

February 12, 2021

FOI No: 2021-02

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records  
Freedom of Information and Protection of Privacy Act

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The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *a copy of the following documents concerning 1497 Martin Street from August 14, 2011 to date:*
  1. *Approved (stamped) building permit drawings from Scott Gordon Architect for the building permit #11-152 issued on or about April 4, 2012 (the "Building Permit");*
  2. *Any engineering reports forming part of the Building Permit;*
  3. *All email correspondence between the City of White Rock and Scott Gordon of Scott Gordon Architect; and*
  4. *All documentation regarding flooring at the Property, if applicable;*
  5. *All drawings, design reports, inspection reports from Scott Gordon Architect;*
  6. *All drawings, design reports, inspection reports from structural engineer for the Building Permit;*
  7. *All drawings, design reports, inspection reports from mechanical engineer for the Building Permit;*
  8. *All drawings, design reports, inspection reports from electrical engineer (SML Consultants Group Ltd.); and*
  9. *All inspection reports and documents from the City of White Rock.*

We have been able to locate some responsive records to your request. Access to these records is available, however some of the information in the records is excepted from the disclosure requirements of the Act. I have severed the excepted information so that I could disclose to you the remaining information as attached.

Corporate Administration  
P: 604.541.2212 | F: 604.541.9348

City of White Rock  
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

**WHITE ROCK**  
*City by the Sea!*

[www.whiterockcity.ca](http://www.whiterockcity.ca)

The severed information is excepted from disclosure under section 22 of the Act. Severing is necessary to avoid disclosing any third-party personal information without permission.

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "K Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton  
Manager, Property, Risk Management, and FOI  
604-541-2104

Att.

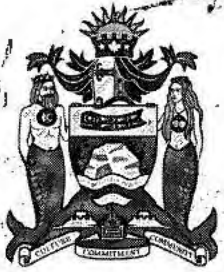
If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner  
3rd Floor, 756 Fort Street  
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.





THE CORPORATION OF THE CITY OF WHITE ROCK

PLANNING AND DEVELOPMENT SERVICES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel: 604-541-2136  
Fax: 604-541-2153

# Inspection Report

NAME: White Stone Manor PERMIT No.: 19039  
 ADDRESS: 1497 Martin St SHEET No.: 1  
 TYPE OF INSPECTION: plumbing DATE: Aug 21/13  
 AREA OF INSPECTION: unit 101

plumbing final unit 101  
- approved.

~~C-A + C-B Reg. D From Auct.~~

SIGNATURE: \_\_\_\_\_ INSPECTOR: [Signature]  
 DATE: \_\_\_\_\_

Please sign this form when the work is completed and return to the above department.





1497 Martin St., White Rock, B.C. - FIRE RESTORATION



UNIT 100

max 6 m long  
dead end corrid

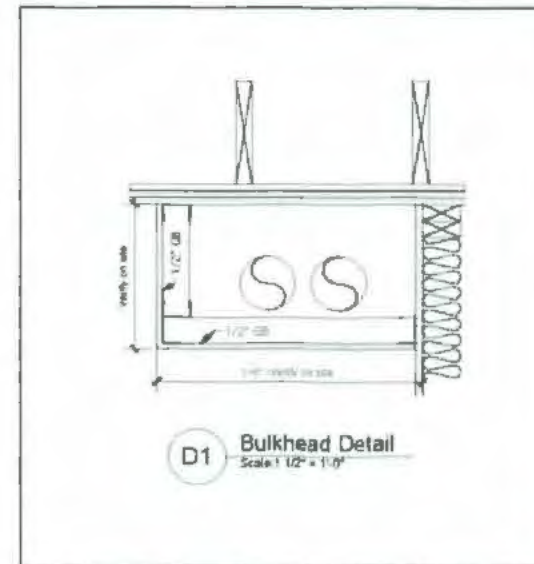
1 Ground Floor Plan  
Scale 3/32" = 1'-0"



2 Expanded Plan  
Scale 3/32" = 1'-0"

GENERAL NOTES

- All walls/firishes existing
- Existing entry door 20 min /PS frame or self door



D1 Bulkhead Detail  
Scale 1/2" = 1'-0"

SCOTT  
GORDON  
ARCHITECT

MAIBC AIA

3370 West 44th Avenue  
Vancouver, B.C.  
V6N 3X8

Tel: (604) 263-0410  
Fax: (604) 263-4108



I hereby warrant that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Architect in the Province of British Columbia.

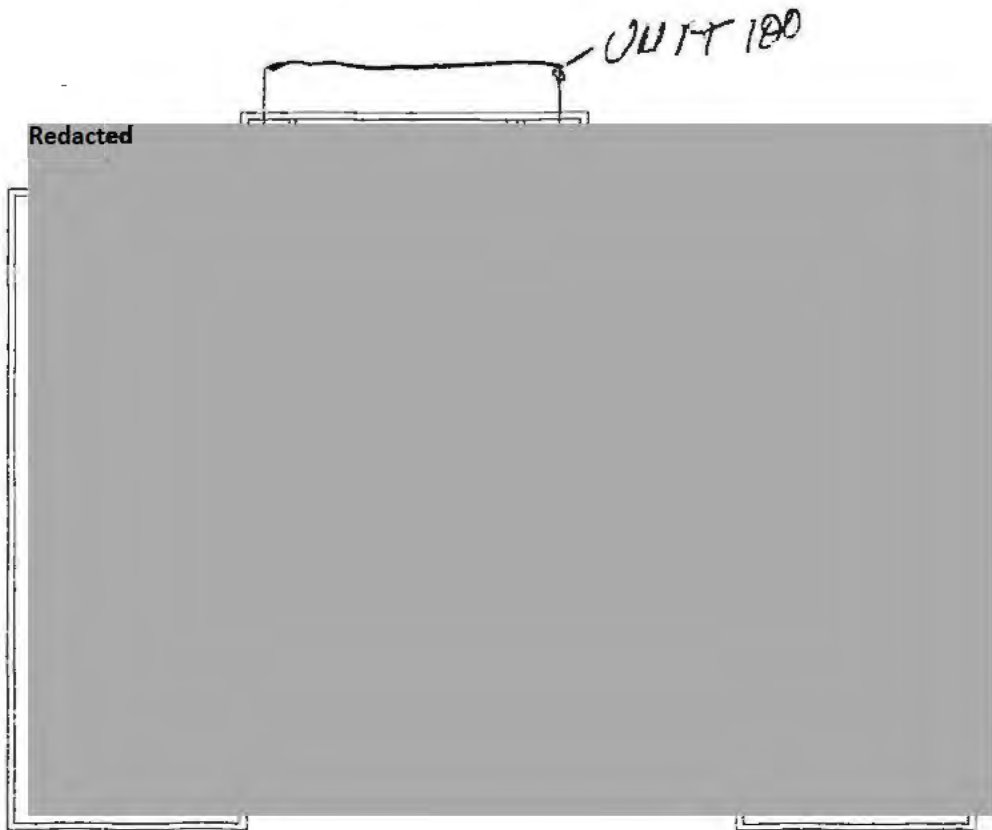
1497 Martin St.  
White Rock, B.C.  
Fire Restoration

DATE: 2/28/2013

PROJECT NUMBER: A1

DATE: Tue, Mar 5, 2013

1497 Martin St., White Rock, B.C. - FIRE RESTORATION



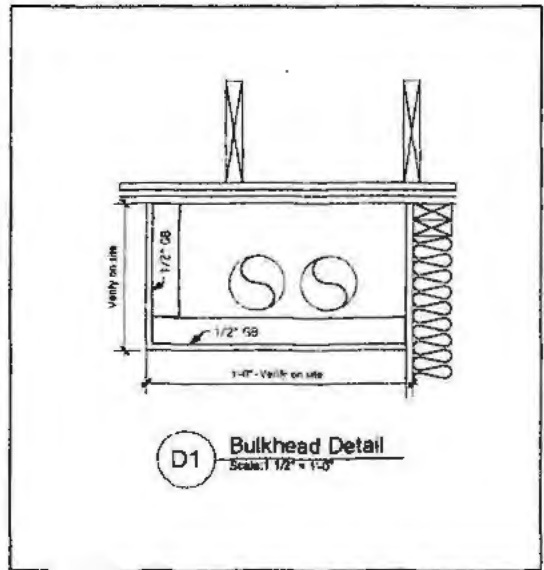
1 Ground Floor Plan  
Scale: 3/32" = 1'-0"



2 Expanded Plan  
Scale: 3/32" = 1'-0"

GENERAL NOTES

- All walls/firshes existing
- Existing entry door 20 min./PS frame c/w self closer



D1 Bulkhead Detail  
Scale: 1/2" = 1'-0"

*Scott Gordon* → C. 604-220-8272  
*Call num.*

SCOTT GORDON ARCHITECT

MAIBC AIA

3370 West 44th Avenue  
Vancouver, B.C.  
V6N 3K6

Tel: (604) 263-0410  
Fax: (604) 263-4108



See page 10 for details of door. This plan and drawings are for information only and do not constitute a contract. All work shall be done in accordance with the contract documents.

1497 Martin St.  
White Rock, B.C.  
Fire Restoration

DATE: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_

PROJECT NUMBER: \_\_\_\_\_

Tue, Mar 5, 2013

A1





THE CORPORATION OF THE CITY OF WHITE ROCK

PLANNING AND DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: 604-541-2136 • Fax: 604-541-2153 • www.whiterockcity.ca

# Monitoring Report

Date: Sept 7, 2012

Permit #: 11152

Property Address: 1497 Martin St.

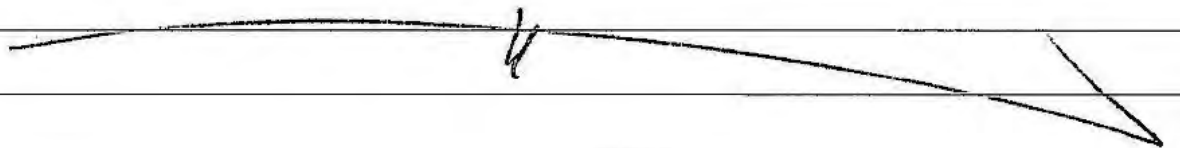
Coordinating Registered Professional: Scott Gordon

Owner / Contractor: Belfor Restoration.

Stage of Work: final. (fire damage)

schedules received from  
Architect.

building permit final /  
occupancy - approved.



Building Official: [Signature]

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.



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PLANNING AND DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: 604-541-2136 • Fax: 604-541-2153 • www.whiterockcity.ca

# Monitoring Report

Date: Sept 4, 2012

Permit #: 11152

Property Address: 1497 Martin St.

Coordinating Registered Professional: Scott Gordon

Owner / Contractor: Belter Restoration.

Stage of Work: re: final.

All schedules & documentation  
required from Architect.

Building Official: [Signature]

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.



THE CORPORATION OF THE CITY OF WHITE ROCK

PLANNING AND DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: 604-541-2136 • Fax: 604-541-2153 • www.whiterockcity.ca

# Monitoring Report

Date: Aug 31, 2012

Permit #: 11 152

Property Address: 1497 Martin St.

Coordinating Registered Professional: Scott Gordon

Owner / Contractor: Belfor Restoration

Stage of Work: final fire damage

1.) fire department key tube (lock box)

2.) fire safety plan change req'd still to come.

3.) ✓ unit 100 (office) repair all holes openings in fire separations (as discussed) drywall bathroom and fire top. drywall all ceiling penetrations including ceiling fan.

4.) all schedules & documentation req'd from Architect.

5.) ✓ repair penetration holes in ceiling of mech room.

Building Official: [Signature]

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.



Please refer to our website ([www.safetyauthority.ca](http://www.safetyauthority.ca)), or contact a BCSA Regional office nearest you:

|           |              |                  |               |              |                  |
|-----------|--------------|------------------|---------------|--------------|------------------|
| Coquitlam | 604-927-2041 | fax 604-927-2047 | Kamloops      | 250-314-6000 | fax 250-377-4406 |
| Kelowna   | 250-861-7313 | fax 250-861-7349 | Langley       | 604-539-3573 | fax 604-539-3570 |
| Nanaimo   | 250-716-5200 | fax 250-716-5212 | Prince George | 250-614-9972 | fax 250-614-9949 |
| Victoria  | 250-952-4444 | fax 250-952-4458 |               |              |                  |

New Westminster 505 Sixth Street, Suite 200, New Westminster, BC V3L 0E1 Toll free: 1-866-566-7233 Fax 1-888-660-3508

## ELEVATING DEVICES CERTIFICATE OF INSPECTION

**Note:** The information on this form is collected to administer the provisions of the BC Safety Standards Act. If you have questions about the collection, use, or disclosure of this information, contact the Records, Information and Privacy Analyst for the BC Safety Authority at 1-866-566-7233.

If you disagree with this Certificate of Inspection you may request, in writing, a Safety Manager review within 30 days of receipt of this Certificate. You can obtain the Review Request Form from any Safety Authority office or online at <http://www.safetyauthority.ca/enforcement/enforcement-process>.

### A. Inspection

|                                      |      |      |                        |                             |                                 |                      |                                     |        |               |  |     |        |
|--------------------------------------|------|------|------------------------|-----------------------------|---------------------------------|----------------------|-------------------------------------|--------|---------------|--|-----|--------|
| Activity date:                       | YYYY | MM   | DD                     | Account no.                 | Unit no.                        | Status:              | Act                                 | Temp   | Perm          | Dis  | S/D | Const. |
|                                      | 2012 | 08   | 29                     |                             | 2773                            |                      | ①                                   | 2      | 3             | 4  | 5   | 6      |
| (1) Site Name: WHITE STONE           |      |      |                        |                             | Unit Name: #1                   |                      |                                     |        |               |  |     |        |
| Address: 1497 MARTIN ST              |      |      |                        |                             | Area: 50                        |                      | Class: PE                           |        | Type: BSMT TR |  |     |        |
| City: WHITE ROCK                     |      |      | Postal Code:           |                             | Contact:                        |                      |                                     | Phone: |               |  |     |        |
| (2) Owner/Agent name: #018767 BC LTD |      |      |                        |                             | Licence no.:                    |                      |                                     |        |               |  |     |        |
| Address: #201 15272 CROYDON ST       |      |      |                        |                             | (3) Contractor name: WEST COAST |                      |                                     |        |               |  |     |        |
| City: WHITE ROCK/SURRY               |      |      | Postal Code:           |                             | Invoice:                        |                      |                                     | 1      |               | 2  |     | ③      |
| Manufacturer/Supplier: HORN          |      |      | Contract no./Model no: |                             |                                 | Capacity: LBS.: 1500 |                                     | KGS:   |               | Floors: 3  |     |        |
| Operating FPM: 100                   |      | M/S: |                        | Building used as: APARTMENT |                                 |                      | Safety test: date tested YYYY MM DD |        |               | Where an incident causes injury to any persons or damage to the equipment, this office shall be notified in 24 hours |     |        |

### B. Non-Compliances may result in shut down and/or charges under the Act

| Item | All non-compliances shall be completed within the time limits specified                  | Code |
|------|--|------|
|      | SPECIAL INSPECTION PERFORMED TO CHECK NEW DOOR OPERATOR. UNIT CAN BE PUT BACK IN SERVICE |      |
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Non-Compliances must be completed within: \_\_\_\_\_ days, all other Non-Compliances must be completed within 90 days  
 Advise the BC Safety Authority in writing when non-compliances are completed and of any changes in owner/agent.  
 This device is shut down until directions: \_\_\_\_\_ have been completed and permission for return to service has been granted by the BCSA. -

### C. Declaration

|   |        |        |      |        |  |            |  |                |                        |
|---|--------|--------|------|--------|--|------------|--|----------------|------------------------|
| It is illegal under the Act to operate an elevating device without a valid operating permit or authorization for construction use |        |        |      |        | <input checked="" type="checkbox"/> This report is issued to obtain an operating permit<br><input type="checkbox"/> This device can be operated for construction use |            |  |                |                        |
| Client Signature: <i>[Signature]</i>  |        |        |      |        | Acceptance test status: <input type="checkbox"/> Partial <input checked="" type="checkbox"/> Complete  |            | Safety Officer Signature: <i>[Signature]</i> |                | Safety Officer no.: 48 |
| Activity type   | Reg. 1 | Acc. 2 | ③ 3  | Call 4 | C/H Ext. 7   | One Hour 8 | Document No.: 164480                         | No. of pages:  |                        |
| Accommodation   | Km     |        | Cost |        | Meals  |            | Ferry/Air                                    | Billable Hours | Misc.                  |

White - Owner's Copy                      Yellow - File Copy                      Blue - Safety Officer's Copy



## PRINTED NON-COMPLIANCES

All non-compliances shall be completed within the time limits specified

### General / Elevators

- 1- Install correct rated fuses in the disconnect switch.
- 2- Install correct rated fuses in the controller.
- 3- Mark the equipment in the machine room so that the main components for each installation may be identified.
- 4- Install or repair a lock on the machine room door.
- 5- A key to the elevator machine room shall be kept available and accessible to authorized persons at all time.
- 6- Remove all material from machine room not related to the elevator.
- 7- Obtain from this branch and install a replacement metal installation number plate.
- 8- The alarm bell shall ring when the emergency stop switch is actuated.
- 9- The car emergency light unit shall be tested by qualified persons and repaired if necessary.
- 10- Car enclosure and suspended ceiling material flame spread rating shall conform to code requirements.
- 11- Adjust the car gate or door contact to prevent the operation of the car until the door or gate is in the closed position.
- 12- Adjust the door closing mechanism so that the force exerted by the door edge does not exceed 30 pounds (13.5 kg).
- 13- Adjust or replace self closers on landing doors to fully close the doors from all positions.
- 14- Adjust the hoistway door eccentrics.
- 15- Check and secure landing gate posts and guides.
- 16- Replace missing or worn landing door gibs.
- 17- Install approved landing door hanger rollers or install metal door retainer brackets.
- 18- Clean the hoistway, rails, top of car and other equipment.
- 19- Remove the debris from the elevator pit.
- 20- Remove the water from the pit and provide means to keep the pit dry.
- 21- The elevator safety device shall be examined & tested by qualified person and a declaration shall be submitted to the BCSA.
- 22- Equalize the tension on the hosting ropes.
- 23- Replace the hoisting ropes.
- 24- Replace the governor rope.
- 25- Shorten the hoisting ropes to provide sufficient runby for the car to engage the upper final limit.
- 26- Maintain a minimum of one full turn of rope on the drum when the car has reached its extreme limit of travel.
- 27- Remove oil from the pit and check the gland packing.
- 28- Identify and tag the manual lowering valve.
- 29- Set the relief valve to open at not more than 125% of the operating pressure.
- 30- Replace the flexible hose oil line.
- 43- The elevator car doors shall not open automatically outside of the leveling zones.
- 44- All emergency signal devices shall operate under emergency power.
- 45- An auxiliary contactor shall be provided with contacts in series with the direction contactor(s).
- 46- Re-install all controller covers.
- 47- Secure all loose sight guards.
- 48- The top of car/pit lighting shall be made operational.
- 49- All rags shall be kept in a closed metal container in the machine room.
- 50- The main disconnect switch fuses/overloads shall be sized to the motor data plate.
- 51- The machine room door shall be self-closing and self-locking.
- 52- Remove all pipe-work from machine room not required by applicable codes and by-laws.
- 53- Minimum hydraulic oil level indication shall be provided.

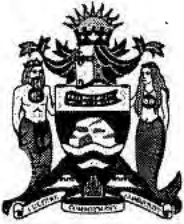
- 54- The driving-machine brakes shall be examined, maintained, inspected & tested by qualified person and a declaration shall be submitted to the BCSA.
- 55- The governor device shall be examined, maintained, inspected & tested by qualified persons and a declaration shall be submitted to the BCSA.
- 56- The pull-through force of the governor shall be tested by qualified persons and a declaration shall be submitted to the BCSA.
- 57- The governor tripping speed shall be tested by qualified persons and a declaration shall be submitted to the BCSA.
- 58- Inspections and tests for Ascending Car Over-speed, and Unintended Car Motion Protection shall be tested by qualified persons and a declaration shall be submitted to the BCSA.
- 59- The oil buffers shall be examined, maintained, inspected & tested by qualified person and a declaration shall be submitted to the BCSA.
- 60- The hydraulic cylinder shall be examined, maintained, inspected & tested by qualified person.
- 61- Car communication must be connected and operational.
- 62- Emergency Power, Fire Service and/or Seismic operation must be tested.
- 63- Provide tag(s) on ropes and/or governor rope.
- 64- Ventilation/Heating must be connected and operational.
- 65- Provide crosshead data plate.
- 66- Update/complete records in the log book.

### Escalators / Moving-walk

- 31- Adjust the machine brake to provide a safe stop.
- 32- Reduce the running clearance on either side of steps to 3/16" (5mm) and the sum of clearance on both sides shall not be more than 1/4" (7mm).
- 33- Reduce the clearance between the steps on horizontal run to a maximum of 5/32" (4mm).
- 34- Reinforce the skirt panels to limit their deflection to 1/16" (5mm).
- 35- Apply friction reducing material to the step risers and skirt panels.
- 36- Replace or install an approved soffit guard at the intersecting ceiling and deck, with red leading edge.
- 37- Provide and affix a sign reading "Emergency Stop" with 1/2" (12mm) or higher red letters on a white background with an arrow indicating the location of the emergency stop button.
- 38- Provide and affix clearly visible signs at the top and bottom reading "Please hold handrail".
- 39- Eliminate the pinching hazard between handrail and decking.
- 40- Replace the damaged step treads.
- 41- Replace the broken or worn combplates.
- 42- An interior examination, inspection and test of all safety devices shall be conducted by qualified person and a declaration shall be submitted to BCSA.

### Construction Hoist

- 80- Guarding/hoarding on landings and landing platforms must be as per code requirements.
- 81- The distance from the face of the car door to the face of the hoistway door shall not exceed 200 mm (8 in).
- 82- Adjust sill to sill clearance.
- 83- Provide "DO NOT REMOVE" sign on shoring.
- 84- Landings and landing platforms shall be illuminated when a hoist is in use.
- 85- Provide slipping protection on ramps.
- 86- Provide numbering on gates.
- 99- Additional non-compliances.



THE CORPORATION OF THE CITY OF WHITE ROCK

PLANNING AND DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: 604-541-2136 • Fax: 604-541-2153 • www.whiterockcity.ca

# Monitoring Report

Date: Aug 2, 2012

Permit #: 11152

Property Address: 1497 Martin St.

Coordinating Registered Professional: Scott Gordon

Owner / Contractor: Belfor

Stage of Work: closures

as per our conversation all hardware used as part of a rated closure should have the same rating.

Building Official: [Signature]

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.

  
**Certificate of Verification**  
CAN/ULC-S537-04

No. 270712HL

*THIS CERTIFIES that the Mircom Fire alarm equipment*

*Installed by: WESPAC ELECTRICAL CONT.*

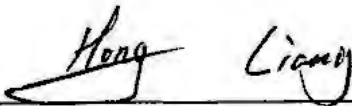
*Located at:*

**WHITE STONE MANOR  
1497 Martin Street  
White Rock, B.C.**

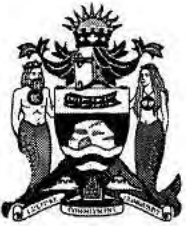
*This certificate must be revalidated  
By July<sup>26th</sup>, 2013 as per ULCS536*

*Was checked and inspected by a trained technician.  
Issued in Maple Ridge on the 27<sup>th</sup> day of July, 2012*

**MIRCOM TECHNOLOGIES LTD.**



*Technician's Signature*  
**Hong Liang**



THE CORPORATION OF THE CITY OF WHITE ROCK

PLANNING AND DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: 604-541-2136 • Fax: 604-541-2153 • www.whiterockcity.ca

# Monitoring Report

Date: ✓ 17 27, 2012

Permit #: \_\_\_\_\_

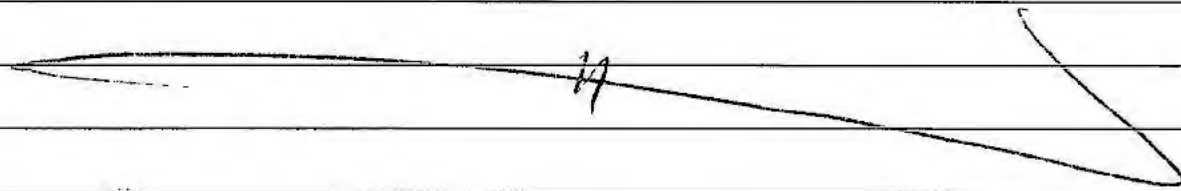
Property Address: 1497 Martin St

Coordinating Registered Professional: Scott Gordon Arch

Owner / Contractor: Belfore

Stage of Work: plbg final

plumbing final  
- approved



not all toilets were replaced.

Building Official: [Signature]

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.





THE CORPORATION OF THE CITY OF WHITE ROCK

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# Monitoring Report

Date: May 24, 2012

Permit #: \_\_\_\_\_

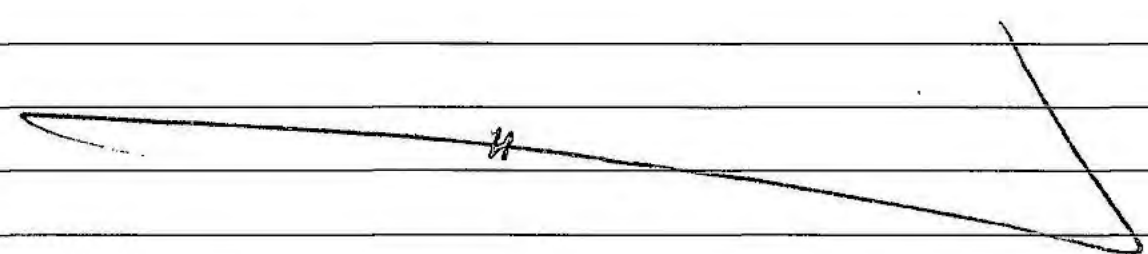
Property Address: 1497 Martin St.

Coordinating Registered Professional: Scott Gordon

Owner / Contractor: Belfor

Stage of Work: site review.

note. fire fighter ladder required  
to roof top access hatch.



Building Official: [Signature]

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.

**SCOTT  
GORDON  
ARCHITECT**  
MAIBC AIA

3370 WEST 44TH AVENUE  
VANCOUVER, B.C. V6N 3K9  
FAX: (604) 263-4106  
TEL: (604) 263-0410

## field report

---

**Project:** 1497 MARTIN STREET  
**Owner:**  
**Contractor:** BELFOR  
**In Attendance:** SGA

**Report No.:** 5  
**Date:** May 21 12  
**Temperature:**  
**Weather:**

---

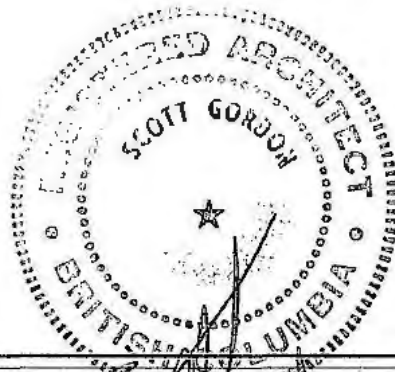
Site visit to review installation of thermal and acoustic batt insulation.

Work is good quality and acceptable to install gypsum board.

regards

scott

scott



---

Scott Gordon Architect

per: 

**Distribution**

|  |   |
|--|---|
| <input checked="" type="checkbox"/> Architect  | <input checked="" type="checkbox"/> Field |
| <input checked="" type="checkbox"/> Owner      | <input type="checkbox"/>                  |
| <input checked="" type="checkbox"/> Contractor | <input type="checkbox"/>                  |

**SCOTT  
GORDON  
ARCHITECT**  
MAIBC AIA

3370 WEST 44TH AVENUE  
VANCOUVER, B.C. V6N 3K8  
FAX: (604) 263-4106  
TEL: (604) 263-0410

## field report

---

**Project:** 1497 MARTIN STREET  
**Owner:**  
**Contractor:** BELFOR  
**In Attendance:**

**Report No.:** 4  
**Date:** May 15 12  
**Temperature:**  
**Weather:**

---

Richard Wilson,

Good afternoon- am sending you this as an update as to progress on site:

- 1] firestopping as been reviewed and signed off.
- 2] the garbage shaft is being decommissioned by blocking all access and deleting the sprinkler head, so in effect it becomes a rated shaft in the building.
- 3] the fire alarm system is near ready to install and electrical inspections have been ongoing.
- 4] the door supplier has located a rated peep hole that aligns with the door rating and the contractor has chosen to order this feature with the doors as a life safety security solution.

regards

scott

---

Scott Gordon Architect per:

S

**Distribution**

|  |   |
|--|---|
| <input checked="" type="checkbox"/> Architect  | <input checked="" type="checkbox"/> Field |
| <input checked="" type="checkbox"/> Owner      | <input type="checkbox"/>                  |
| <input checked="" type="checkbox"/> Contractor | <input type="checkbox"/>                  |



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# Monitoring Report

Date: May 7, 2012

Permit #: 11152

Property Address: 1497 Martin St.

Coordinating Registered Professional: Scott Gordon

Owner / Contractor: Belfore

Stage of Work: fire stopping

fire stop caulking application approved.

recall for insulation

Arch report required for firestopping.

*[Handwritten signature]*

Building Official: *[Handwritten signature]*

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.





## Richard Wilson

---

**From:** Richard Wilson  
**Sent:** Tuesday, March 13, 2012 4:11 PM  
**To:** 'Scott Gordon'  
**Cc:** Aaron Visser; Phil Lemire  
**Subject:** RE: 1497 Martin Street

Good Afternoon Scott,

The City has discussed your last email and offer the following comments.

- Smoke detectors are required in the hallways not smoke alarms as indicated on the drawings.
- Heat detectors required in each suite throughout as per FA system upgrade.
- Hard wired Smoke Alarms are required in each suite in the building

Please include the above in the total scope of work which should include all fire related restorations including upgrades and renovations the owner has planned. All plumbing fixtures in 21 suites are being replaced including a substantial amount of water piping, rain water leaders in the building.

Please understand a full scope of work is required and costing so we can finalize issuance of a permit.

Thanks

Richard Wilson, RBO  
Chief Building Official

Planning and Development Services Department  
P: (604) 541-2145 15322 Buena Vista Ave.  
F: (604) 541-2153 White Rock, B.C. V4B 1Y6  
[rwilson@whiterockcity.ca](mailto:rwilson@whiterockcity.ca)  
[www.whiterockcity.ca](http://www.whiterockcity.ca)



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---

**From:** Scott Gordon [mailto:[scott@scottgordonarchitect.com](mailto:scott@scottgordonarchitect.com)]  
**Sent:** Tuesday, March 13, 2012 9:11 AM  
**To:** Richard Wilson  
**Cc:** Aaron Visser  
**Subject:** Re: 1497 Martin Street

Good morning- look forward to receiving your direction so we can move forward.

thanks

scott

On 9-Mar-12, at 2:50 PM, Richard Wilson wrote:

Good Afternoon Scott,

I have a meeting with the Fire Chief on Monday to discuss some issues with your last email. Sorry for the delay but he has been away and has just returned. I will get back to you late Monday or Tuesday.

Thanks

Richard Wilson, RBO  
Chief Building Official

Planning and Development Services Department  
P:(604) 541-2145 15322 Buena Vista Ave.  
F:(604) 541-2153 White Rock, B.C. V4B 1Y6  
[rwilson@whiterockcity.ca](mailto:rwilson@whiterockcity.ca)  
[www.whiterockcity.ca](http://www.whiterockcity.ca)

<image001.jpg>

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---

**From:** Scott Gordon [<mailto:scott@scottgordonarchitect.com>]

**Sent:** Friday, March 09, 2012 9:09 AM

**To:** Richard Wilson

**Cc:** Aaron Visser

**Subject:** Fwd: 1497 Martin Street

Good morning Richard, further to the email sent to you March 05 could you please send me your approval to the contents of the note so we can request revised pricing from the contractor.

regards

scott

Begin forwarded message:

**From:** Scott Gordon <[scott@scottgordonarchitect.com](mailto:scott@scottgordonarchitect.com)>

**Date:** March 5, 2012 11:41:19 AM PST (CA)

**To:** Richard Wilson <[rwilson@whiterockcity.ca](mailto:rwilson@whiterockcity.ca)>

**Cc:** Aaron Visser <[AVisser@specs.ca](mailto:AVisser@specs.ca)>, Brent Serediak <[brent.serediak@scm.ca](mailto:brent.serediak@scm.ca)>

**Subject:** 1497 Martin Street

Richard Wilson

Planning and Development Services

City of White Rock, BC

Good morning, further to your letter of February 13, 2012 to Scott Williams, we summarize:

1. Emergency lighting will be in stairs and common areas only. As shown on the submitted BP Application.
2. Garbage room ceiling will be restored to a 3/4 hour rating.
3. Mid hallway doors/frames will be removed.



THE CORPORATION OF THE CITY OF WHITE ROCK

PLANNING AND DEVELOPMENT SERVICES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

Phone: 604-541-2136 • Fax: 604-541-2153 • www.whiterockcity.ca

# Monitoring Report

Date: Mar 8, 2012

Permit #: 37

Property Address: 1497 Martin St.

Coordinating Registered Professional: —

Owner / Contractor: MVP Plumbing & Heating.

Stage of Work: 21 units.

DNV for damage piping replaced & test witnessed.

damaged waterlines test witnessed on entire system to diverters. (street pressure 10 psi).

note. plumbing in bootlegged suite to be removed.

\* ceiling to be exposed for tub trap inspections.

*[Handwritten signature]*

Building Official: *[Signature]*

Note: The City of White Rock has relied on the Registered Design Professional for the design, field review and certification in the prescribed Schedules as adopted by the B.C. Building Code for this project, subject to Section 290 of the Local Government Act and City of White Rock Building Bylaw.



## Richard Wilson

---

**From:** Richard Wilson  
**Sent:** Thursday, February 23, 2012 12:33 PM  
**To:** 'Scott Gordon'  
**Subject:** RE: 1497 Martin Street

Good Afternoon Scott,

Thanks for your comments, see our response in red:

1. In regards to item # 1 of the above noted letter, Under the advisement from our electrical consultant, emergency lighting is not required in laundry, locker rooms ,etc. We acknowledge and are willing to accept having to comply with the BCBC that emergency lighting is required in exit stairs and common areas as these areas have been stripped of finishes and are under renovations. I agree - BCBC Appendix A defines what is a *service room* and it clearly excludes laundry rooms and I would conclude locker rooms also.

2. In regards to item #9 and #14 of the above noted letter:

We propose to run bathroom and kitchen exhausts in fire rated shafts in the fire damaged units only. We refer to BCBC Part 1 Compliance 1.1.1.2 Application to Existing Buildings - the repair of the building....the level of fire safety shall not decrease below the level that already exists. Furthermore in Appendix A Explanatory Material.... it is not the intent of the BCBC to enforce the retrospective application of new requirements to existing buildings.... while the requirements that you outline in item 9 and 14 may have been required at the time of the buildings construction, our work in other Lower Mainland jurisdictions has lead to an understanding that the cost to the owner of having to correct past wrongs is prohibitive. It is not the intent of the Code to punish but ensure that the building being repaired at completion has an increased level of life safety than before the repair.

The proposed repair work to the damaged suites and common areas and a new Fire Alarm system will ensure an increased level of life safety that was not present prior to the repair work.

Item #14 'charcoal filtered range hood', the BCBC clearly does not permit this. The building originally had code compliant exhausting so the City cannot accept or ignore a lesser standard that has subsequently been installed.

Item #9 'fire rated exhaust shafts' We have reviewed your comments on this issue and accept your reasoning.

Thanks

Richard Wilson, RBO  
Chief Building Official

Planning and Development Services Department  
P:(604) 541-2145 15322 Buena Vista Ave.  
F:(604) 541-2153 White Rock, B.C. V4B 1Y6  
[rwilson@whiterockcity.ca](mailto:rwilson@whiterockcity.ca)  
[www.whiterockcity.ca](http://www.whiterockcity.ca)

**WHITE ROCK**  
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---

**From:** Scott Gordon [mailto:[scott@scottgordonarchitect.com](mailto:scott@scottgordonarchitect.com)]  
**Sent:** Wednesday, February 22, 2012 4:31 PM  
**To:** Richard Wilson  
**Cc:** Aaron Visser; Brent Serediak  
**Subject:** 1497 Martin Street

Good afternoon, further to our telephone conversation this morning we would like to outline our position on a number of items in your letter of February 13th, addressed to Scott Williams.

1. In regards to item # 1 of the above noted letter, Under the advisement from our electrical consultant, emergency lighting is not required in laundry, locker rooms ,etc. We acknowledge and are willing to accept having to comply with the BCBC that emergency lighting is required in exit stairs and common areas as these areas have been stripped of finishes and are under renovations.

2. In regards to item #9 and #14 of the above noted letter:

We propose to run bathroom and kitchen exhausts in fire rated shafts in the fire damaged units only. We refer to BCBC Part 1 Compliance 1.1.1.2 Application to Existing Buildings - the repair of the building....the level of fire safety shall not decrease below the level that already exists. Furthermore in Appendix A Explanatory Material.... it is not the intent of the BCBC to enforce the retrospective application of new requirements to existing buildings.... while the requirements that you outline in item 9 and 14 may have been required at the time of the buildings construction, our work in other Lower Mainland jurisdictions has lead to an understanding that the cost to the owner of having to correct past wrongs is prohibitive. It is not the intent of the Code to punish but ensure that the building being repaired at completion has an increased level of life safety than before the repair.

The proposed repair work to the damaged suites and common areas and a new Fire Alarm system will ensure an increased level of life safety that was not present prior to the repair work.

regards

scott gordon

February 13, 2012

Scott Williams,  
102 – 30701 Simpson Road,  
Abbotsford, BC  
V2T 6Y7

Attention: Scott Williams  
Branch Manager

**RE: Fire Restoration 20 Unit Apartment, 1497 Martin St.**

Here is a list of issues that should be addressed related to the fire restoration. Once you have reviewed these the City will require a copy of the construction value quote for the project this should include any additional works requested by the owners. The City will finalize the requirements for the permit application once we have received the above information.

1. Emergency lighting required in all common areas including exit stairs, laundry, locker rooms etc.
2. Garbage room restore ¾ hr. fire rating to ceiling
3. Remove all mid-hallway doors
4. New Fire Alarm system to current BC Building Code
5. Smoke detectors are required in all corridors, exit stair shafts, storage/service and janitors rooms.
6. Hard wired smoke alarms are required in all suites.
7. Replace all suite doors with rated 20 min doors and frames c/w self-closures
8. Bathtub surrounds require fire rating to be continuous on rated walls throughout building.
9. Range and bathroom ducting to be enclosed in fire rated shafts throughout.
10. Garbage shaft to be decommissioned and the shaft firestopped at each floor level.
11. Handrails in the exit stairs should be continuous.
12. Elevator upgrade required which includes additional life safety devices – confirm these requirements with the BC Safety Authority.
13. Unauthorized suite on ground floor to be removed.
14. All kitchen range exhaust systems are required to be vented through a ducting system – not a charcoal filter recirculated into the suite.
15. Exterior guardrails are nonconforming and are being recommended to be upgraded.

Yours truly,

Richard Wilson, RBO  
Planning and Development Services  
Direct Tel: 604.541.2136  
Email: [rwilson@whiterockcity.ca](mailto:rwilson@whiterockcity.ca)

Planning and Development Services  
P: 604.541.2136 | F: 604.541.2153

City of White Rock  
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

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THE CORPORATION OF THE CITY OF WHITE ROCK

## FIRE / RESCUE

15315 Pacific Avenue, White Rock, B.C. V4B 1R1

Phone: 604-541-2121 • Fax: 604-541-2120

# INSPECTION REPORT

NAME: Whitestone Manor SHEET No.: \_\_\_\_\_  
ADDRESS: 1497 Martin St. DATE: Nov. 30, 2011  
TYPE OF INSPECTION: Plan Review  
AREA OF INSPECTION: \_\_\_\_\_

1. Smoke & Heat detectors should be typical to all suites not just Suite 205 & 305.
2. Heat detector required in Laundry room, Locker room on first floor.
3. Smoke detector required in corridor to laundry and elevator room.
4. Emergency lighting required in Laundry and Locker rooms.
5. Plan does not show fire separation door in 2nd floor corridor.
6. smoke detector coverage hallways / stairs.

INSPECTOR: Bob Schlase

NOTE: PLEASE NOTIFY THE ABOVE DEPARTMENT WHEN ITEMS LISTED ARE COMPLETED.

TEL: 604-541-2121 • FAX: 604-541-2120

# Scott Gordon Architect

MAIBC AIA

3370 WEST 44TH AVE  
VANCOUVER, B.C. V6N 3K8

TEL: 604.263.0410  
FAX: 604.263.4106

RECEIVED

EX 13701

CITY OF WHITE ROCK  
DEVELOPMENT SERVICES

WHITE STONE MANOR  
1497 Martin Street,  
White Rock, BC

## SCOPE OF WORK FOR REPAIR REQUIRED AFTER FIRE/WATER DAMAGE

This information is to be read in conjunction with accompanying  
notated building floor plans.

### Main Floor-

- Install new gypsum board on corridor and stair walls and ceilings to locations shown on plans.
- Install 5/8" type gyp bd between studs / firestop where existing tub is on a fire separation.
- replace all suite entry doors with 20 minute rated solid core wood doors with peep hole, threshold and self closure. Reuse existing door hardware.  
See attached for construction assemblies.

### Second Floor-

- Install new gypsum board on corridor and stair walls and ceilings to locations shown on plans.
- Install 5/8" type gyp bd between studs / firestop where existing tub is on a fire separation.
- replace all suite entry doors with 20 minute rated solid core wood doors with peep hole, threshold and self closure. Reuse existing door hardware.  
See attached for construction assemblies.

### Unit 205:

- install new gypsum board to all walls/ceilings, see attached for construction assemblies
- replace existing exterior window and sliding glass door with new vinyl framed double glazed units c/w screens.
- install new kitchen and washroom cabinetry to building standard.
- install new interior doors/frames/hardware to building standard.
- install new building finishes to building standards.
- install 2 layers 5/8" type x gyp bd on ceilings.
- firestop all new/existing penetrations to walls/floors in fire separations.
- install new electrical /mechanical services to building standards.
- install new kitchen/ washroom exhaust ducts to the exterior wall and install drip cap and bug screens. See construction details.



# Scott Gordon Architect

MAIBC AIA

3370 WEST 44TH AVE  
VANCOUVER, B.C. V6N 3K8

TEL: 604.263.0410  
FAX: 604.263.4106

## Third Floor-

- Install new gypsum board on corridor and stair walls and ceilings to locations shown on plans.
  - Install 5/8" type gyp bd between studs / firestop where existing tub is on a fire separation.
  - replace all suite entry doors with 20 minute rated solid core wood doors with peep hole, threshold and self closure. Reuse existing door hardware.
- See attached for construction assemblies.

## Unit 305:

- install new gypsum board to all walls/ceilings, see attached for construction assemblies
- install new kitchen and washroom cabinetry to building standard.
- install new interior doors/frames/hardware to building standard.
- install new building finishes to building standards.
- install 1/2" gyp bd on ceilings.
- firestop all new/existing penetrations to walls/floors in fire separations.
- install new electrical /mechanical services to building standards.
- install new kitchen/washroom exhaust ducts to the exterior wall and install drip cap and bug screens. See construction details.

## Construction Assemblies

Wall type 1- 5/8" type x gyp bd/paint  
R12 batt insulation  
existing 2x4 stud wall  
existing 1/2" gyp bd.

Wall type 2- 5/8" type x gyp bd/paint  
existing solid wood framing

Wall type 3- 1/2" type x gyp bd/paint, both sides  
R12 batt insulation  
existing stud wall

Wall type 4- 1/2" gyp board /paint both sides  
existing stud wall

Wall type 5- 1/2" gyp bd/paint  
R14 batt insulation/6 mil vb  
existing stud wall/sheathing/stucco

# Scott Gordon Architect

MAIBC AIA

3370 WEST 44TH AVE  
VANCOUVER, B.C. V6N 3K8

TEL: 604.263.0410  
FAX: 604.263.4106

Ceiling type 1- 2 layers 5/8" type x gb/texture finish  
R12 batt insulation  
resilient channels @ 16" oc  
existing structure

Ceiling type 2- 1/2" gyp bd /texture finish  
R28 batt insulation/6 mil vb  
existing structure



Redacted

The image shows a floor plan with a large grey rectangular area covering the central portion. Above this area, there are two small rectangular structures with semi-circular tops. Below the redacted area, there is a 'MAIN ENTRY' label with an upward-pointing arrow. To the right of the redacted area, there is handwritten text. At the bottom center, there is a circular icon with a vertical line through it, followed by the text 'GROUND FLOOR KEY PLAN'.

NEW WASH  
ASSEMBLY TYPE  
W1/W2 THIS  
AREA

↑  
MAIN  
ENTRY

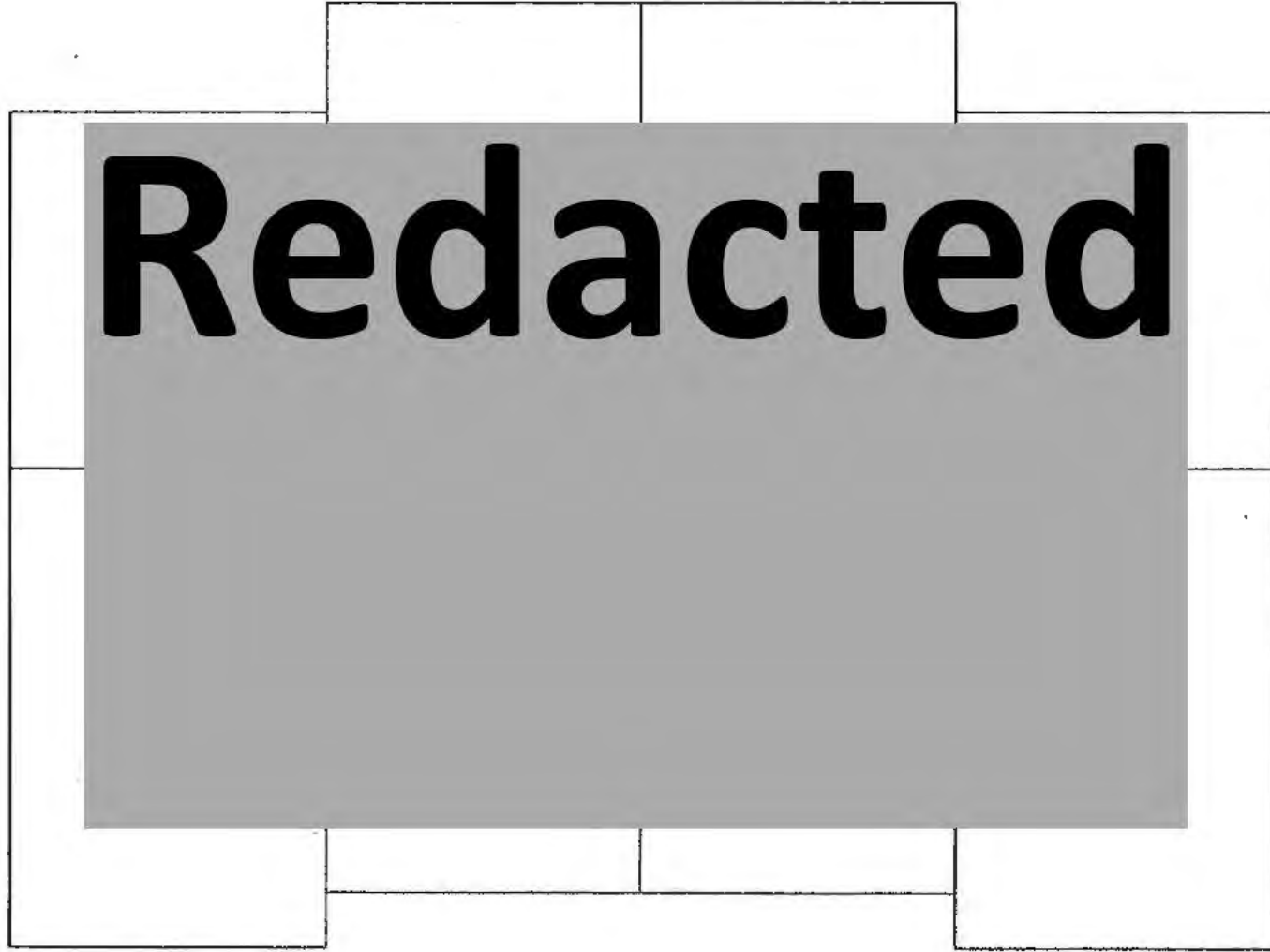
⊥ GROUND FLOOR KEY PLAN



# Redacted

SEE NOTES THIS UNIT

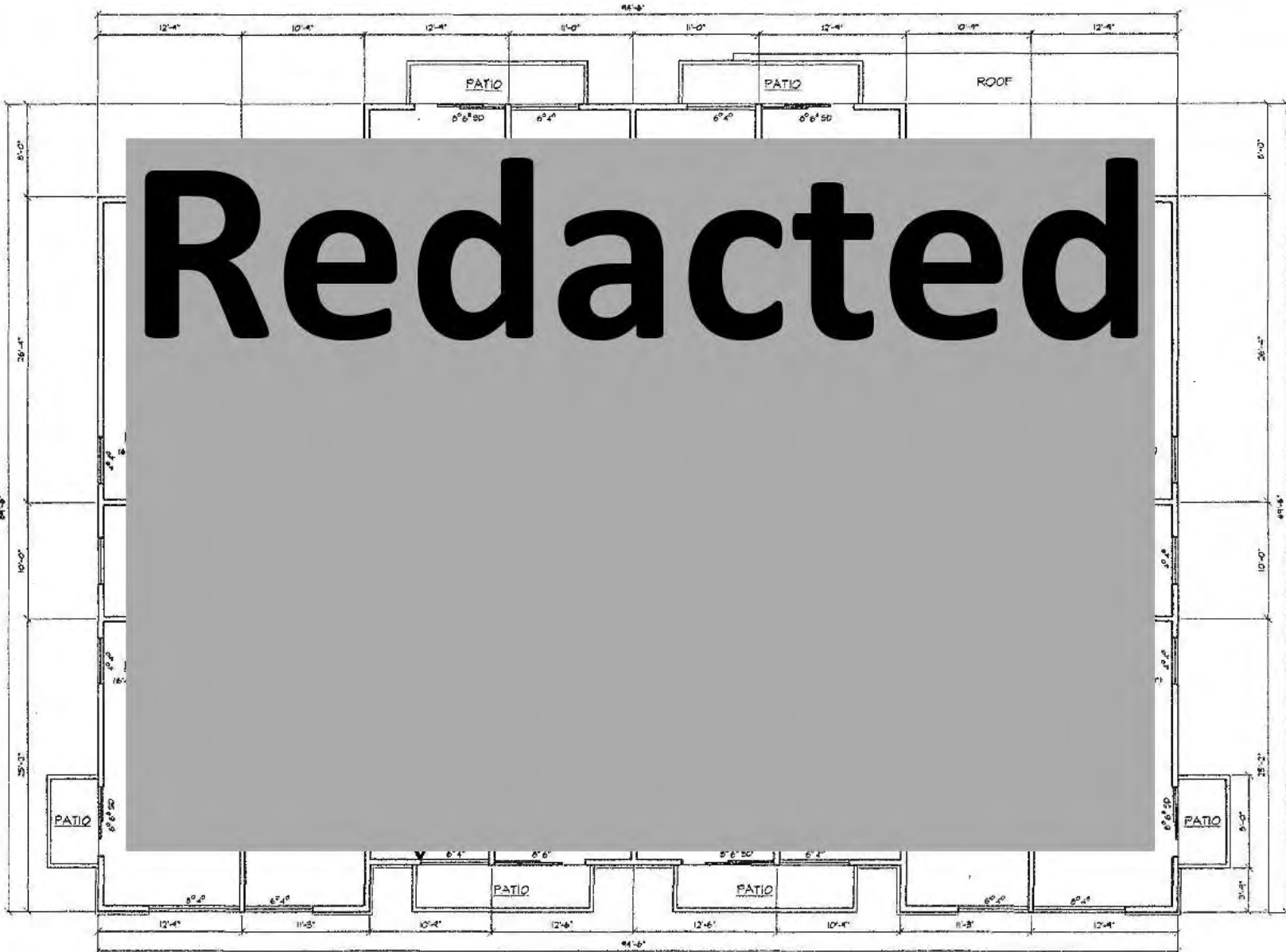
⊕ SECOND FLOOR KEY PLAN



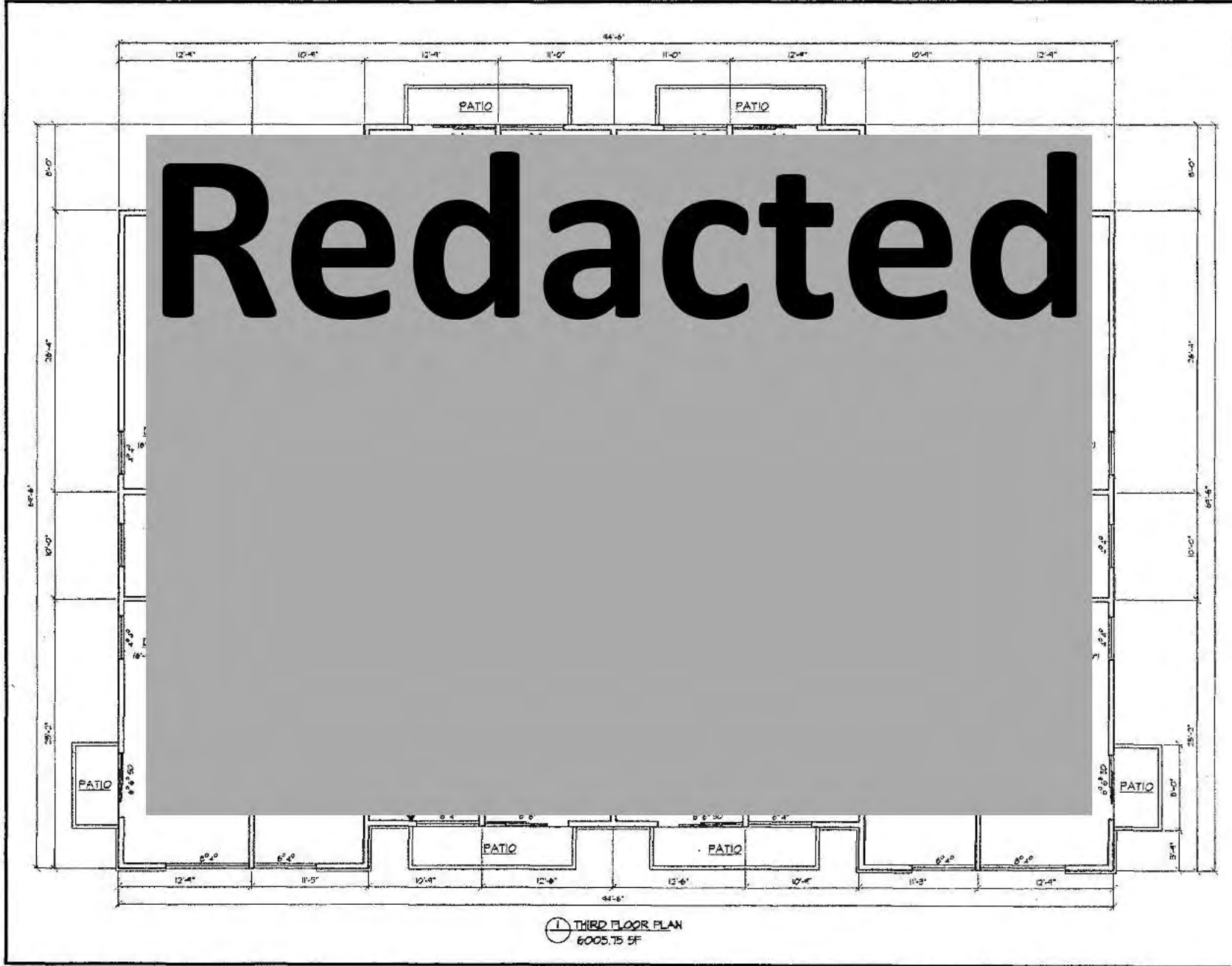
① THIRD FLOOR KEY PLAN



# Redacted



① SECOND FLOOR PLAN  
6005.75 SF





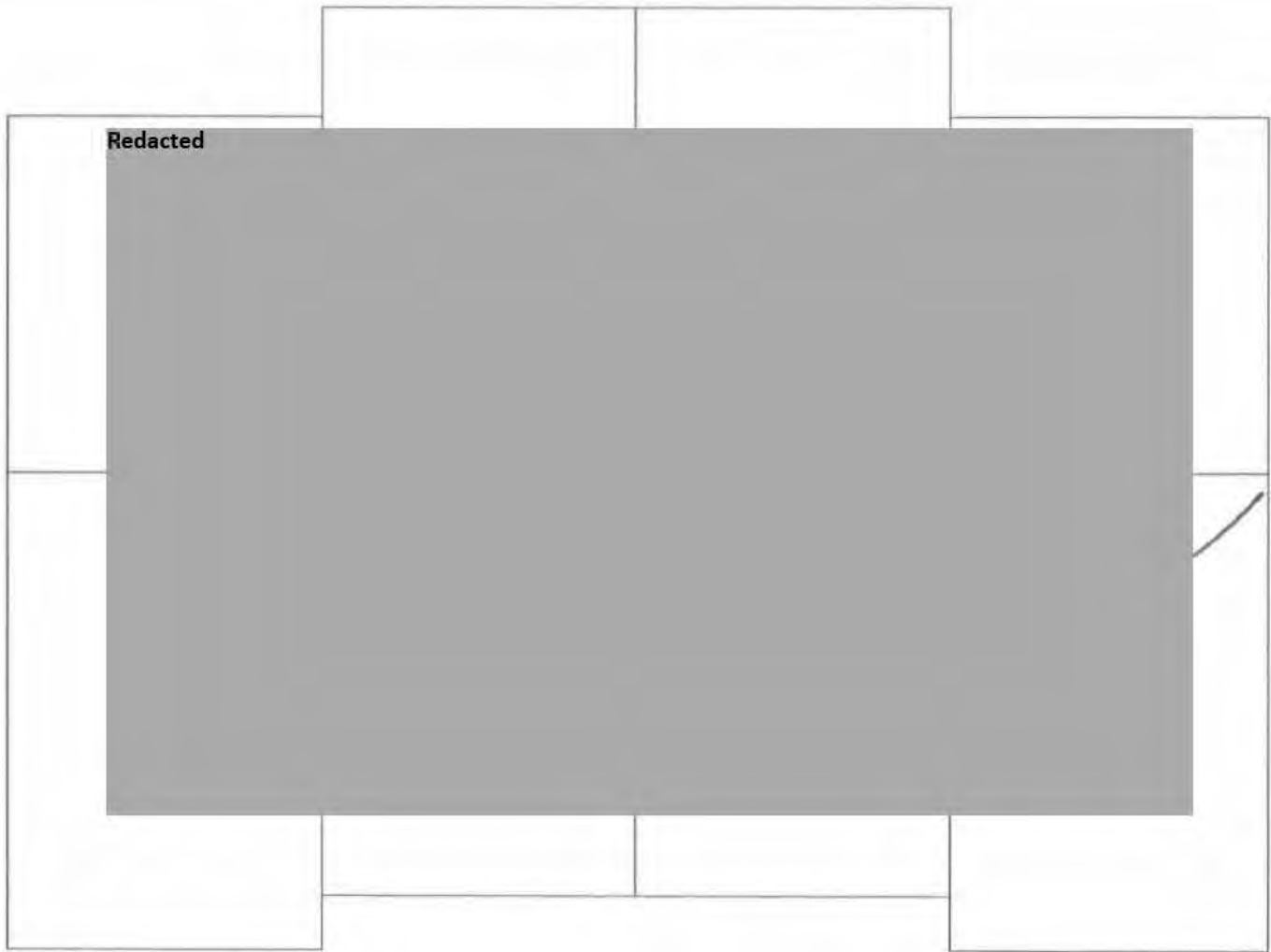
The image shows a floor plan with a large grey rectangular area covering most of the central space. Above this area, there are two small rectangular structures with semi-circular tops, possibly representing roof elements or mechanical units. The main area is labeled 'Redacted' in large, bold, black text.

# Redacted

NEW  
CEILING TYPE  
C1 THIS AREA

MAIN  
ENTRY

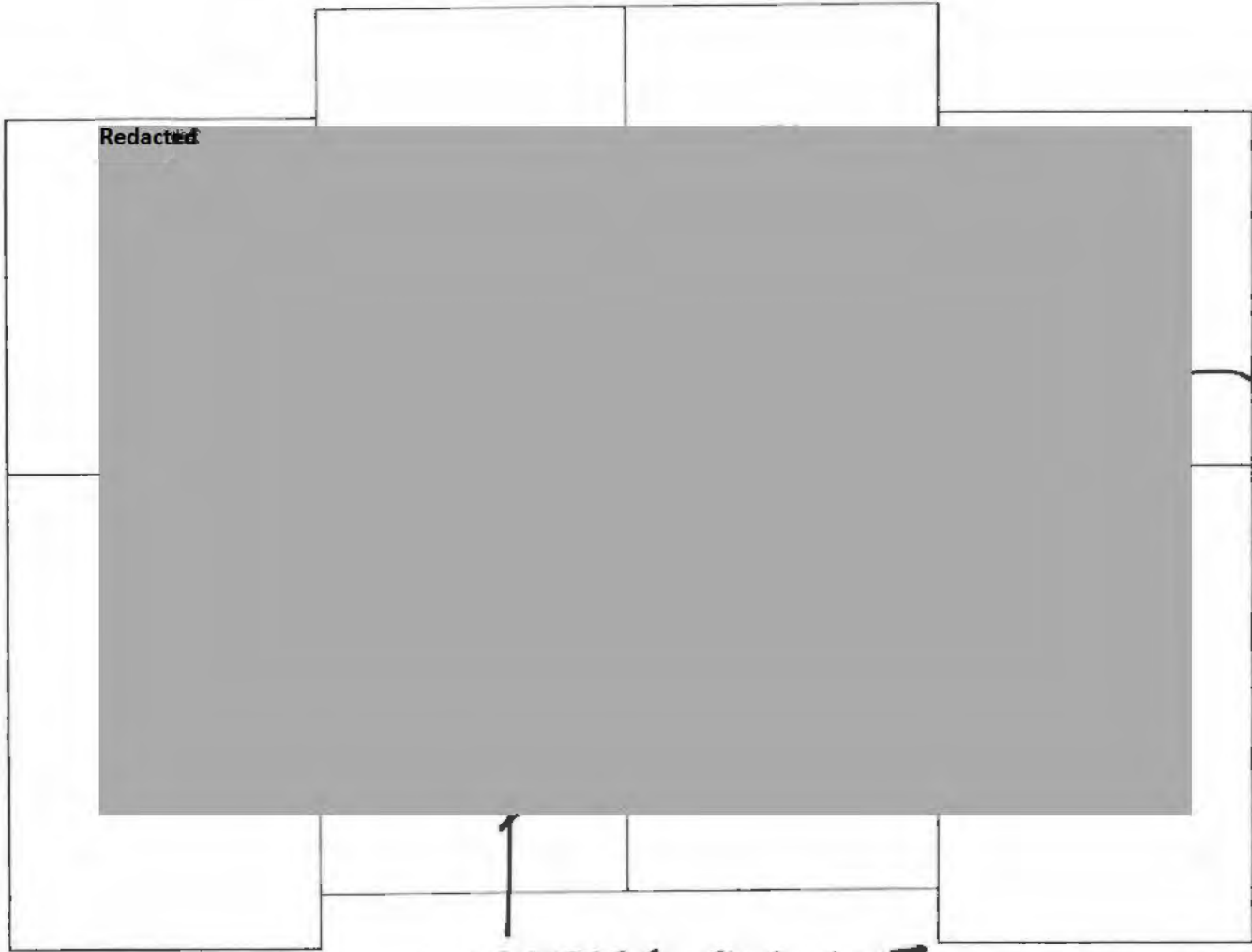
⊕ GROUND FLOOR KEY PLAN



Redacted

NEW CEILING  
TYPE C1 THIS  
AREA

① SECOND FLOOR KEY PLAN



Redacted

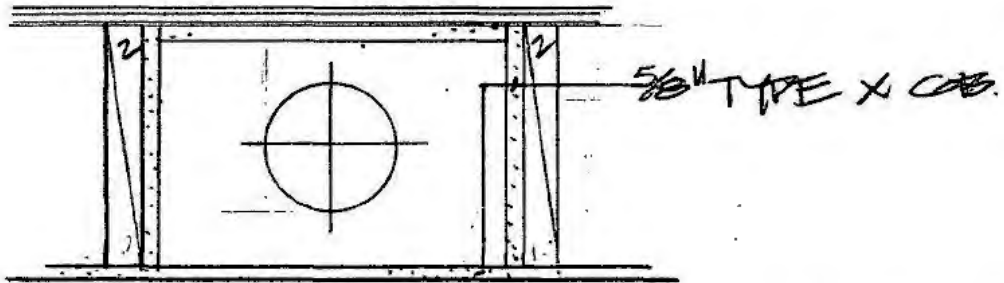
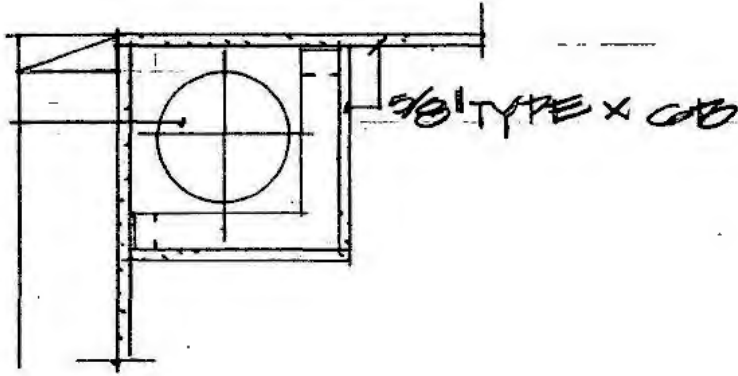
NEW CEILING  
TYPE C2 THIS  
AREA

SEE NOTES THIS UNIT

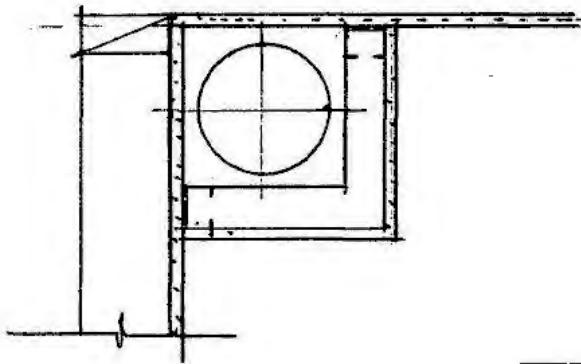
① THIRD FLOOR KEY PLAN



KITCHEN  
W/C DUCT



GROUND FLOOR



THIRD FLOOR

1497 Martin St.



SPECIALIZED PROPERTY EVALUATION CONTROL SERVICES LIMITED  
ETHICS ~ EXCELLENCE ~ VALUE ~ TEAMWORK

## CONSTRUCTION BID DOCUMENT

FOR

**File Name :** 0819767 BC Ltd.

**Location of Loss:** O/A White Stone Manor  
White Rock, B.C.

**Adjuster:** Brent Serediak  
ClaimsPro Inc.  
**Phone:** (604) 519-6067  
**Email:** brent.serediak@scm.ca  
**File #** 53210-9991

**SPECS File #:** 10-36459

**Issued for Tender November 10, 2011**

**BIDS TO BE RECEIVED IN THE SPECS OFFICES AT THE BELOW NOTED  
ADDRESS  
NO LATER THAN  
2:00 PM November 29<sup>th</sup> 2011**



Ethics ~ Excellence ~ Value ~ Teamwork

**Table of Contents**

**Contents**

Table of Contents ..... 2

Invitation To Tender ..... 3

General Requirements..... 4

Professionals ..... 29

Bid Submission ..... 30

Supplemental Costs Document ..... 33

**Invitation To Tender**

You are hereby invited to submit a Tender for the:  
**Fire Damage Repairs**  
at  
**O/A White Stone Manor**  
**White Rock, B.C. V4B 3W8**

- (1) The intent of the bid is to establish a fixed price for the work as per the general requirements, specifications and scope of work attached to this document.
- (2) Tender documents have been sent out from SPECS Limited on: November 3<sup>rd</sup> 2011 at 10 am.
- (3) Site access and conditions  
Lock Box at rear of building on gas meter code is "DFV"  
Alarm panel at end of hallway code is 5099
- (4) Contact person for inquiries is Aaron Visser:

Email: avisser@specs.ca  
Fax: (604) 882-8940  
Phone: (604) 882-8930  
Address: 20085 - 96 Avenue  
Langley, BC V1M 3C6

- (5) Tenders will be accepted via email, fax, courier, or hand no later than:  
2:00 pm Friday November 29<sup>th</sup>, 2011

at

Email: avisser@specs.ca  
Fax: (604) 882-8940  
Phone: (604) 882-8930  
Address: 20085 - 96 Avenue  
Langley, BC V1M 3C6

- (6) All tenders must be received in the format provided in this Bid Submission Form, including additional addenda. Incomplete submission forms will be considered not valid and may be rejected.
- (7) Any additional work required, but not identified within the attached Bid Documents, must be clearly identified and priced on the provided Supplemental Cost document. The Supplemental Cost document must be submitted with the Bid Submission form.

### **General Requirements**

1. Please direct questions, discrepancies, noted errors, omissions or concerns to Aaron Visser at [avisser@specs.ca](mailto:avisser@specs.ca)
2. The notes and job scope are to be read in conjunction with the Architectural and Electrical drawings and notes, if a conflict is present whatever work is more onerous is to be priced and installed.
3. Perform the work in accordance with the latest edition of The National Building Code of Canada, including code supplements, safety codes, workers compensation legislation, local bylaws and all applicable governing legislation.
4. The General Contractor shall be responsible for the obtaining and payment of any and all necessary licenses, fees, permits, inspections etc. that are required to perform the work in the locale in which it is situated.
5. All materials and workmanship shall be of like kind and quality as existed prior to the loss in the structure and shall be in accordance with the trade standard manuals denoting workmanship, for that particular trade.
6. The General Contractor shall be responsible for the complete work in these documents including those items dictated by good practice in the details of all materials and methods even if they are not minutely detailed.
7. The contractor will be responsible to confirm all measurements and quantities by their own measurement.
8. Any contract awarded to the successful bidder will be between the contractor and the property owner and may be subject to the CCDC 2 contract form.
9. The bid will include, for reference, a proposed start and completion date. This information will be used in the decision making process.
10. The lowest or any tender may not necessarily be chosen.
11. The General Contractor will obtain and hold in force until the completion of this job a minimum of \$2,000,000 Contractor's General Liability insurance and a current account with The Workers Compensation Board plus whatever other insurance's are deemed necessary by the contractor.
12. The General Contractor shall provide a qualified job superintendent to be on site (or available by phone) at all times that work is being done under this scope of work.
13. The General Contractor shall be responsible to maintain the work site in a neat and orderly fashion to allow for safe entrance to the site and completion of the work.
14. The site shall be maintained free of waste and debris and to a broom clean condition on a daily basis.
15. The construction site is deemed to be a non-smoking site. The General Contractor shall be responsible for the enforcement of this requirement. Violation of this requirement shall result in the immediate and permanent dismissal of the offending person from the site.
16. The General Contractor shall be responsible for the final clean up of the site in preparation for an interim or final inspection.
17. The General Contractor shall be responsible for the reparation of any damages caused by, or as a result of, the repair work being carried out under this bid document.
18. The Contractor shall provide a one full year warranty on materials and workmanship for all work provided under this bid document. This warranty to be dated from the signing of the completion certificate by the owner.



19. Progress invoices will be accepted on a monthly basis. Invoices sent are subject to a 10% hold back for 55 days beyond substantial completion of the work.
20. The HST on commercial projects must be collected from the owner of the property and should not be included in the commercial bid price.
21. The bids will be submitted on the attached form and will be valid for a period of 60 days.

**-End of General Requirements-**

## TYPICAL FINISHES

For the purpose of this document the front of the building represents East.

### Doors

#### Unit entry doors

- Metal slip on frame sealed and painted two (2) coats
- 3M foam weatherstripping
- Flat panel solid core stain grade door (20-min. fire rating) stained to finish
- 2" high unit numbers (brass)
- Brass peephole
- Spartan deadbolt
- Spartan nickel finish keyed entry passage set
- Brass hinges
- NOTE: Items needed for code upgrade are as follows:
  - fire rated door without mail slot
  - self-closing hinges or door closer

#### Bifold doors

- Flat panel hollow core bifold door (flush finish)
- Decorative brass pull
- Woodwork sealed and painted two (2) coats

#### Interior unit doors

- Flat panel hollow core stain grade slab
- Brass hinges
- Metal slip on frame sealed and painted two (2) coats
- Door stained to finish
- Standard grade brass passage set
- NOTE: Privacy passage set on bathroom door.

#### Corridor doors

- Flat panel solid core stain grade door (45 min. fire rating) stained to finish
- Metal slip on door frames
- Brass hinges and passage set
- Taymor self closer

### Ceilings

- Drywall with textured finish
- NOTE: Closets and bathrooms – smooth finish.

## **Walls**

- Drywall sealed and painted two (2) coats as per architectural details and design

## **Flooring**

- Oak face nailed, finished in place strip flooring to living room, dining room, hallway and bedrooms
- Sheet vinyl flooring in bathroom and kitchen (Armstrong Initiator)

## **Windows**

- Single pane, aluminum frame – code upgrade: double pane thermally broken vinyl frame
- 1x SPF window sill sealed and painted two (2) coats
- Designview 2" faux wood blinds

## **Baseboard**

- Stain grade quarter round base to perimeter of all areas

## **Cabinetry**

### Upper and lower

- Built in place plywood boxes with flat panel doors and drawer fronts to be replaced with Builders grade flat panel thermafoil wrapped boxes, doors, and drawer fronts
  - D-handle brass pulls
  - Surface mounted brass hinges
  - Flat laid laminate countertop with 4" backsplash
  - Total of approximately 12'6" of uppers
  - Total of approximately 8'6" of lowers

## **ADDITIONAL ROOM FINISHES**

### **Entry & Hallway**

- Two (2) light fixture as per electrical specifications
- Closet rod and shelf to full width of entry closet
- Four (4) shelves to linen closet sealed and painted two (2) coats (each shelf measuring approximately 12" x 24")
- Intercom system (Mirtone)
- Standard light switches and electrical outlets

### **Living Room**

- Honeywell thermostat as per electrical details and design
- Standard light switches and electrical outlets as per electrical details and design
- Hot water baseboard heat – approximately 12 lineal ft.

- No light fixture

### **Dining Room**

- One (1) light fixture as per electrical specifications
- Hot water baseboard heat – approximately 5 lineal ft.

### **Kitchen**

- One (1) light fixture as per electrical specifications
- Citadel 2-speed 24" range hood
- 24" 4-burner apartment size stove
- 24" apartment refrigerator
- Single bowl stainless steel sink complete with 2-knob faucet
- 12" towel bar mounted to inside of cabinetry door under sink
- GE 12.1 cu. ft. Top Freezer No-Frost Refrigerator
- GE 24" Electric coil range

### **Bathroom**

- Nutone bathroom fan
- Lighting and heat as per electrical details and design
- 24" chrome towel bar
- One (1) recessed medicine cabinet complete with mirrored door measuring approximately 16" x 26"
- 4' vanity consisting of:
  - Recessed panel door fronts with D-handle pulls
  - Surface mounted brass hinges
  - Raised panel drawer front
  - Flat laid laminate countertop with 4" backsplash to all three (3) sides
- Crane toilet
- Enamel over steel bathtub complete with 3-knob chrome faucet, diverter valve and chrome spout
- Chrome shower head
- Ceramic tile tub surround 2'3" down from ceiling height to tub (4' x 2'6", 4' x 5' and 4' x 2'6")
- Wall mounted chrome shower curtain rod
- Chrome toilet paper holder

### **Bedrooms**

- One (1) light fixture as per electrical specifications
- One (1) keyless light fixture above closet entry door (inside)
- Hot water baseboard heater – approximately 6 lineal ft.
- Closet rod and shelf sealed and painted two (2) coats measuring 4 lineal ft.
- NOTE: Closet door is swing door as per bedroom entry door.

## **COMMON AREAS**

### **Ceilings**

- Drywall textured finish, sealed and painted two (2) coats

### **Walls**

- Drywall textured finish, sealed and painted two (2) coats
- 4' x 8' sheet paneling to lobby / entrance walls (North and South) offset @ 16" complete with full upright trims (refer to attached photo)
- Wallpaper to North and South ends of corridors

### **Flooring**

- Carpet and underpad to Hallways as per ICC validation # 745835
- Carpet and underpad to Stairwell as per ICC validation # 745836

### **Baseboard**

- 1" x 2" flat stock sealed and painted two (2) coats

**- End of Material and Finish Specifications-**

## SCOPE OF WORK

### General Items

- All permitting costs are to be included in the bid
- Final Clean to all areas upon completion of work
- Provide new locks and keys complete with key schedule to building complete
- Smoke seal all exposed original sheathing and framing prior to installation of finishes.
- Fire stop all suite to corridor and suite to suite demising walls prior to application of fixtures or framing (ie: bathtub, framed drop)
- Pressure wash building exterior upon completion of repairs
- Clean grounds upon completion of repairs
- Submit schedule of repairs detail with bid submission
- Design, supply and install a fire safety plan for the entire building
- Supply and install signage, documentation and equipment in accordance with the fire safety plan including new fire extinguishers to all areas.
- Supply and install Aluminum wall mounted mail boxes for 20 unit capacity
- Supply and install new refrigerator and stove as per typical finishes to units 205 and 305
- Remove and replace refrigerator to all units
- Remove and replace window coverings to all units as per typical finishes
- Elevator repairs will be handled outside of this scope of work
- NOTE: ceiling texture has tested positive for asbestos, any painting of ceilings that have never been previously painted are to be done so under moderate risk Work Safe BC Regulations.

### Electrical

- Remove and replace electrical wiring and devices to units 205 and 305 as well as common corridors as per attached electrical details and design
- Supply and install Fire Alarm System and emergency lighting as per attached electrical details and design (Code Upgrade Item)
- Complete all other electrical work detailed on attached electrical details and design
- Design, supply and install a metal cage to protect the electrical feed LB boxes on the exterior of the building (SE corner) Note: LB's must remain serviceable by way of tamper resistant mounting hardware to the cage
- Fire stop all exposed mechanical and electrical penetrations with approved fire stopping agents
- Test all exposed low voltage heating wiring prior to installation of finishes, replace any damaged wiring with new
- NOTE: New feed lines to units 205 and 305 are not required as per Megger testing completed by Wespac Electric. (Attached to this Scope of Work)

### Mechanical

- Replace domestic water piping in units 205 and 305 with new in accordance with latest building code
- Supply and install new domestic water supply, waste and vent lines to exposed areas (unit 101 bathroom, 102 bathroom, 103 kitchen, 204 kitchen, 206 bathroom, 207 bathroom, 208 kitchen, 304 kitchen, 306 bathroom, 307 bathroom, 308 kitchen)





*Ethics - Excellence - Value - Teamwork*

- Flush and rod both the storm drainage and the sanitary systems to remove all debris in entire system
- Pressure test water piping to building code specifications. Alternate tests as called for by plumbing inspector
- Test sanitary and storm to building code specifications. alternate tests as called for by plumbing inspector
- General service to boiler system including bleeding of zones and restoring hot water heat to all areas
- Remove and replace hot water heat registers to units 205 and 305 and common areas
- Fire stop all exposed mechanical and electrical penetrations with approved fire stopping agents
- Fire stop all exposed mechanical chases as per architectural details and design

**THIRD FLOOR****UNIT 301**

- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical
- NOTE: Temporary power for ongoing emergency work is wired into fuse panel.
- Remove and disconnect temporary power

**UNIT 302**

- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical

**UNIT 303**

- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical

**UNIT 304**

- Remove and replace oak hardwood flooring as per typical to living room, dining room, hallway, entry way and bedroom
- Detach and reset baseboard to areas where flooring replaced
- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Seal and paint cabinetry to unit complete (inside and outside)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical

**UNIT 305**

- NOTE: Provide allowance for removal and replacement of ten (10) studs to account for warped / twisted studs and back framing.
- Supply and install plumbing vent stacks, plumbing supply and waste lines to unit complete
- Remove and replace electrical wiring and devices to suite complete. As per electrical details and design

**Bedroom**

- Supply and install insulation and 6 mil vapour barrier to exterior walls complete with sealed seams as per architectural details and design

- Supply and install batt insulation to suite to suite demising walls as per architectural details and design (note: 2x6 top and bottom plates with staggered 2x4 studs at 8" oc)
- Supply and install insulation and 6-mil vapour barrier to ceiling complete with sealed seams as per architectural details and design
- Supply and install drywall to walls and ceilings as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Supply and install baseboard heat to exterior wall approximately 6 lineal ft.
- Remove and replace oak hardwood flooring as per typical
- Supply and install baseboard as per typical
- Remove and replace 1x window sill
- Seal and paint window sill
- Supply and install window curtains and hardware
- Supply and install closet bypass door as per typical
- Supply and install closet shelving and closet rod (one shelf and rod East-West, one shelf and rod North – South)
- Supply and install bedroom entry door as per typical

#### Bathroom

- Supply and install insulation and 6mil vapour barrier to ceiling complete with sealed seams as per architectural details and design
- Supply and install batt insulation to suite to suite demising walls (note: 2x6 top and bottom plates with staggered 2x4 studs at 8" oc)
- Supply and install batt insulation to suite to hallway demising wall
- Remove and replace bathroom exhaust fan complete with new venting
  - Upgrade venting to be routed to run north through entry way, kitchen and to the north suite to suite demising wall, then run East to exit East exterior wall
- Remove and dispose of recessed heat lamp /light fixture
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls and ceiling two (2) coats
- Supply and install one (1) 6-bulb chrome bar style light fixture
- Supply and install recessed medicine cabinet sized to fit opening complete with mirrored door
- Supply and install vanity sized to fit opening as per typical
- Remove and replace linoleum to floor as per typical
- NOTE: At least two (2) layers for removal.
- Supply and install baseboard as per typical
- Remove and replace sub floor system
- Remove and replace enamel over steel bathtub
- Remove and replace chrome spout
- Remove and replace chrome diverter valve
- Remove and replace chrome knob style hot and cold faucets
- Supply and install new chrome shower head
- Remove and replace Cranada toilet

- Supply and install Crane bathroom sink complete with self sealing rim and chrome faucet
- Supply and install bathroom entry door as per typical
- Supply and install chrome toilet paper holder
- Supply and install ceramic tile tub surround as per typical
- Supply and install chrome towel bar

#### Entry way

- Supply and install insulation and 6mil vapour barrier to ceiling complete with sealed seams as per architectural details and design
- Supply and install batt insulation to suite to hallway demising wall as per architectural details and design
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Supply and install closet bifold door to entry closet as per typical
- Supply and install closet rod and shelf to width of entry closet
- Seal and paint closet shelf
- Supply and install four (4) linen shelves to linen closet
- Seal and paint shelves
- Supply and install bifold door to linen closet as per typical
- Seal and paint bifold doors to entry and linen closets
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical
- Supply and install two (2) flush mount style light fixtures
- Remove and replace hardwood flooring as per typical
- Supply and install baseboard as per typical

#### Kitchen

- Supply and install insulation and 6mil vapour barrier to ceiling complete with sealed seams as per architectural details and design
- Supply and install batt insulation to suite to hallway demising wall as per architectural details and design
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Supply and install one (1) globe style light fixture
- Supply and install upper and lower cabinetry as per typical
- Supply and install kitchen sink and faucet as per typical
- Remove and replace linoleum to floor
- Remove and replace sub floor system
- Remove and replace one (1) single speed 24" range hood fan complete with light
- Remove and replace ducting for hood fan

- NOTE: New ducting to run to north suite to suite demising wall. New drop to be framed in on north suite to suite demising wall to accommodate replacement of bathroom and kitchen venting.
- Supply and install baseboard as per typical

#### Dining room

- Frame drop to north suite to suite demising wall to entire length of wall to accommodate new venting of kitchen and bathroom exhaust fans
- Supply and install insulation and vapour barrier to ceiling as per architectural details and design
- Supply and install batt insulation to suite to suite demising walls as per architectural details and design
- Supply and install batt insulation to suite to hallway demising wall as per architectural details and design (note: 2x6 top and bottom plates with staggered 2x4 studs at 8" oc)
- Remove and replace temporary roof drain line with cast iron
- Remove and replace face nailed oak strip flooring as per typical
- Supply and install baseboard as per typical
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Remove and replace one (1) dish style light fixture
- Supply and install hot water baseboard heater

#### Living room

- Supply and install insulation and 6mil vapour barrier to ceiling complete with sealed seams as per architectural details and design
- Supply and install batt insulation and vapour barrier to exterior wall as per architectural details and design
- Supply and install batt insulation to suite to suite demising walls as per architectural details and design (note: 2x6 top and bottom plates with staggered 2x4 studs at 8" oc)
- Remove and replace face nailed oak strip flooring as per typical
- Supply and install baseboard as per typical
- Supply and install drywall to walls and ceiling
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Supply and install 1x window sill as per typical
- Supply and install window curtains and hardware
- NOTE: Roof is leaking at patio door area. Roof leak is pre-existing as per staining and will need to be repaired before finishes are installed.

#### **UNIT 306**

- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Seal and paint cabinetry to unit complete (inside and outside)

- Supply and install new supply and waste lines to bathroom (cut and removed from unit 305)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical
- Remove and replace hardwood flooring with oak tongue and groove hardwood flooring to entryway, hallway, living, dining and bedroom
- Detach and reset baseboard to facilitate flooring replacement
- Refinish baseboard

**UNIT 307**

- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Seal and paint cabinetry to unit complete (inside and outside)
- Supply and install plumbing supply and waste lines to bathroom
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical
- Remove and replace hardwood flooring with oak tongue and groove hardwood flooring to entryway, hallway, living and dining rooms
- Detach and reset baseboard to facilitate flooring replacement
- Refinish baseboard

**UNIT 308**

- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Seal and paint cabinetry to unit complete (inside and outside)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical
- NOTE: Roof is leaking in this unit at entry way section. Repairs not part of this scope of work



### **THIRD FLOOR COMMON CORRIDOR**

#### **South corridor**

- Supply and install insulation and 6mil vapour barrier to ceiling complete with sealed seams as per architectural details and design
- Supply and install insulation to suite to corridor demising walls as per architectural details and design
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Texture walls and ceilings
- Seal and paint walls and ceilings two (2) coats
- Supply and install carpet and underpad as per typical finishes
- Supply and install baseboard to perimeter of area

#### **South stairwell**

- Supply and install insulation and vapour barrier to ceiling as per architectural details and design
- Supply and install insulation to suite to stairwell demising walls
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Texture walls and ceilings
- Seal and paint walls and ceilings two (2) coats
- Remove and replace broken 1x trim board on East wall at stair riser
- Seal and paint trim board two (2) coats
- Supply and install carpet and underpad as per typical finishes
- Supply and install baseboard to perimeter of area as per typical
- Supply and install plumbing supply and waste lines to unit 308 kitchen area
- Supply and install tactile warning strips
- Remove and replace corridor to stairwell door as per typical

#### **North corridor**

- Supply and install insulation and 6mil vapour barrier to ceiling complete with sealed seams as per architectural details and design
- Supply and install insulation to suite to corridor demising walls as per architectural details and design
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Texture walls and ceilings
- Seal and paint walls and ceilings two (2) coats
- Remove and replace garbage chute entry door slab and frame (to be 45 min fire rated) as per typical
- Seal and paint garbage chute area two (2) coats
- Supply and install carpet and underpad as per typical finishes
- Supply and install baseboard to perimeter of area as per typical

- Remove and replace 45 minute fire rated corridor to corridor and corridor to stairwell door and frame as per typical

**North Stairwell to main floor**

- Seal and paint walls and ceilings complete (all floors)
- Remove and replace carpet and underpad as per typical finishes
- Seal and paint baseboard and trims

**SECOND FLOOR****UNIT 201**

- No fire related damages noted at time of inspection.
- Remove and replace entry door slab with 20-min. fire rated door slab

**UNIT 202**

- No fire related damages noted at time of inspection.
- Remove and replace entry door slab with 20-min. fire rated door slab

**UNIT 203**

- No fire related damages noted at time of inspection.
- Remove and replace entry door slab with 20-min. fire rated door slab

**UNIT 204**

- Remove and replace oak hardwood flooring as per typical to living room, dining room, hallway, and entryway
- Detach and reset baseboard to areas where flooring replaced
- Supply and install vinyl flooring to kitchen room including subfloor
- Supply and install insulation to dining room ceiling as per architectural details and design
- Supply and install drywall to dining room ceiling as per architectural details and design
- Tape and finish drywall repairs ready for paint
- Texture dining room ceiling blending into existing
- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical
- Remove and replace bedroom flooring as per typical finishes
- Remove and replace water damaged drywall to NE corner of room (approximately 2'x6' section)
- Supply and install plumbing supply and waste lines to kitchen

**UNIT 205 (source unit)**

- NOTE: Account for removal and replacement of ten (10) studs to account for warped, twisted studs and back framing.
- Remove and replace electrical complete to this unit as per electrical details and design
- Remove and replace original plumbing supply and waste lines complete to this unit

**Bedroom**

- Remove and replace aluminum framed bedroom window as per typical
- Remove and replace charred 2x4 framing members to bedroom entry door area
- Supply and install drywall to walls and ceiling as per architectural details and design

- Supply and install batt insulation and 6 mil vapour barrier to exterior walls as per architectural details and design
- Supply and install batt insulation to suite to suite demising wall as per architectural details and design (note: 2x6 top and bottom plates with staggered 2x4 studs at 8" oc)
- Supply and install insulation to ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Remove and replace flush mount button style light fixture to ceiling
- Supply and install baseboard heat to exterior wall approximately 6 lineal ft.
- Remove and replace oak hardwood face nailed strip flooring
- Supply and install closet door as per typical
- Supply and install closet shelving and closet rod (one shelf and rod East-West, one shelf and rod North - South)
- Seal and paint closet shelving
- Supply and install 1x window sill
- Seal and paint window sill two (2) coats
- Supply and install window curtains and hardware

#### Bathroom

- Remove and replace one (1) 2x3 drop ceiling
- Remove and replace charred 2x4 to bathroom entry door area
- Supply and install insulation to ceiling complete with sealed seams as per architectural details and design
- Supply and install batt insulation to suite to suite demising walls (note: 2x6 top and bottom plates with staggered 2x4 studs at 8" oc)
- Supply and install batt insulation to suite to hallway demising wall
- Remove and replace bathroom exhaust fan complete with new venting
- Upgrade venting to be routed to run north through entry way, kitchen and to the north suite to suite demising wall, then run East to exit East exterior wall
- Remove and dispose of recessed heat lamp / light fixture
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls and ceiling two (2) coats
- Supply and install one (1) 6-bulb chrome bar style light fixture
- Supply and install recessed medicine cabinet sized to fit opening complete with mirrored door
- Supply and install vanity sized to fit opening as per typical
- Remove and replace linoleum to floor as per typical
- Supply and install baseboard as per typical
- Remove and replace sub floor system
- Remove and replace enamel over steel bathtub
- Remove and replace chrome spout
- Remove and replace chrome diverter valve
- Remove and replace chrome knob style hot and cold faucets
- Remove and replace bathtub
- Supply and install new chrome shower head

- Remove and replace Cranada toilet
- Supply and install Crane bathroom sink complete with self sealing rim and chrome faucet
- Supply and install bathroom entry door as per typical
- Supply and install chrome toilet paper holder
- Supply and install ceramic tile tub surround as per typical
- Supply and install chrome towel bar

#### Entry way

- Supply and install insulation to ceiling as per architectural details and design
- Supply and install batt insulation to suite to hallway demising wall as per architectural details and design
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Supply and install closet bifold door to entry closet as per typical
- Supply and install closet rod and shelf to length of entry closet
- Seal and paint closet shelf
- Supply and install four (4) linen shelves to linen closet
- Seal and paint shelves
- Supply and install bifold doors to linen and entry closet as per typical
- Seal and paint bifold doors to entry and linen closets
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical
- Supply and install two (2) ceiling hugger style light fixtures
- Remove and replace hardwood flooring as per typical
- Supply and install baseboard as per typical

#### Kitchen

- Remove and replace approximately five (5) charred studs from east kitchen wall
- Remove and replace bulkhead on east and west kitchen walls measuring approximately 6 lineal ft. each
- Remove and replace drop ceiling system in kitchen and dining room areas
- Supply and install insulation to ceiling as per architectural details and design
- Supply and install batt insulation to suite to hallway demising wall as per architectural details and design
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Supply and install one (1) globe style light fixture
- Supply and install upper and lower cabinetry as per typical
- Supply and install kitchen sink and faucet as per typical
- Remove and replace linoleum to floor
- Remove and replace sub floor system
- Remove and replace one (1) single speed 24" range hood fan complete with light

- Remove and replace ducting for hood fan
- NOTE: New ducting to run to north suite to suite demising wall. New drop to be framed in on north suite to suite demising wall to accommodate replacement of bathroom and kitchen venting.
- Supply and install baseboard as per typical

#### Dining room

- Frame drop to north suite to suite demising wall to entire length of wall to accommodate new venting of kitchen and bathroom exhaust fans
- Supply and install insulation to ceiling as per architectural details and design
- Supply and install batt insulation to suite to suite demising walls as per architectural details and design
- Supply and install batt insulation to suite to hallway demising wall as per architectural details and design (note: 2x6 top and bottom plates with staggered 2x4 studs at 8" oc)
- Remove and replace face nailed oak strip flooring as per typical
- Supply and install baseboard as per typical
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Remove and replace one (1) dish style light fixture
- Supply and install hot water baseboard heater

#### Living room

- Remove and replace valance to exterior wall
- Supply and install insulation to ceiling as per architectural details and design
- Supply and install batt insulation and vapour barrier to exterior wall as per architectural details and design
- Supply and install batt insulation to suite to suite demising walls as per architectural details and design (note: 2x6 top and bottom plates with staggered 2x4 studs at 8" oc)
- Remove and replace face nailed oak strip flooring as per typical
- Supply and install baseboard as per typical
- Supply and install drywall to walls and ceiling
- Tape and finish drywall ready for paint
- Seal and paint walls two (2) coats
- Seal and texture ceiling
- Supply and install 1x window sill as per typical
- Remove and replace aluminum framed patio door sized to fit opening
- Supply and install window curtains and hardware

#### **UNIT 206**

- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Seal and paint cabinetry to unit complete (inside and outside)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical

- Supply and install new supply and waste lines to bathroom (cut and removed from unit 205)
- Remove and replace hardwood flooring with oak tongue and groove hardwood flooring to entryway, hallway, living and dining rooms
- Detach and reset baseboard to facilitate flooring replacement
- Refinish baseboard

#### **UNIT 207**

- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Seal and paint cabinetry to unit complete (inside and outside)
- Supply and install new supply and waste lines to bathroom
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical
- Remove and replace hardwood flooring with oak tongue and groove hardwood flooring to entryway, hallway, living and dining rooms
- Detach and reset baseboard to facilitate flooring replacement
- Refinish baseboard

#### **UNIT 208**

- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Seal and paint cabinetry to unit complete (inside and outside)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical
- NOTE: As a result of roof leaking in unit 308, there is water damage in this unit that is not part of this scope of repair.



## **SECOND FLOOR COMMON CORRIDOR**

### **South corridor**

- Supply and install insulation to ceiling as per architectural details and design
- Supply and install insulation to suite to corridor demising walls as per architectural details and design
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Texture walls and ceilings
- Seal and paint walls and ceilings two (2) coats
- Supply and install carpet and underpad as per typical finishes
- Supply and install baseboard to perimeter of area

### **South stairwell to main floor**

- Supply and install insulation to ceiling as per architectural details and design
- Supply and install R12 insulation to suite to stairwell demising walls
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Texture walls and ceilings
- Seal and paint walls and ceilings two (2) coats
- Remove and replace electrical wiring and devices to area complete as per electrical details and design
- Remove and replace broken 1x trim board on East wall at stair riser
- Seal and paint trim board two (2) coats
- Supply and install light fixture as per typical
- Supply and install carpet and underpad as per typical finishes
- Supply and install baseboard to perimeter of area as per typical
- Supply and install plumbing supply and waste lines to unit 308 kitchen area
- Supply and install continuous handrails
- Supply and install tactile warning strips
- Remove and replace corridor to stairwell door as per typical

### **North corridor**

- Supply and install insulation to ceiling complete as per architectural details and design
- Supply and install R12 insulation to suite to corridor demising walls as per architectural details and design
- Supply and install drywall to walls and ceiling as per architectural details and design
- Tape and finish drywall ready for paint
- Texture walls and ceilings
- Seal and paint walls and ceilings two (2) coats
- Supply and install three (3) flush mount button style light fixtures as per typical
- Remove and replace garbage chute entry door slab and frame (to be 45 min fire rated) as per typical
- Seal and paint garbage chute area two (2) coats

- Supply and install carpet and underpad as per typical finishes
- Remove and replace electrical wiring and devices to area complete as per electrical details and design
- Supply and install emergency exit sign
- Supply and install baseboard to perimeter of area as per typical
- Remove and replace 45 minute fire rated corridor to corridor and corridor to stairwell door and frame as per typical

**FIRST FLOOR****UNIT 104**

- Remove and replace entry door slab with 20-min. fire rated door slab
- No fire related damage noted at time of inspection

**UNIT 103**

- Remove and replace entry door slab with 20-min. fire rated door slab
- No fire related damage noted at time of inspection
- NOTE: All other work to this unit is to be priced under the second claim.

**UNIT 102**

- Remove and replace entry door slab with 20-min. fire rated door slab as per typical
- Remove and replace flooring to entire bedroom as per typical finishes
- Repair cutout subfloor
- NOTE: Damages to flooring in southwest bedroom are pre-existing.
- Detach and reset bifold doors and bedroom entry door to facilitate replacement of flooring.
- Detach and reset baseboards to facilitate replacement of flooring
- Seal and paint baseboards upon reinstallation
- Seal and paint walls and ceilings
- No other fire related damages noted to unit at time of inspection

**UNIT 101**

- Remove and replace entry door slab with 20-min. fire rated door slab
- Repair drywall damages to bathroom where plumbing lines removed
- No fire related damage noted at time of inspection

**CORRIDOR TO LAUNDRY ROOM AREA**

- Supply and install carpet and pad as per typical finishes
- Supply and install baseboard as per typical finishes

**FIRST FLOOR CORRIDOR AND ENTRY / LOBBY AREA**

- Supply and install insulation and vapour barrier to exterior walls as per architectural details and design
- Supply and install insulation to ceiling as per architectural details and design
- Supply and install insulation to suite to suite and suite to corridor walls as per architectural details and design
- Supply and install drywall to walls and ceilings as per architectural details and design
- Tape and finish drywall ready for paint

- Texture walls and ceilings
- Seal and paint walls and ceilings two (2) coats
- Supply and install wood paneling to entry / lobby area walls as per typical finishes
- Supply and install carpet and underpad as per typical finishes
- Supply and install baseboard as per typical
- Seal and paint baseboard two coats
- Remove and replace corridor door slabs and metal frames with 45 min. fire rated door slabs as per typical

## **EXTERIOR**

### **East side of building**

- Smoke seal all exposed original framing and sheathing prior to installation of new finishes
- Remove and replace aluminum siding to unit 305 and 205 from south most section of 305 and 205 running north to north most section of 305 and 205
- Remove and replace stucco to unit 205 and 305 including underside of 305 deck
- Remove and replace stucco soffit including bug screen to unit 303, 304, 305, and 306
- Seal and paint siding, stucco and soffit to match existing
- Remove and replace 1x12 fascia board to deck of 305
- Seal and paint fascia board two (2) coats
- Detach and reset guard rail to 205 and 305 to facilitate siding replacement
- Clean, deodorize and refinish guardrails
- Clean, deodorize, seal and paint 205 and 305 exterior decking with an approved exterior grade decking paint
- Remove and replace wire channels/raceways to facilitate siding replacement
- NOTE: settling cracks on south elevation are not as a result of fire damage and are not considered in this scope of repair.

**-End of Scope of Work-**

1497 Martin St.



**REPAIR BID DOCUMENT**

**FOR**

**File Name : 0819767 BC Ltd.**

**Location of Loss: O/A White Stone Manor  
White Rock, B.C.**

**Adjuster: Brent Serediak  
ClaimsPro Inc.  
Phone: (604) 519-6067  
Email: brent.serediak@scm.ca  
File # 53210-9991**

**SPECS File #: 10-37906**

**Issued for Tender November 10, 2011**

**BIDS TO BE RECEIVED IN THE SPECS OFFICES AT THE BELOW NOTED  
ADDRESS  
NO LATER THAN  
2:00 PM November 29<sup>th</sup> 2011**



SPECIALIZED PROPERTY EVALUATION CONSULTING SERVICES LIMITED  
Ethics ~ Excellence ~ Value ~ Teamwork

**Table of Contents**

**Contents**

Table of Contents ..... 2

Invitation To Tender ..... 3

General Requirements..... 4

Bid Submission ..... 12

Supplemental Costs Document..... 15



**Invitation To Tender**

You are hereby invited to submit a Tender for the:

**Fire Damage Repairs  
at  
O/A White Stone Manor  
White Rock, B.C. V4B 3W8**

- (1) **The intent of the bid is to establish a fixed price for the work as per the general requirements, specifications and scope of work attached to this document.**
- (2) **Tender documents have been sent out from SPECS Limited on: November 3<sup>rd</sup> 2011 at 10 am.**
- (3) **Site access and conditions  
Lock Box at rear of building on gas meter code is "DFV"  
Alarm panel at end of hallway code is 5099**
- (4) **Contact person for inquiries is Aaron Visser:**

**Email: avisser@specs.ca  
Fax: (604) 882-8940  
Phone: (604) 882-8930  
Address: 20085 - 96 Avenue  
Langley, BC V1M 3C6**

- (5) **Tenders will be accepted via email, fax, courier, or hand no later than:  
2:00 pm Friday November 29<sup>th</sup> ,2011**

**at**

**Email: avisser@specs.ca  
Fax: (604) 882-8940  
Phone: (604) 882-8930  
Address: 20085 - 96 Avenue  
Langley, BC V1M 3C6**

- (6) **All tenders must be received in the format provided in this Bid Submission Form, including additional addenda. Incomplete submission forms will be considered not valid and may be rejected.**
- (7) **Any additional work required, but not identified within the attached Bid Documents, must be clearly identified and priced on the provided Supplemental Cost document. The Supplemental Cost document must be submitted with the Bid Submission form.**

### **General Requirements**

1. Please direct questions, discrepancies, noted errors, omissions or concerns to Aaron Visser at [avisser@specs.ca](mailto:avisser@specs.ca)
2. The notes and job scope are to be read in conjunction with the Architectural and Electrical drawings and notes, if a conflict is present whatever work is more onerous is to be priced and installed.
3. Perform the work in accordance with the latest edition of The National Building Code of Canada, including code supplements, safety codes, workers compensation legislation, local bylaws and all applicable governing legislation.
4. The General Contractor shall be responsible for the obtaining and payment of any and all necessary licenses, fees, permits, inspections etc. that are required to perform the work in the locale in which it is situated.
5. All materials and workmanship shall be of like kind and quality as existed prior to the loss in the structure and shall be in accordance with the trade standard manuals denoting workmanship, for that particular trade.
6. The General Contractor shall be responsible for the complete work in these documents including those items dictated by good practice in the details of all materials and methods even if they are not minutely detailed.
7. The contractor will be responsible to confirm all measurements and quantities by their own measurement.
8. Any contract awarded to the successful bidder will be between the contractor and the property owner.
9. The bid will include, for reference, a proposed start and completion date. This information will be used in the decision making process.
10. The lowest or any tender may not necessarily be chosen.
11. The General Contractor will obtain and hold in force until the completion of this job a minimum of \$2,000,000 Contractor's General Liability insurance and a current account with The Workers Compensation Board plus whatever other insurance's are deemed necessary by the contractor.
12. The General Contractor shall provide a qualified job superintendent to be on site (or available by phone) at all times that work is being done under this scope of work.
13. The General Contractor shall be responsible to maintain the work site in a neat and orderly fashion to allow for safe entrance to the site and completion of the work.
14. The site shall be maintained free of waste and debris and to a broom clean condition on a daily basis.
15. The construction site is deemed to be a non-smoking site. The General Contractor shall be responsible for the enforcement of this requirement. Violation of this requirement shall result in the immediate and permanent dismissal of the offending person from the site.
16. The General Contractor shall be responsible for the final clean up of the site in preparation for an interim or final inspection.
17. The General Contractor shall be responsible for the reparation of any damages caused by, or as a result of, the repair work being carried out under this bid document.
18. The Contractor shall provide a one full year warranty on materials and workmanship for all work provided under this bid document. This warranty to be dated from the signing of the completion certificate by the owner.

19. Progress invoices will be accepted on a monthly basis. Invoices sent are subject to a 10% hold back for 55 days beyond substantial completion of the work.
20. The HST on commercial projects must be collected from the owner of the property and should not be included in the commercial bid price.
21. The bids will be submitted on the attached form and will be valid for a period of 60 days.

**-End of General Requirements-**

## TYPICAL FINISHES

For the purpose of this document the front of the building represents East.

### Doors

#### Unit entry doors

- Metal slip on frame sealed and painted two (2) coats
- 3M foam weatherstripping
- Flat panel solid core stain grade door (20-min. fire rating) stained to finish
- 2" high unit numbers (brass)
- Brass peephole
- Spartan deadbolt
- Spartan nickel finish keyed entry passage set
- Brass hinges
- NOTE: Items needed for code upgrade are as follows:
  - fire rated door without mail slot
  - self-closing hinges or door closer

#### Bifold doors

- Flat panel hollow core bifold door (flush finish)
- Decorative brass pull
- Woodwork sealed and painted two (2) coats

#### Interior unit doors

- Flat panel hollow core stain grade slab
- Brass hinges
- Metal slip on frame sealed and painted two (2) coats
- Door stained to finish
- Standard grade brass passage set
- NOTE: Privacy passage set on bathroom door.

#### Corridor doors

- Flat panel solid core stain grade door (45 min. fire rating) stained to finish
- Metal slip on door frames
- Brass hinges and passage set
- Taymor self closer

### Ceilings

- Drywall with textured finish
- NOTE: Closets and bathrooms – smooth finish.

**Walls**

- Drywall sealed and painted two (2) coats as per architectural details and design

**Flooring**

- Oak face nailed, finished in place strip flooring to living room, dining room, hallway and bedrooms
- Sheet vinyl flooring in bathroom and kitchen (Armstrong Initiator)

**Windows**

- Single pane, aluminum frame – code upgrade: double pane thermally broken vinyl frame
- 1x SPF window sill sealed and painted two (2) coats
- Designview 2" faux wood blinds

**Baseboard**

- Stain grade quarter round base to perimeter of all areas

**Cabinetry**Upper and lower

- Built in place plywood boxes with flat panel doors and drawer fronts to be replaced with Builders grade flat panel thermafoil wrapped boxes, doors, and drawer fronts
  - D-handle brass pulls
  - Surface mounted brass hinges
  - Flat laid laminate countertop with 4" backsplash
  - Total of approximately 12'6" of uppers
  - Total of approximately 8'6" of lowers

**ADDITIONAL ROOM FINISHES****Entry & Hallway**

- Two (2) light fixture as per electrical specifications
- Closet rod and shelf to full width of entry closet
- Four (4) shelves to linen closet sealed and painted two (2) coats (each shelf measuring approximately 12" x 24")
- Intercom system (Mirtone)
- Standard light switches and electrical outlets

**Living Room**

- Honeywell thermostat as per electrical details and design
- Standard light switches and electrical outlets as per electrical details and design
- Hot water baseboard heat – approximately 12 lineal ft.

- No light fixture

### Dining Room

- One (1) light fixture as per electrical specifications
- Hot water baseboard heat – approximately 5 lineal ft.

### Kitchen

- One (1) light fixture as per electrical specifications
- Citadel 2-speed 24" range hood
- 24" 4-burner apartment size stove
- 24" apartment refrigerator
- Single bowl stainless steel sink complete with 2-knob faucet
- 12" towel bar mounted to inside of cabinetry door under sink
- GE 12.1 cu. ft. Top Freezer No-Frost Refrigerator
- GE 24" Electric coil range

### Bathroom

- Nutone bathroom fan
- Lighting and heat as per electrical details and design
- 24" chrome towel bar
- One (1) recessed medicine cabinet complete with mirrored door measuring approximately 16" x 26"
- 4' vanity consisting of:
  - Recessed panel door fronts with D-handle pulls
  - Surface mounted brass hinges
  - Raised panel drawer front
  - Flat laid laminate countertop with 4" backsplash to all three (3) sides
- Crane toilet
- Enamel over steel bathtub complete with 3-knob chrome faucet, diverter valve and chrome spout
- Chrome shower head
- Ceramic tile tub surround 2'3" down from ceiling height to tub (4' x 2'6", 4' x 5' and 4' x 2'6")
- Wall mounted chrome shower curtain rod
- Chrome toilet paper holder

### Bedrooms

- One (1) light fixture as per electrical specifications
- One (1) keyless light fixture above closet entry door (inside)
- Hot water baseboard heater – approximately 6 lineal ft.
- Closet rod and shelf sealed and painted two (2) coats measuring 4 lineal ft.
- NOTE: Closet door is swing door as per bedroom entry door.



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## **COMMON AREAS**

### **Ceilings**

- Drywall textured finish, sealed and painted two (2) coats

### **Walls**

- Drywall textured finish, sealed and painted two (2) coats
- 4' x 8' sheet paneling to lobby / entrance walls (North and South) offset @ 16" complete with full upright trims (refer to attached photo)
- Wallpaper to North and South ends of corridors

### **Flooring**

- Carpet and underpad to Hallways as per ICC validation # 745835
- Carpet and underpad to Stairwell as per ICC validation # 745836

### **Baseboard**

- 1" x 2" flat stock sealed and painted two (2) coats

**- End of Material and Finish Specifications-**



## SCOPE OF WORK

### General Items

- Final Clean to all areas upon completion of work
- NOTE: ceiling texture has tested positive for asbestos, any painting of ceilings that have never been previously painted are to be done so under moderate risk Work Safe BC Regulations.

### UNIT 308

- Supply and install insulation to ceiling in entryway where removed
- Supply and install drywall to ceiling in entryway where removed
- Tape and finish drywall repairs ready for paint
- Seal and texture drywall repairs blending into existing
- Remove and replace hardwood flooring as per typical finishes to entry, hallway, living, and dining rooms
- Detach and reset baseboard to facilitate repairs
- Refinish baseboards

### UNIT 208

- Supply and install insulation to ceiling in entryway where removed
- Supply and install drywall to ceiling in entryway where removed
- Tape and finish drywall repairs ready for paint
- Seal and texture drywall repairs blending into existing
- Remove and replace hardwood flooring as per typical finishes to entry, hallway, living, and dining rooms
- Detach and reset baseboard to facilitate repairs
- Refinish baseboards

### UNIT 103

- Supply and install vinyl flooring to kitchen as per typical
- Supply and install subfloor to kitchen
- Supply and install insulation to ceiling as per architectural details and design where cut out to dining to area measuring approximately 6'x6'
- Supply and install drywall to ceiling as per architectural details and design to area measuring approximately 6'x6'
- Tape and finish drywall ready for paint
- Texture ceiling blending into existing
- Remove and replace oak hardwood flooring as per typical to living room, dining room, hallway, entryway, and bedroom
- Detach, reset and refinish baseboard to areas where flooring replaced
- Seal and paint walls and ceilings to unit complete
- Seal and paint doors and trim work to unit complete (including shelving)
- Remove and replace entry door with 20-min. fire rated door and metal frame as per typical



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0819767 BC Ltd.  
Construction Bid Document  
Section 6. Scope of Work

**-End of Scope of Work-**



Redacted

Redacted

ELECTRICAL GROUND FLOOR KEY PLAN NOT TO SCALE

SCOPE OF WORK:

CODE UPGRADES: (SEPARATELY PRICED)

THE FOLLOWING AREAS HAVE BEEN IDENTIFIED AS BUILDING UPGRADES NOT IN KEEPING WITH CURRENT MINIMUM CODE STANDARDS. THESE ITEMS WERE NOT A DIRECT RESULT OF FIRE DAMAGE. THE CONTRACTOR IS TO SEPARATELY ITEMIZE THESE REQUIREMENTS IN ADDITION TO THE BASE BID TO ASSIST THE INSURED.

- a) MONITORED FIRE ALARM SYSTEM
b) EXIT AND EMERGENCY LIGHTING
c) MAIN BREAKER AT SUITE PANELS 205 & 305
d) DEDICATED FRIDGE RECEPTACLE
e) ARC FAULT BREAKERS FOR SUITE BEDROOM CIRCUITS
f) GROUND FAULT BREAKERS FOR SUITE KITCHEN COUNTERS & BATHROOM
g) MAIN SWITCH SPLICE.

DRAWING LIST

Table with 2 columns: DWG#, DESCRIPTION. Rows include E1 ELECTRICAL GROUND FLOOR PLAN, E2 ELECTRICAL SECOND FLOOR PLAN, E3 ELECTRICAL THIRD FLOOR PLAN, E4 ELECTRICAL SUITE LAYOUT, SCHEDULES & SPECIFICATIONS.

The review of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



REVISIONS table with columns DATE and DESCRIPTION. Includes entries for OCT 28, 2011 and NOV 2, 2011.

RECEIVED

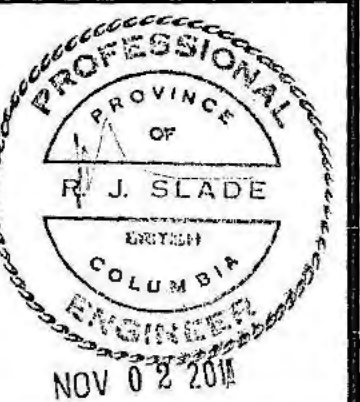
CITY OF WHITE ROCK DEVELOPMENT SERVICES

SML CONSULTANTS GROUP LTD.

PROFESSIONAL ELECTRICAL CONSULTING SERVICES
#109 - 7225 BROWN STREET
DELTA, BC V4G 1G5
TEL: (604) 946-7680
FAX: (604) 946-7682
EMAIL ADDRESS: inbox@smlconsultants.ca

FIRE RESTORATION OF 20 UNIT APARTMENT

CIVIC ADDRESS: 1497 MARTIN STREET WHITE ROCK B.C.



ELECTRICAL GROUND FLOOR PLAN

PROJECT NUMBER: SML - 1179
SCALE: AS NOTED
DATE: OCTOBER 2011
DRAWING NO.: E1 OF 4

- 1. Emergency lighting to be in all stairs and common areas.
2. Garbage room ceiling will be restored to a 3/4 hour rating.
3. Mid hallway doors/frames will be removed.
4. Fire Alarm System to current BCBC this is to include:
a. Smoke detectors required in the hallways not smoke alarms as indicated on the drawings.
b. Heat detectors required in each suite throughout as per FA system upgrade.
c. Hard wired Smoke Alarms are required in each suite in the building.
5. Suite doors are to be replaced with rated doors and self-closing hardware.
6. Bathtub surrounds along fire separation walls will be done to the fire damaged suites and to all other suites as they are being upgraded.
7. Bathroom and kitchen exhaust ducts in rated shafts only in fire damaged units.
8. Garbage shaft decommissioned and fire-stopped at each floor - 5/8" type x gb/ mineral wool.
9. Elevator - to be upgraded as per Safety Authority requirements.
10. The unauthorized suite is to be removed.
11. As the owner remodels the non-damaged suites he will be informed that appropriate venting is to be provided for range hood fans that do not vent to the exterior.

ELECTRICAL GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"
FIRE ALARM ZONE #1

KEY NOTES:

- 1 MONITORED FIRE ALARM CONTROL PANEL (FACP) VISIBLE FROM THE FRONT ENTRANCE AS PER B.C.B.C. REFER TO FIRE ALARM ZONE SCHEDULE ON DRAWING E4.
2 EXISTING MIRCUM ENTERPHONE PANEL.
3 REPAIR WIRING TO UNIT #102 BATHBAR.
4 CONTRACTOR TO SUPPLY AND INSTALL FOUR TYPE 'SA' FIXTURES AND REPLACE EXISTING WATER DAMAGE LIGHTS.
5 CONTRACTOR TO PROVIDE A SUITABLE JUNCTION BOX, RACEWAY AND WIRING SYSTEM FOR THE EXISTING BOILER CONTROL WIRING. REWIRE IN KEEPING WITH THE C.E.C.
6 EXISTING 400AMP-240VOLT SINGLE PHASE MAIN SWITCH. CONTRACTOR TO REMOVE EXISTING SPLICE FROM WITHIN THE SWITCH. CONTRACTOR TO ALLOW FOR A JUNCTION BOX AND SHORT PIECES OF 400AMP FEEDERS TO FACILITATE A PROPER SPLICE OUTSIDE THE MAIN SWITCH IN ACCORDANCE WITH THE C.E.C.
7 DOUBLE FACED EXIT SIGN.

1497 Martin St Fire Restoration BP # 1157









HEAT DETECTOR CONNECTED  
**Redacted**

TYPICAL SUITE 205 & 305 LAYOUT  
SCALE: 1/4"=1'-0"

SUITE NOTES:

- ALL BEDROOM RECEPTACLES TO BE ON ARC-FAULT CIRCUIT BREAKER
- CONNECT SMOKE ALARM TO UN-SWITCHED WIRING OF A LIGHTING CIRCUIT IN SUITE. PANEL SMOKE ALARMS WITHIN A SUITE SHALL BE WIRED TOGETHER SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS TO SOUND
- FOR TELEPHONE AND INTERNET: 8"x8"x4" JUNCTION BOX C/W COVER. PROVIDE 35mm CONDUIT FLOOR SERVICE CLOSET SUPPLIED AND INSTALLED BY DIV. 16. FOR TERMINATION OF IN-SUITE WIRING OF TEL AND ETHERNET OUTLETS
- HORIZONTAL SUITE STATION CONNECTED TO EXISTING MIROOM IS-401B-WHITE C/W 1B-2A BACKBOX.
- ALL SUITE PANELS ARE TO BE RECESSED MOUNTED COMPLETE WITH HINGED DOOR AND TYPE WRITTEN PANEL DIRECTORIES
- RECEPTACLE 5-15R FOR FRIDGE. DEDICATED 15A-1P
- RECEPTACLE 5-15R FOR MICROWAVE. DEDICATED 15A-1P
- RECEPTACLE 20AMP 5-20R FOR COUNTER PLUG.
- NEW WALL MOUNTED TELEPHONE LINE TO CONNECT TO EXISTING ENTERPHONE
- 40AMP-240V-1P RECEPTACLE FOR RANGE. 3C#8 CABLE
- CONTRACTOR TO SUPPLY & INSTALL NEW 300 WATT 120VOLT 1P COMPACT KICK SPACE HEATER AT BATHROOM MILLWORK. COORDINATE WITH GENERAL CONTRACTOR TO CUT GWB. FISH WIRING INTO MILLWORK AND PATCH. KICK SPACE HEATER TO BE QUELLET OCP SERIES 300WATT 120VOLT 1P KICK SPACE HEATER C/W REMOTE THERMOSTAT. TYPICAL FOR UNIT 205 & 305.

GENERAL NOTES:

- PRIOR TO COMMENCING INSTALLATION, CONFIRM LAYOUT OF AREAS WITH LATEST ARCHITECTURAL DRAWINGS AND ADJUST TO SUIT.
- CO-ORDINATE ALL KITCHEN OUTLET LOCATIONS AND HEIGHTS WITH THE ARCHITECTURAL ELEVATIONS.
- CONTRACTOR TO ENSURE MINIMUM CLEARANCES FOR ALL DEVICES IN WASHROOMS AS PER THE CANADIAN ELECTRICAL CODE.
- ALL RECEPTACLES OF CSA CONFIGURATION 5-15R AND 5-20R FOR RESIDENTIAL UNITS MUST BE TAMPER RESISTANT TYPE AND SHALL BE SO MARKED.

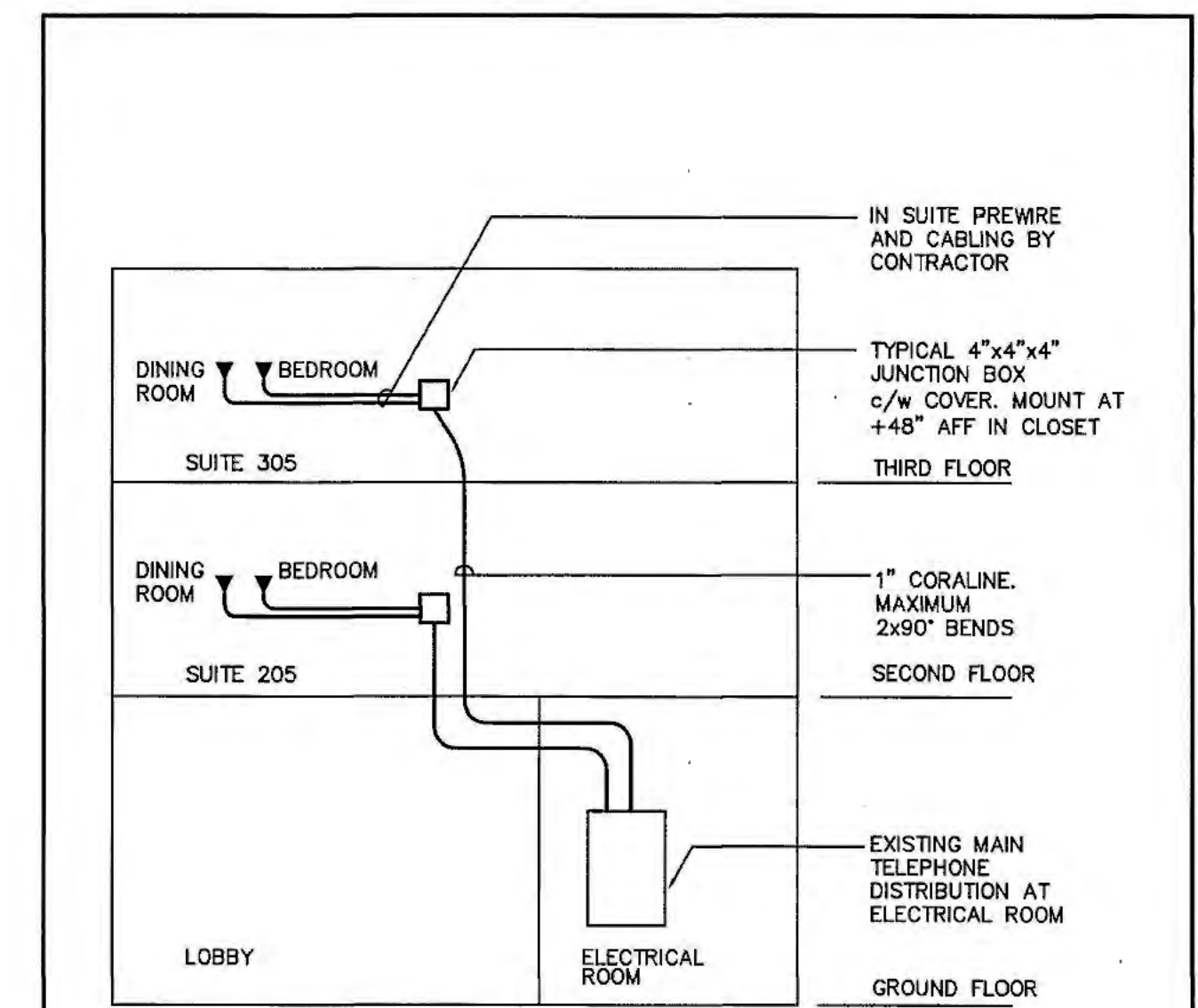
| PANEL             | LOCATION           | UNITS (TYPICAL)    | PAINTED: GRAY | S       |                   |             |
|-------------------|--------------------|--------------------|---------------|---------|-------------------|-------------|
| 120/240V 1P/3W    |                    |                    |               | 16 OCT. |                   |             |
| 100A MAIN BREAKER | GROUND BAR: NORMAL | INSTALLED: SURFACE |               |         |                   |             |
| SPEC. NOTE:       | DESCRIPTION        | CIRCUIT BREAKER    | CCT           | CCT     | DESCRIPTION       | SPEC. NOTE: |
|                   | COUNTER PLUG       | 20A                | 1             | 2       | RANGE             |             |
|                   | COUNTER PLUG       | 15A                | 3             | 4       |                   |             |
|                   | FRIDGE             | 15A                | 5             | 6       | RECEPTACLES       | ARC         |
|                   | MICROWAVE          | 15A                | 7             | 8       | RECEPTACLES       |             |
|                   | SPARE              | 15A                | 9             | 10      | LIGHTS            |             |
|                   | GFI/GFCI           | 15A                | 11            | 12      | LIGHTS            |             |
|                   | SPARE              | 15A                | 13            | 14      | LIGHTS            |             |
|                   | SPARE              | 15A                | 15            | 16      | BASE BOARD HEATER |             |

\* - PROVIDE LOCK-ON BREAKER DEVICE  
- PROVIDE 100A-2P MAIN BREAKER AT PANELS 205 & 305.  
- CONTRACTOR TO REMOVE AND REPLACE SUITE FEEDER TO 205 & 305. 3C#2 N.M.D. LOOMEX.

| TAG  | WATTS | CIRCUIT # | DC VOLT | MOUNTING HEIGHT | HEAD TYPE | NOTES              |
|------|-------|-----------|---------|-----------------|-----------|--------------------|
| EB-1 | 75    | NL        | 12      | ABOVE DOOR      | QUARTZ    | GROUND FLOOR       |
| EB-2 | 75    | NL        | 12      | ABOVE DOOR      | QUARTZ    | SECOND FLOOR       |
| EB-3 | 75    | NL        | 12      | ABOVE DOOR      | QUARTZ    | THIRD FLOOR        |
| EB-4 | 75    | NL        | 12      | +7'-6"          | QUARTZ    | SOUTH STAIR        |
| EB-5 | 75    | NL        | 12      | +7'-6"          | QUARTZ    | NORTH STAIR        |
| EB-6 | 36    | NL        | 12      | ABOVE DOOR      | QUARTZ    | ELEC./MACHINE ROOM |

- NOTE:
- EMERGENCY LIGHT UNITS MUST BE FED FROM NORMAL LIGHTING CIRCUITS IN AREAS IN WHICH THEY SERVE.
  - CONTRACTOR TO WIRE ALL REMOTE HEADS TO BATTERY PACK INDICATED. SEE TABLE BELOW FOR WIRE SIZE. ALL WIRING TO BE RUN IN CONDUIT MINIMUM 1/2" - 2 #12 RW90.
  - ALL REMOTE HEADS TO BE EMERGI-LITE EP9DQ-12V-12W MINIATURE QUARTZ.
  - BATTERY PACKS TO BE EMERGI-LITE 12ESL SERIES

| EMERGENCY LTG. VOLTAGE DROP TABLES              |     |     |     |     |     |     |     |     |      |      |
|---|-----|-----|-----|-----|-----|-----|-----|-----|------|------|
| LENGTH OF WIRE RUN IN FEET FOR A 12 VOLT SYSTEM |     |     |     |     |     |     |     |     |      |      |
|   | 13W | 18W | 25W | 30W | 35W | 50W | 60W | 75W | 100W | 150W |
| #12 AWG   | 165 | 110 | 85  | 71  | 61  | 42  | 35  | 29  | 22   | 14   |
| #10 AWG   | 260 | 190 | 138 | 112 | 97  | 68  | 52  | 45  | 34   | 23   |
| #8 AWG  | 415 | 300 | 215 | 180 | 154 | 108 | 90  | 72  | 54   | 36   |



TELEPHONE RISER

NOT TO SCALE  
NOTE:  
1) CATV DISTRIBUTION AND CABLING IS NOT IN SCOPE. FOR CATV REQUIREMENT CONTACT THE UTILITY.

| SUITE FIXTURE SCHEDULE |   |      |                      |          |
|------------------------|---|------|----------------------|----------|
| TYPE                   | DESCRIPTION   | VOLT | LAMPS                | MOUNTING |
| SA                     | TRI CLIP, ALABASTER DISH FIXTURE GALAXY 396501        | 120  | 2-60WATT A19         | SURFACE  |
| SB                     | 3 FOOT INCANDESCENT BATHBAR C/W 4 LAMPS GALAXY 281173 | 120  | 5x60W G INCANDESCENT | WALL     |

| COMMON AREA FIXTURE SCHEDULE |  |        |                     |           |
|------------------------------|--|--------|---------------------|-----------|
| TYPE                         | DESCRIPTION  | VOLT   | LAMPS               | MOUNTING  |
| A                            | TRI CLIP, ALABASTER DISH FIXTURE GALAXY 396501                       | 120    | 1-100WATT A19       | SURFACE   |
| B                            | DECORATIVE WALL SCONCE GALAXY 221217                                 | 120    | 1x60W A19           | WALL      |
| EX                           | ECONOMY GRADE LED EXIT SIGN C/W TWO EMERGENCY HEADS WHERE APPLICABLE | 12/120 | LED AND 2x9W QUARTZ | UNIVERSAL |

| MECHANICAL EQUIPMENT SCHEDULE |                  |          |         |         |     |        |         |               |      |
|-------------------------------|------------------|----------|---------|---------|-----|--------|---------|---------------|------|
| NO.                           | DESCRIPTION      | LOCATION | LOAD    | VOLTAGE | PH. | FEEDER | BREAKER | CIRCUIT       | NOTE |
| EF-1                          | EXHAUST FAN      | WASHROOM | FRAC.   | 120     | 1   | 2C#14  | 15A-1P  | SUITE PANEL 4 |      |
| RH                            | RANGE HOOD FAN   | KITCHEN  | 2A      | 120     | 1   | 2C#14  | 15A-1P  | SUITE PANEL - |      |
| BB                            | BASEBOARD HEATER | VARIOUS  | VARIOUS | 240     | 1   | 2C#12  | 15A-2P  | SUITE PANEL 5 |      |

- NOTES:
- ALL EQUIPMENT SUPPLIED AND INSTALLED BY DIV. 15 CONNECTED BY DIV. 16.
  - DIVISION 16 TO SUPPLY AND INSTALL AND CONNECT RAINIGHT DISCONNECTS FOR ALL UNITS. SEE PLANS FOR LOCATION.
  - ALL 120V. OR GREATER WORK TO BE DONE BY DIV. 16.
  - CONTROLLED VIA LIGHT SWITCH BY DIVISION 16.
  - ALL BASEBOARD HEATERS SUPPLIED, INSTALLED & CONNECTED BY DIV. 16. QUELLET OFM SERIES 240V-1P WHITE C/W STAT.

SPECIFICATIONS:

15.1 GENERAL REQUIREMENTS

- THESE DRAWINGS HAVE BEEN DESIGNED FOR THE SOLE PURPOSE OF THE BUILDING AS A DESIGN BUILD SERVICE BY SML ELECTRICAL CONSULTANTS LTD. FOR SPEC. NO. OTHER CONTRACTOR OR INSTALLER WILL BE PERMITTED OR RETAINED.
- ALL EQUIPMENT TO BE CSA APPROVED AND INSTALLED TO CURRENT ELECTRICAL CODE AND BUILDING CODES.
- SML ELECTRICAL CONSULTANTS LTD. TO REVIEW SHOP DRAWINGS OF ALL ELECTRICAL EQUIPMENT PRIOR TO INSTALLATION.
- CONFIRM THE LOCATION OF ALL MECHANICAL EQUIPMENT (AIR CONDITIONING UNITS, CEILING FANS, EXHAUST FANS AND HOT WATER TANKS WITH DIVISION 15 PRIOR TO ROUGH IN.) ALL OF THE ABOVE EQUIPMENT IS SUPPLIED AND INSTALLED BY DIVISION 15 CONNECTED BY DIVISION 16. CO-ORDINATE SPRINKLER EQUIPMENT CONNECTION WITH SPRINKLER CONTRACTOR.
- ALL EXIT AND NIGHT CIRCUITS TO HAVE LOCK ON BREAKER DEVICES.
- THE GENERAL CONTRACTOR IS TO MAINTAIN ALL ARCHITECTURAL FIRE RATINGS. THE ELECTRICAL CONTRACTOR IS TO ADVISE THE GENERAL CONTRACTOR OF THE ELECTRICAL PENETRATIONS AT FIRE RATED ASSEMBLIES. THE GENERAL CONTRACTOR IS TO SUPPLY AND INSTALL APPROVED FIRE STOPPING MATERIALS AS REQUIRED AROUND ALL ELECTRICAL PENETRATIONS.
- CONTRACTOR TO MAINTAIN ONE METER CLEARANCE IN ELECTRICAL ROOM.
- ALL EMERGENCY LIGHTING MUST BE FED FROM LIGHTING CIRCUIT IN AREA WHICH THEY SERVE. SEPARATE NIGHTLIGHT CIRCUIT.
- CONTRACTOR TO PAY FOR ALL PERMITS, FEES AND CERTIFICATES FOR THE ELECTRICAL INSTALLATION.

16.2 EMERGENCY LIGHTING

- PROVIDE EMERGENCY AND EXIT LIGHTING EGRESS SYSTEM AS REQUIRED BY THE B.C. BUILDING CODE.
- ALL EMERGENCY HEADS TO BE 12 WATT QUARTZ.
- REFER TO THE EMERGENCY BATTERY UNIT SCHEDULE FOR UNIT SIZES AND WIRING REQUIREMENTS.
- EMERGENCY PACKS TO BE RELAY CONTROLLED BY THE LIGHT CIRCUITS IN AREAS SERVED BY EMERGENCY PACK AND REMOTE HEADS.
- THE EMERGENCY LIGHTING IS REQUIRED TO BE DESIGNED TO OPERATE AUTOMATICALLY UPON FAILURE OF THE REGULAR POWER SUPPLY FOR A PERIOD OF AT LEAST 30 MINUTES. B.C.B.C. [3.2.7.4]
- PROVIDE 24-HOUR LONG (10 YEAR) LIFE BATTERY BACK-UP.
- SELF CONTAINED EMERGENCY LIGHT UNITS ARE REQUIRED TO CONFORM TO C22.2 #141 AND B.C.B.C. [3.2.7.4(2)]

16.3 FIRE ALARM SYSTEM

- INSTALLATION SUBJECT TO APPROVAL, INSPECTION AND TEST OF ENGINEER AND FIRE MARSHAL FOR FINAL ACCEPTANCE.
- ALL EQUIPMENT SHALL BE LISTED BY UNDERWRITERS LABORATORY OF CANADA.
- SYSTEM TO BE PROVIDED IN ACCORDANCE WITH LATEST EDITION OF CAN/ULC-5524.
- ALL WIRING METHODS AND MATERIALS USED IN THE INSTALLATION OF THE FIRE ALARM SYSTEM SHALL CONFORM TO THE REQUIREMENTS FOR BRANCH CIRCUIT WIRING AS OUTLINED IN THE O.E.C.
- THE VERIFICATION SHALL BE IN ACCORDANCE WITH LATEST EDITION OF CAN/ULC-5537. THE SYSTEM MANUFACTURER IS PRE-APPROVED TO PERFORM THE VERIFICATION.
- THE FIRE ALARM SYSTEM IS TO BE MONITORED IN ACCORDANCE WITH NFPA-72, BC BUILDING CODE SECTION 3.2.4. AND CAN/ULC-5551. PANEL TO BE C/W MONITORING CARD AND AUTO DIALER, ULC LISTED FOR FIRE ALARM SIGNALS. CONNECT TWO TELEPHONE LINES FOR OFF SITE MONITORING. CONTRACTOR TO COORDINATE THE MONITORING CONNECTION WITH THE OWNER AND TELEPHONE COMPANY PRIOR TO OCCUPANCY.
- THE FIRE ALARM SEQUENCE OF EVENTS IS AS FOLLOWS:  
- THE MAIN FIRE ALARM PANEL IS ZONED AND MONITORED.  
- UPON ACTIVATION OF A FULL STATION OR FIRE DETECTOR, ALL NOTIFICATION APPLIANCES WILL BE ACTIVATED.  
- THE AUTO DIALER WILL ALERT A CERTIFIED OFF SITE MONITORING COMPANY WHO WILL IN TURN NOTIFY THE FIRE DEPARTMENT.  
- THE FIRE ALARM ANNUNCIATOR WILL INDICATE THE ZONE WHICH HAS BEEN ACTIVATED.  
8) AN EMERGENCY POWER SUPPLY IS REQUIRED FOR THE F/A SYSTEM THAT WILL PROVIDE SUPERVISORY POWER FOR 24 HOURS PLUS AN ADDITIONAL 30 MINUTES OF EMERGENCY POWER UNDER FULL LOAD. B.C.B.C. [3.2.7.6]

| ADDRESSIBLE FIRE ALARM ZONES |                      |                       |
|------------------------------|----------------------|-----------------------|
| ZONE                         | DESCRIPTION          | NOTE                  |
| 1                            | GROUND FLOOR DEVICES |                       |
| 2                            | SECOND FLOOR DEVICES |                       |
| 3                            | THIRD FLOOR DEVICES  |                       |
| 4                            | SOUTH STAIRWELL      | SMOKE AT TOP OF STAIR |
| 5                            | NORTH STAIRWELL      | SMOKE AT TOP OF STAIR |
| 6                            | ELEVATOR SHAFT       | SMOKE AT TOP OF SHAFT |
| 7                            | SPARE                |                       |
| 8                            | SPARE                |                       |
| 9                            | SPARE                |                       |
| 10                           | SPACE                |                       |
| 11                           | SPACE                |                       |
| 12                           | SPACE                |                       |
| 13                           | SPACE                |                       |
| 14                           | SPACE                |                       |
| 15                           | SPACE                |                       |
| 16                           | SPACE                |                       |

| SYMBOL | DESCRIPTION   | MOUNTING           |
|--------|---|--------------------|
|        | SINGLE POLE TOGGLE SWITCH 3-3 WAY MS-MOTOR STARTER              | +48" A.F.F.        |
|        | D-DIMMER MR-MOTOR RATED LV-LOW VOLTAGE K-KEY                    | +48" A.F.F.        |
|        | S-SPEED SWITCH MC-MICROWAVE S-PULLCHAIN                         | +48" A.F.F.        |
|        | TOGGLE SW - 2GANG 3 GANG (ETC.)                                 | +48" A.F.F.        |
|        | GF - GROUND FAULT INTERRUPTER WP - WEATHERPROOF                 |                    |
|        | IG - ISOLATED GROUND DEX - DEDICATED                            |                    |
|        | EX - EXISTING NL - NIGHT LIGHT                                  |                    |
|        | A.F.F. - ABOVE FINISHED FLOOR RT - RAIN TIGHT                   |                    |
|        | POWER   |                    |
|        | DISCONNECT  | ---                |
|        | FUSED DISCONNECT  | ---                |
|        | 3 PHASE MAGNETIC MOTOR STARTER OR CONTROL PANEL                 | ---                |
|        | EXHAUST FAN OR EQUIPMENT CONNECTION                             | ---                |
|        | DUPLEX RECEPTACLE   | +12" A.F.F.        |
|        | 20AMP-5-20R RECEPTACLE  | AS NOTED           |
|        | DOUBLE DUPLEX RECEPTACLE  | AS NOTED           |
|        | SPECIAL OUTLET - AS NOTED                                       | AS NOTED           |
|        | SWITCHED RECEPTACLE   | AS NOTED           |
|        | ISOLATED GROUND RECEPTACLE                                      | AS NOTED           |
|        | BRANCH CIRCUIT PANELBOARD                                       | 6'-6" TO TOP       |
|        | RECESSED BRANCH CIRCUIT PANELBOARD                              | 6'-6" TO TOP       |
|        | INDICATES HOME RUN TO DESIGNATED PANEL                          | ---                |
|        | INDICATES NUMBER OF CONDUCTORS IN CONDUIT                       | ---                |
|        | PUSH BUTTON   | +54" A.F.F.        |
|        | JUNCTION BOX OR EQUIPMENT CONNECTION                            | ---                |
|        | TELEPHONE OUTLET  | +12" A.F.F.        |
|        | DATA OUTLET   | +12" A.F.F.        |
|        | DATA & TELEPHONE OUTLET   | +12" A.F.F.        |
|        | CATV OUTLET   | +12" A.F.F.        |
|        | MAIN TELEPHONE ENTRY BOX  | AS NOTED           |
|        | MAIN CATV ENTRY BOX   | AS NOTED           |
|        | DUPLEX RECEPTACLE & TELEPHONE/DATA OUTLET COMBINATION FLOOR BOX | FLUSH WITH FLOOR   |
|        | THERMOSTAT  | +54" A.F.F.        |
|        | DENOTES AMOUNT OF BASEBOARD HEAT REQUIRED IN K.W.               | ---                |
|        | 2FT. x 4FT. FLUORESCENT FIXTURE C/W LOUVER AS SPECIFIED         | RECESSED           |
|        | 2FT. x 4FT. FLUORESCENT FIXTURE C/W LENS AS SPECIFIED           | RECESSED           |
|        | DENOTES FIXTURE TO BE WIRED TO NIGHT LIGHT CIRCUIT              | AS NOTED           |
|        | 1FT. x 4FT. FLUORESCENT FIXTURE C/W LENS AS SPECIFIED           | AS NOTED           |
|        | LUMINAIRE AS SPECIFIED  | CEILING            |
|        | WALL LUMINAIRE  | WALL               |
|        | WALL PACK   | WALL               |
|        | WALL SCONCE   | WALL               |
|        | POLE MOUNTED LUMINAIRE  | POLE               |
|        | 120VOLT SMOKE ALARM   | CEILING            |
|        | FIRE ALARM HEAT DETECTOR  | CEILING            |
|        | BUZZER  | WALL AT HIGH LEVEL |
|        | FIRE ALARM MANUAL PULL STATION                                  | +54" A.F.F.        |
|        | FIRE ALARM 10" GONG   | +84" A.F.F.        |
|        | FIRE ALARM PANEL  | WALL               |
|        | IN SUITE ENTERPHONE. SEE SPECS.                                 | WALL               |

| REVISIONS    | DESCRIPTION                             |
|--------------|---|
| OCT 28, 2011 | ISSUED FOR REVIEW                       |
| NOV 2, 2011  | ISSUED FOR BUILDING PERMIT CONSTRUCTION |

FIRE RESTORATION OF 20 UNIT APARTMENT

CIVIC ADDRESS:  
1497 MARTIN STREET  
WHITE ROCK B.C.

PROFESSIONAL ENGINEER  
R.J. SLADE  
COLUMBIA  
OCT 15 2011  
REG. G. 2, 2011

ELECTRICAL SUITE LAYOUT, SCHEDULES AND SPECIFICATIONS





THE CORPORATION OF THE CITY OF WHITE ROCK

PLANNING AND DEVELOPMENT SERVICES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel: 604-541-2136  
Fax: 604-541-2153

# Inspection Report

NAME: OWNCT PERMIT No. —  
 ADDRESS: 1497 Martin St. SHEET No. 1  
 TYPE OF INSPECTION: life safety. DATE: Aug. 17, 2011  
 AREA OF INSPECTION: building fire.

Please be aware that a life safety upgrade will be required because of the age and extent of fire damage.

This upgrade should include:

- hardwired smoke alarms to each unit.
- fire detectors installation in common areas.
- selfclosures required on each suite door.
- fire alarm system upgrade to BCBC
- emergency lighting to be reviewed <sup>upgrade</sup> required.
- suite door replacement.

A building permit is required for fire damage repairs.

SIGNATURE: \_\_\_\_\_ INSPECTOR: [Signature]  
 DATE: \_\_\_\_\_

Please sign this form when the work is completed and return to the above department.