

January 27, 2021

FOI No: 2021-03

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the “Act”):

- *Active secondary suite permits or secondary suite permit applications for 15531 Buena Vista Avenue*
- *Bylaw enforcement records related to the secondary suite at 15531 Buena Vista Avenue*

I can confirm that there is no active secondary suite permit or secondary suite permit application associated with this property.

Access to the requested bylaw enforcement records is available. However, some of the information in the records is excepted from the disclosure requirements of the Act. I have severed the excepted information so that I could disclose to you the remaining information as attached.

The severed information is excepted from disclosure under section 22 of the Act. Severing is necessary to avoid disclosing any third-party personal information without permission.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

REQUEST FOR SERVICE DETAIL

Workgroup ~BYLAW	Class BYLAW ENFORCEMENT
Call 32932 Jan 31, 2019 2:03 PM	Problem ZONING COMPLAINTS
Status RE-ISSUED	Priority NORMAL Reference PROACTIVE R
Follow up NO Internal NO	Bring Forward Feb 22, 2019 Repeat

Location Redacted S. 22 15500 BLK OF BUENA VISTA 15531 BUENA VISTA AVE WHITE ROCK BC V4B 1Y9	Requestor BYLAWS 15322 BUENA VISTA Phone 1 604-541-2146
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Call Detail

unlicensed short term rental (listing attached)

https://www.airbnb.ca/rooms/21203934?locale=en&guests=1&adults=1&check_in=2019-02-04

Workflow	Date	Name1	Name2	File No
RE-ISSUED Re-initiated as Call Number 35860		HARMAIL GILL		
ENTERED	Jan 31, 2019 2:03 PM	SANDEEP DHILLON		
ASSIGNED entire house rented short term	Jan 31, 2019 2:04 PM	SAM THANDI		
EMAIL A CALL FOR BYLAW ENFORCEMENT - ZONING COMPLAINTS HAS BEEN ASSIGNED TO SAM THANDI	Jan 31, 2019 2:05 PM	<SThandi@whiterockcity.ca>		
NOTE Attended property and spoke to a male who identified himself as S. 22 , the property owner. I advised him about the reason for the visit, to discuss the air bnb. He stated he is no longer operating the air bnb. I advised him that the ad is still up and that if he is not operating the rental, he needs to remove the ad. He stated that he would remove the ad by the end of the day.	Feb 4, 2019 11:51 AM	SAM THANDI		
NOTE checked website and confirmed the listing on air bnb has been removed (removed listing in attachments). Short term rental has been stopped.	Feb 15, 2019 8:52 AM	SANDEEP DHILLON		
COMPLETED	Feb 15, 2019 8:55 AM	SANDEEP DHILLON		
EMAIL Call 32932 - BYLAW ENFORCEMENT - ZONING COMPLAINTS has been completed	Feb 15, 2019 8:55 AM	<SDhillon@whiterockcity.ca>		



[Overview](#) · [Reviews](#) · [The Host](#) · [Location](#) · [Policies](#)



[View Photos](#)

ENTIRE HOUSE

Introductory price!! Beautiful, Luxury, View Home

White Rock

6 guests **3** bedrooms **3** beds **2** baths

Sparkling clean
3 recent guests said this place was sparkling clean.

Great location
100% of recent guests gave the location a 5-star rating.

Great check-in experience
100% of recent guests gave the check-in process a 5-star rating.



s. 22

With your own ocean view, but walking distance to everything you need come and enjoy the comfort of our 3 bedroom house in sunny, friendly, Whiterock. Just a five minute walk to the Main Street and fifteen to the beach. Newly renovated and very spacious with quiet bedrooms on the North side of the house.

Other things to note

Sorry, no access to the garage.

[Contact host](#)

Amenities

Free parking on premises




Wifi

Kitchen

Dryer

[Show all 18 amenities](#)

Sleeping arrangements
[Overview](#) · [Reviews](#) · [The Host](#) · [Location](#) · [Policies](#)

 Bedroom 1 1 king bed	 Bedroom 2 1 double bed	 Bedroom 3 1 queen bed
---	---	---

Availability

5 night minimum stay · Updated 1 month ago

[Clear dates](#)



10 Reviews ★★★★★

Accuracy	★★★★★	Location	★★★★★
Communication	★★★★★	Check-in	★★★★★
Cleanliness	★★★★★	Value	★★★★★

s. 22 Gateway
September 2018

Very nice & clean place with ocean view to stay! **s. 22** is a great host & easy going fellow!!

s. 22 Redacted S. 22
August 2018

As indicated by earlier visitors there is some noise you can expect from the tenants below but it did not disturb us. There is ample space to spread out whether inside or out. **s. 22** was quick to respond and we even met him a few times. The place was perfect for meeting our ne...[Read more](#)

s. 22 s. 22
July 2018

Very beautiful location. Clean and stylish house. **s. 22** was very quick in respond. Thank you very much for hosting us.

s. 22 s. 22
June 2018

As per previous reviews, we were not aware that there was another family living on the premises in a locked off unit on the main floor. They were polite, however due to poor

soundproofing between their unit and the upstairs home, there was noise that could be easily heard. We had...[Read more](#)



s. 22
April 2018



We had an excellent stay at the house. Yes, there is a family living downstairs, as some reviewers have mentioned, but we hardly heard them at all and it was not a problem. The house was very clean and the beds were super comfortable. Loved the shower in the ensuite! There is...[Read more](#)



Response from s. 22

Thank you for the kind words. It was a pleasure to host you. I hope to see you again in the future.

April 2018

s. 22

Redacted s. 22
February 2018



This place was more of staying at a friends home who let you stay while they went on vacation, with them leaving all their own personal belongings out for anyone to see (clothes in closets and drawers, personal information laying around, night stand filled with their personal stuff,...[Read more](#)



Response from s. 22

I was surprised to hear that this guest was unhappy especially since she rebooked the space after staying for a few weeks. Every other guest that I have entertained has been very happy with the house. This is a 1.5 million dollar house with an ocean view that has been newly renovated and I offer it at a very reasonable price. There is a small suite and in this case the kids were up a little early because they were jet lagged but it is completely self contained. Even though I do have some personal belongings here there is lots of space for clothes and luggage. Please take the time to read the reviews of more normal people who loved their stay.

February 2018

s. 22

s. 22
November 2017



This is an absolutely gorgeous home! It's as beautiful as it looks in the pictures. It's clean and in a perfect location, close to the ocean and to the town center of White Rock.

s. 22 was so accommodating and understanding about my allergies and made sure the house was scent f...[Read more](#)



Response from s. 22

Thank you for your kind words. I am glad that I could accommodate your needs. I hope that I will have the opportunity to host you again in the future.

November 2017

1

2



Hosted by s. 22

Vancouver, Canada · Joined in March 2014

★ 13 Reviews Verified

Adventurous

Languages: English, Español, Français, Italiano

[Contact host](#)



Always confirm the details through Airbnb. To protect your payment, never transfer money or communicate outside of the Airbnb website or app. [Learn more](#)

\$149 per night

The neighbourhood

s. 22 home is located in White Rock, British Columbia, Canada.

04-02-2019 → Check out

1 guest

Request to Book
You won't be charged yet

Report this listing

Google Map data ©2019 Google

Policies

House Rules

- Not safe or suitable for infants (under 2 years) and pets
- No smoking, parties, or events
- Check-in time is 3PM - 1AM (next day) and check out by 11AM
- Self check-in with lockbox

Cancellations

Strict - Free cancellation for 48 hours
After that, cancel up to 7 days before check-in and get a 50% refund, minus the service fee.

Explore other options in and around White Rock

More places to stay in White Rock: Apartments · Bed and breakfasts · Lofts · Villas · Condominiums

- | | |
|----------------|--------------------|
| Vancouver | Seattle |
| Victoria | Whistler |
| Richmond | North Vancouver |
| Bellingham | Burnaby |
| Bellevue | Tacoma |
| Surrey | Salt Spring Island |
| Spring Farm | Baghdad |
| Brooks | Everton |
| Kato Aprovatou | Nieuw-Haamstede |



This listing is no longer available.



Book unique homes and experiences.

WHERE

White Rock, BC

CHECK IN

CHECK OUT

GUESTS

Guests

Search

Over 300
unique homes in Oregon

Explore Airbnb

Homes

Introducing Airbnb Plus

A new selection of homes verified for quality & comfort



EXPLORE HOMES >

Recommended for you



Paris

\$139/night average

Tokyo

\$113/night average

Top-rated experiences

Book activities led by local hosts on your next trip

PHOTO WALK · OIA

Santorini Photo Shoot

\$186 CAD per person

4.97 ★★★★★ (58)

DAY TRIP · RIO DE JANEIRO

Sunrise + Secret pool + wild beaches!

\$91 CAD per person

4.99 ★★★★★ (133)

Show all experiences

Head to the beach





San Diego
\$188/night average

Cabo San Lucas
\$444/night average

Experiences in the spotlight



100+ EXPERIENCES

Surfing Experiences

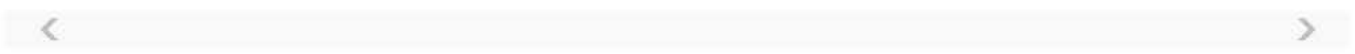
Catch a wave with World Surf League experiences hosted by pro surfers around the world.

6C

In

Di

Take a city break in Europe





Dublin
\$134/night average

Amsterdam
\$195/night average

REQUEST FOR SERVICE DETAIL

Workgroup ~BYLAW	Class BYLAW ENFORCEMENT
Call 35860 Nov 29, 2019 2:44 PM	Problem ZONING COMPLAINTS
Status ASSIGNED Nov 29, 2019 2:44 PM	Priority NORMAL Reference ILLEGAL SUIT
Follow up NO Internal NO	Bring Forward Jun 4, 2020 Repeat

Location Redacted S. 22 15500 BLK OF BUENA VISTA 15531 BUENA VISTA AVE WHITE ROCK BC V4B 1Y9	Requestor BYLAWS 15322 BUENA VISTA Phone 1 604-541-2146
--	--

Call Detail

unlicensed short term rental (listing attached). 2 dogs on property. The dog owner is from Manitoba and has been living for a month according to residents. The dogs are unlicensed and have been excessively barking as the owners are away and returning on December 3, 2019. There is a dog sitter (S. 22) who checks on the dogs periodically.

PREVIOUS OWNER - Redacted S. 22
https://www.airbnb.ca/rooms/21203934?locale=en&guests=1&adults=1&check_in=2019-02-04

Workflow	Date	Name1	Name2	File No
RE-INITIATED	Nov 29, 2019 2:43 PM	HARMAIL GILL		
Previous Call Number: 32932				
ASSIGNED	Nov 29, 2019 2:44 PM	SANDEEP DHILLON		
possible illegal suite/short term rental being advertised again minimum week (5 days).				
https://www.airbnb.ca/rooms/21203934?locale=en&guests=1&adults=1&check_in=2019-02-04				
EMAIL	Nov 29, 2019 2:44 PM	<SDhillon@whiterockcity.ca>		
A CALL FOR BYLAW ENFORCEMENT - ZONING COMPLAINTS HAS BEEN ASSIGNED TO SANDEEP DHILLON				
NOTE	Nov 29, 2019 4:27 PM	SANDEEP DHILLON		
A complaint received from Redacted S. 22 about two dogs excessively barking. further information confirms unlicensed dogs and the tenants are from Mantiboa and have been living at the property for approximately 2 months upstairs and the downstairs is rented out as well. The tenant downstairs confirmed there is a kitchen.I confirmed that the listing is back up after bylaws previously advised RO that short term rental was not permitted without proper licensing and permits.				
NOTE	Nov 30, 2019 3:28 PM	SANDEEP DHILLON		
I spoke to dog owner (Redacted S. 22) who resides at the property for the last month with her boyfriend (landlord) and advised her of the ongoing issues of her dogs barking. She advised me she would be returning Monday morning from trip but in the mean time has informed the dog sitter to do periodic checks to make sure the dogs are behaving. I gave her until December 6, 2019 to obtain dog licenses for both dogs at the property to avoid fines. She was informed of other contraventions at the property as well which i will discuss with landlord once i return on Tuesday.				

NOTE Dec 3, 2019 2:21 PM SANDEEP DHILLON

I attended property and issued MTI 02866 in the amount of \$500 for the illegal suite. I advised **s. 22** that more fines could've been issued but i will work with the RO to obtain compliance for all issues including short term rental, non-registered suite in a timely manner. The dogs on property have been licensed with the City and there should be no further issues for barking moving forward confirmed by RO of dogs **s. 22**.

NOTE Mar 12, 2020 12:00 AM SANDEEP DHILLON

A compliance letter was sent to RO to get the process started on registering suite by January 24, 2020 (previous letter attached). The RO did attend City Hall during the month of January and asked further questions in regards to the registration process and was handed the checklist. There has been no correspondence from the owner in regards to registering suite. A follow up letter will be sent to RO with a final deadline.

NOTE May 2, 2020 4:54 PM SANDEEP DHILLON

A letter will be sent to RO to initiate action within 30 days from May 4, 2020. (attached letter). There's been no progress made since the City Hall visit back in January 2020.

NOTE May 13, 2020 11:03 AM SANDEEP DHILLON

RO advised that he received letter and is working towards applying for permit to register suite.

NOTE Jan 7, 2021 10:01 AM SANDEEP DHILLON

New owner **Redacted S. 22** I spoke to Owner with Officer Gill and provided her documentation of the illegal suite process and what she can do to obtain compliance. She was unaware of the suite being non-registered and will give me a call back to get the process restarted.



[Overview](#) · [Reviews](#) · [The Host](#) · [Location](#) · [Policies](#)



Modern Ocean View Home

White Rock



s. 22

6 guests 3 bedrooms 3 beds 2 baths

Entire home

You'll have the house to yourself.

Self check-in

Check yourself in with the lockbox.

Great location

100% of recent guests gave the location a 5-star rating.

Great check-in experience

100% of recent guests gave the check-in process a 5-star rating.

Gorgeous ocean view in our 3 bedroom home in sunny, friendly White Rock. Just a five minute walk to the Main Street and fifteen to the beach. Newly renovated and very spacious with quiet bedrooms on the North side of the house. Fully fenced back yard with deck. Enjoy the White Rock Pier, restaurants, pubs, and shops along the beach.

Contact host

Amenities

Free parking on premises

Wifi

Kitchen

Indoor fireplace

[Show all 33 amenities](#)

Sleeping arrangements



[Overview](#) ·
 [Reviews](#) ·
 [The Host](#) ·
 [Location](#) ·
 [Policies](#)

This host offers 15% off if you stay a week and a 25% monthly discount.

December 2018							January 2019						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
						1			1	2	3	4	5
2	3	4	5	6	7	8	6	7	8	9	10	11	12
9	10	11	12	13	14	15	13	14	15	16	17	18	19
16	17	18	19	20	21	22	20	21	22	23	24	25	26
23	24	25	26	27	28	29	27	28	29	30	31		
30	31												

[Clear dates](#)

Reviews

4.47
 16 reviews

Search reviews

Location	5.0	Check-in	5.0
Communication	4.7	Value	4.4
Accuracy	4.3	Cleanliness	4.3

s. 22 **s. 22**
 August 2019

Amazing views of ocean, beautiful home with great back yard for kids. White Rock is a great place to holiday. Plenty of space for 6 and plenty to do nearby.

s. 22 **s. 22**
 May 2019

We stayed for 2 weeks at **s. 22** place for business. The location is fantastic with a beautiful ocean and mountain view, just like it is pictured! There is a front deck with a bbq and back yard space for great afternoon sun! All furniture was very comfortable and the kitchen...[Read more](#)

s. 22 Gateway
 September 2018

Very nice & clean place with ocean view to stay! **s. 22** is a great host & easy going fellow.!!

s. 22 **s. 22**
 August 2018

As indicated by earlier visitors there is some noise you can expect from the tenants below but it did not disturb us. There is ample space to spread out whether inside or out. **s. 22** was quick to respond and we even met him a few times. The place was perfect for meeting our...[Read more](#)

s. 22 **s. 22**
 July 2018

Very beautiful location. Clean and stylish house. **s. 22** was very quick in respond. Thank you very much for hosting us.

[Overview](#) · [Reviews](#) · [The Host](#) · [Location](#) · [Policies](#)

s. 22 **s. 22**
June 2018

As per previous reviews, we were not aware that there was another family living on the premises in a locked off unit on the main floor. They were polite, however due to poor soundproofing between their unit and the upstairs home, there was noise that could be easily heard. We had...[Read more](#)

 **s. 22**
April 2018

We had an excellent stay at the house. Yes, there is a family living downstairs, as some reviewers have mentioned, but we hardly heard them at all and it was not a problem. The house was very clean and the beds were super comfortable. Loved the shower in the onsite! There is...[Read more](#)



Response from **s. 22**

Thank you for the kind words. It was a pleasure to host you. I hope to see you again in the future

April 2018

1 2 3 >

Hosted by **s. 22**

Vancouver, Canada · Joined in March 2014

★ 18 Reviews ·  Verified

Adventurous

Languages: English, Français, Italiano, Español

Response rate: 100%

Response time: within a few hours

[Contact host](#)



Always communicate through Airbnb · To protect your payment, never transfer money or communicate outside of the Airbnb website or app. [Learn more](#)

About this place

When you stay in an Airbnb, you're staying at someone's place.

This is **s. 22** place.



s. 22 helps host.

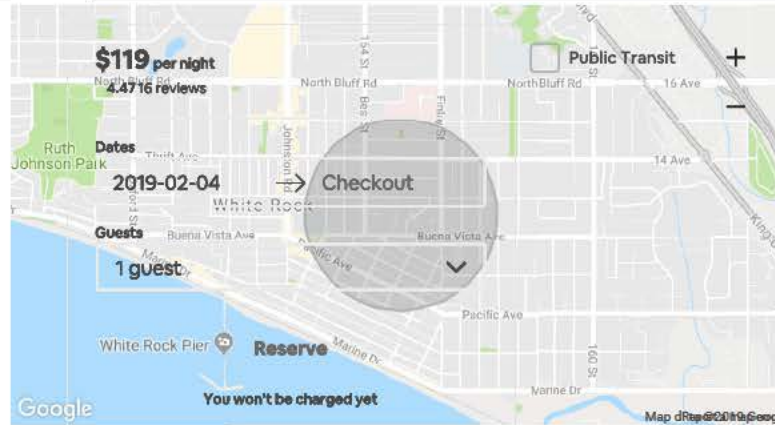
s. 22

The neighbourhood

s. 22 place is located in White Rock, British Columbia, Canada.

We love this small, friendly seaside town. The views, beach, restaurants, pier, and being out on the ocean make White Rock so amazing!

[Overview](#) · [Reviews](#) · [The Host](#) · [Location](#) · [Policies](#)



Exact location information is provided after a booking is confirmed.

[Report this listing](#)

Things to keep in mind

Check-in: 3PM - 1AM (next day)

Checkout: 11AM

Self check-in with lockbox

House Rules

Not suitable for infants (under 2 years)

No smoking

No pets

No parties or events

Cancellations

Free cancellation for 48 hours

After that, cancel up to 7 days before check-in and get a 50% refund, minus the service fee.

Explore other options in and around White Rock

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Vancouver
Victoria
Richmond
Bellingham
Bellevue
Surrey
Yarrabilba
Ben Ohau
Melville

Seattle
Whistler
North Vancouver
Burnaby
Tacoma
Salt Spring Island
Barjarg
Little Ouseburn
Waimarama

Compliance Notice

Delivered by Regular Mail

January 7, 2020

Redacted S. 22

15531 BUENA VISTA AVE
WHITE ROCK BC V4B 1Y9

Dear **Redacted S. 22**

RE: Zoning Contravention at 15531 Buena Vista Avenue (“the property”)

The City of White Rock (the “City”) has become aware of a non-registered secondary suite in addition to the principle residence, which is in contravention of the White Rock Zoning Bylaw, 2012, No. 2000 (“the bylaw”) and the City’s Secondary Suite Registration Process. The non-registered suite must be inspected and registered through the City’s Secondary Suite Registration process. Alternatively, if you do not wish to register suite or if the suite does not meet the requirements of the City’s Secondary Suite Registration Program, the suite must be decommissioned by complying with the checklist attached.

Action must be required by January 24, 2020. Please be advised that should you fail to comply with this notice by the specified date, the City may take further enforcement action, including the issuance of fines and court action.

Your cooperation in this matter is anticipated and appreciated. If you require further information, please contact the White Rock Bylaw Enforcement Department at 604-541-2183.

Thank you,

Sandeep Dhillon
Senior Bylaw Enforcement Officer
Bylaw Enforcement Division

Final Compliance Notice

Delivered by Regular Mail

May 4, 2020

Redacted S. 22

15531 BUENA VISTA AVE
White Rock BC V4B 1Y9

Dear **S. 22**

RE: Non-Registered Secondary Suite at 15531 Buena Vista Avenue ("the property")

Further to correspondence dated January 7, 2020 and the subsequent information provided to you by City staff at City Hall, It was advised that there was interest in registering the secondary suite. However since those conversations no action has been taken, by means of submitting an application to register suite or the decommissioning of the suite.

It is required that you either submit an application to register suite or decommission suite within 30 days from the date of this letter. Failure to take action may result in further enforcement action by the City, including but not limited to the issuance of fines.

Your cooperation in this matter is anticipated and appreciated. If you require further information, please contact the White Rock Bylaw Enforcement Department at 604-541-2183.

Thank you,

Sandeep Dhillon
Senior Bylaw Enforcement Officer
Bylaw Enforcement Division