

December 18, 2020

FOI No: 2020-57

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *the Engineers Report, Asbestos Report, and detailed building permit issued to #206, 1520 Vidal Street, White Rock*
- *all emails, reports & information submitted with the application and permits associated with the renovations in unit #206, 1520 Vidal Street, White Rock.*

Access to these records is available. However, some of the information in the records is excepted from the disclosure requirements of the Act. I have severed the excepted information so that I could disclose to you the remaining information as attached.

The severed information is excepted from disclosure under section 22 of the Act. Severing is necessary to avoid disclosing any third-party personal information without permission.

Please note that the current permitting associated with this address does not require any engineering reports or hazardous materials reports.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.



Application for Building Permit

Planning and Development Services
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
Phone: 604 541 2135 Fax: 604 541 2153
Website: www.whiterockcity.ca

Date: (NOVEMBER 05, 2020) November 10 / 2020 Folder # BP 020 719
Access Code # _____

Landslide Area:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Development Permit Area:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Board of Variance:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Floodplain:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Pumping Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Demolition Permit:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following address. Copy of Plans for the Proposed Building or Alteration to Accompany this Application.

PROPERTY INFORMATION

Civic Address: 206-1520 VIDAL STREET White Rock, BC V4B 3T7

Zoning: _____ Usage of Property: SFD Multi LUC: Yes No

Legal Description: STRATA LOT 17, PLAN NWS 1572 PART NE 1/4 SECTION 10, TOWNSHIP 1, NEW WESTMINSTER LAND DISTRICT Roll number: 001933017

Description of Work: 1. MODIFICATION KITCHEN, DINING AREA & SHOWER STALL OF NON STRUCTURAL WALLS
2. REPLACEMENT OF PLUMBING. 3. UPDATE ELECTRICAL. 4. PAINTING THROUGHOUT.
5. NEW KITCHEN WITH APPLIANCE REPLACEMENT. Project Value: \$ 70,000.00
6. FLOOR LEVELING FOR NEW FLOORS. 7. NEW DOORS 8. NEW REPLACEMENT LIGHTING.
9. NEW LAUNDRY REPLACEMENT

Name on Title: **Redacted S. 22**

Address of Owner: 206-1520 VIDAL STREET, WHITEROCK, B.C.

Owner's Phone: **Redacted S. 22** Owner's Email: _____

BUILDER INFORMATION

Name and address of builder or agent ENGLISH OAK RENOVATION + DESIGN
507-2979 GLEN DRIVE, COQUITLAM, BC V3B 0B2

Phone: 778-893-5534 (ext) Email: info@oakreno.com
604-761-2336

Business Licence #: 2011316000iv
TRI CITIES

I agree to conform to all requirements of The City of White Rock Bylaws

Print Applicant Name: **Redacted S. 22**

Signature of Applicant: _____

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Building Permit Fees	
Building Permit	
Secondary Suite	
Microfiche	
Total	

Plans Examiner Information

Maximum Building Height: _____

Angle of Containment: _____

Comments: _____



Building Permit Application Checklist for Interior Renovation – Multi-Family

An appointment is required with a Building Official in order to make a building permit application. To make an appointment please email building@whiterockcity.ca or call 604-541-2149.

Incomplete Building Permit applications cannot be accepted, it the responsibility of the applicant to ensure that they have all required documentation and submissions prepared for a complete application to be accepted.

Civic Address:			
File Manager:		Building Permit Number:	

Additional Permit Requirements	YES	NO
Will there be any changes to the exterior of the building? <small>If yes a development permit for Form and Character may be required to be submitted</small>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site located in the Flood Plain Development Permit Area <small>If yes, a Development Permit may be required, see Official Community Plan</small>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site located in the Ravine and Significant Trees Development Permit Area <small>If yes, a Development Permit may be required, see Official Community Plan</small>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site located in the Watercourse Development Permit Area <small>If yes, a Development Permit may be required, see Official Community Plan</small>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Required Building Permit Application Documents	Included	N/A
Building Permit Application Form	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Schedule 1 – “Owner’s Acknowledgment of Responsibility and Undertakings”	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Owner’s Authorization Form	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Strata Authorization Form (Required if property is within a strata)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Land Title Search (dated within 30 days of the date of application)	<input type="checkbox"/>	<input type="checkbox"/>
2 Sets of architectural drawings (see next page on details for drawing requirements)	<input type="checkbox"/>	<input type="checkbox"/>
2 Sets of original sealed structural drawings (Required if structural design does not meet Part 9 of the BC Building Code) <i>LETTER</i>	<input type="checkbox"/>	<input type="checkbox"/>
Original sealed Letters of Assurance (Schedule B for registered professional)	<input type="checkbox"/>	<input type="checkbox"/>
Schedule 2 – “Proof of Professional Liability Insurance” for each registered professional	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Certificate of Insurance for each registered professional	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Original sealed Schedule A from Coordinating Registered Professional (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>
Building Permit Application Fee <i>\$205.00</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

RECEIVED

NOV 10 2020

PLANNING & DEVELOPMENT
CITY OF WHITE ROCK

REQUIREMENTS OF ARCHITECTURAL DRAWINGS FOR BUILDING PERMIT APPLICATION

The purpose of the architectural drawings are to demonstrate compliance with City's Zoning Bylaw as well conformance with applicable construction regulations including the BC Building Code. The quality and detail of the building permit drawings are critical to ensure a timely review of your permit application. All permit drawings are to be drawn in accordance with an architectural standard. The following drawings are required for your building permit application and are to show the following (but not limited to):

Floor Plans Existing and Proposed:

1. Required to be drafted to a minimum scale of ¼" to 1'-0" (or equivalent Metric scale);
2. Provide a key plan for the floor the suite is located on;
3. Identify the use/occupancy of each suite adjacent to the subject suite;
4. Floor plans are required for each floor, including mezzanines;
5. Show the overall dimension and square footages for all floors, label the use of all rooms, show the interior dimensions and square footages of all rooms;
6. Show all existing and new partition walls, including walls separating the suite from adjacent spaces, including details of the fire resistance rating and sound transmission classification of the wall assemblies;
7. Show washrooms and all plumbing fixtures;
8. Indicate the construction of the walls including the wall finish material, new and existing, (i.e., stud size, spacing and thickness of interior finish);
9. Show all doors, hallways and stairs, indicating the sizes of all doors and the direction of their swings;
10. Show stairs and indicate width of stairs; and
11. Indicate width and length of hallways.

Elevations: (required if work is proposed to the exterior)

1. Required to be drafted to a minimum scale of ¼" to 1'-0" (or equivalent Metric scale);
2. Show exterior finish material, including colour;
3. All windows, doors, decks, guards, stairs and handrails;
4. Provide spatial separation calculations for each elevation;
5. Proposed and existing grades and top of foundation elevations shown at each corner of the building; and
6. Include dimensioning of overall building height, including dimensions of floor assemblies and height between floor and ceiling levels.

SCHEDULE “1”

FORM A - Owner’s Acknowledgment of Responsibility and Undertakings

Re: Address 206-1520 YLDAL STREET, WHITEROCK, B.C. V4B 3T7
Building Permit Application No. _____

1. I am the owner of the land and premises located at ²⁰⁶⁻1520 YLDAL ST., White Rock, B.C.
2. I understand and acknowledge that I am fully responsible for carrying out the work, or having the work carried out, in accordance with the requirements of the **Building Code**, the Building Bylaw No. 1928 and all other bylaws of the City of White Rock.
3. I will comply with, or cause those whom I employ to comply with, the **Building Code** and all bylaws of the City of White Rock and other statutes and regulations relating to the development, work, undertaking or permission in respect of which this application is made.
4. I understand and acknowledge that neither the issuance of a permit under Building Bylaw No. 1928, the review of plans and supporting documents, nor inspections by a building official shall in any way constitute a representation, warranty, or statement that the **Building Code**, Building Bylaw No. 1928, or any other bylaw of the City of White Rock has been complied with.
5. If the material submitted in support of the application for this Building Permit included certification provided by Registered Professionals as referred to in the **Building Code**, I understand and acknowledge that the City of White Rock and its **Building Officials** have relied on those letters of assurance as certification that the design and plans to which they relate comply with the **Building Code** and other applicable enactments.
6. In particular, I understand and acknowledge that the City has relied on the letters of “Assurance of Professional Design and Commitment for Field Review” provided by:

(Insert the name of the Registered Professionals where applicable)

Architectural: _____

Building Envelope: _____

Structural: ENGLISH OAK RENOVATION & DESIGN LTD.

Mechanical: _____

Plumbing: RAPTOR PLUMBING, HEATING AND GAS LTD / DAVINDOR LIDHAR

Fire Suppression Systems: _____

Electrical: PARHAM PARSADOUST-FLASH-TECH ELECTRIC INC

Geotechnical – temporary: _____

Geotechnical – permanent: _____

in reviewing the plans and supporting documentation submitted with this application for a Building Permit.

7. I am authorized to make this acknowledgement of responsibility and give these undertakings to the City of White Rock.

8. I understand that it would be prudent for me to seek independent legal advice with respect to the responsibilities I am assuming upon the granting of a Building Permit by the City of White Rock pursuant to this application and in respect of the execution of this acknowledgment.

Signed this 5th day of Nov 2020

Redacted S. 22

Signature of owner (or signing officer if the owner is a corporation)

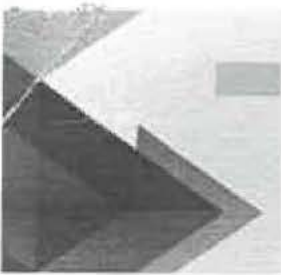
Signed this 08 day of Nov 2020

Redacted S. 22

Witness

AGENT / AUTHORIZED
Occupation

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NOV 10 2020
PLANNING & DEVELOPMENT
CITY OF WHITE ROCK



Alireza Aminafshari, P.Eng
Structural Engineer, Project Manager

Date: 05/11/2020

Project Address: #206 – 1520 Vidal street, White rock

TO WHOM IT MAY CONCERN:

As requested by owner of the above unit, for removing some parts of interior kitchen wall, dining area and a part of the Closet between the hallway and bathroom as marked on the floor plan. I reviewed the original building drawings and based on the site visit the ceiling made by 2x10 inches joists with 16-inch spam and seating on the structural walls. The kitchen interior wall, dining area and the part of the closet were designed as non-load bearing walls. So, the removal or modification of these walls would not affect the structural integrity of the building.

Please contact me if you need additional information.

Regards

Alireza Aminafshari P.Eng



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NOV 10 2020

PLANNING & DEVELOPMENT
CITY OF WHITE ROCK

Cell: 604-761-2336

Redacted S. 22



Garry Wolgemuth <acusun@telus.net>

Sandhurst Strata Council Renovation Approval Letter Unit 206

1 message

Redacted S. 22

Wed, Oct 28, 2020 at 11:50 AM

To: Redacted S. 22

Cc: Redacted S. 22

"strata, sandhurst" <sandhurst.strata@gmail.com>

Hello

The Sandhurst Strata Council approves the renovations you have listed in your request. Before any demolition or construction can start we require a copy of the Engineers report for the removal of walls in the "three" areas on your unit-Kitchen, living room, and bathroom.

We also require a copy of the building permit, any plumbing permits, and any electrical permits.

You are responsible for all cleanup. No construction debris is to be placed in our garbage bins.

Redacted S. 22

Sandhurst Strata President

October 28th, 2020

Redacted S. 22

Strata President

Redacted S. 22

1520 Urdal St.
White Rock

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PLANNING & DEVELOPMENT
CITY OF WHITE ROCK

SANDHURST

Strata Plan NW1572

Tuesday, October 20, 2020
To whom it may concern:

I, **Redacted S. 22**, am forwarding to you a Letter of Intent, for Renovation of 206-1520 Vidal Street, White Rock, B.C. V4B 3T7.

Renovation includes:

Plumbing - Permits and inspections, demolition and installation

All plumbing updated including Bath/Shower, shower stall, 2 toilets
2 vanities, laundry room with washer and dryer, full kitchen.
Changing all shut off valves and connection lines.

Electrical - Permits and inspections

All electrical updated including base board heaters.

Construction - Upon inspection for structural beams.

Removal of kitchen closet and partial dining room wall.
Total kitchen reno including new appliances.

Floors

Due to floors being uneven, a full sound proof levelling and underlay will be applied throughout, before floor installation.

Painting throughout.

Please find enclosed the Contractor Information, to begin proceedings for the renovation in conjunction to receiving Strata and the City of White Rock approval.

Permits will be retrieved by the said contractor.

We would like to request a start date of Monday, October 26, 2020.

Contractors hours would be 9am - 5pm, Monday thru Friday.

As per instructed a 2 day notice will be given for water shut off to Strata and Ray from Ener will be contacted to shut off water for the building and return to turn back on. It is understood that the water will not be turned off for more than 4 hours at a time.

Thank you for your consideration as I submit this renovation request in a proper and timely manner.

Yours truly

Redacted S. 22

Redacted S. 22

Strata President
1520 Vidal
Street
White Rock

As per instructed
I am including further details on plumbing,
electrical and kitchen.
Please find listed on back of sheet.

OVER →

Redacted S. 22

Plumbing

Main bathroom

Change of shower stall to a 5 foot in length shower with DensShield and blue guard applied.

New drywall and tile surround.

Master bathroom Ensuite

Removal of existing tile on 3 sides of bathtub/shower.
Removal of bathtub/shower.

Drywall cut-out to remove old faucet and insert new.
DensShield and blue guard applied.

New drywall, new bathtub/shower combo.
New tile on 3 sides of bathtub/shower.

Electrical

Electrician will relocate electrical that is within the two walls removed from kitchen and dining area.

Kitchen

Island with available seating

Refrigerator will be moved 6 feet along same existing wall to an already present socket.

Socket will be increased in voltage to accommodate the refrigerator.

Range and dishwasher will remain in same positions.

The existing two ceiling sockets will remain the same without addition.

THE CORPORATION OF THE CITY OF WHITE ROCK
BUILDING PERMIT



DATE OF ISSUANCE:

NOV 18 2020

BUILDING PERMIT No: BP020719

ROLL No: 001933.017

PROJECT ADDRESS: 206 1520 VIDAL ST

LEGAL DESCRIPTION: LT 17/ SEC 10/ NWD/ PL NWS1572/ TWP 1

ZONE: RM-2

DESCRIPTION OF PROJECT:

Unit #206
Renovations

OWNER: **Redacted S. 22**

Phone: **Redacted S. 22**

ADDRESS:

BUILDER: ENGLISH OAK RENOVATION & DESIGN

Phone: 604 761 2336

ADDRESS: #507 - 2979 GLEN DRIVE COQUITLAM, BC V3B 0B2

Redacted S. 22

Ow


Building Official

B.C.B.C. 1.1.2.4 Responsibility of Owner

Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

PERMIT FEES:

Project Value:

70,000.00

BP SCAN FEE

4.00

20.00

BP APPL FEE

70,000.00

1,447.00

Total:

\$1,467.00

CONDITIONS:

ALL CONSTRUCTION TO CONFORM TO THE 2018 B. C. BUILDING CODE.

INSPECTION IS REQUIRED PRIOR TO COVERING ANY WORK

OCCUPANY / FINAL GRANTED:

Date:

City of White Rock
15322 Buena Vista Ave
White Rock BC V4B 1Y6

2020
11:53 PM
CASH 4 WILSON
PP00376 0.00
PP00376 80.00
19/12/2020
Nov 30 2020
Station
ISSUE
CPMT
1520 VIDAL ST
CHQ 107 ENGLISH OAK REN -80.00
Thank You for Your Payment



THE CORPORATION OF THE CITY OF WHITE ROCK

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
Telephone: (604) 541-2136 Fax: (604) 541-2153

Inspection Booking: (604) 541-2135

APPLICATION FOR PLUMBING PERMIT

OFFICE USE
Permit #: PP 000376
Issue Date: Dec. 3/2020

Location of Work: 1520 Vidal Street Unit # 206 Occupancy: strata Type of Work: New Existing Additional

Property Owner(s): _____ Phone: _____ Email: _____

Contractor Name: Raptor Plumbing, Heating & Gas Ltd Phone: 7788234197 Email: Raptorplumbing@hotmail.com
(As it appears on your City of White Rock Business License)

T.Q. #: 00054-PL-18

Floor	Water Heater	Urinals	Water Closets	Wash Basins	Bath Tubs	Showers	Kitchen Sink	Bar Sink	Dish Washer	Wash Tubs	Clothes Washers	Floor Drains	Hose Bibs	Sump	Double Check Valve	Other Fixtures
Basement																
Main																
Second																
Third																
Fourth																
Fifth																
Sixth																
TOTAL	1															
Fixture Units	no new fixtures being added only Moving Shower 1ft over															

Davinderjit Singh Lidhar

Print Name (Applicant)

Signature (Applicant)

Water Service Size: _____ Total Fixture Units: 1 Total No. of Fixtures: _____ PERMIT FEE: \$ 80.00

nov 3 2020
Date

*In signing, I agree to conform to all requirements of the "City of White Rock Building By Law"

Signature (City Clerk)