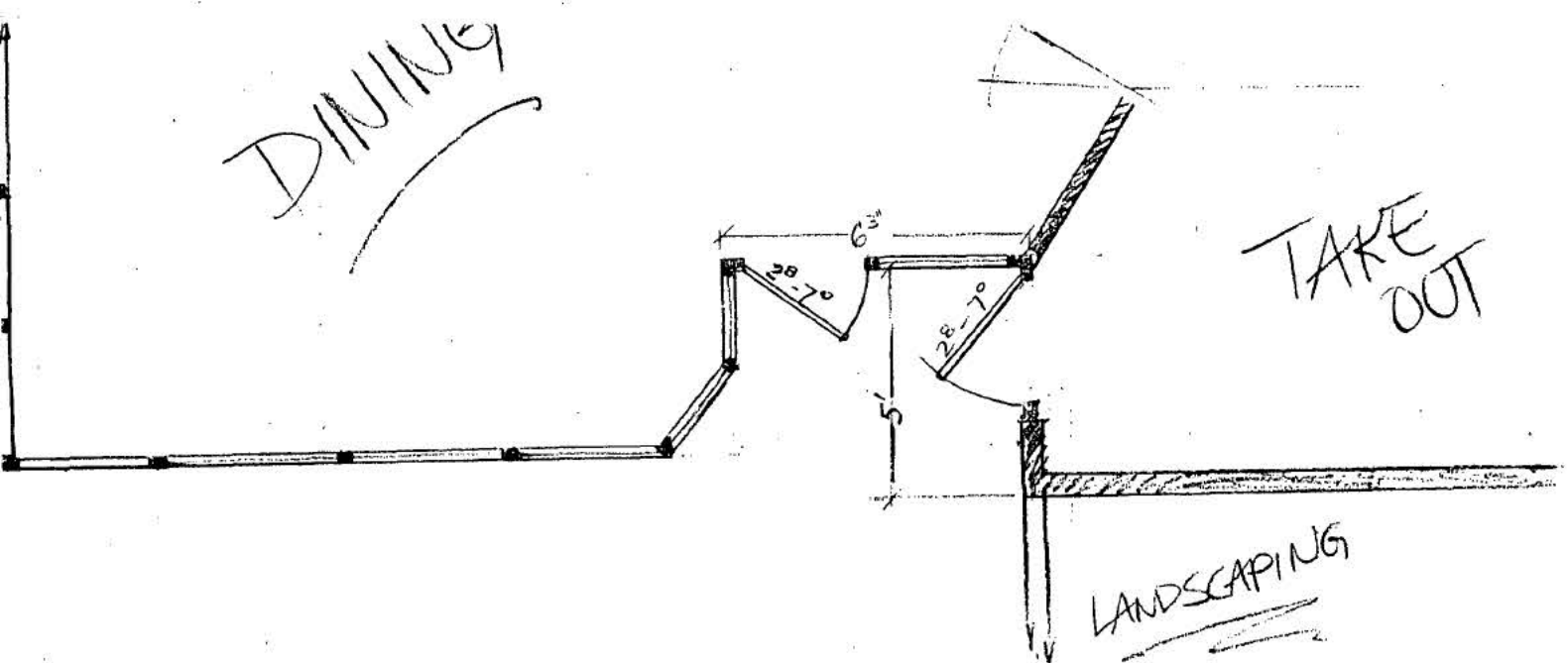


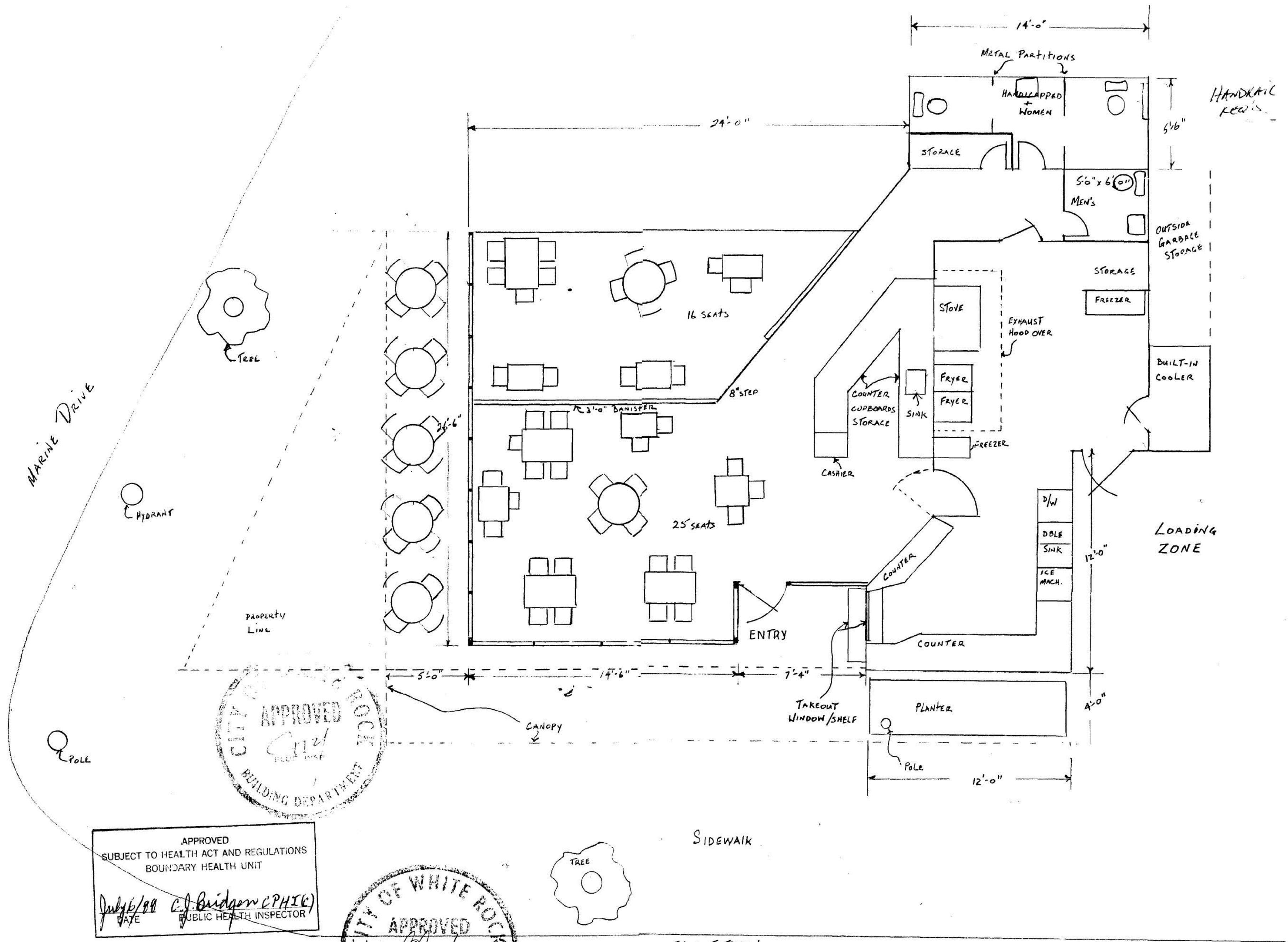
FLOOR PLAN SCALE $\frac{1}{4}'' = 1'-0''$ ELM STREET

DINING

TAKE OUT

LANDSCAPING





APPROVED
 SUBJECT TO HEALTH ACT AND REGULATIONS
 BOUNDARY HEALTH UNIT
 July 6/89
 C.J. Bridgman (PHIC)
 PUBLIC HEALTH INSPECTOR



SCALE 1/4" = 1'-0"
 PROPOSED - TROLL'S RESTAURANT
 FOR BARRA HOLDINGS LTD
 1101 ELM ST.
 APPROX 1100 #
 INSIDE SEATING = 41
 OUTSIDE SEATING = 25



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES
15322 Buena Vista Avenue, P.O. Box 188, White Rock, B.C. V4B 5C6

City Hall,
White Rock, B.C.
Tel. No.: 531-9111
Fax.No.: 538-6049

Inspection Report

NAME: TROUS RESTAURANT PERMIT No.

ADDRESS: 1101 Elm St SHEET No. 1

TYPE OF INSPECTION: FRAME DATE: JULY 9/92

AREA OF INSPECTION:

1. ABOVE BUILDING IS RESTRICTED IN DESIGN BY DEVELOPMENT PERMIT :

2. LEAD TO ADDITIONAL REQUIRES - BUILDING PERMIT
 - STRATA COUNCIL APPROVAL
 - CITY PLANNER APPROVAL:

3. PLEASE PROVIDE THE ABOVE DEPARTMENT WITH AN APPLICATION FOR BUILDING PERMIT ACCOMPANIED WITH A LETTER FROM STRATA COUNCIL APPROVING ACCEPTING PROPOSAL

- WITH CITY PLANNERS APPROVAL WE WILL BE ABLE TO PROCEED WITH PERMIT BUT DO NOT PROCEED FURTHER WITH SITE UNTIL PERMIT ISSUED

SIGNATURE: INSPECTOR: [Signature]

DATE:

Please sign this form when the work is completed and return to the above department.

1101 Elm. St.



July 13, 1992

The City of White Rock
15322 Beuna Vista
White Rock, B.C.

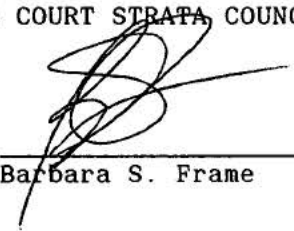
To Whom It May Concern:

Please be advised that the Strata Council of Marine Court has asked Trolls Restaurant to install a receptacle outside the restaurant's back door to house any containers holding grease, oil, etc. in order to make the back door area more aesthetically pleasing.

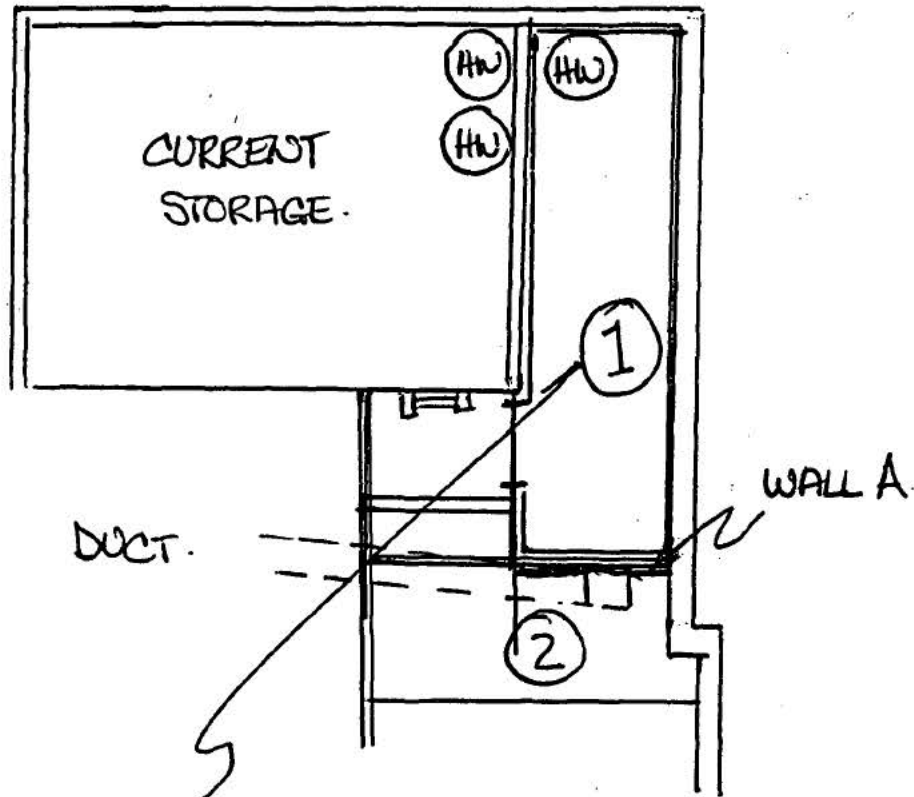
Sincerely yours,

MARINE COURT STRATA COUNCIL

Per:



Barbara S. Frame



AREA # 1 UNDER EXISTING DWELLING UNIT. REQUIRES $2 \times 5/8$ " TYPE X DRY WALL ON VERTICAL AND CEILING.

AREA # 2. REQUIRES SINGLE LAYER $5/8$ " TYPE X DRY WALL TO FORM A FIRE BARRIER TO ALL OTHER VOIDS AND AREAS OF THE BUILDING. WALL A ADJACENT TO DWELLING UNIT REQUIRES $2 \times 5/8$ " TYPE X WHERE POSSIBLE.

THE CITY OF WHITE ROCK PERMIT TO BUILD

Date: FEB 17/95 19__ Roll # _____ Dev. Permit No. _____ Permit No. 026-95

Owner: MARINE COURT STRATA CORP Location: 1101 ELM ST
 Address: 1101 ELM ST. Legal: _____
 Architect: _____ Dev. Permit Area: _____ Zone: C-2
 Contractor: TROLLS REST. Occupancy: _____
 Contractor's Address: _____ Name of Project: TENANT IMPR. / SIDEWALK DECK.

Description of Construction: _____ Lot Size: _____
 Truss Plan Req'd.: _____ Survey Plan Req'd.: AS Max. Height: _____
 Size: _____ Storeys: _____ Min. Yards: Front: _____ R Side: _____ L. Side: _____ Rear: _____

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				
	Ext. Walls			
	Floors, Joists			
	Live Loads			

92
CODE

R Side
PER

92

CODE

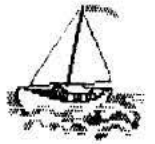
The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ 15,000.-
Permit Fee	\$ 158.-
M. FICHE	\$ 20.-
	\$
Total Fees	\$ 178.-

Owner or Authorized Agent: _____

Building Inspector: _____

(OVER)



September 25, 1996

Redacted S. 22

Owner
Troll's Restaurant

Dear **Redacted S. 22**

The purpose of this letter is to officially request the installation of an improved exhaust system on the roof of Troll's Restaurant.

As you know, the owners of 1107 Elm Street have been experiencing problems on their patio due to an insufficient 'catch tray' in your exhaust system currently in place. Grease seeping from the catch tray drips down their exterior front wall, coating the floor and patio furniture. It is both unpleasant and unsanitary for the owners of the unit and renders the patio unusable at times.

Council does appreciate your recognition of these problems and subsequent efforts to rectify them. I'm sure you share our optimism that the new system will be a permanent solution to these persistent problems.

Regards,

Marine Court Strata Council

CITY OF WHITE ROCK
Permits & Licences

NOV 28 1996

RECEIVED



THE CORPORATION OF THE CITY OF WHITE ROCK
DEPARTMENT OF PERMITS & LICENCES

TEL: 531-9111
FAX: 538-6049
15322 Buena Vista Ave.

APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. Nov 28 , 19 96

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to

Alter
Re locate terminal of NPA 96 Exhaust fan the building as follows:

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: G-2 Development Permit #

Correct description of property

Street # 1101 Elm ~~main~~ Drive Size of land

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for? COMMERCIAL / RES OVER

How heated? N/A

Entire value, when completed \$ 3,700⁰⁰

Name and mail address of owner TROUS SEAFOOD Phone: 531 3600

..... 1101 Elm

Name and mail address of builder QUEST METAL WORKS LTD Phone: 253-7771

..... 1233 Venable St. Van B.C.

Name and address of architect (if any)

Name and address of person or persons to whom permit is to be issued:

Name Owned Address

Do you require to use street for placing material? no

How long? Days

And I agree to conform to all requirements of said By-Law.

Roll No. Signature of Applicant: 

Building Permit Fee: 44⁵⁰ Pd.

Plan Checking Fee: 134

Permit No. 134

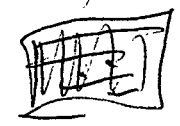
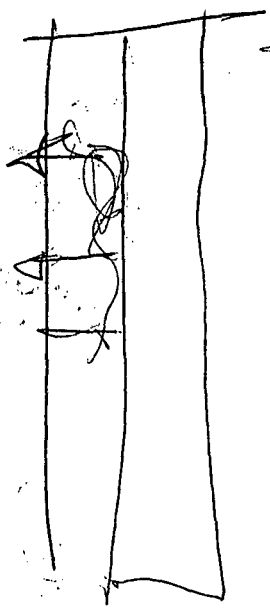
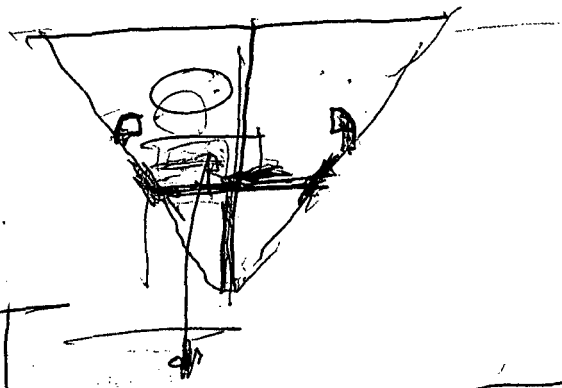
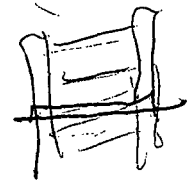
The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

$$\begin{array}{r} 650 \\ 3 \\ \hline 1950 \\ 25 \\ \hline 4450 \end{array}$$

1- B.P. FROM W.ROCK.

2- B₁ B₂
MECHANICAL ENGG.

3. DRAWINGS ETC.



Quest

"Craftsmen in Stainless Steel"

FAX MEMO

QUEST METAL WORKS LTD

1233 Venables Street, Vancouver, B.C. V6A 3X7
PHONE: (604) 253-7771

SHOP FAX: (604) 253-1530

TO: TROLLS ON THE BEACH
ATTN: S. 22

DATE: OCT 1ST / 96 TIME:
FROM: JOHN CANG
DEPARTMENT:

SUBJECT: EXHAUST FAN RELOCATION TOTAL PAGES INCLUDING MEMO

MESSAGE:

GOOD MORNING S. 22 - You call to REVISU/RELOCATE
BEST POINT OF YOUR KITCHEN EXHAUST SYSTEM

... \$ 3770.00 + TAXES.

THIS PRICE INCLUDES THE SUPPLY OF A NEW RESTAURANT
MODEL FAN WITH APPROVAL STICKER AND (6) GREASE CANNISTERS.
ALL WORK PERFORMED BY QUEST WILL MEET CODE REQUIREMENTS.
EXPECTED LEAD TIME ABOUT (2) WEEKS. WORK TO BE DONE
BY OTHERS: CARPENTRY WORK TO MODIFY AND MAKE GOOD EXISTING
DOOR ENCLOSURE AND ELECTRICAL WORK FOR FAN (ELECTRICIAN
WILL NEED TO SUPPLY WEATHERPROOF LINE FOR FAN).
Grease - please call to REVIEW

CITY OF WHITE ROCK
Permits & Licences

NOV 28 1996

REGARD
JOHN

RECEIVED

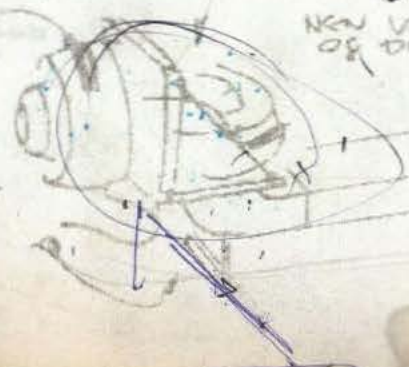
ELECTRICIAN TO SUPPLY
REVISION FAN LINE

EXISTING FAN REMOVED

NEW "NPD2 STICKER" 1/2 HP 30 FAN
SUPPLIED WITH (6) GREASE
CANNISTERS AND HOLD OPEN
EGRINE

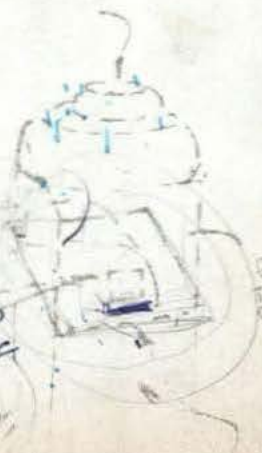
NEW LENGTH
OF DUCT ± 100" L

HINGED CAN MOUNT
AND SURGE



18" CLEAR
TO DUCT

INDICATION TO BE
REMOVED AT GROUND



EXISTING
DUCT
ENCLOSURE

EXISTING DUCT ENCLOSURE
BY OTHERS TO SUIT

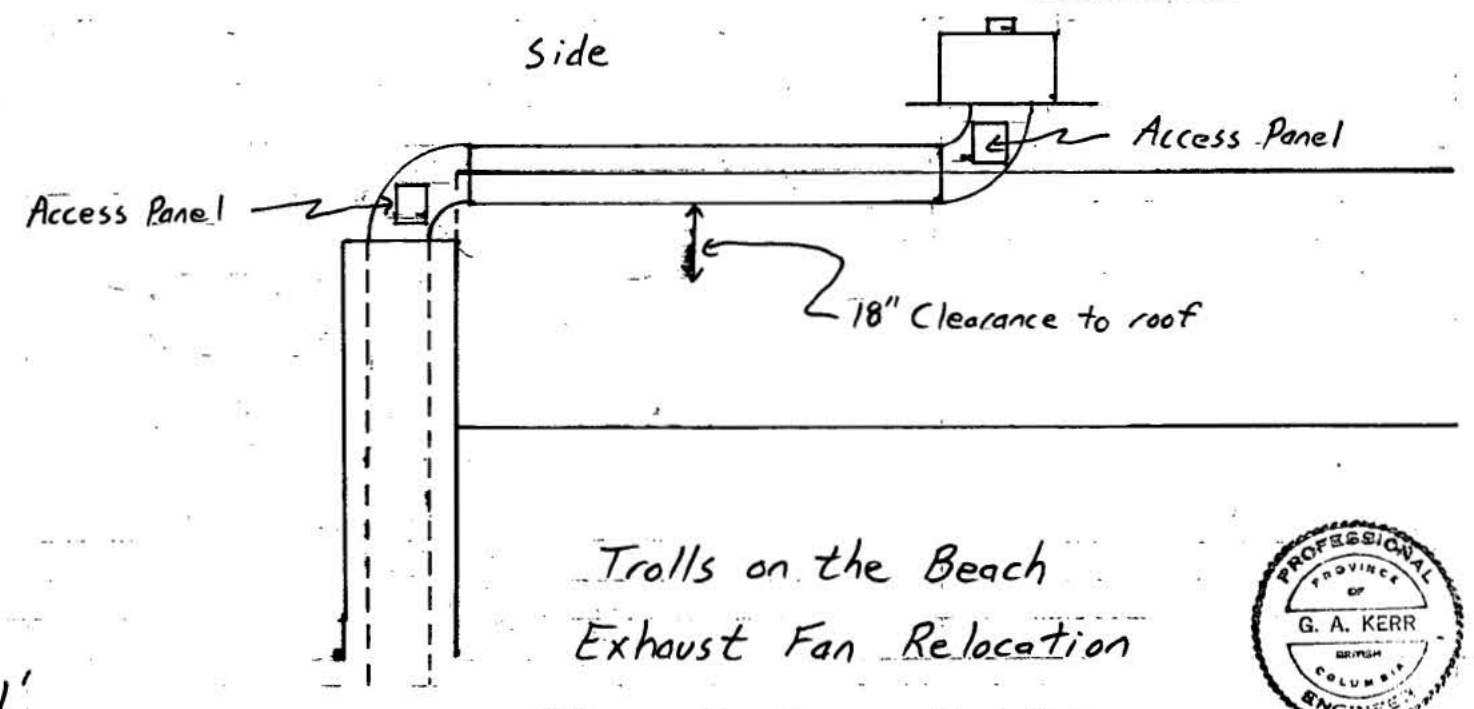
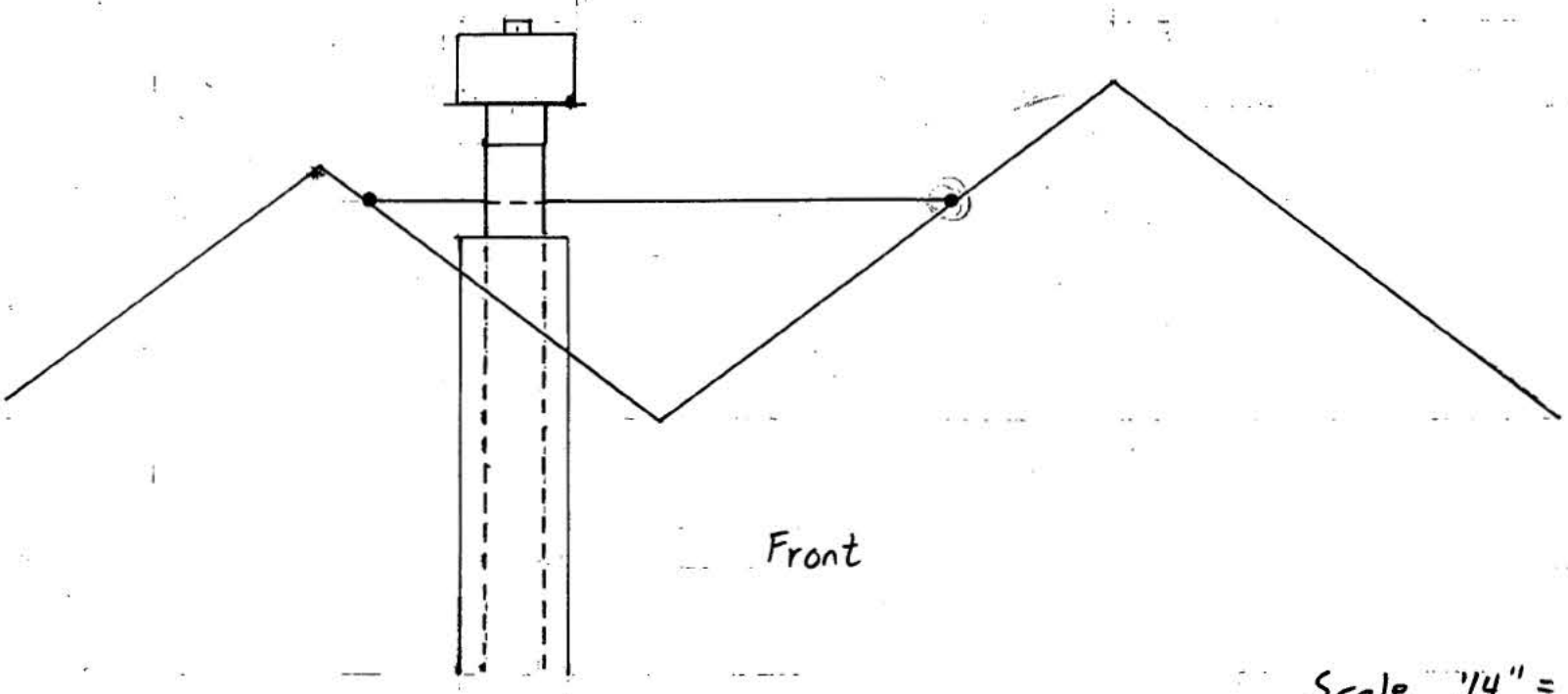
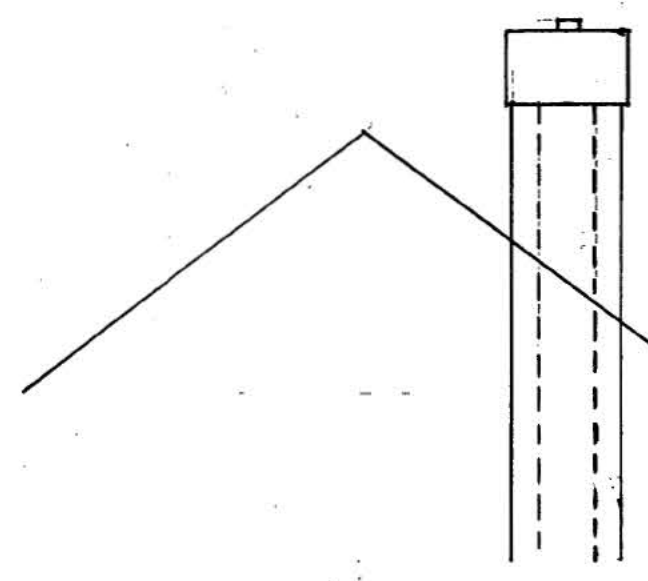
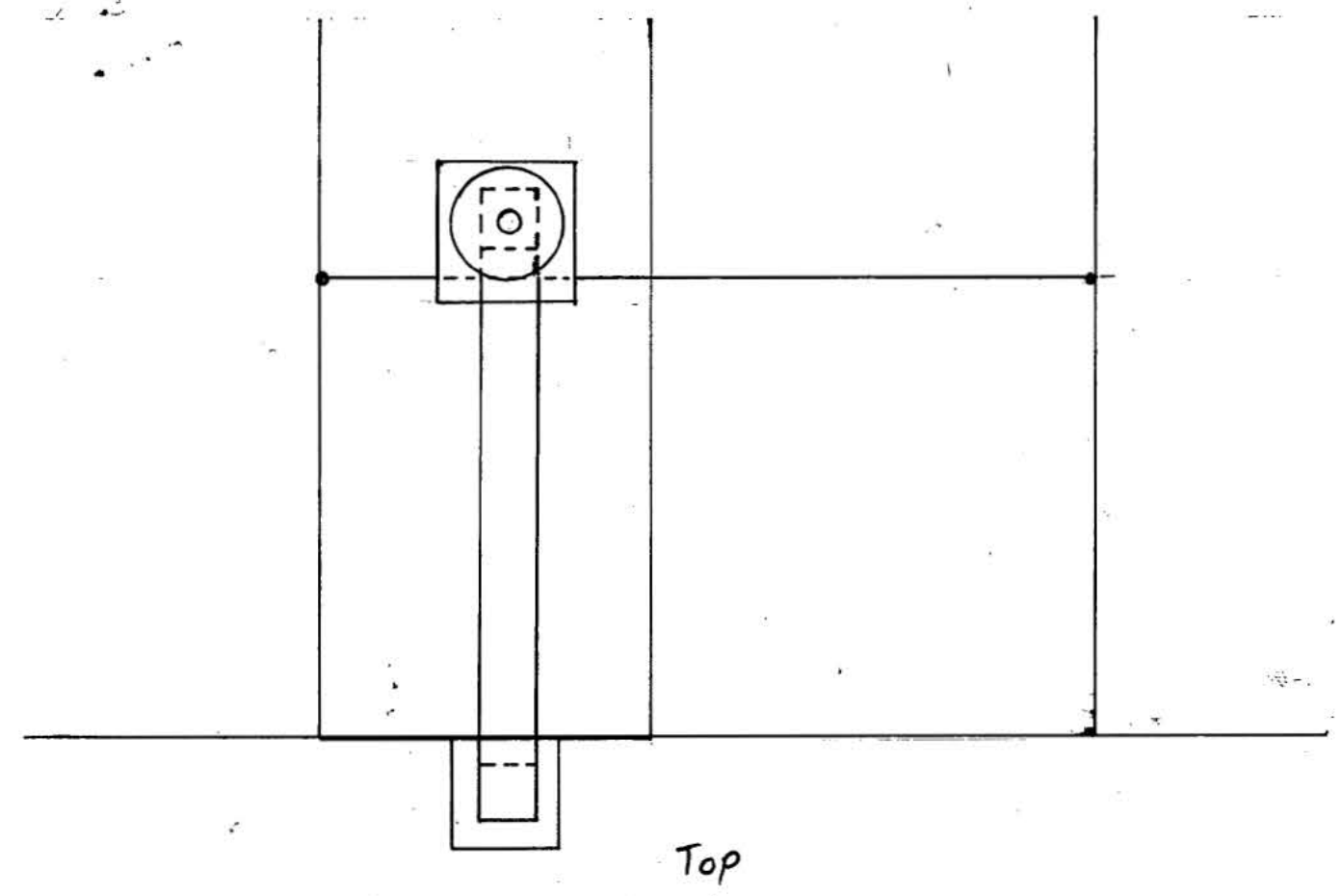
CITY OF WHITE ROCK
Permits & Licences

NOV 28 1996

RECEIVED



The review of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



Scale 1/4" = 1'

Trolls on the Beach
Exhaust Fan Relocation
Drawn by Gregor Kerr P. Eng.



134/96

THE CITY OF WHITE ROCK

PERMIT TO BUILD

Date: Nov 28 19 96 Roll # _____ Dev. Permit No. _____ Permit No. 134

Owner: T. Ellis Sanford Location: 1101 Elm St
 Address: 1101 Elm Legal: _____
 Architect: _____ Dev. Permit Area: Yes Zone: C 2
 Contractor: QUEST METAL WORKS Occupancy: COMMERCIAL
 Contractor's Address: 1233 JONES BLVD Name of Project: RECENTLY EXISTING METAL - 96 TEXAS

Description of Construction: N/A / 96 STANDARDS Lot Size: _____
 Truss Plan Req'd.: _____ Survey Plan Req'd.: _____ Max. Height: _____
 Size: 16" T3 Storeys: _____ Min. Yards: Front _____ R. Side _____ L. Side _____ Rear _____

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns		<u>N/A</u>		
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				

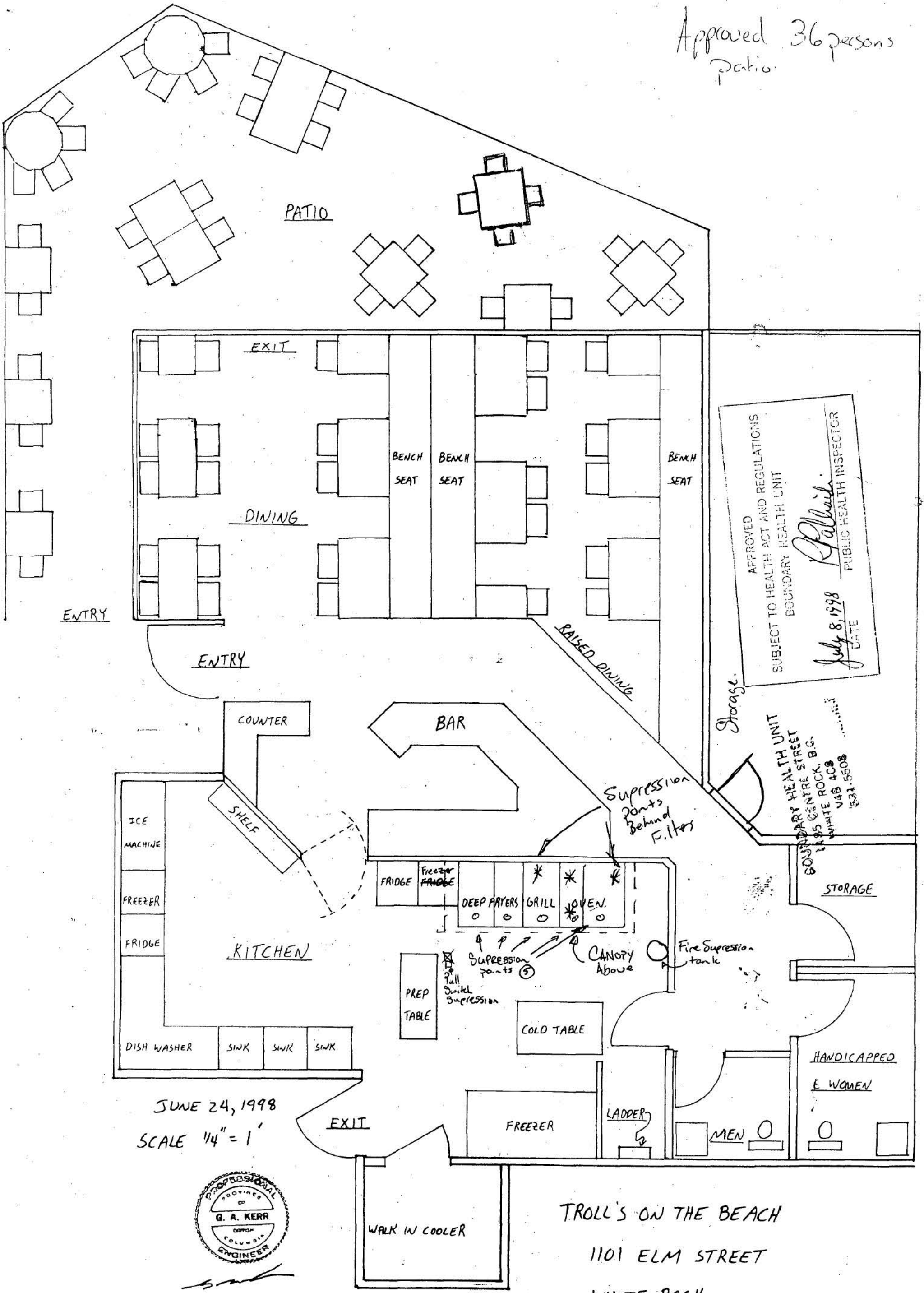
As per code
Yes

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ <u>3700</u>
Permit Fee	\$ <u>445</u>
	\$
	\$
Total Fees	\$ <u>445</u>

Owner or Authorized Agent: _____ Building Inspector: John C. L. (OVER)

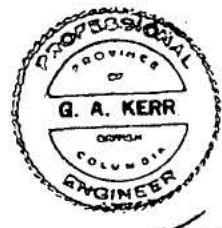
Approved 36 persons
Patio



APPROVED
 SUBJECT TO HEALTH ACT AND REGULATIONS
 BOUNDARY HEALTH UNIT
P. Pallua
 PUBLIC HEALTH INSPECTOR
 July 8, 1998
 DATE

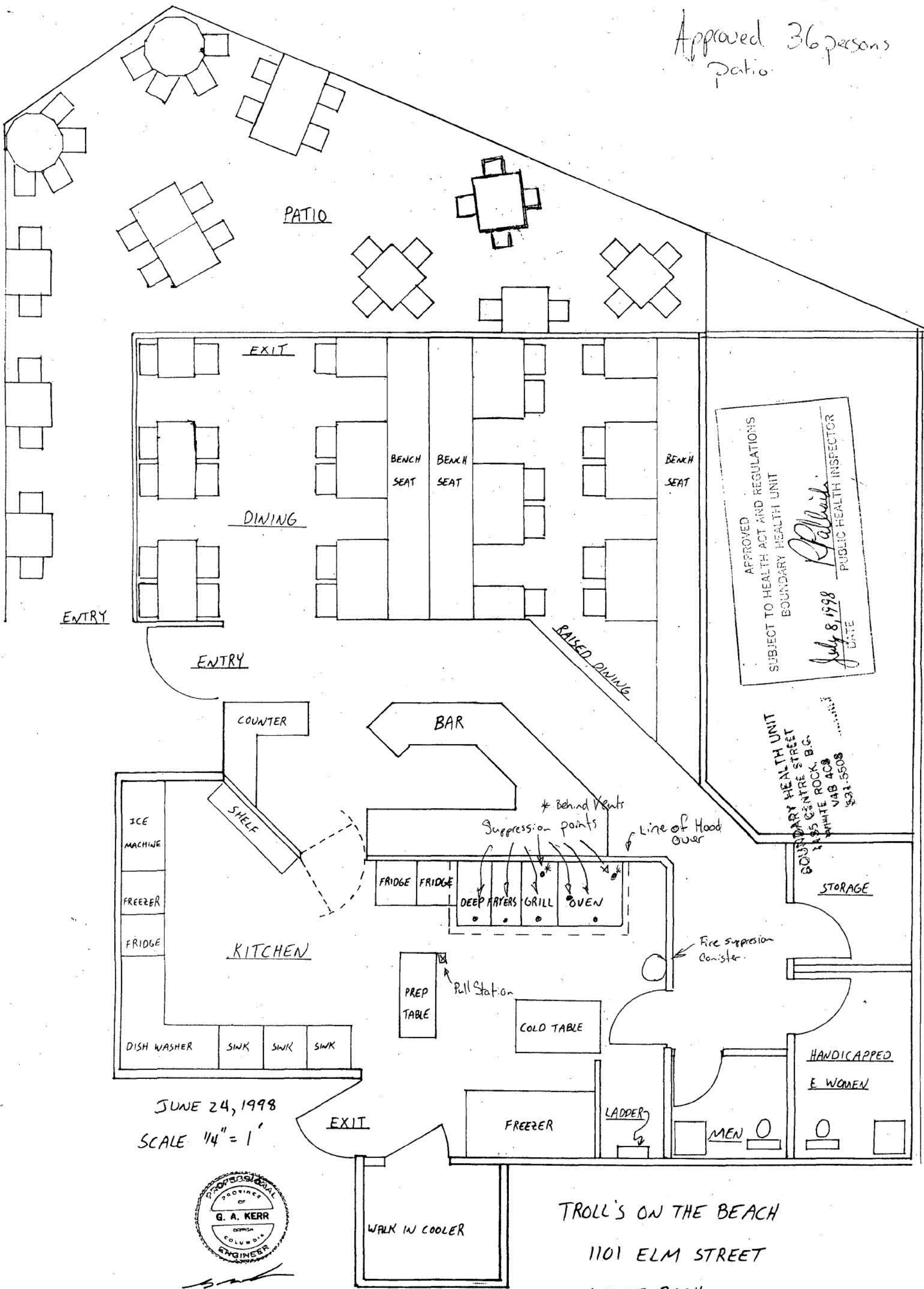
Storage.
 BOUNDARY HEALTH UNIT
 185 CENTRE STREET
 WHITE ROCK, B.C.
 V4B 4C8
 604-531-5508

JUNE 24, 1998
 SCALE 1/4" = 1'



TROLL'S ON THE BEACH
 1101 ELM STREET
 WHITE ROCK

Approved 36 persons
Patio



APPROVED
 SUBJECT TO HEALTH ACT AND REGULATIONS
 BOUNDARY HEALTH UNIT
P. Ballin
 PUBLIC HEALTH INSPECTOR
 July 8, 1998
 DATE

BOUNDARY HEALTH UNIT
 145 CENTRE STREET
 WHITE ROCK, B.C.
 V4B 4C8
 604-531-5508

JUNE 24, 1998
 SCALE 1/4" = 1'



TROLL'S ON THE BEACH
 1101 ELM STREET
 WHITE ROCK



THE CORPORATION OF THE CITY OF WHITE ROCK
DEPARTMENT OF PERMITS & LICENCES

TEL: 541-2136
FAX: 541-2153
15322 Buena Vista Ave.

APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. Sept 17 2002

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to

..... the building as follows:
upgrade fire suppression system

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: Development Permit #

Correct description of property

Street 1101 Elm St Size of land

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? yes

What are they, and what are they being used for? restaurant / state plan

How heated?

Entire value, when completed \$ 800

Name and mail address of owner Stew Padd Investments Phone: 531-3600

Name and mail address of builder Henson Fire Services Phone: 532 2072
7337 DW 3916 240 St, Langley V3A 7B9

Name and address of architect (if any)

Name and address of person or persons to whom permit is to be issued:
Name Stew Paddemors Address 1101 Elm St

Do you require to use street for placing material?

How long? Days

And I agree to conform to all requirements of said By-Law.

Roll No. Signature of Applicant:

Building Permit Fee: 3500 Paid Re

Plan Checking Fee:

Permit No. 02151

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



THE CORPORATION OF THE CITY OF WHITE ROCK
DEPARTMENT OF PERMITS & LICENCES

TEL: 541-2136
FAX: 541-2153
15322 Buena Vista Ave.

APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. OCT 2 , 2002

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to

Alter the building as follows:
Remove demising wall to extend restaurant floor area.

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: CR-7 Development Permit #

Correct description of property

Street 1101 Elm Size of land

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for? TROUS REST

How heated? N/A

Entire value, when completed \$ 5000

Name and mail address of owner SUPERD INVESTMENTS Phone:

Name and mail address of builder OWNER Phone:

Name and address of architect (if any) N/A

Name and address of person or persons to whom permit is to be issued:

Name ABOVE Address

Do you require to use street for placing material? NO

How long? Days

And I agree to conform to all requirements of said By-Law.

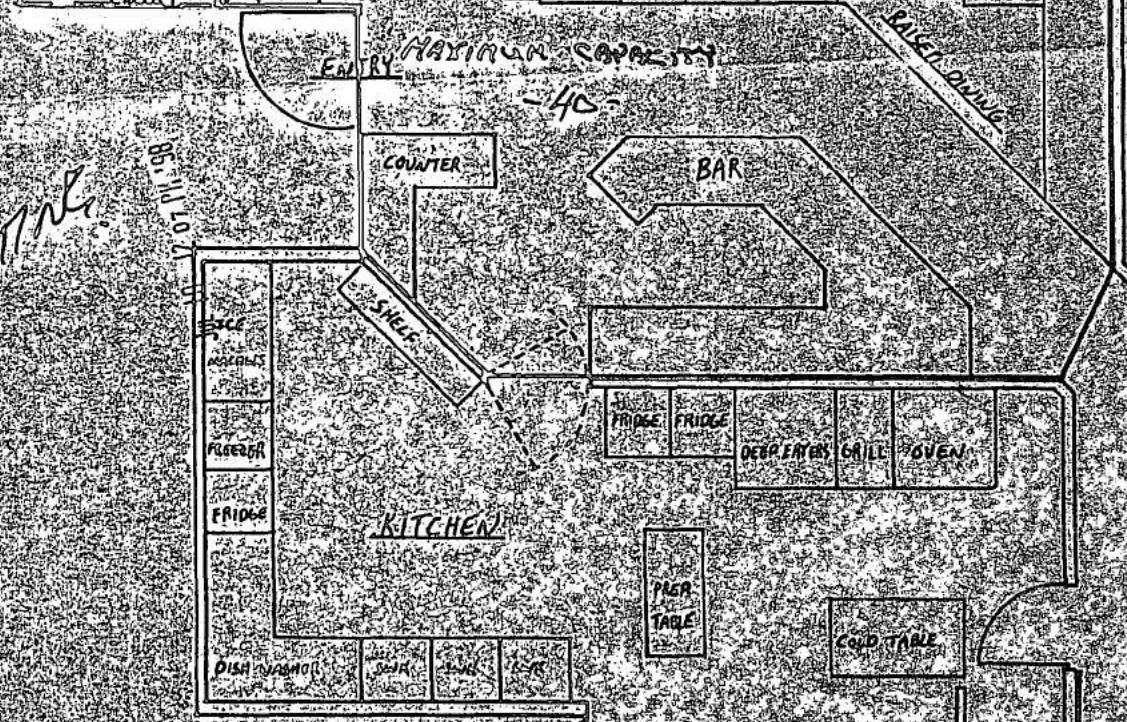
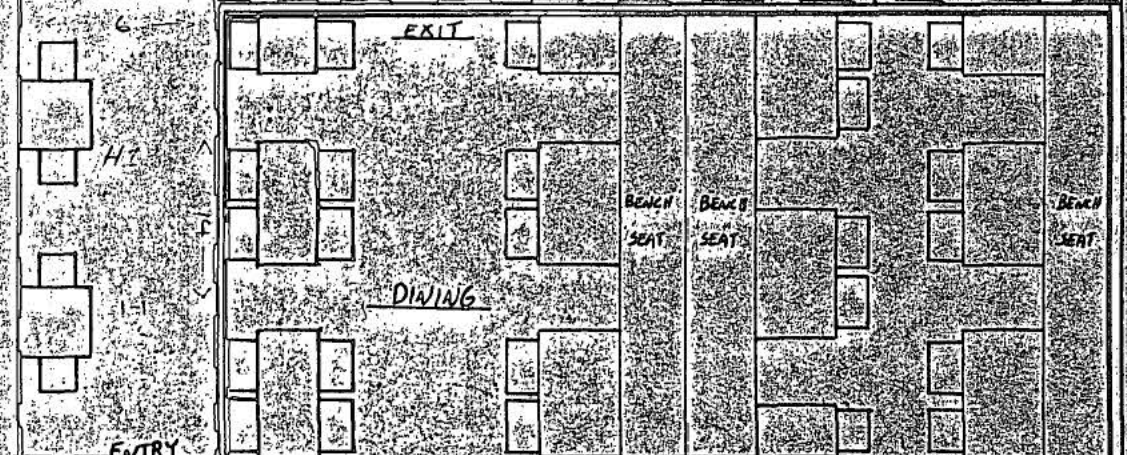
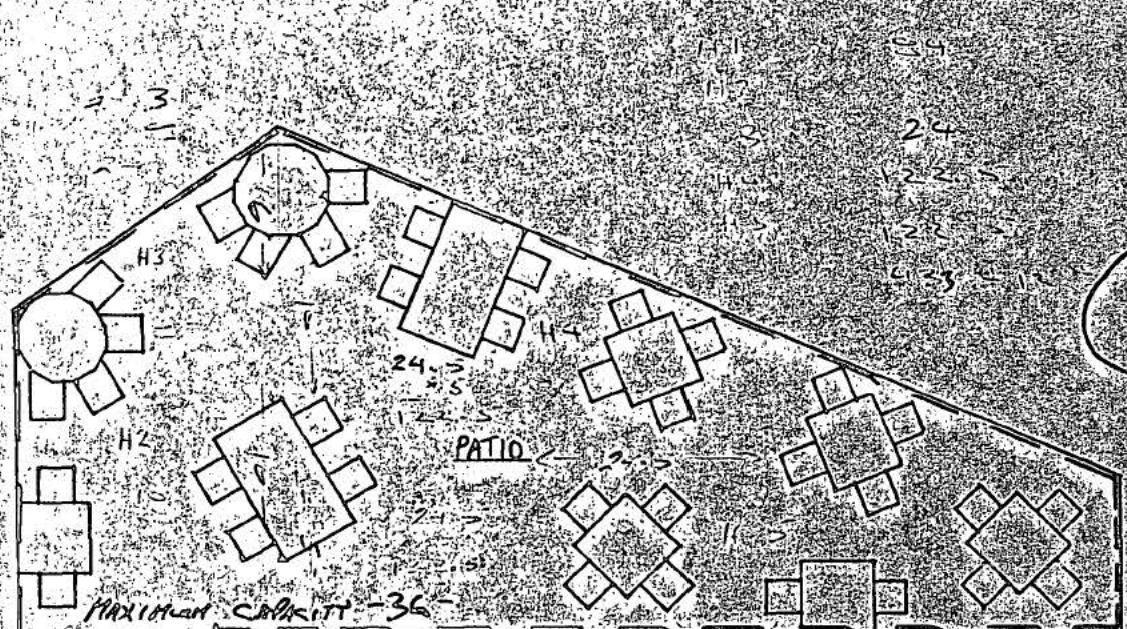
Roll No. 2199-001 Signature of Applicant: [Signature]

Building Permit Fee: \$ 7500 paid #02151 PE Y

Plan Checking Fee: see

Permit No. 02156

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



APPROVED
 SUBJECT TO HEALTH ACT AND REGULATIONS
 BOUNDARY HEALTH UNIT
 DATE: July 8, 1998
 PUBLIC HEALTH INSPECTOR

BOUNDARY HEALTH UNIT
 185 CENTRE STREET
 WHITE ROCK, B.C.
 V4B 1J2
 581-5608

Christina

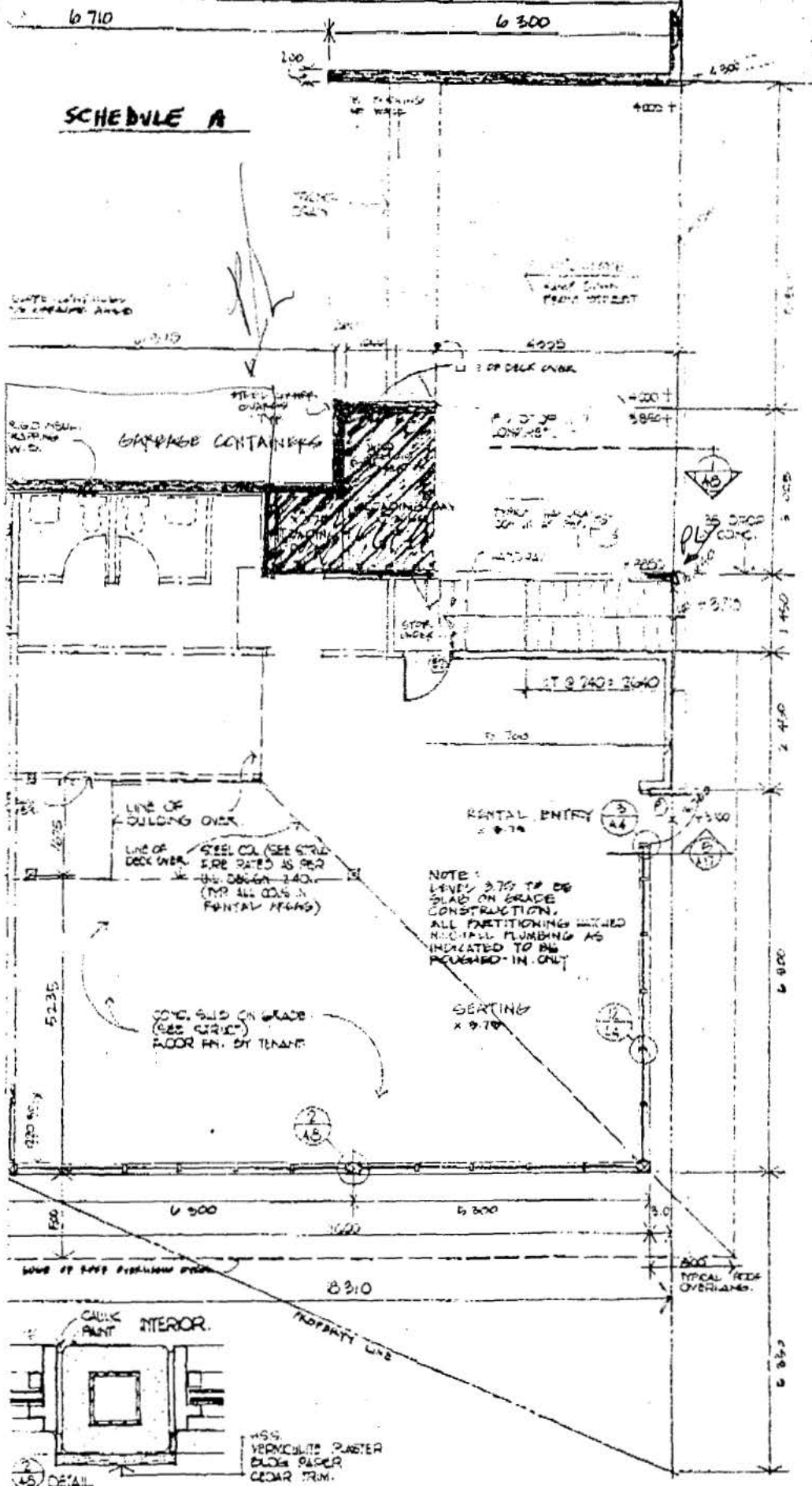
BR 110.0

JUNE 24, 1998
 SCALE 1/4" = 1'



TROLL'S ON THE BEACH
 1101 ELMA STREET
 WHITE ROCK

SCHEDULE A



PLAT 151079-1-10000 MARINE COURT TOWNHOUSE PROJECT STRATA LOT 17 NW 2317 CONGRESSIONAL DISTRICT 1504

REVISIONS/NOTES

- 1. EXISTING GRADE E.L.
- 2. PROPOSED GRADE E.L.
- 3. PL. E.L. RETAIN 10 JUNE 1984
- 4. ISSUED FOR BUILDING PERMIT 10 OCTOBER 1984
- 5. INTERIOR - CORNER RENTAL AREA 25 OCTOBER 1984

ELM. ST.

Project
MARINE COURT TOWNHOUSE PROJECT
 FOR
GC CONSTRUCTION LTD
 MARINE DRIVE
 AT ELM STREET
 WHITE ROCK, D.C.

STRATA LOT #17
 NW 2317

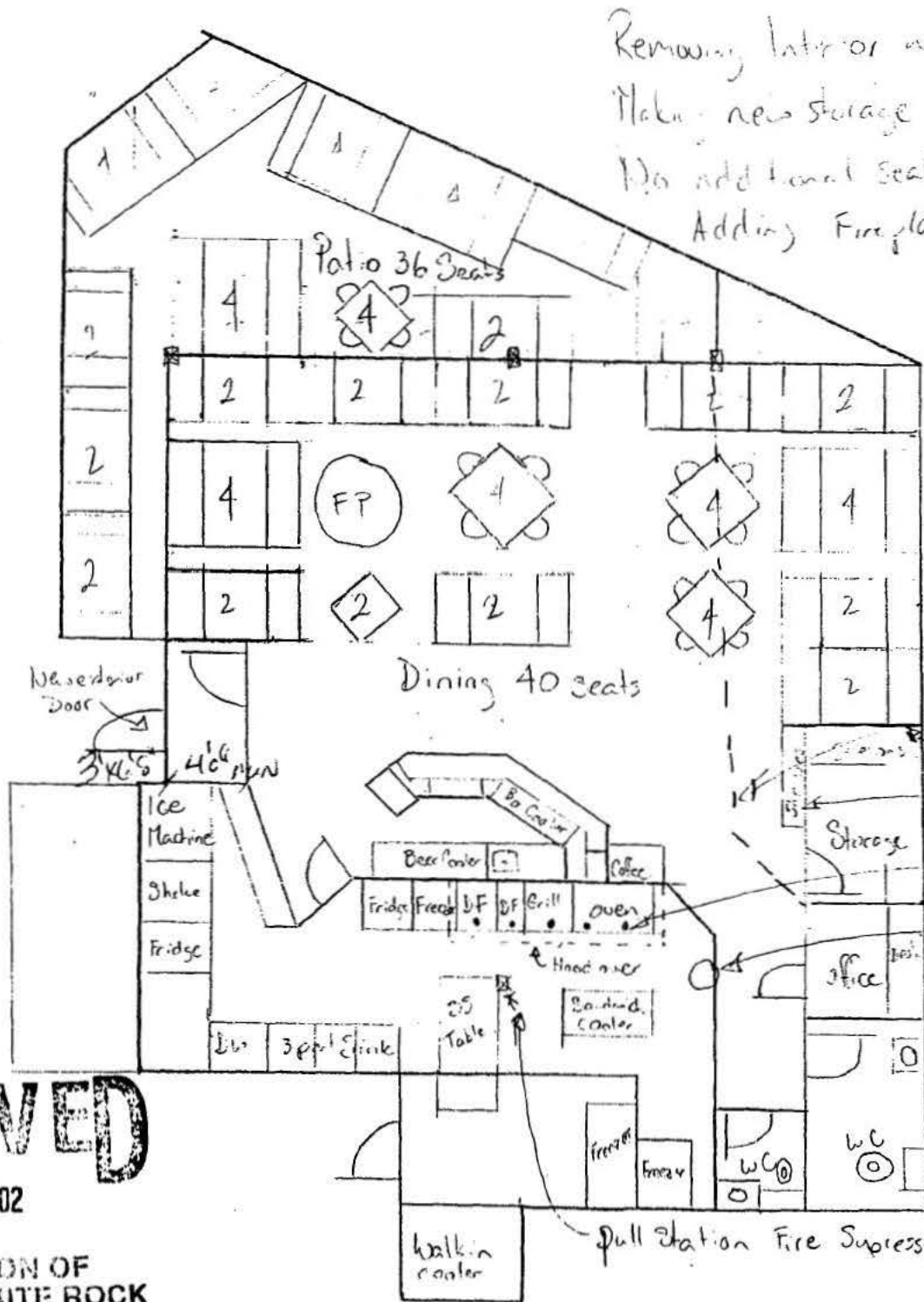
Drawing
RESTAURANT SOUTH-EAST CORNER
LEVEL ONE

Copyright reserved
 This drawing is the property of the architect and cannot be used or reproduced for purposes other than the project without the written consent.

Designed by N. HOTSON
 Drawn by G. M. J.
 Reviewed by N. HOTSON
 Date MARCH 30, 1984
 Scale 1:100

Project No. 8013
 Sheet No. **A8**

MARINE DRIVE



Removing Interior wall
 Make new storage smaller
 No additional seats
 Adding Fireplace

Troll's White Rock
 1101 Elm Street
 White Rock

Floor plan

Patio 36 Seats
 Dining 40 Seats

Call for inspection of
 FIRE RATINGS + FRAME WHEN EXPOSED

Old wall

New wall

• Equipment Fire
 Nozzle position
 Fire Suppression on water stat.

Redacted S. 22

RECEIVED

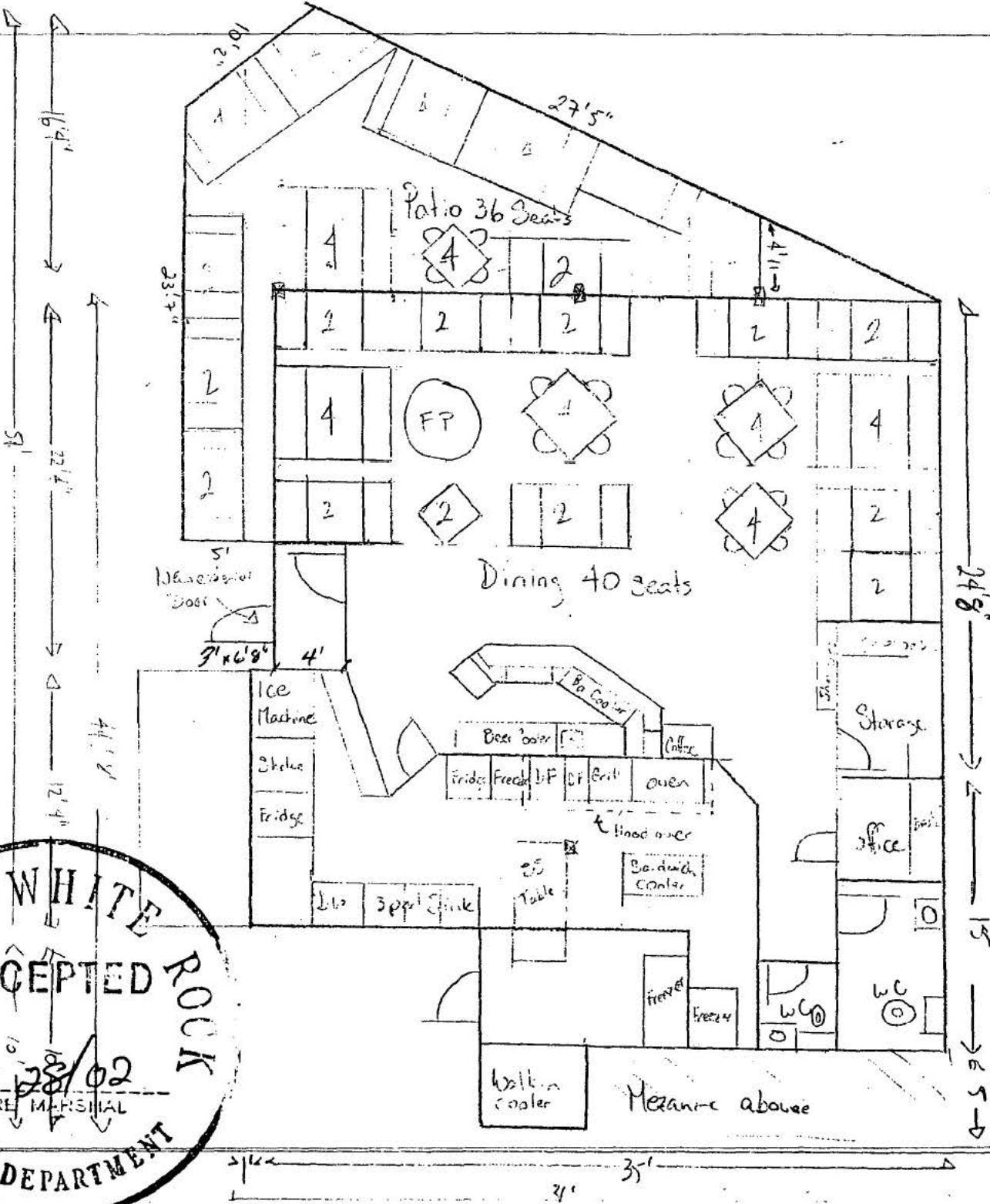
SEP 17 2002

CORPORATION OF
 THE CITY OF WHITE ROCK

Troll's White Rock
 1101 Elm Street
 White Rock

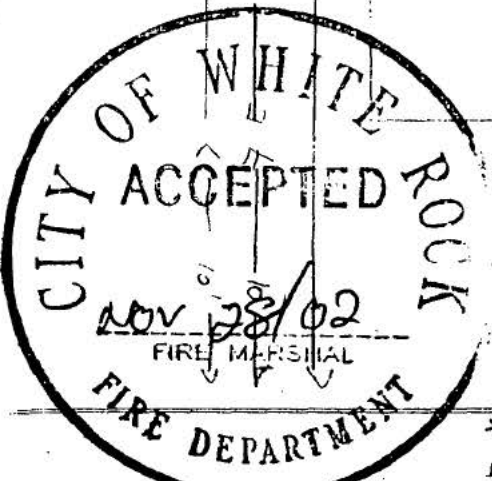
Floor plan

Patio 36 Seats
 Dining 40 Seats



* PERMIT REQUIRED FOR FIREPLACE

APPROVED
 SUBJECT TO HEALTH ACT AND REGULATION
 This approval does not exempt you
 from obtaining approval from other agencies
 DATE: Oct 9/02
 SIGNED: [Signature]
 PERMITTING INSPECTOR
 SOUTH SURREY HEALTH REGION



RECEIVED
 OCT 11 2002
 LIQUOR CONTROL & LICENSING BRANCH
 SURREY REGIONAL OFFICE

**THE CITY OF WHITE ROCK
PERMIT TO BUILD**

NOT ISSUED

Date:200..... Roll #..... Dev. Permit No..... Permit No. 02151

Owner <u>Tails [Redacted S. 22]</u>	Location <u>1101 Elm St</u>
Address	Legal
Architect	Dev. Permit Area
Contractor <u>Newson Fire Service 532 2012</u>	Zone <u>CR-4</u>
Engineer of Record	Occupancy <u>RESTAURANT</u>
	Description of Project <u>INSTANT FX System Upgrade</u>

Description of Construction _____ Lot Size _____ Size: _____ sq.m. Stories _____
 Setbacks: Front _____ Right Side _____ Left Side _____ Rear _____

- | | | |
|----------------------------|------------------------------|-----------------------------|
| Board of Variance approved | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Tree Bylaw | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Flood Plain | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Adjacent Water Course | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Form Survey Plan Received | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Truss Plan Received | Yes <input type="checkbox"/> | No <input type="checkbox"/> |

Occupancy _____
 Building Final _____

B.C.B..C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a **building** permit nor the approval of the relevant drawings and specifications nor inspections made by the **authority having jurisdiction** shall in any way relieve the **owner** of such **building** from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the **British Columbia Building Code**.

Value	\$ <u>800⁻</u>
Permit Fee	\$
Microfiche Fee	\$
Utility Inspection Fee	\$
	\$
	\$
Total Fees	\$ <u>35⁵⁰</u>

Owner or Authorized Agent..... Building Inspector.....

(OVER)

THE CITY OF WHITE ROCK PERMIT TO BUILD

Date: Nov 2 2002 Roll # Dev. Permit No. Permit No. 02151

Owner Address Architect Contractor <u>W. J. D. S. 512 512</u> Engineer of Record <u>512 2192</u>	Location <u>1101 ELM</u> Legal Dev. Permit Area Zone <u>CS 2</u> Occupancy <u>Residential</u> Description of Project <u>FX Upgrade</u>
--	--

Description of Construction Miss 910 Lot Size _____ Size: _____ sq.m. Stories _____
 Setbacks: Front _____ Right Side _____ Left Side _____ Rear _____

- | | | |
|----------------------------|------------------------------|-----------------------------|
| Board of Variance approved | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Tree Bylaw | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Flood Plain | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Adjacent Water Course | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Form Survey Plan Received | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Truss Plan Received | Yes <input type="checkbox"/> | No <input type="checkbox"/> |

Occupancy _____
 Building Final _____

B.C.B..C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a *building* permit nor the approval of the relevant drawings and specifications nor inspections made by the *authority having jurisdiction* shall in any way relieve the *owner* of such *building* from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Value	\$ <u>800</u>
Permit Fee	\$ <u>35</u>
Microfiche Fee	\$
Utility Inspection Fee	\$
	\$
	\$
Total Fees	\$ <u>835</u>

Owner or Authorized Agent [Signature] Building Inspector [Signature]

(OVER)

THE CITY OF WHITE ROCK

PERMIT TO BUILD

Date: October 2, 2002 Roll # _____

Dev. Permit No. _____ Permit No. 02120

Owner STANLEY K. M. MONTGOMERY
 Address _____
 Architect _____
 Contractor _____
 Engineer of Record _____

Location 1101 Elm St
 Legal _____
 Dev. Permit Area _____ Zone C-2
 Occupancy _____
 Description of Project Remove Demolishing wall

Description of Construction 12 m x 4 m x 10 m Lot Size _____ Size: _____ sq.m. Stories _____

Setbacks: Front _____ Right Side _____ Left Side _____ Rear _____

- | | | |
|----------------------------|------------------------------|-----------------------------|
| Board of Variance approved | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Tree Bylaw | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Flood Plain | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Adjacent Water Course | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Form Survey Plan Received | Yes <input type="checkbox"/> | No <input type="checkbox"/> |
| Truss Plan Received | Yes <input type="checkbox"/> | No <input type="checkbox"/> |

Occupancy _____
 Building Final _____

B.C.B..C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a *building* permit nor the approval of the relevant drawings and specifications nor inspections made by the *authority having jurisdiction* shall in any way relieve the *owner* of such *building* from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Value	\$ <u>500</u>
Permit Fee	\$ <u>75</u>
Microfiche Fee	\$
Utility Inspection Fee	\$
	\$
	\$
Total Fees	\$ <u>75</u>

Owner or Authorized Agent _____ Building Inspector _____

(OVER)

**THE CITY OF WHITE ROCK
PERMIT TO BUILD**

D-7.

Date: Nov 28 2002 Roll: 2199-101 Dev. Permit No. _____ Permit No. 02156

Owner: <u>Shekell Investments</u> Address: _____ Architect: _____ Contractor: _____ Engineer of Record: _____	Location: <u>1101 Elm St</u> Legal: _____ Dev. Permit Area: _____ Zone: <u>CR-4</u> Occupancy: <u>Residential</u> Description of Project: <u>Extend Seasonal Area</u>
---	---

Description of Construction: Frame 5 1/2' Porch Lot Size _____ Size: _____ sq.m. Stories _____
 Setbacks: Front _____ Right Side _____ Left Side _____ Rear _____

- | | | |
|----------------------------|------------------------------|--|
| Board of Variance approved | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| Tree Bylaw | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| Flood Plain | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| Adjacent Water Course | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| Form Survey Plan Received | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| Truss Plan Received | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |

Occupancy: Residential
 Building Final: _____

B.C.B.C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the authority having jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Value	\$ <u>5000</u>
Permit Fee	\$
Microfiche Fee	\$
Utility Inspection Fee	\$
	\$
	\$
Total Fees	\$ <u>750</u>

Owner or Authorized Agent: As per application Building Inspector: Plowman

(OVER)



THE CORPORATION OF THE CITY OF WHITE ROCK
DEPARTMENT OF PERMITS & LICENCES

TEL: 541-2136
FAX: 541-2153
15322 Buena Vista Ave.

APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. DEC. 5/2006 2006

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to Tenant Improvement the building as follows:

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: CR-2 Development Permit #

Correct description of property LOT 18, SEC 10, TPI, NWD, PLAN NWS2317

Street 14869 Marine Dr Size of land

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for? COMMERCIAL

How heated?

Entire value, when completed \$ 15,000

Name and mail address of owner Redacted S. 22 - 1063181 Alberta LTD. Phone: Redacted S. 22 *

Silvercreek Dev Corp #300-509 8th Ave, SW Calgary

Name and mail address of builder Phone:

Jeff Martens - 604-309-1704 (Backup #)

Name and address of architect (if any)

Name and address of person or persons to whom permit is to be issued:

Name Redacted S. 22 Address SAME

Do you require to use street for placing material?

How long? Days

And I agree to conform to all requirements of said By-Law.

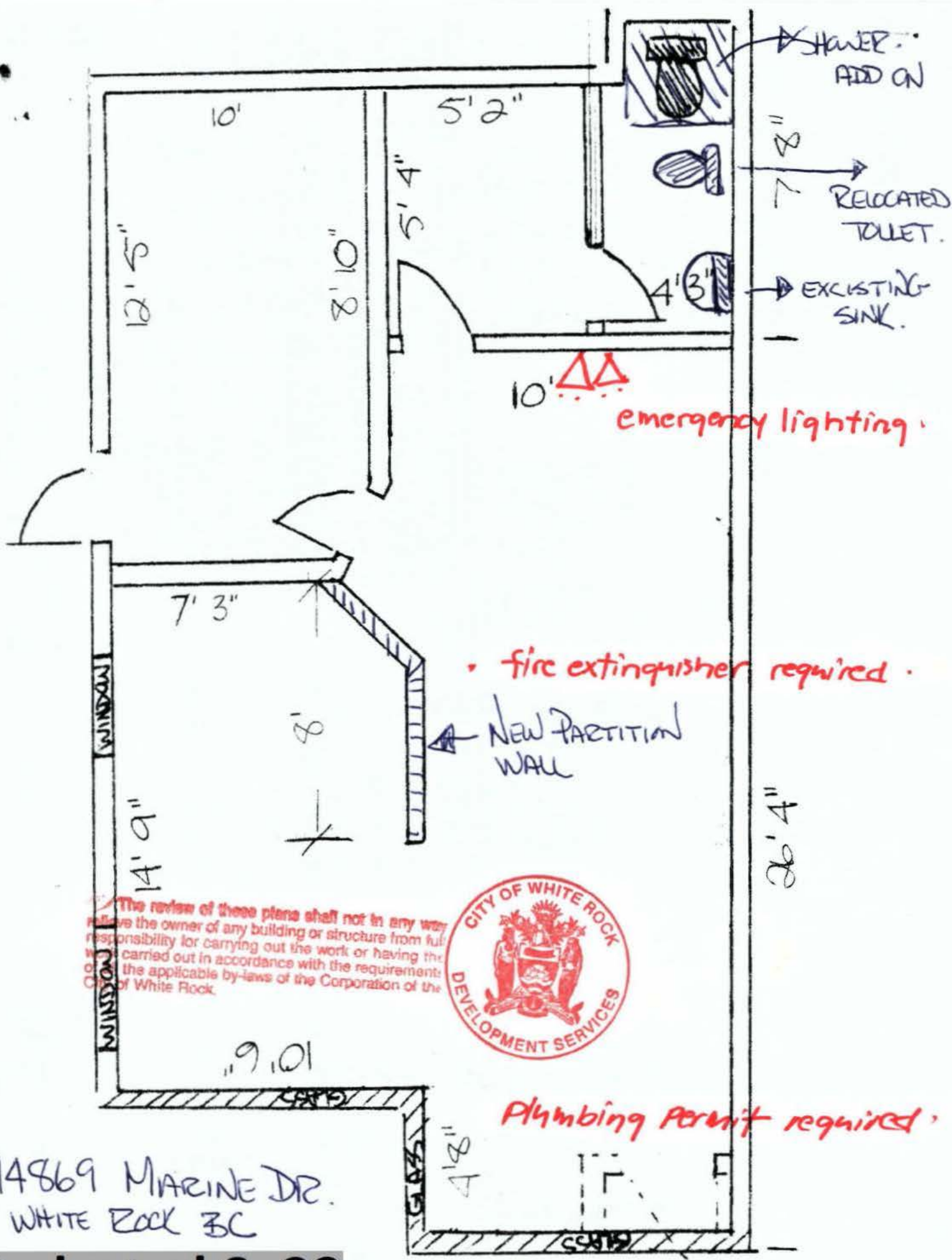
Roll No. 2199.018 Signature of Applicant: Redacted S. 22

Building Permit Fee: 197 \$ 50

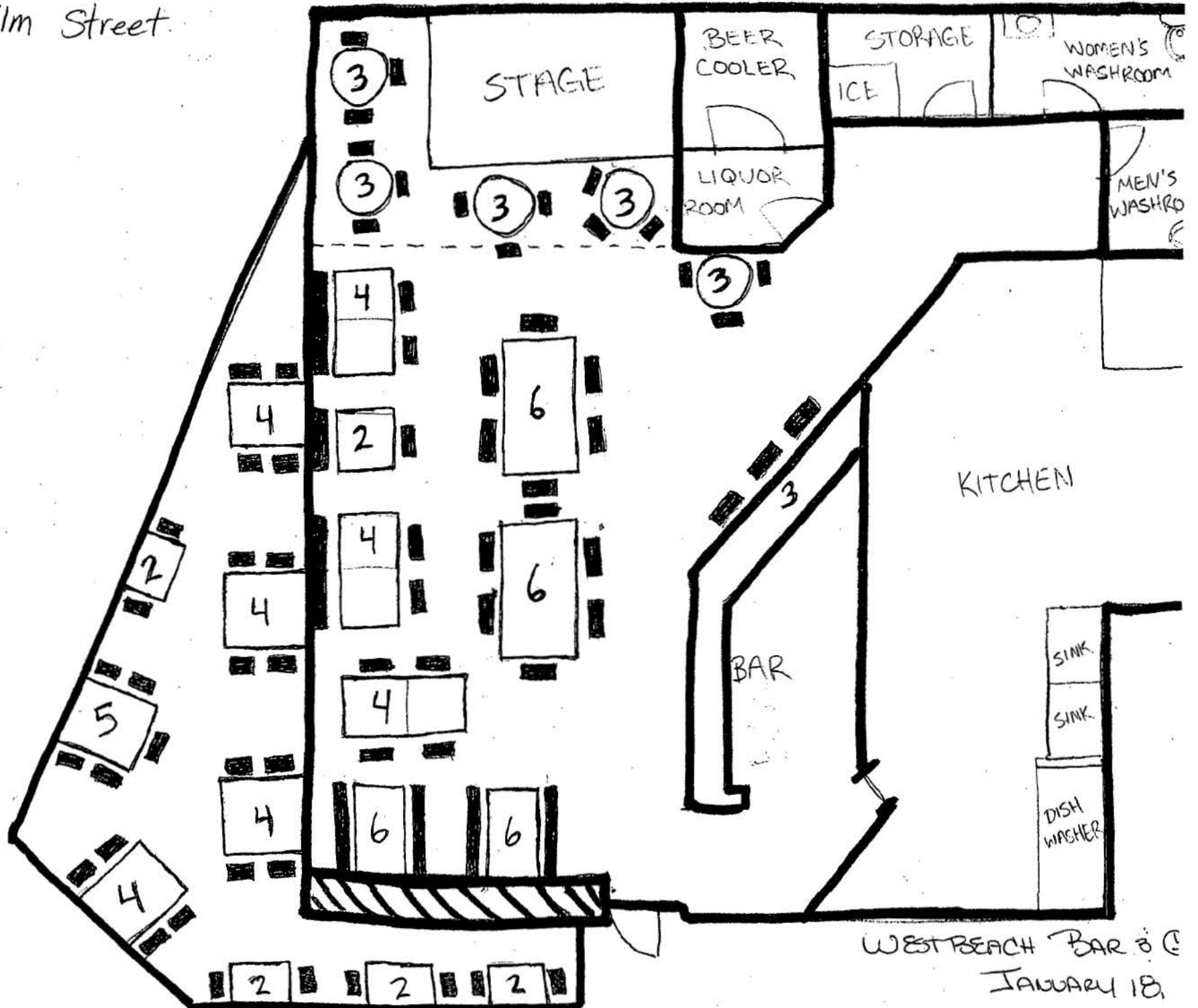
Plan Checking Fee: 147

Permit No. 06164 197-

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



1101 Elm Street.



WEST BEACH BAR & CAFE
JANUARY 18,