

January 28, 2021

FOI No: 2021-04

VIA E-MAIL – Redacted

# Redacted

Dear Redacted

Re: Request for Records  
Freedom of Information and Protection of Privacy Act

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The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the “Act”):

- *Foundation plans, elevation plans, and survey plans for 949 Lee Street and 959 Lee Street*

Access to these records is available. However, some of the information in the records is exempted from the disclosure requirements of the Act. I have severed the exempted information so that I could disclose to you the remaining information as attached.

The severed information is exempted from disclosure under sections 22 and 15 of the Act. Severing under section 22 is necessary to avoid disclosing any third-party personal information without permission. Severing under section 15 is necessary as public disclosure could be harmful to the security of the building. As a policy, White Rock will only disclose interior floorplans to a property owner.

**Corporate Administration**  
P: 604.541.2212 | F: 604.541.9348

**City of White Rock**  
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

**WHITE ROCK**  
*City by the Sea!*

[www.whiterockcity.ca](http://www.whiterockcity.ca)

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton  
Manager, Property, Risk Management, and FOI  
604-541-2104

Att.

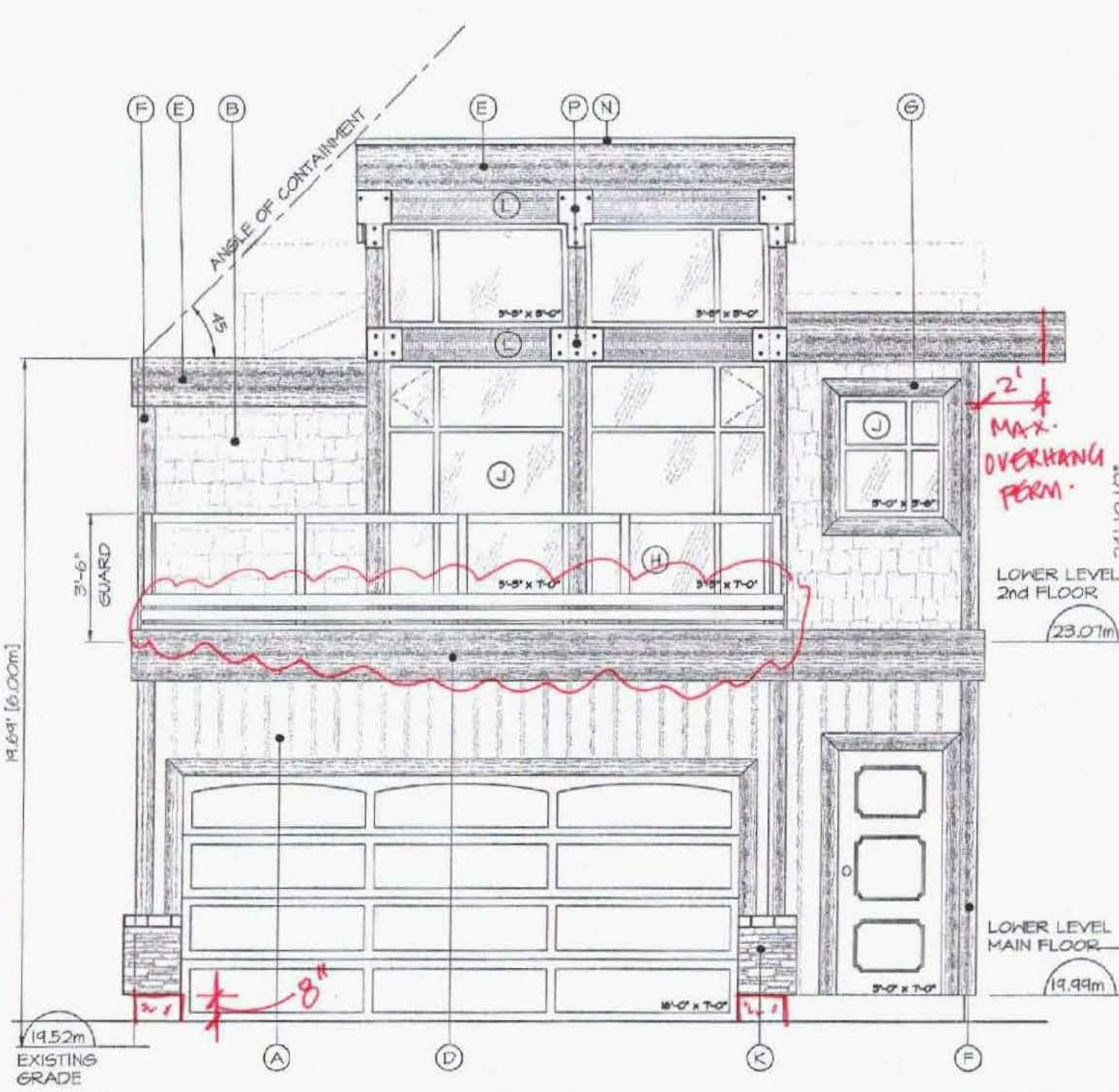
If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner  
3rd Floor, 756 Fort Street  
Victoria BC V8W 1H2

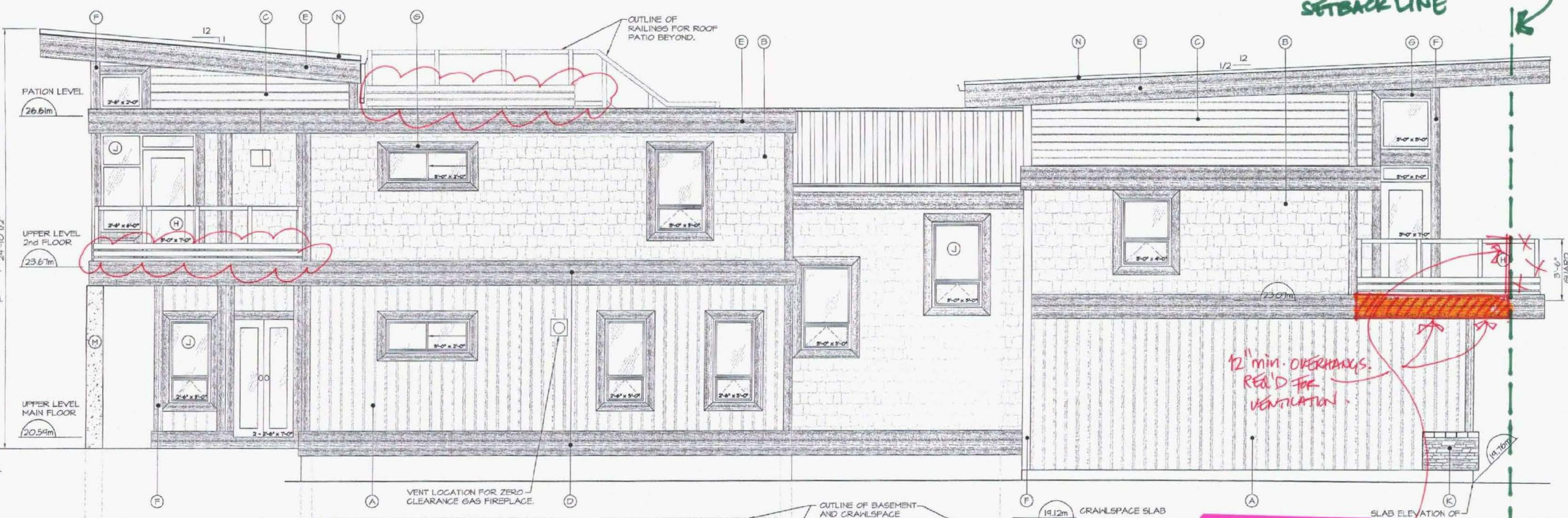
Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

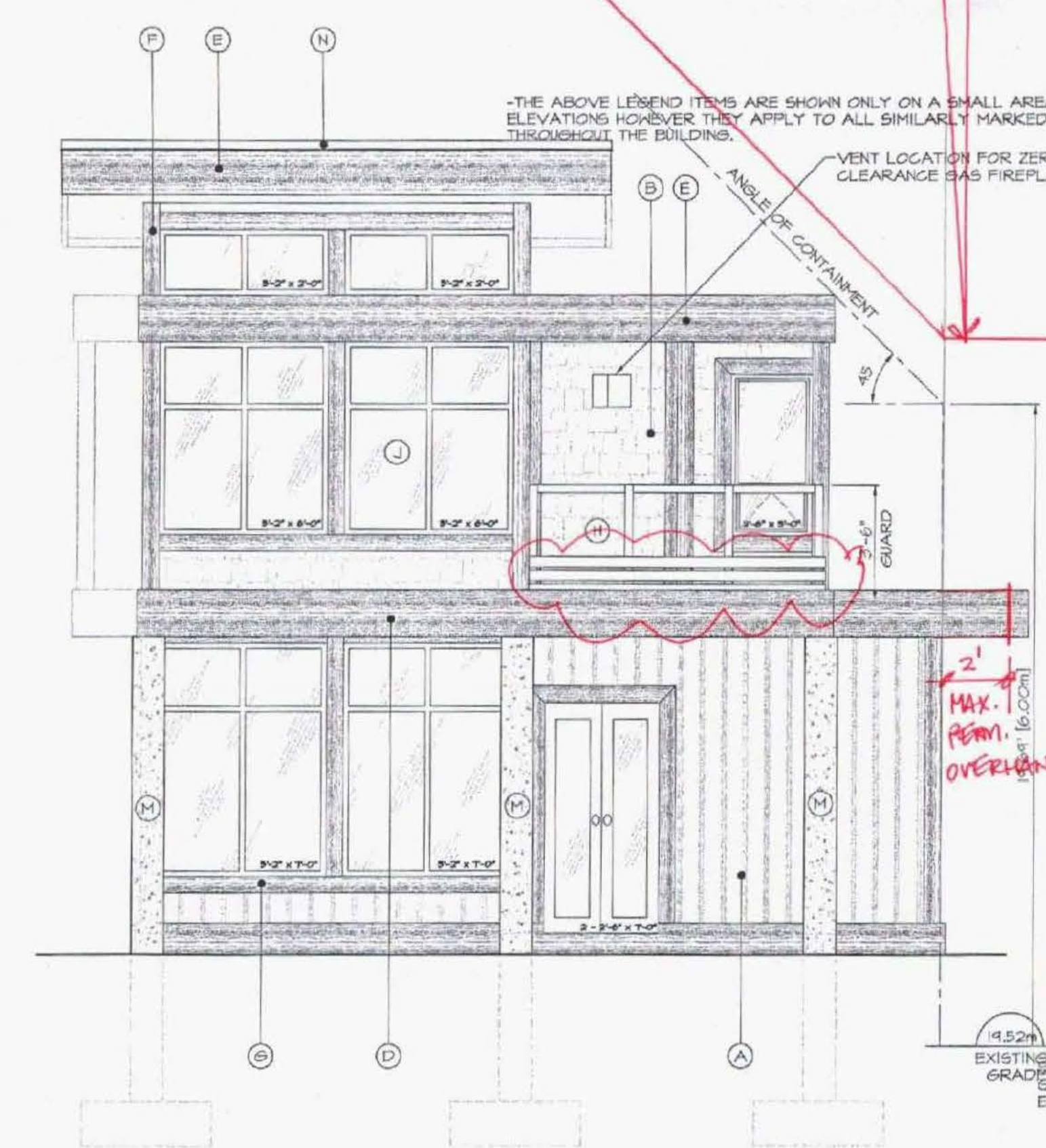




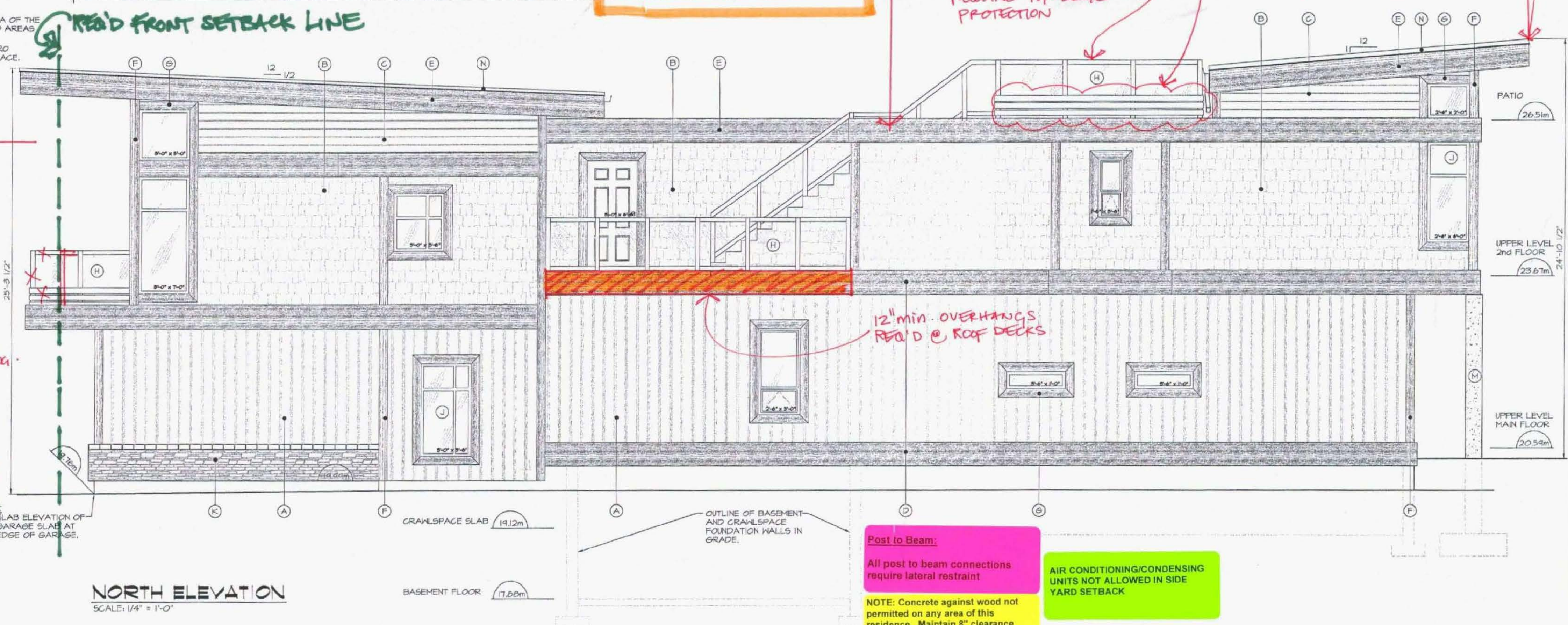
**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**\*ROOF NOTES\***

- 3RD PARTY ROOFING CONSULTANT TO APPROVE THE ROOF MEMBRANE INSTALLATION
- MIN. 3" SQUARE OVERFLOW SCUPPER REQUIRED
- ALL ROOF DRAINS TO BE MIN. 3" DIAMETER SIZE
- ROOF VENTILATION REQUIRED CW 2" X 4" CROSS-PERLINS
- MIN. (4) FOUR VERTICAL ROOF VENTS DOWN THE CENTRELINE OF ROOF
- FLAT ROOFS REQUIRE 2% SLOPE TO DRAIN
- VAULTED CEILINGS REQUIRE 2" X 4" CROSS-PERLINS FOR VENTILATION CW R-28 HIGH DENSITY INSULATION

**LEGEND**

(A) VERTICAL HARDIE BOARD 6/4 1x2 BATTENS	(K) LEDGESTONE BRICK VENEER 6/4 VENEER CAP
(B) CEDAR WALL SHINGLES	(L) EXTERIOR SURFACE GRADE HEAVY TIMBER BEAM
(C) HORIZONTAL GALVANIZED CORRUGATED SIDING	(M) 12" CONCRETE COLUMNS
(D) 6" ROUGH SAWN CEDAR BAND BOARD	(N) PRE-FINISHED METAL CAP FLASHING
(E) 6" ROUGH SAWN CEDAR FASCIA BOARD	(P) PAINTED STEEL BEAM BRACKETS
(F) 6" ROUGH SAWN CEDAR WINDOW TRIM BOARD	
(H) ALUMINUM RAILING 6/4 TEMPERED GLASS	
(J) VINYL FRAMED DOUBLE GLAZED WINDOWS	

RED'D FRONT SETBACK LINE

12" MIN. OVERHANGS RED'D FOR VENTILATION

All guardrails are to be kept flush with the building face and cannot encroach into required setbacks

GUARDRAILS NOT APPROVED AS SHOWN

ALL GLASS GUARDRAILS REQUIRE TOP EDGE PROTECTION

MAX. PERM. HEIGHT EL: 27.32m (89.63')

**Post to Beam:**  
All post to beam connections require lateral restraint

NOTE: Concrete against wood not permitted on any area of this residence. Maintain 8" clearance between top of sidewalks, etc. and exterior finishes

All decking surface material to be an approved roof membrane

AIR CONDITIONING/CONDENSING UNITS NOT ALLOWED IN SIDE YARD SETBACK

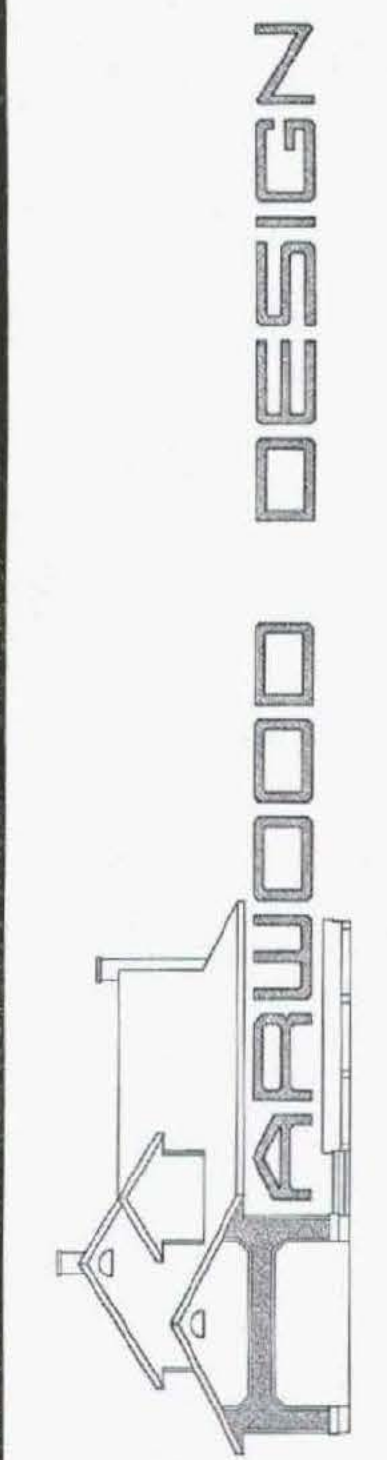


ISSUES & REVISIONS

No.	DESCRIPTION	DATE
1.	ISSUED FOR REVIEW	MAY 07/08
2.	ISSUED FOR PERMIT	MAY 18/08

PROJECT: PROPOSED RESIDENCE FOR BEAR CREEK PROJECTS  
1441 LEE STREET, WHITE ROCK, B.C.  
SHEET TITLE: BUILDING ELEVATIONS

DESIGNER: G.D. FROESE  
SCALE: AS NOTED  
DATE: APRIL 2008  
JOB NO.: 2008-02



DESIGN & DRAFTING INCLUDING:  
- COMPLETE HOUSE PLANS FOR CONSTRUCTION  
- RENOVATION OF EXISTING BUILDINGS  
- BARN & MISC. BUILDINGS



# Redacted S. 15

MAX. PERM HEIGHT  
EL: 27.32m (89.63')

3.0m REAR FRONT SETBACK LINE.

ISSUES & REVISIONS		
No.	DESCRIPTION	DATE
1.	ISSUED FOR REVIEW	MAY 07/08
2.	ISSUED FOR PERMIT	MAY 13/08

PROPOSED RESIDENCE for  
**BEAR CREEK PROJECTS**  
448 LEE STREET,  
WHITE ROCK, B.C.

SHEET TITLE  
**BUILDING SECTIONS**

DESIGNER: G.D. FROESE  
SCALE: AS NOTED  
DATE: APRIL 2008  
JOB NO.: 2008-02

**CARWOOD DESIGN**

DESIGN & DRAFTING INCLUDING:  
- COMPLETE HOUSE PLANS FOR CONSTRUCTION  
- RENOVATION OF EXISTING BUILDINGS  
- BARRS & MISC. BUILDINGS.

SHEET NO.  
**A-5.0**

**\*ROOF NOTES\***

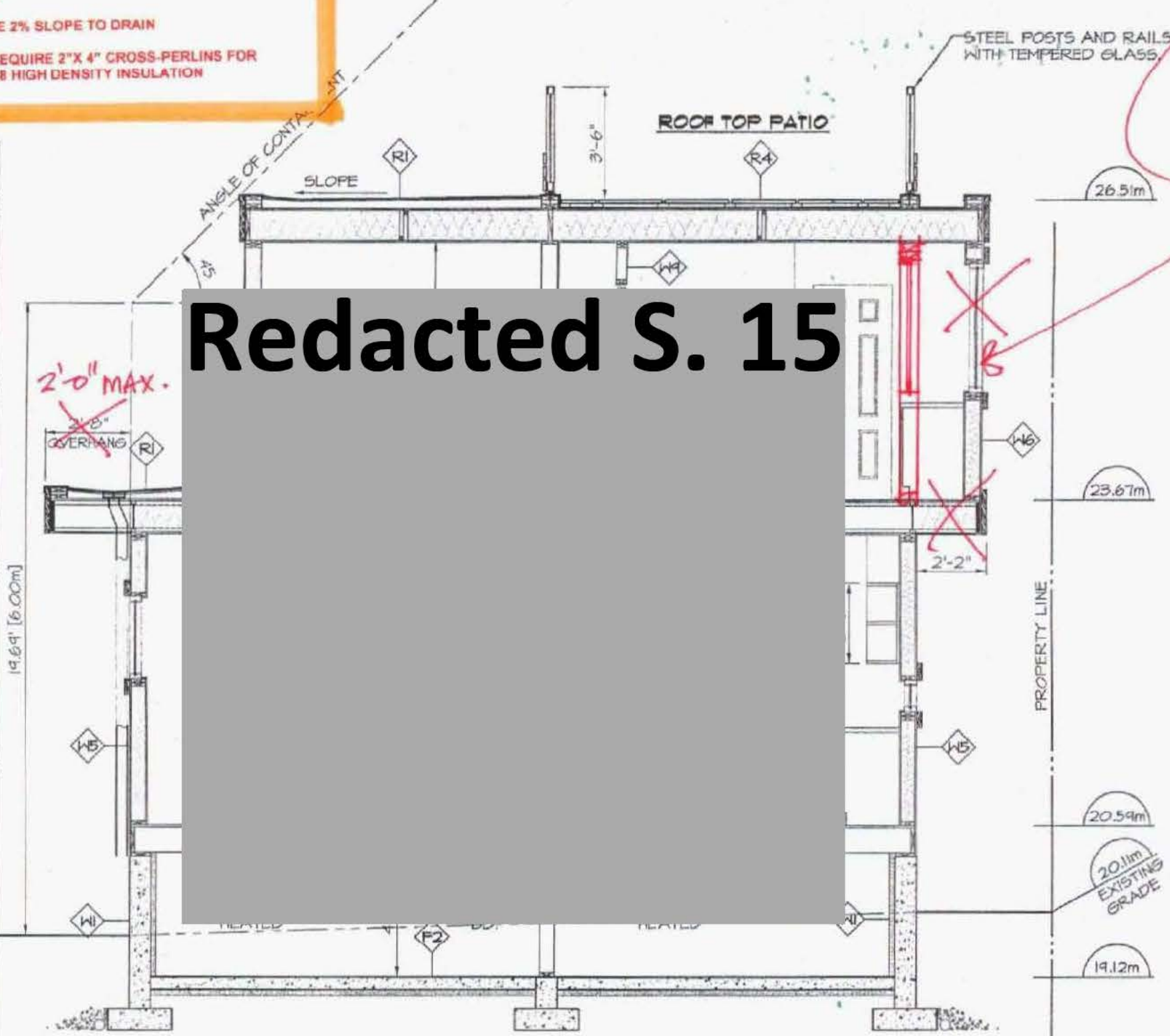
- 3RD PARTY ROOFING CONSULTANT TO APPROVE THE ROOF MEMBRANE INSTALLATION
- MIN. 3" SQUARE OVERFLOW SCUPPER REQUIRED
- ALL ROOF DRAINS TO BE MIN. 3" DIAMETER SIZE
- ROOF VENTILATION REQUIRED CW 2"x4" CROSS-PERLS
- MIN. (4) FOUR VERTICAL ROOF VENTS DOWN THE CENTRELINE OF ROOF
- FLAT ROOFS REQUIRE 2% SLOPE TO DRAIN
- VAULTED CEILINGS REQUIRE 2"x4" CROSS-PERLS FOR VENTILATION CW R-28 HIGH DENSITY INSULATION

CRAWL SPACE  
MAX. HEIGHT  
5'-11"

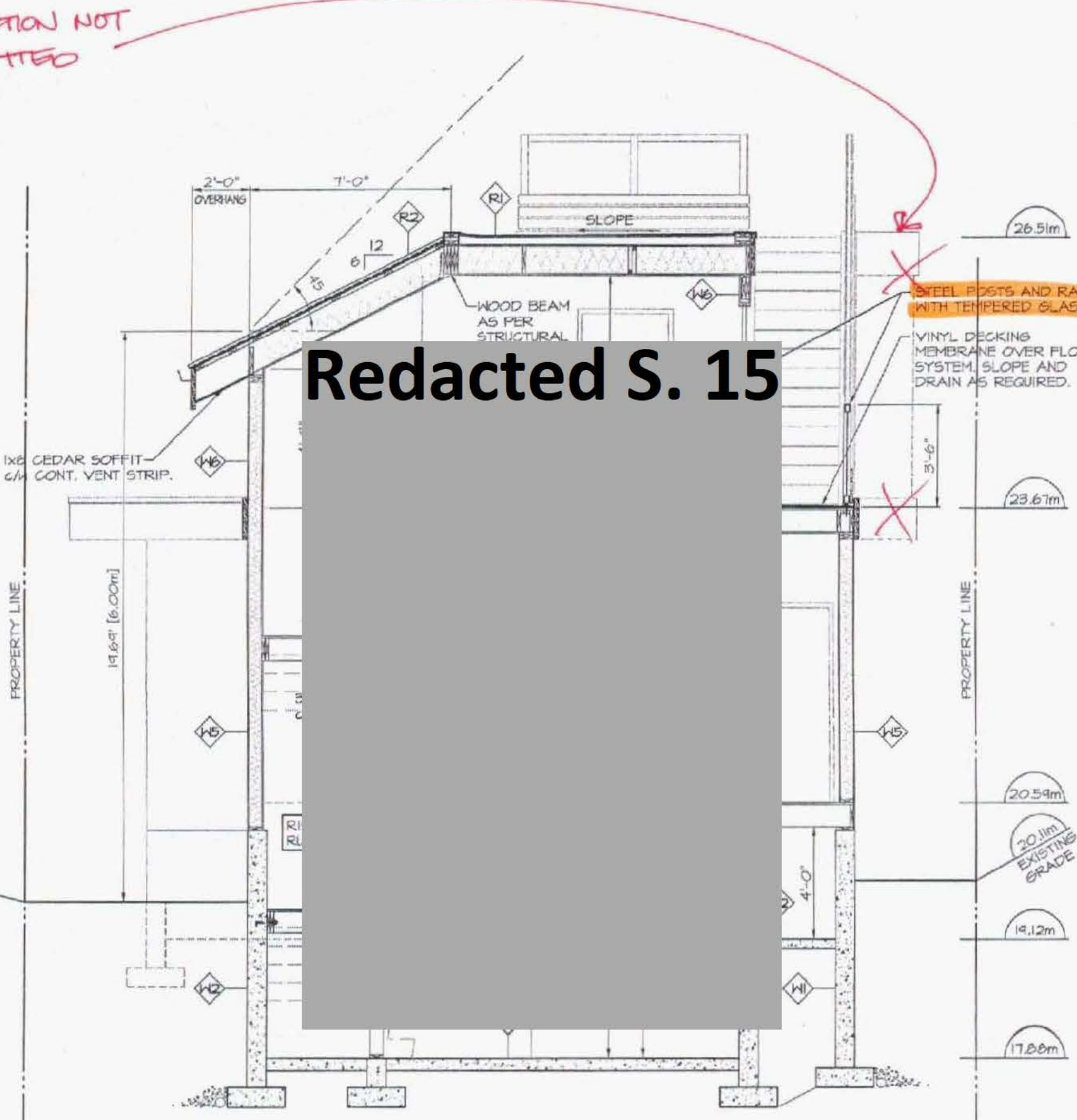
PROJECTION NOT  
PERMITTED

Redacted S. 15

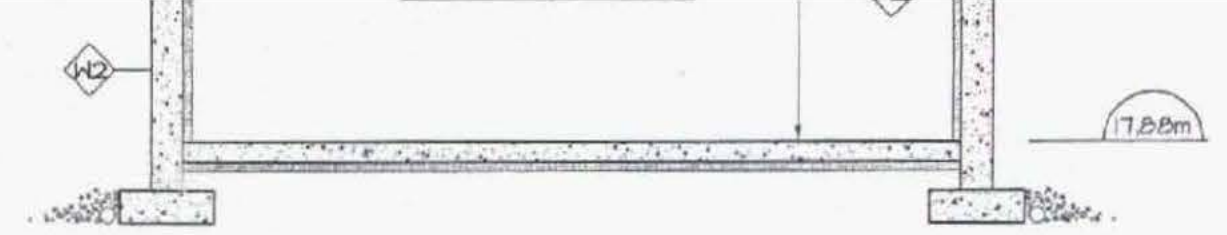
Redacted S. 15



SECTION **A**  
SCALE: 1/4" = 1'-0"  
(XREF. -)



SECTION **B**  
SCALE: 1/4" = 1'-0"  
(XREF. -)



SECTION **C**  
SCALE: 1/4" = 1'-0"  
(XREF. -)

**WALL SCHEDULE**

- 1. TYP. FOUNDATION WALL @ CRAWL SPACE  
COMPOSITE DRAINAGE MATT ON  
2 COATS ASPHALTIC DAMPROOFING  
6" CONCRETE FOUNDATION WALL  
1/2" AIR SPACE  
2x2 FURRING @ 16" o/c  
2" RIGID INSULATION  
1/2" GYPSUM WALLBOARD
- 2. TYP. FOUNDATION WALL @ BASEMENT  
COMPOSITE DRAINAGE MATT ON  
2 COATS ASPHALTIC DAMPROOFING  
6" CONCRETE FOUNDATION WALL  
1/2" AIR SPACE  
2x2 FURRING @ 16" o/c  
2" RIGID INSULATION  
1/2" GYPSUM WALLBOARD
- 3. TYP. FOUNDATION WALL @ GARAGE  
COMPOSITE DRAINAGE MATT ON  
2 COATS ASPHALTIC DAMPROOFING  
6" CONCRETE FOUNDATION WALL  
PROVIDE CONCRETE EDGE FOR  
SUPPORT OF BRICK VENEER  
(EXTENT OF VENEER AS PER ELEV)
- 4. TYP. CURB WALL IN CRAWL SPACE  
6" CONCRETE CURB WALL  
PROVIDE SILL PLATE FOAM  
UNDER ALL PLATES ON CURB WALL
- 5. TYP. EXT. FRAMED WALL (BD & BATTEN)  
HARDIE BOARD VERTICAL PLACING  
6x4 1" x 2" HARDIE BOARD BATTEN  
TYVEX BUILDING PAPER WRAP  
ON 1/2" PLYWOOD SHEATHING  
ON 2x6 D.F.R. STUDS @ 16" o/c  
R-22 F.S. BATT INSULATION  
6 MIL POLY VAPOR BARRIER (WARM SIDE)  
1/2" GYPSUM WALL BOARD  
(ALL PAINTING TO OWNER'S SPECS)
- 6. TYP. EXT. FRAMED WALL (CEDAR SHINGLES)  
TREATED CEDAR WALL SINGLES ON  
TYVEX BUILDING PAPER WRAP  
ON 1/2" PLYWOOD SHEATHING  
ON 2x6 D.F.R. STUDS @ 16" o/c  
R-22 F.S. BATT INSULATION  
6 MIL POLY VAPOR BARRIER (WARM SIDE)  
1/2" GYPSUM WALL BOARD  
(ALL PAINTING TO OWNER'S SPECS)
- 7. TYP. EXT. FRAMED WALL (GALV. CLADDING)  
HORIZ. GALVANIZED METAL CLADDING  
TYVEX BUILDING PAPER WRAP  
ON 1/2" PLYWOOD SHEATHING  
ON 2x6 D.F.R. STUDS @ 16" o/c  
R-22 F.S. BATT INSULATION  
6 MIL POLY VAPOR BARRIER (WARM SIDE)  
1/2" GYPSUM WALL BOARD  
(ALL PAINTING TO OWNER'S SPECS)
- 8. TYP. INT. 2x6 FRAMED WALLS  
1/2" GYPSUM WALL BOARD EA. SIDE  
OF 2x6 D.F.R. STUDS @ 16" o/c  
R-22 F.S. BATT INSULATION  
(INSULATION TO OWNER'S SPECS)  
(ALL PAINTING TO OWNER'S SPECS)
- 9. TYP. INT. 2x4 FRAMED WALLS  
1/2" GYPSUM WALL BOARD EA. SIDE  
OF 2x4 D.F.R. STUDS @ 16" o/c  
R-22 F.S. BATT INSULATION  
(INSULATION TO OWNER'S SPECS)  
(ALL PAINTING TO OWNER'S SPECS)
- 10. TYP. INT. GARAGE WALL  
1/2" GYPSUM WALL BOARD EA. SIDE  
OF 2x6 D.F.R. STUDS @ 16" o/c  
R-22 F.S. BATT INSULATION  
(INSULATION TO OWNER'S SPECS)  
(ALL PAINTING TO OWNER'S SPECS)  
6 MIL POLY VAPOR BARRIER (GARAGE  
SIDE)

**FLOOR SCHEDULE**

- 1. TYP. GARAGE CONCRETE SLAB-ON-GRADE  
5" THK CONCRETE SLAB  
(MINIMUM 28 MPa STRENGTH)  
6 MIL POLY VAPOR BARRIER  
2" THK RIGID SH INSULATION  
ON 6" MIN. COMPACTED GRANULAR MATL  
SLOPE SLAB AS SHOWN ON PLANS
- 2. TYP. CRAWL SPACE CONCRETE SLAB-ON-GRADE  
2" THK CONCRETE SLAB SKIM COAT  
(MINIMUM 28 MPa STRENGTH)  
6 MIL POLY VAPOR BARRIER  
2" THK RIGID SH INSULATION  
ON 6" MIN. COMPACTED GRANULAR MATL
- 3. TYP. 2x10 WOOD FLOOR  
FLOOR FINISH AS PER OWNER'S SPECS  
ON 1/2" T&G PLYWOOD DECKING  
ON 2x10 D.F.R. JOISTS (SPACING AS PER  
STRUCT)
- 4. TYP. T&I WOOD FLOOR  
FLOOR FINISH AS PER OWNER'S SPECS  
ON 1/2" T&I JOISTS (SPACING AS PER STRUCT)  
INSULATE AS PER OWNER'S SPECS  
1/2" GYPSUM BOARD AS REQUIRED.

**ROOF SCHEDULE**

- 1. TYP. FLAT ROOF CONSTRUCTION  
2 PLY 585 MEMBRANE ROOFING  
ON SLOPED EPS INSULATION  
ON 3/4" T&G PLYWOOD DECKING  
ON 2x4 ROOF JOISTS (SEE STRUCT.)  
R-28 F.S. BATT INSULATION  
6 MIL POLY VAPOR BARRIER  
1/2" GYPSUM WALL BOARD
- 2. TYP. SLOPED METAL ROOF  
GALVANIZED PIGGLOK METAL ROOFING  
ON RESISTO PEEL & STICK MEMBRANE  
ON 3/4" T&G PLYWOOD DECKING  
ON 2x4 STRAPPING @ 24" o/c  
ON 2x12 ROOF JOISTS (SEE STRUCT.)  
R-28 F.S. BATT INSULATION  
6 MIL POLY VAPOR BARRIER  
1/2" GYPSUM WALL BOARD
- 3. SLOPED FLAT ROOF CONSTRUCTION  
2 PLY 585 MEMBRANE ROOFING  
ON 3/4" T&G PLYWOOD DECKING  
ON 2x4 STRAPPING @ 24" o/c  
ON 2x12 ROOF JOISTS (SEE STRUCT.)  
R-28 F.S. BATT INSULATION  
6 MIL POLY VAPOR BARRIER  
1/2" GYPSUM WALL BOARD
- 4. TYP. ROOF PATIO FLOOR CONSTRUCTION  
2x4 SOFFIT PATIO BLOCKS  
ON RUBBER SEATS TO SUPPORT BLOCKS  
ON 2 PLY 585 MEMBRANE ROOFING  
ON SLOPED EPS INSULATION  
ON 3/4" T&G PLYWOOD DECKING  
ON 2x4 ROOF JOISTS (SEE STRUCT.)  
R-28 F.S. BATT INSULATION  
6 MIL POLY VAPOR BARRIER  
1/2" GYPSUM WALL BOARD



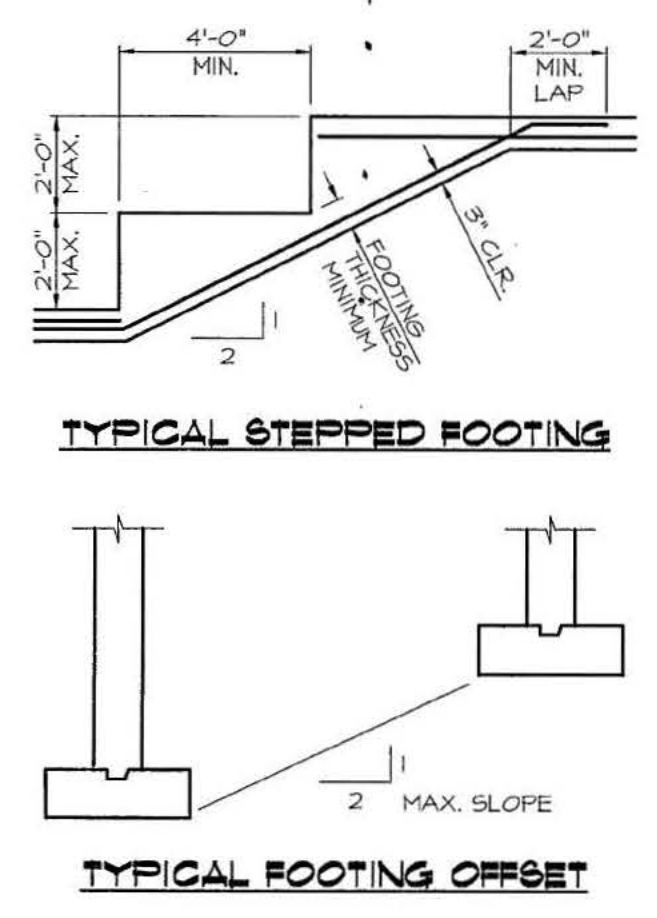
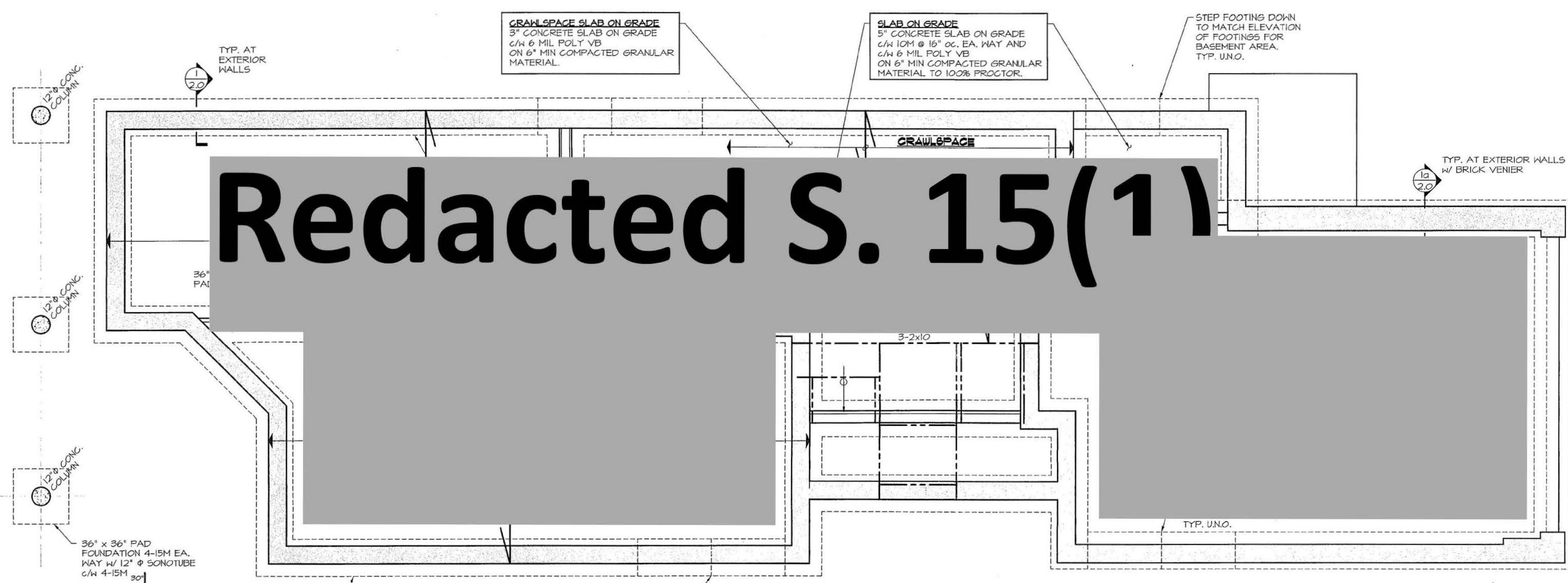


**DRAWING LIST**

S-1.0	GENERAL NOTES
S-2.0	FOUNDATION PLAN
S-3.0	MAIN FLOOR AND 2nd FLOOR FRAMING
S-3.1	2nd FLOOR AND ROOF FRAMING



**NOTE:**  
SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, STEPS IN CONCRETE WALL, LOCATION OF PAD FOOTINGS, INTERIOR CURBS AND FOOTINGS, BEARING WALLS, ETC.. THIS DRAWING IS FOR REFERENCE OF DETAILS ONLY AND SHOULD NOT BE USED TO LAYOUT FOOTINGS AND FOUNDATIONS.



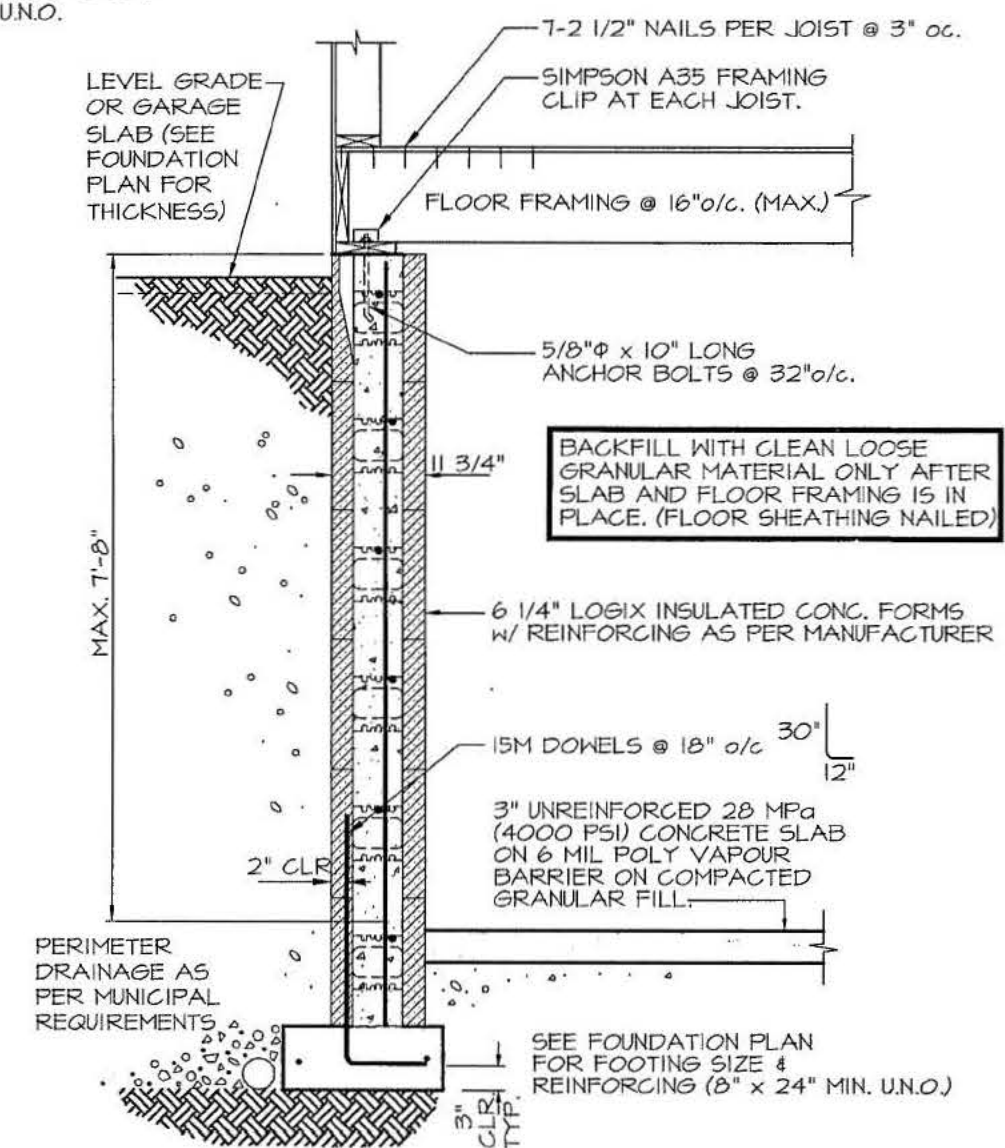
**BASEMENT / MAIN FLOOR FRAMING PLAN**

- SCALE: 1/4" = 1'-0"
- NOTES:**
- DESIGN IS BASED ON B.C. BUILDING CODE 2006.
  - ALL OTHER DETAILS NOT SPECIFICALLY SHOWN ARE THE RESPONSIBILITY OF OTHERS.
  - DESIGN LOADS:
 

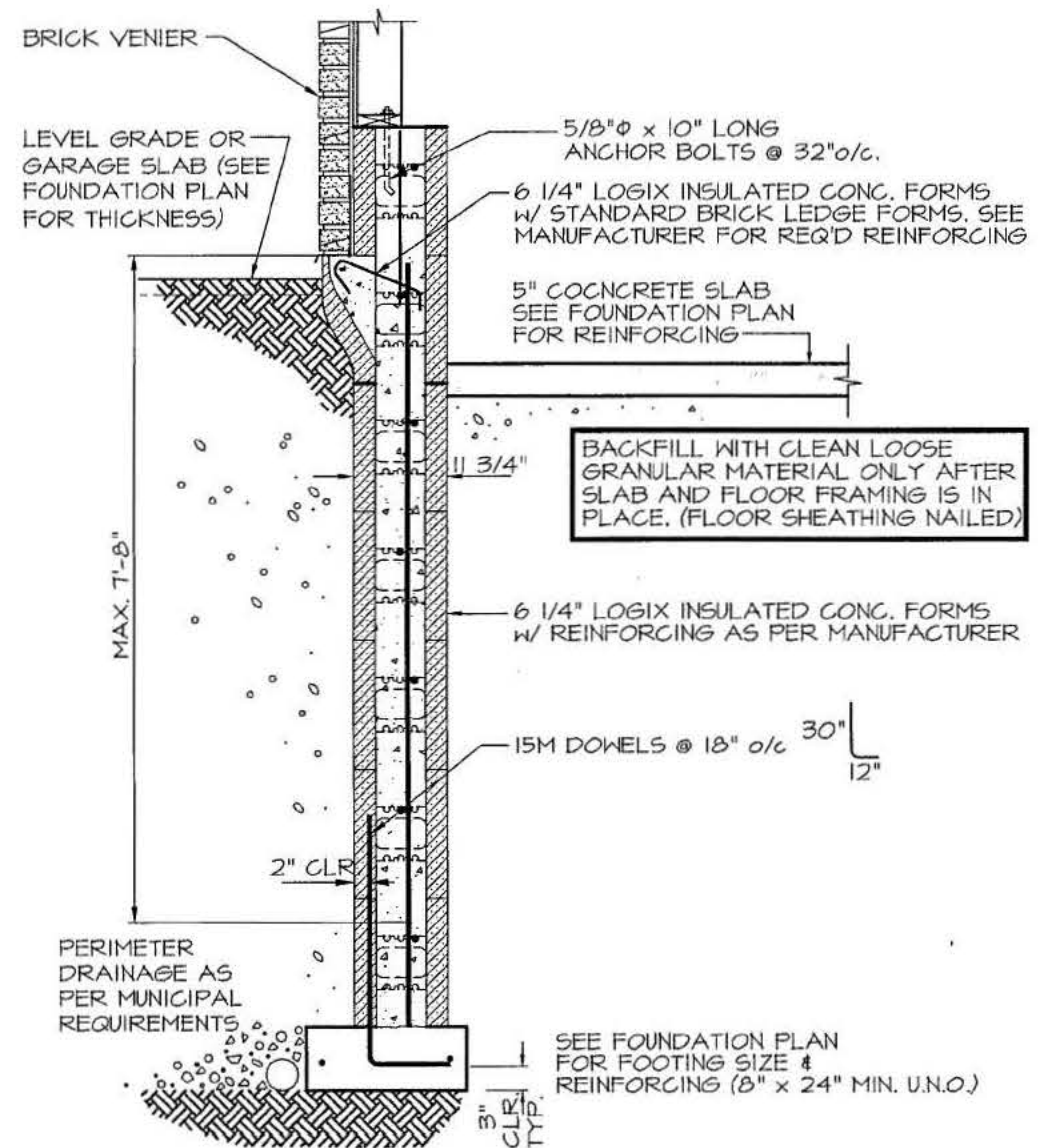
ROOF -	LIVE	DEAD
FLOOR -	24 PSF	12.5 PSF
FOUNDATION WALL LATERAL EARTH PRESSURE =	40 PSF	10 PSF

 FOUNDATION WALL LATERAL EARTH PRESSURE = 60 PCF E.F.P.
  - FOUNDATIONS HAVE BEEN DESIGNED FOR AN ASSUMED ALLOWABLE BEARING CAPACITY OF 1500 PSF. KRAHN ENGINEERING IS NOT RESPONSIBLE FOR CONFIRMATION OF SOIL BEARING CAPACITY AND ASSUMES THE BUILDING DEPARTMENT WILL SATISFY ITSELF THAT SOIL BEARING REQUIREMENTS HAVE BEEN MET.
  - THE MINIMUM CONCRETE STRENGTH AT 28 DAYS SHALL BE:
 

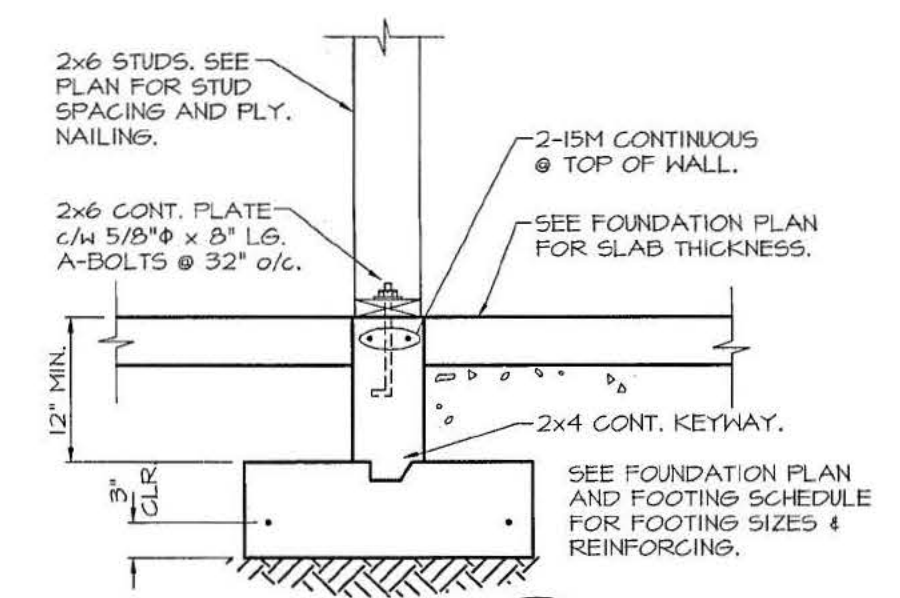
WALLS	- 25MPa	EXPOSURE CLASS
INTERIOR SLAB & FOOTINGS	- 25MPa	F2
GARAGE SLAB	- 32MPa	N
		C2
  - PROVIDE HOT AND COLD WEATHER PROTECTION IN ACCORDANCE WITH REQUIREMENTS OF CSA A23.1-04.
  - CALL FOR FIELD REVIEWS PRIOR TO ALL CONCRETE POURS.
  - ALL FRAMING TO BE IN ACCORDANCE WITH PART 4 OF B.C. BUILDING CODE 2006.
  - THIS BUILDING HAS NOT BEEN REVIEWED FOR THE SEISMIC DESIGN PROVISIONS OF PART 4 OF THE B.C. BUILDING CODE.
- U.N.O. - DENOTES UNLESS NOTED OTHERWISE



**DETAIL 1**  
SCALE: 1/2" = 1'-0"  
(XREF: -)



**DETAIL 1a**  
SCALE: 1/2" = 1'-0"  
(XREF: -)



**DETAIL 2**  
SCALE: 3/4" = 1'-0"  
(XREF: -)



1	MAY 23/08	FOR PERMIT ONLY
No.	DATE	DESCRIPTION
ISSUES & REVISIONS		

**Krahn Engineering**  
A DIVISION OF KRAHN ENGINEERING LTD.

**Chilliwack**  
Chilliwack, B.C.  
Canada, V2P 4A7  
Tel: [604] 795-7333  
Fax: [604] 795-7334

**Abbotsford**  
Abbotsford, B.C.  
Canada, V2S 8Z1  
Tel: [604] 857-1678  
Fax: [604] 853-1550

**Vancouver**  
Vancouver, B.C.  
Canada, V6K 4Y3  
Tel: [604] 254-5662  
Fax: [604] 254-5665

**PROPOSED RESIDENCE FOR BEAR CREEK PROPERTIES**

944 LEE STREET  
WHITE ROCK, B.C.

**FOUNDATION AND MAIN FLOOR FRAMING**

SCALE: AS NOTED

DRAWN: CR

CHECKED: A.K.

PROJECT No: CK08021

DRAWING No: **S-2.0**



**B.C.L.S. Building  
Location Certificate**  
Showing The Forms Only  
On Lot 28 Block 10 Sec 11  
Tp 1 NWD Plan 1334

Civic Address: 949 Lee Street  
White Rock

Prepared For The Exclusive Use Of:  
**Redacted S. 22**

The information shown hereon is for inspection purposes only and is for the exclusive use of the client for whom it was prepared.

The surveyor accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made or actions taken based on this document. This document shows the relative location of the structures and features with respect to the registered boundaries of the land. This document is not a boundary survey and may not be used to define property lines or property corners.

All rights reserved. No person may copy, reproduce, transmit, alter, distribute, or store copies of this document in whole or in part without the prior written consent of the undersigned.

© Terra Pacific Land Surveying Ltd. 2008

This is certified correct and is valid only with respect to the improvements as shown hereon and located on the 24th day of September, 2008.



B C L S

This Document Is Not Valid Unless  
Originally Signed And Sealed



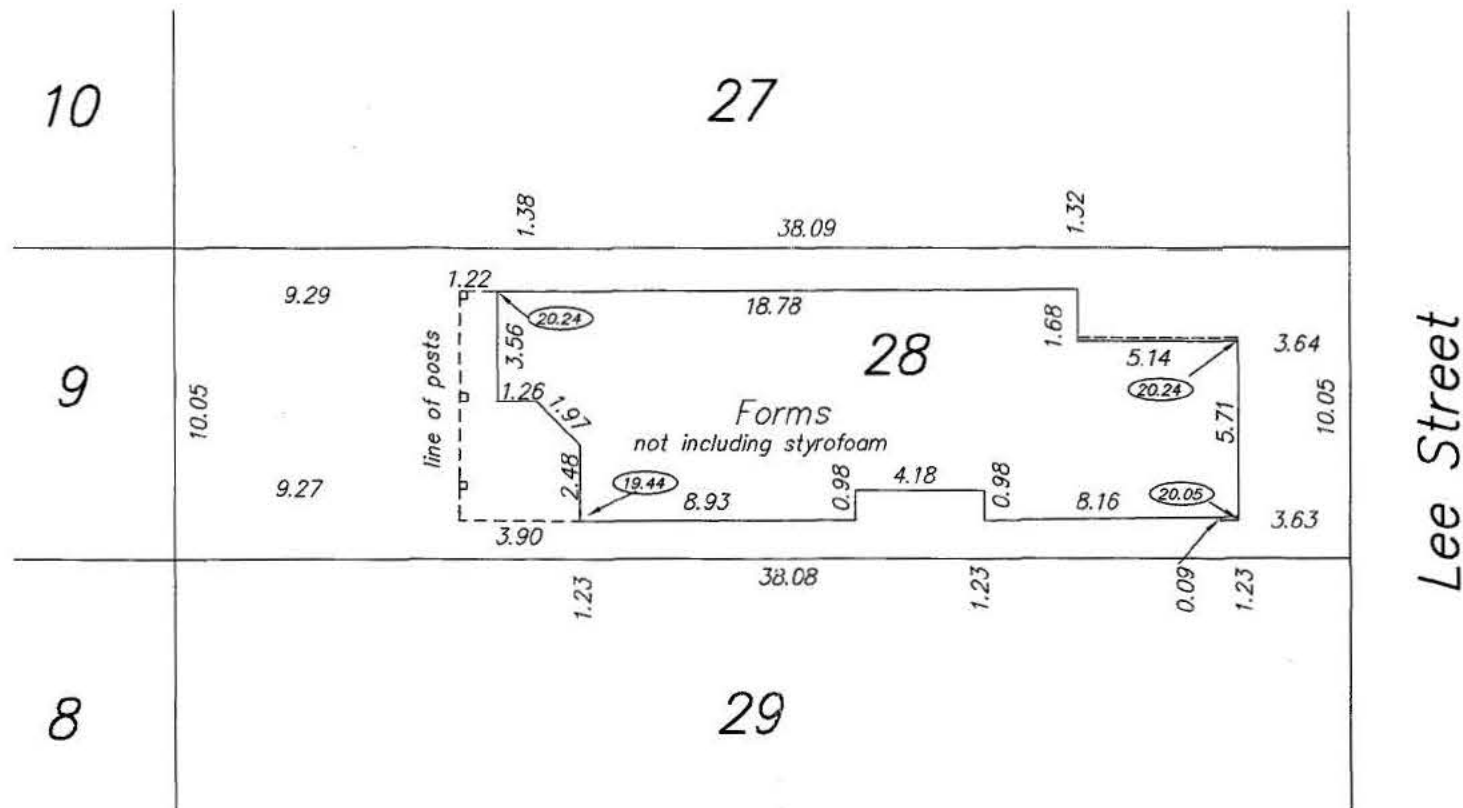
**Terra Pacific**  
Land Surveying Ltd.

\*119 - 19292 60th Avenue Surrey, B.C. V3S 3M2  
Ph. 604-533-0954 Fax. 604-533-0894

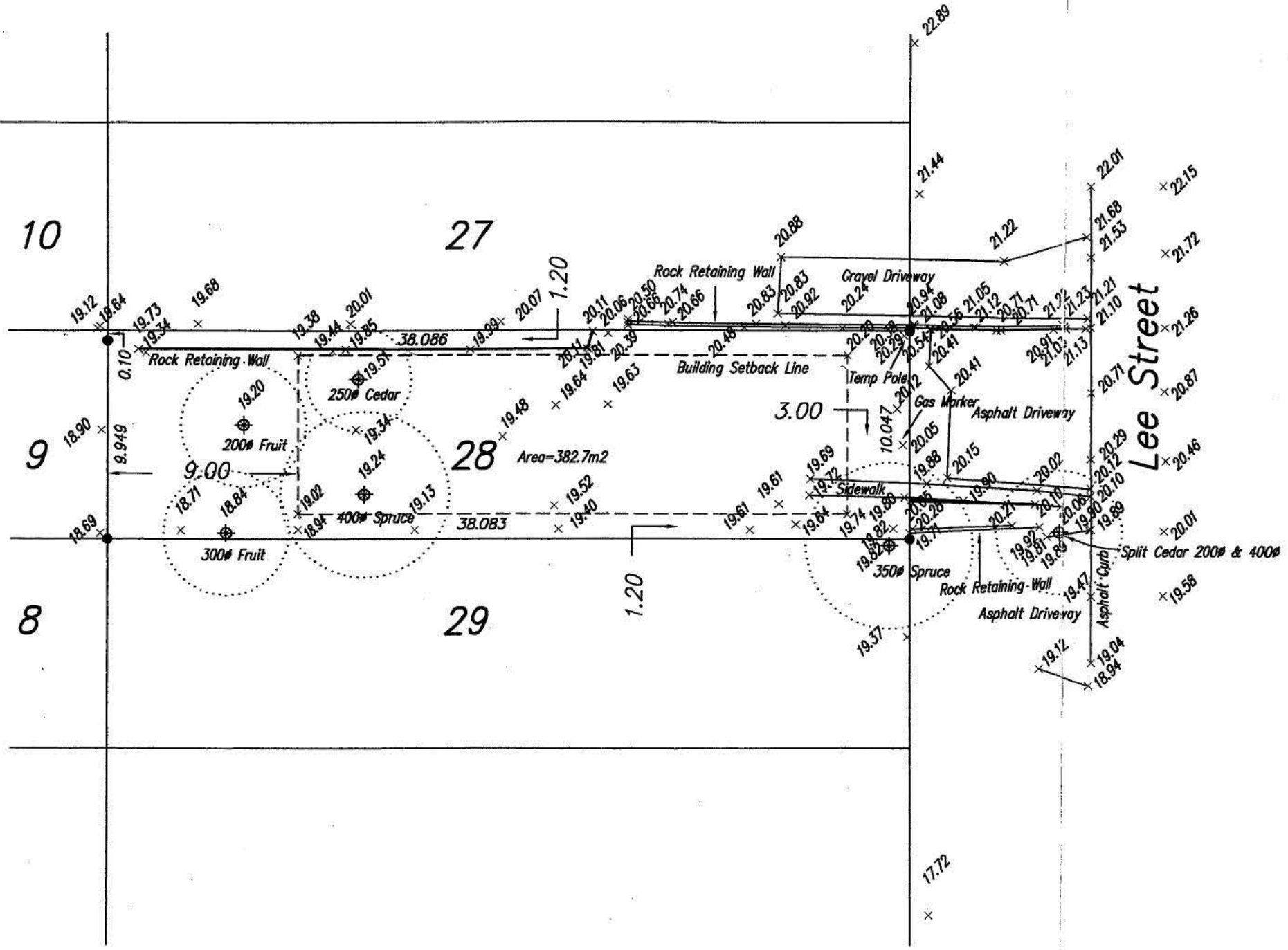
File: 08-113sc  
Client Reference: **s. 22**

Scale 1 : 250 Dimensions are METRIC

⊕ Denotes Pour Strip Elevation



COPY



Client:

**Redacted S. 22**

Drawing Title:

Survey Plan Of Lot 28  
Block 10 Sec 11  
Tp 1 NWD Plan 1334

Lot Dimensions From  
Posting Plan BCP\_\_\_\_\_

Certified Correct  
This 14th Day Of February, 2008

*[Signature]*  
B.C.L.S. Larry Achternichuk

Benchmark Notes:

Elevations Are Geodetic  
Referred to Monument: WR88012  
Monument Elevation: 41.428 m  
Located At: Intersection Of Pacific Ave  
And Lee Street

Note: The Elevations Given On The Subject Property  
Are Natural Grades

Scale: 1 : 250

Legend:

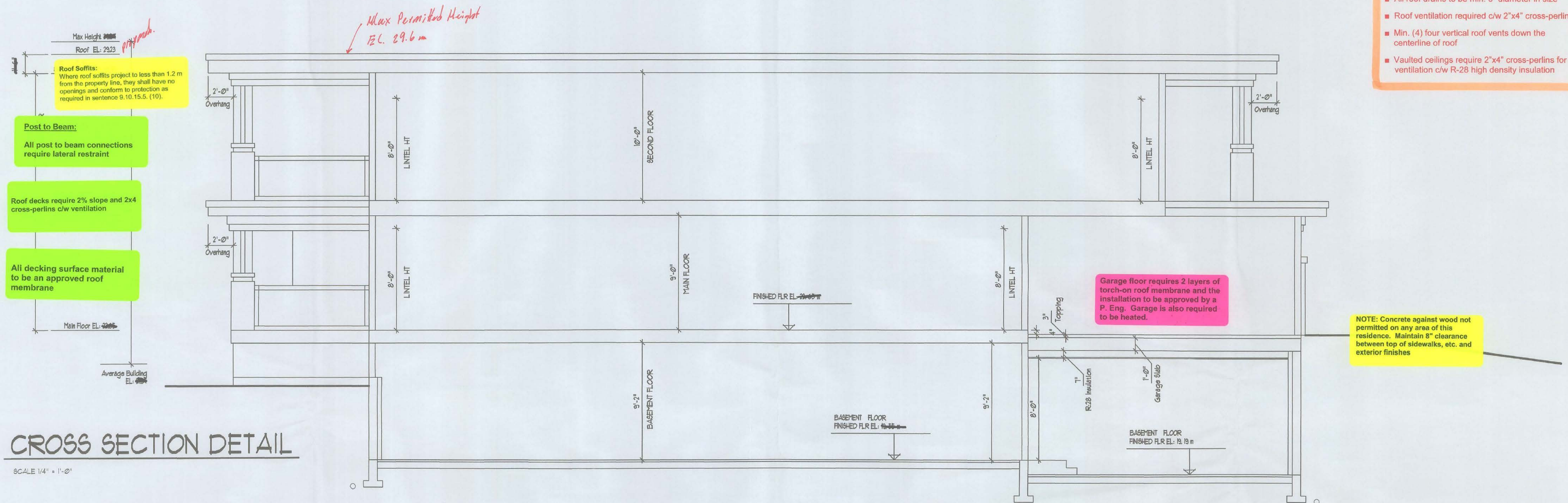
- Standard Iron Post Found
- ⊕ Tree (Tied At Point Of Entry Into The Ground)
- x Ground Elevation
- ⊙ Power Pole

NO DATE



**\* ROOF NOTES \***

- 3<sup>rd</sup> party roofing consultant to approve the roof membrane installation
- Min. 3" square overflow scupper required
- All roof drains to be min. 3" diameter in size
- Roof ventilation required c/w 2"x4" cross-perlins
- Min. (4) four vertical roof vents down the centerline of roof
- Vaulted ceilings require 2"x4" cross-perlins for ventilation c/w R-28 high density insulation



**CROSS SECTION DETAIL**

SCALE 1/4" = 1'-0"

ROOF UPPER:  
3 PLY TORCH ON  
5/8" T & G PLYWOOD  
ROOF TRUSSES @ 24" O.C  
R-40 BATT INSULATION  
MIN 6 MIL POLY VB  
1/2" GYPSUM BOARD

CEILING  
MIN R-40 BATT OR LOOSE-FILL INSULATION  
MIN 6 MIL POLY VB  
1/2" GYPSUM BOARD

FASCIA / SOFFIT  
VENTED ALUM OR VINYL SOFFIT  
(NOTE: PROVIDE INSULATION Baffles BETWEEN EACH TRUSS W/ MIN 2" CLEAR AIRSPACE)

EXTERIOR WALL  
FINISH MATERIAL - SEE ELEVATION  
BUILDING PAPER  
1/2" PLYWOOD SHEATING  
R-20 BATT INSULATION  
2X6 STUDS @ 16" O.C  
MIN 6 MIL POLY VB  
1/2" GYPSUM BOARD

INTERIOR PARTITION  
2X6 STUDS @ 16" O.C (OR AS NOTED)  
1/2" GYPSUM BOARD - BOTH SIDES

UPPER FLOOR  
3/4" T&G PLYWOOD SUBFLOOR  
2X12 OR TJI FLOOR JOISTS @ 16" O.C 90R AS NOTED )  
2X2 CROSS BRIDGING @ 6'-10" O.C MAX  
1/2" GYPSUM BOARD

MAIN FLOOR  
FINISH FLOORING  
3/4" T&G PLYWOOD SUBFLOOR  
2X12 OR TJI FLOOR JOISTS @ 16" O.C (OR AS NOTED )  
2X2 CROSS BRIDGING @ 6'-10" O.C MAX  
1X3 STRAPPING @ 6'-10" O.C MAX

BASEMENT FLOOR  
4" CONCRETE SKIM COAT  
6 MIL POLY ME  
6" MIN COMPACT SAND OR GRAVEL FILL

GARAGE FLOOR  
3" CONC TOPPING  
3 PLY TORCH ON  
12" CONC SLAB  
R-28 INSULATION  
1/2" GYPSUM BOARD

EXTERIOR FOUNDATION WALL  
2 COATS ASPHALT EMULSION- APPLY TO EXTERIOR PERIMETER UP TO GRADE  
8" CONCRETE FOUNDATION WALL  
R-12 INSULATION- MIN 24" BELOW GRADE  
18"X8" CONCRETE FOOTING

INTERIOR FOUNDATION WALL  
2X6 STUDS @ 16" O.C  
6" CONCRETE CURB  
18"X6" CONCRETE FOOTING

PLATE TO FOUNDATION CONNECTION  
2X6 (OR 2X4 AS REQUIRED) SILL PLATE  
6 MIL POLY OR M5 FELT D&P-PROOFING  
5/8" DIA ANCHOR BOLTS @ 4'-0" O.C MAX

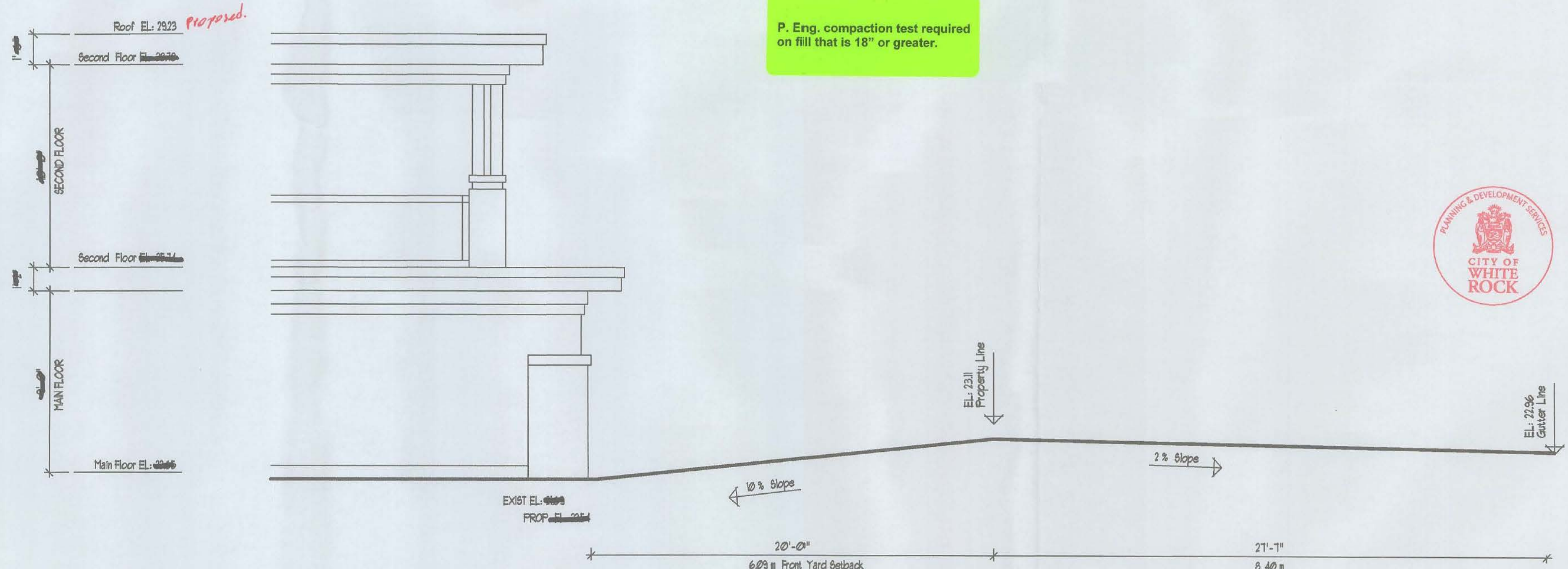
DRAINAGE  
4" DRAIN TILE  
12" MIN DRAIN ROCK

STAIRS  
RUN 9 1/2"  
NOBING 1"  
TREAD 10 1/4"  
RISE 7 5/8"  
HANDRAIL 2 1/8"  
HEADROOM 6'8"

All stairs, guards, handrails and landings to comply with Sec.8.8 of the BCBC 2012.

All guardrails are to be kept flush with the building face and cannot encroach into required setbacks

All glass guardrails or similar will require a solid top rail meeting the load and design reqm'ts of Part 4 of the BCBC code. All glass guardrails that are not supported on four edges, will require structural engineer design and building code schedules.



**DRIVEWAY DETAIL**

SCALE 1/4" = 1'-0"

Exterior wall requires 2X6 stud construction with a min. R-20 batt insulation.

P. Eng. compaction test required on fill that is 18" or greater.



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DEVELOPMENT SERVICES  
JAN 19 2015

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**ELEVATIONS**

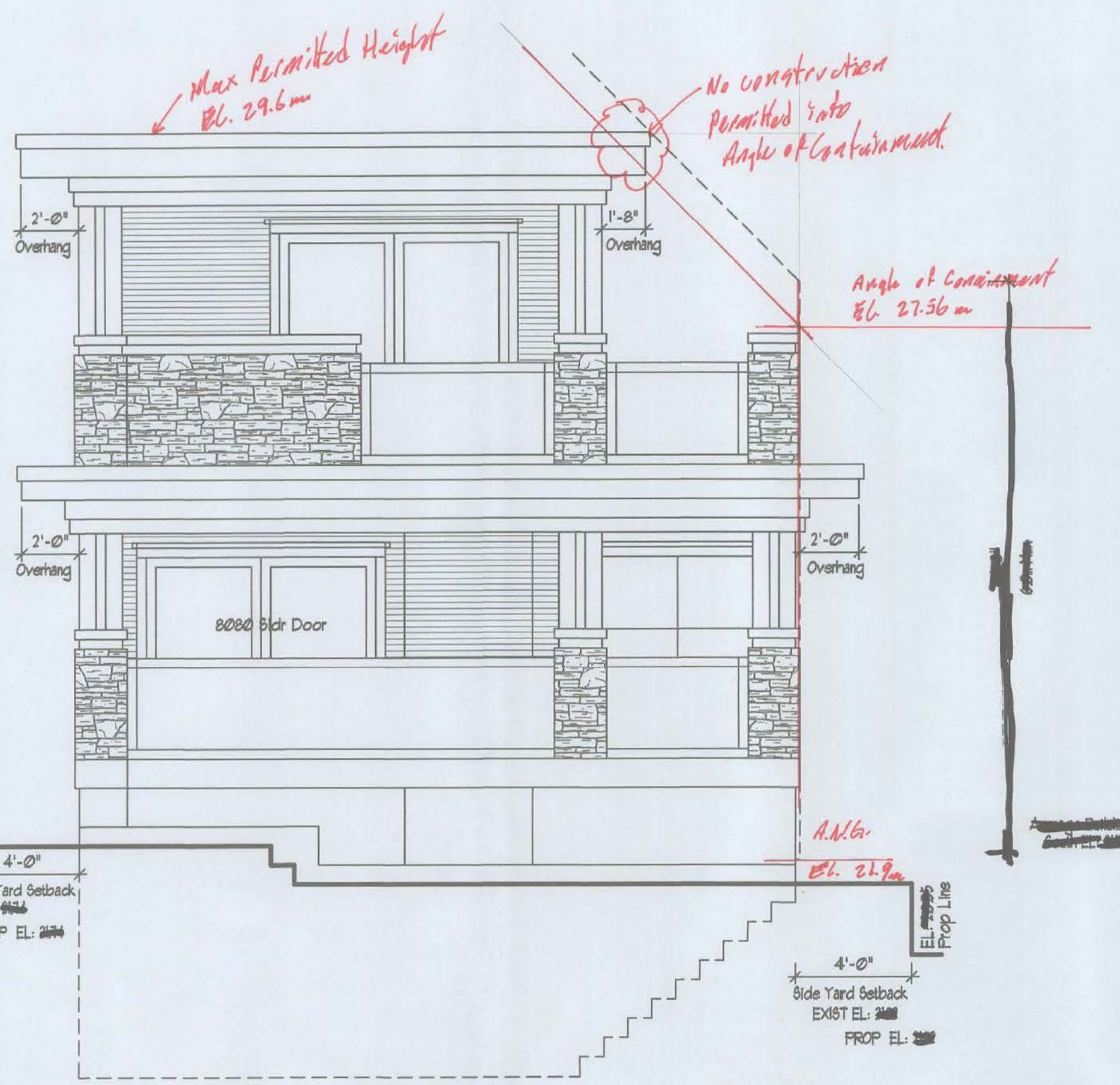
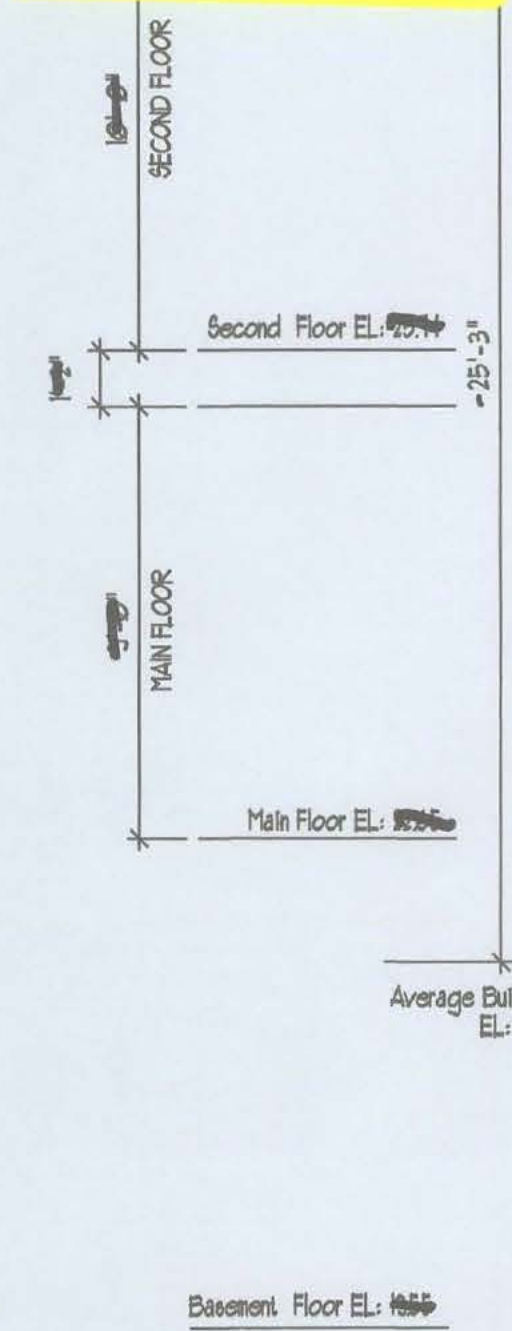
SCALE 1/4" = 1'-0"

GLENWOOD HOME DESIGNS  
14471 32 b AVENUE AVE SURREY, B.C  
TEL: (604) 951-9358 604-721-3881

THESE PLANS CONFORM TO THE  
BRITISH COLUMBIA BUILDING CODE  
2012 EDITION: ( OCCUPANCY GROUP C )



**Roof Soffits:**  
Where roof soffits project to less than 1.2 m from the property line, they shall have no openings and conform to protection as required in sentence 9.10.15.5. (10)



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"

All stairs, guards, handrails and landings to comply with Sec.9.8 of the BCBC 2012.

All guardrails are to be kept flush with the building face and cannot encroach into required setbacks

All glass guardrails or similar will require a solid top rail meeting the load and design reqn's of Part 4 of the BCBC code. All glass guardrails that are not supported on four edges, will require structural engineer design and building code schedules.

**Post to Beam:**  
All post to beam connections require lateral restraint

**NOTE:** Concrete against wood not permitted on any area of this residence. Maintain 8" clearance between top of sidewalks, etc. and exterior finishes



**LEFT ELEVATION**  
SCALE 1/4" = 1'-0"  
SPATIAL SEPERATION CALCULATIONS  
WALL AREA 1610 SQFT  
LIMITING DISTANCE 4'-0" (1.2 m)  
MAX ALLOWABLE UNPROTECTED OPENINGS AT 7% = 116 SQFT  
PROPOSED UNPROTECTED OPENINGS = 92 SQFT

Window Opening into a Window Wells to comply to the B.C. Building Code. All window wells require fall protection.

AIR CONDITIONING/CONDENSING UNITS NOT ALLOWED IN SIDE YARD SETBACK

Roof decks require 2% slope and 2x4 cross-perlins c/w ventilation

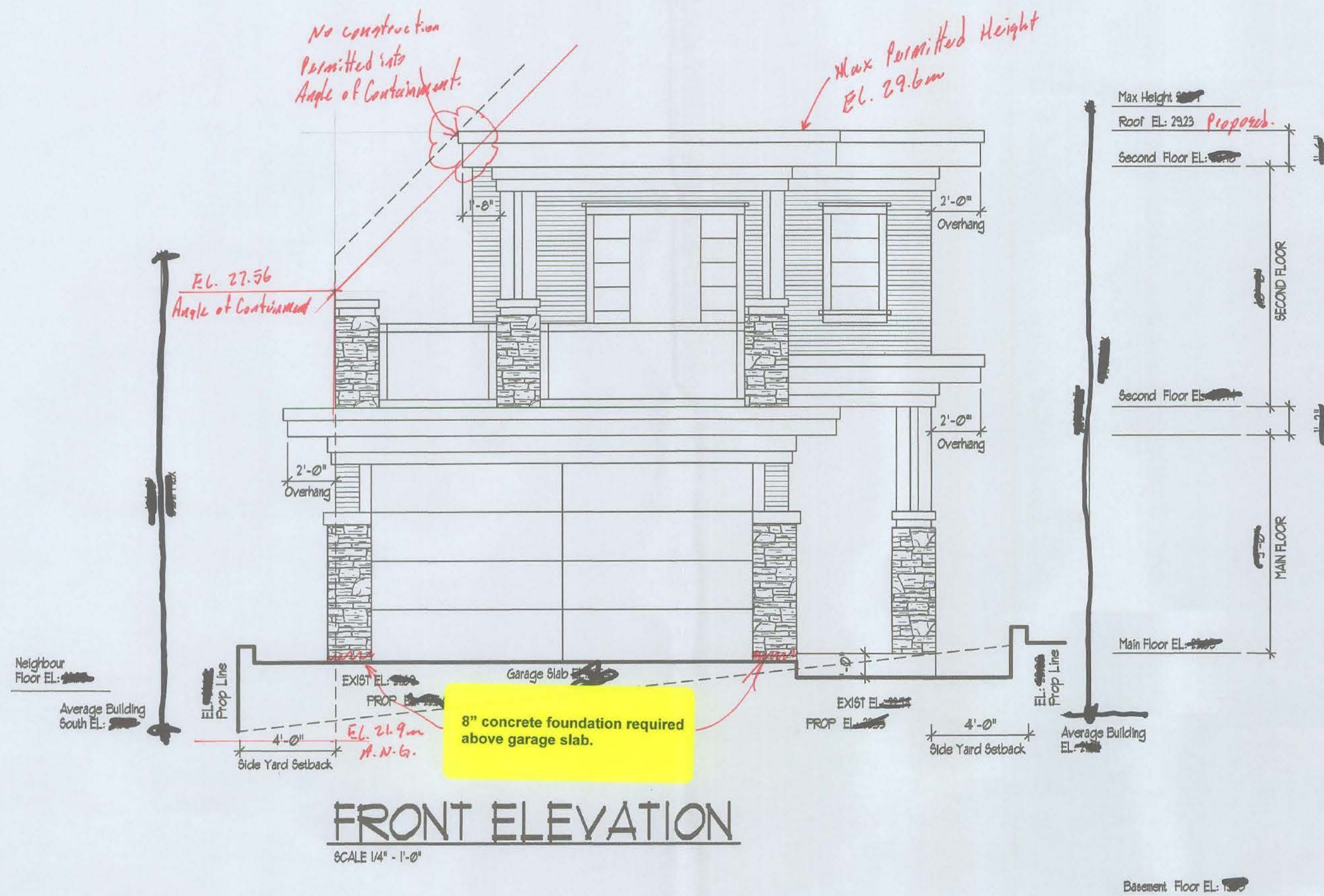
All decking surface material to be an approved roof membrane



CITY OF WHITE ROCK  
DEVELOPMENT SERVICES  
JAN 19 2015  
**RECEIVED**

**ELEVATIONS**  
SCALE 1/4" = 1'-0"





**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

Roof decks require 2% slope and 2x4 cross-perkins c/w ventilation

All decking surface material to be an approved roof membrane

**Roof Soffits:**  
Where roof soffits project to less than 1.2 m from the property line, they shall have no openings and conform to protection as required in sentence 9.10.15.5. (10).

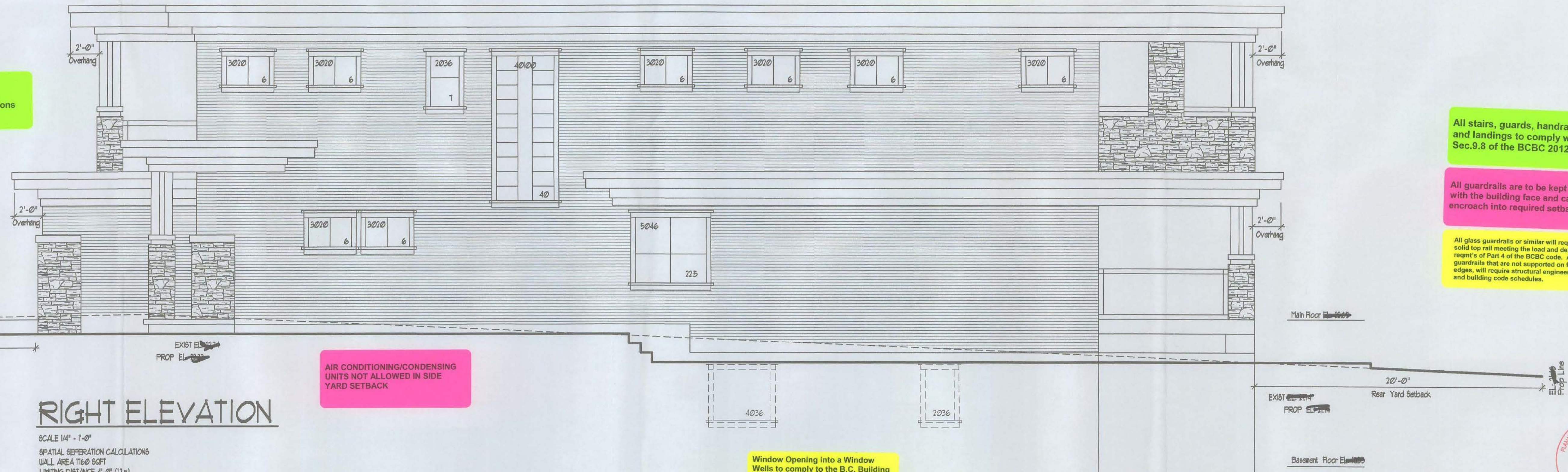
**Post to Beam:**  
All post to beam connections require lateral restraint

All stairs, guards, handrails and landings to comply with Sec.9.8 of the BCBC 2012.

All guardrails are to be kept flush with the building face and cannot encroach into required setbacks.

All glass guardrails or similar will require a solid top rail meeting the load and design requirements of Part 4 of the BCBC code. All glass guardrails that are not supported on four edges, will require structural engineer design and building code schedules.

**NOTE:** Concrete against wood not permitted on any area of this residence. Maintain 8" clearance between top of sidewalks, etc. and exterior finishes



**RIGHT ELEVATION**  
SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"  
SPATIAL SEPERATION CALCULATIONS  
WALL AREA 1160 SQFT  
LIMITING DISTANCE 4'-0" (12 m)  
MAX ALLOWABLE UNPROTECTED OPENINGS AT 78 = 823 SQFT  
PROPOSED UNPROTECTED OPENINGS = 1115 SQFT

**AIR CONDITIONING/CONDENSING UNITS NOT ALLOWED IN SIDE YARD SETBACK**

**Window Opening into a Window Wells to comply to the B.C. Building Code.**  
All window wells require fall protection.



CITY OF WHITE ROCK  
DEVELOPMENT SERVICES  
JAN 19 2015

**ELEVATIONS**

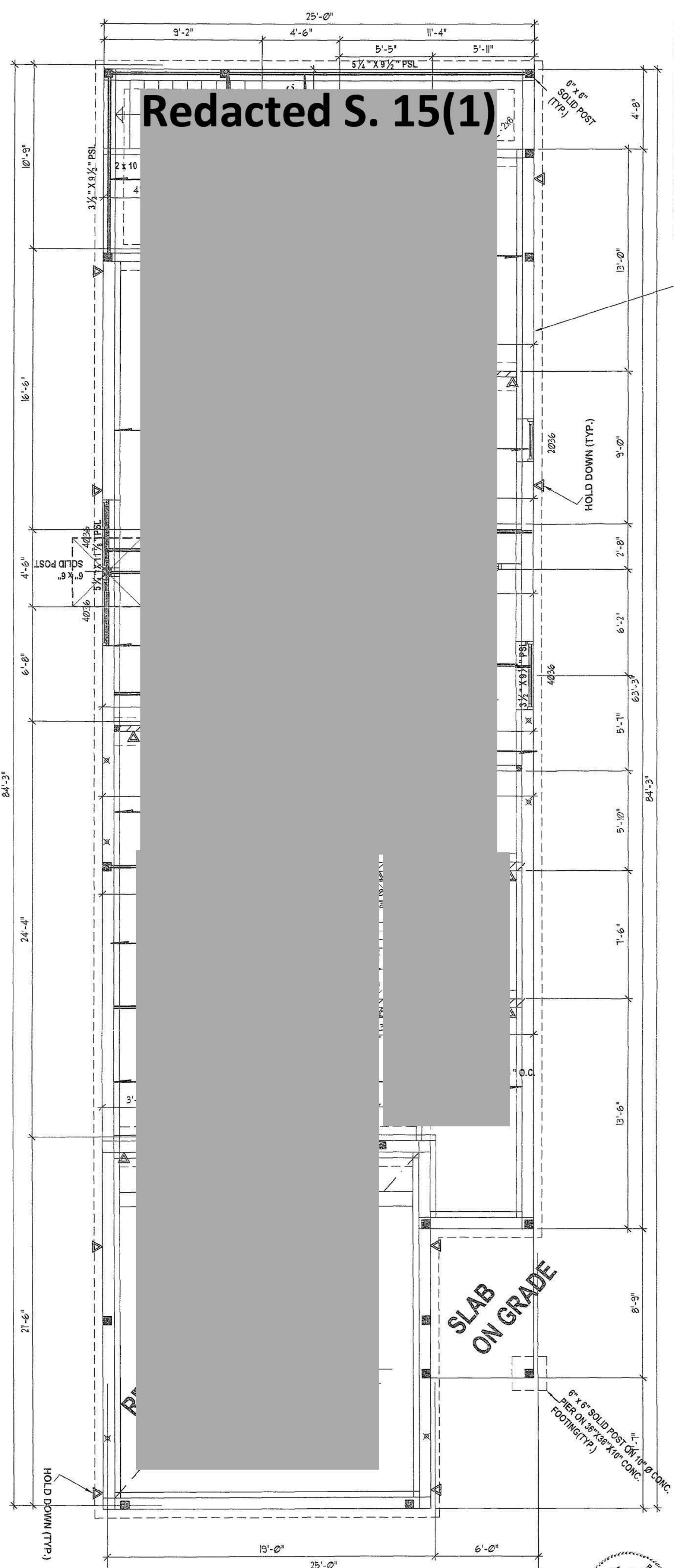
SCALE 1/4" = 1'-0"

**RECEIVED**

GLENWOOD HOME DESIGNS  
14471 22 D AVENUE, AVE SURREY, B.C.  
TEL: (604) 551-9350 604-TJ-3881

THESE PLANS CONFORM TO THE  
BRITISH COLUMBIA BUILDING CODE  
2012 EDITION ( OCCUPANCY GROUP C )





**BASEMENT FLOOR PL**  
 SCALE 1/4" = 1'-0" 1020 SQFT (NC SUITE 810 SQFT)

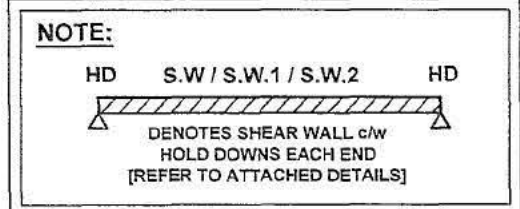
BASEMENT FLOOR TO HAVE 9'-2" CEILING HEIGHT  
 6'-8" LINTEL HEIGHT UNLESS NOTED OTHERWISE

ALL PARALLAM BEAMS AND HANGERS ARE TO BE VERIFIED  
 AND ENGINEERED BY MANUFACTURER BEFORE PURCHASING  
 IN FLOOR RADIANT HEATING SYSTEM

**SHEARWALL SCHEDULE**

SW: SHEAR WALL NAILING - 2x2 NAIL @ 0.131" @ 4" ON PANEL EDGES AND @ 8" O.C. AT INTERIOR SUPPORTS  
 SW1: SHEAR WALL NAILING - 2x2 NAIL @ 0.131" @ 3" ON PANEL EDGES AND @ 8" O.C. AT INTERIOR SUPPORTS  
 SW2: SHEAR WALL NAILING - 2x2 NAIL @ 0.131" @ 3" ON PANEL EDGES AND @ 8" O.C. AT INTERIOR SUPPORTS, PANELS ON BOTH SIDES OF STUDS

NOTE: NO FINGER JOINTS SHALL BE USED IN THE CONSTRUCTION OF SHEARWALLS



**PAD FOOTING Schedule**

P1 - 24" x 36" x 10" Deep c/w 3-15M Rebar EW X 2'-4"  
 P2 - 42" x 42" x 10" Deep c/w 4-15M Rebar EW X 3'-4"  
 P3 - 48" x 48" x 10" Deep c/w 4-15M Rebar EW X 3'-4"  
 P4 - 54" x 54" x 10" Deep c/w 6-15M Rebar EW X 4'-0"  
 P5 - 60" x 60" x 10" Deep c/w 6-15M Rebar EW X 4'-0"  
 Rebar 3" up from bottom of footing (typ.)  
 Based on the assumption of an allowable soil bearing pressure of 1500 psf  
 To be verified by Geotechnical Engineer

IN ABSENCE OF TRUSS LAYOUT, IT IS BUILDER'S RESPONSIBILITY TO PROVIDE THE INFORMATION SHOWN ON OUR UPPER FLOOR FRAMING "STRUCTURAL" PLAN FOR THE TRUSS MANUFACTURER TO UNDERTAKE THE STRUCTURAL DESIGN OF EVERY TRUSS COMPONENT FOR ALL LOADS AND COMBINATION OF LOADS AS SPECIFIED BY THE CODE. IN CASE TRUSS LAYOUT IS CHANGED BY THE MANUFACTURER, STRUCTURAL COMPONENT OF THE BUILDING SHALL BE REVISED ACCORDINGLY, WITH CONSULTATION OF NORTHWEST ENGINEERS.

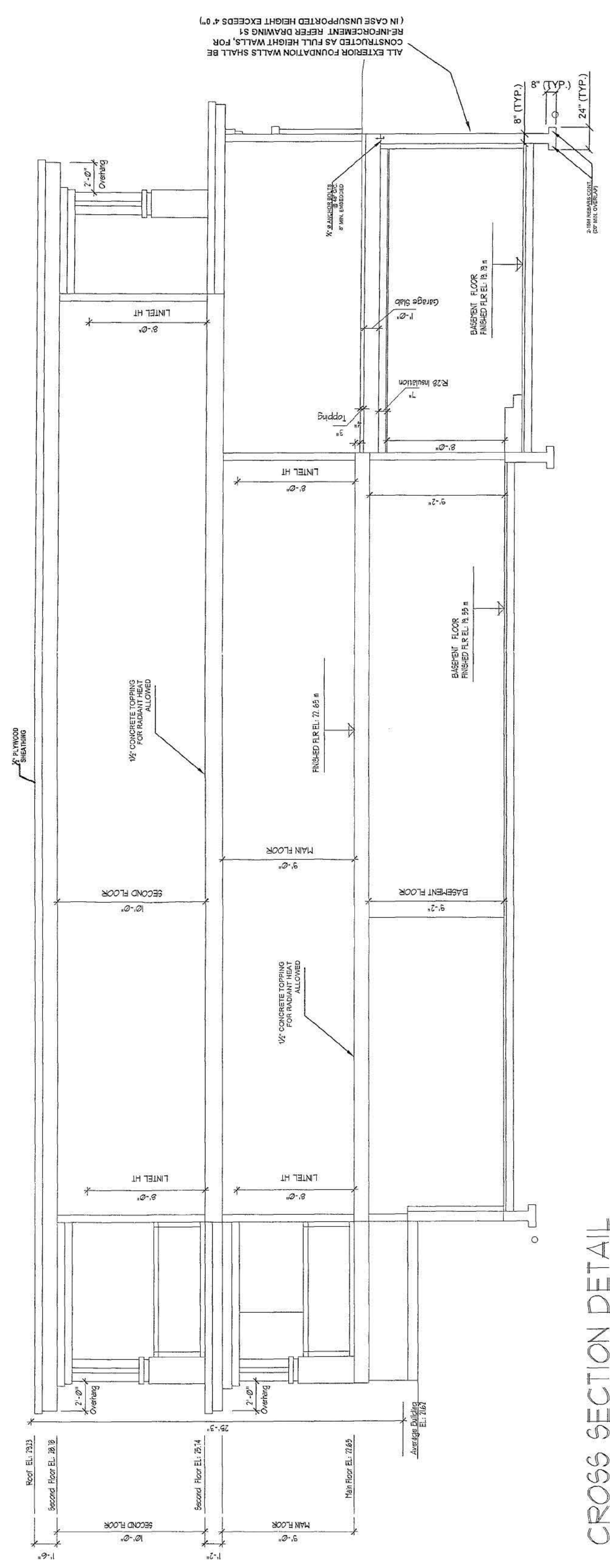
**FLOOR LOADS:**  
 LL = 40 PSF  
 DL = 20 PSF (CONCRETE TOPPING FOR RADIANT HEAT ALLOWED)  
 ALL HEADER/LINTEL TO BE AT LEAST 2-2X10 OR BETTER, PROVIDE AT LEAST 2-STUDS AT EACH END OF EVERY BEAM OR HEADER/LINTEL (U.L.O.)  
 ALL THE COLUMNS SHALL COME DOWN TO BASEMENT  
 PROVIDE POINT LOAD TRANSFER BLOCKS UNDER JOIST LOADS  
 BEARING WALLS THAT EXCEEDS 10'-0" SHALL BE 2x8 @ 16" O.C.  
 FOR JOIST SPAN EXCEED 15.5 FT., USE IBS 2000 CROSS BRIDGINS  
 ALL JOISTS TO BE GLUED AND NAILED  
 FOR STRUCTURAL NOTES SEE DWG. S1  
 USE DOUBLE 2-X10 STUDS FOR LOAD BEARING WALL IN OPEN AREA (OPEN TO BELOW/ ABOVE)

NorthWest Engineers Inc.

Structural components of this proposed dwelling are sufficient to support 0.2kPa load for the entire roof area in addition to snow, associated rain loads and dead loads. Truss manufacturer shall design the trusses taking into considerations the additional loads accordingly.

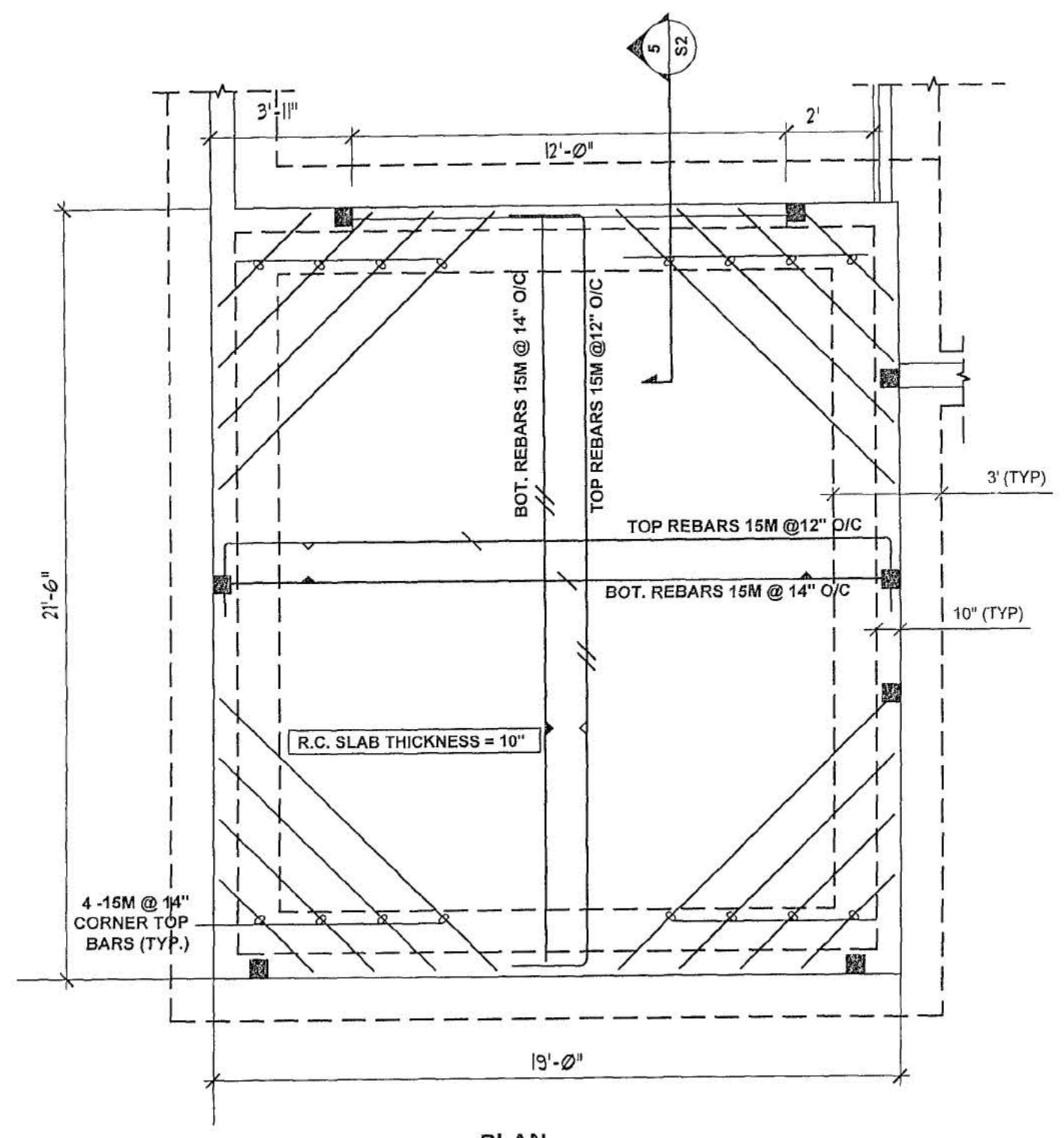
- Gravity force resistance system (GFRS) of structure is designed in accordance with CAN/CSA S16.1-09 Engineering design in Wood, CAN/CSA-A23.3-04 (2010) Design of Concrete Structures and part 4 and part 9 of RC Building Code 2012 Edition.  
 - for SFRS (seismic force resistance system) lateral loads are calculated as per part 4 of NBC 2012.

**NOTE:**  
 ML = MICROLAM LVL OR EQUIVALENT [1.9E] MIN.  
 PSL = PARALLAM SCL OR EQUIVALENT [2.2E] MIN.  
 TSL = TIMBER STRAND LSL [1.55E] OR EQUIVALENT



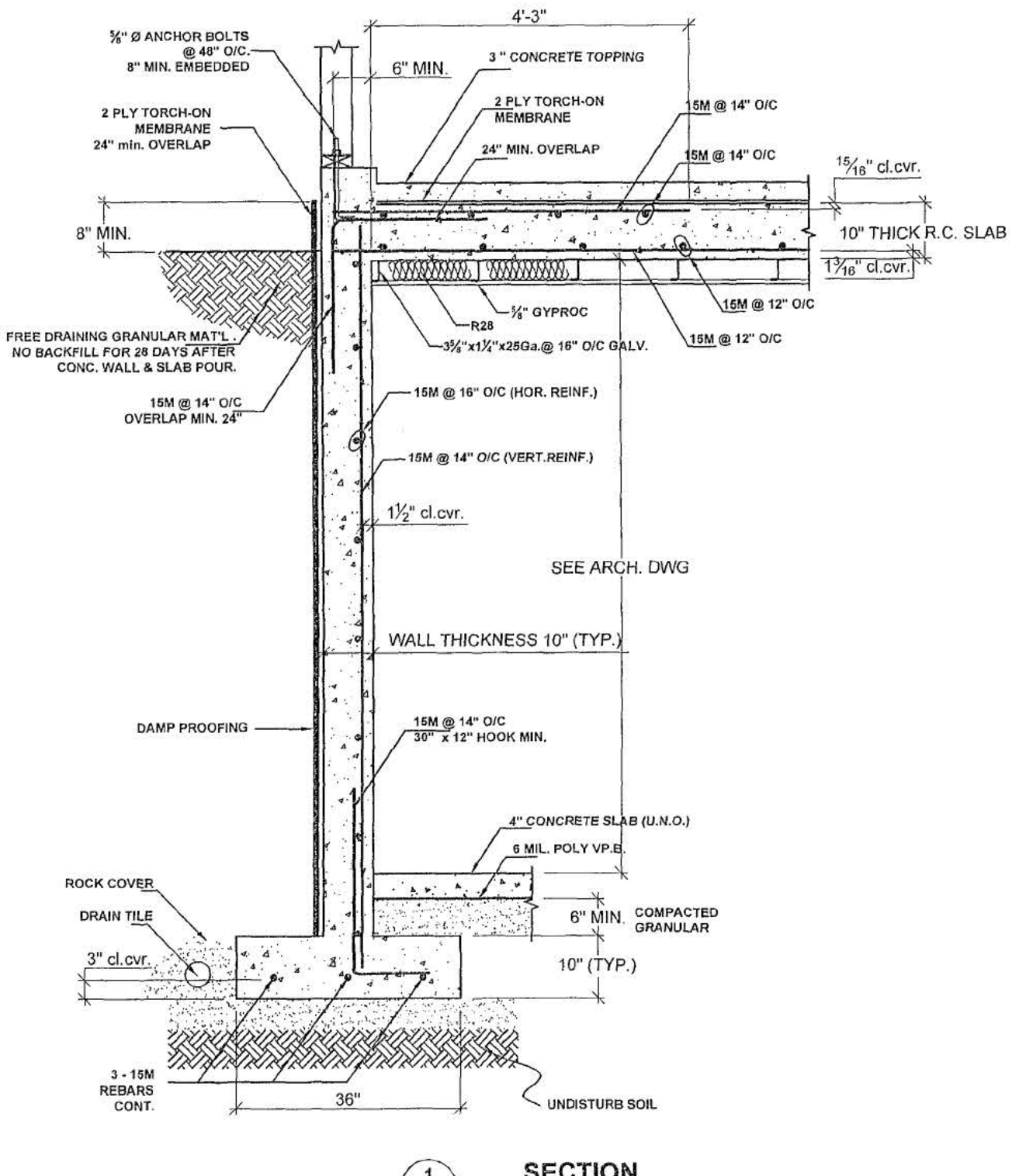
**CROSS SECTION DETAIL**  
 SCALE 1/4" = 1'-0"



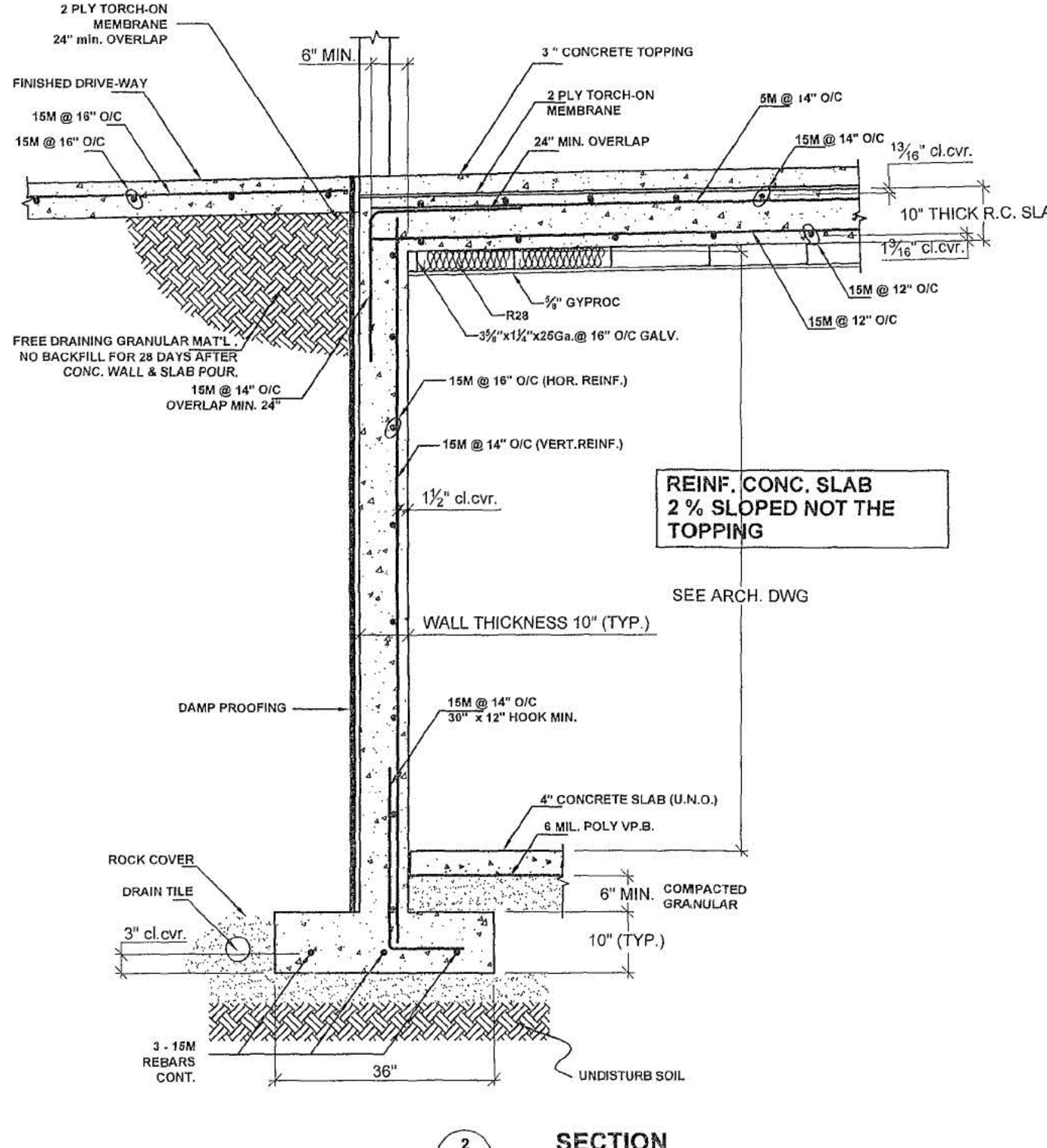


PLAN

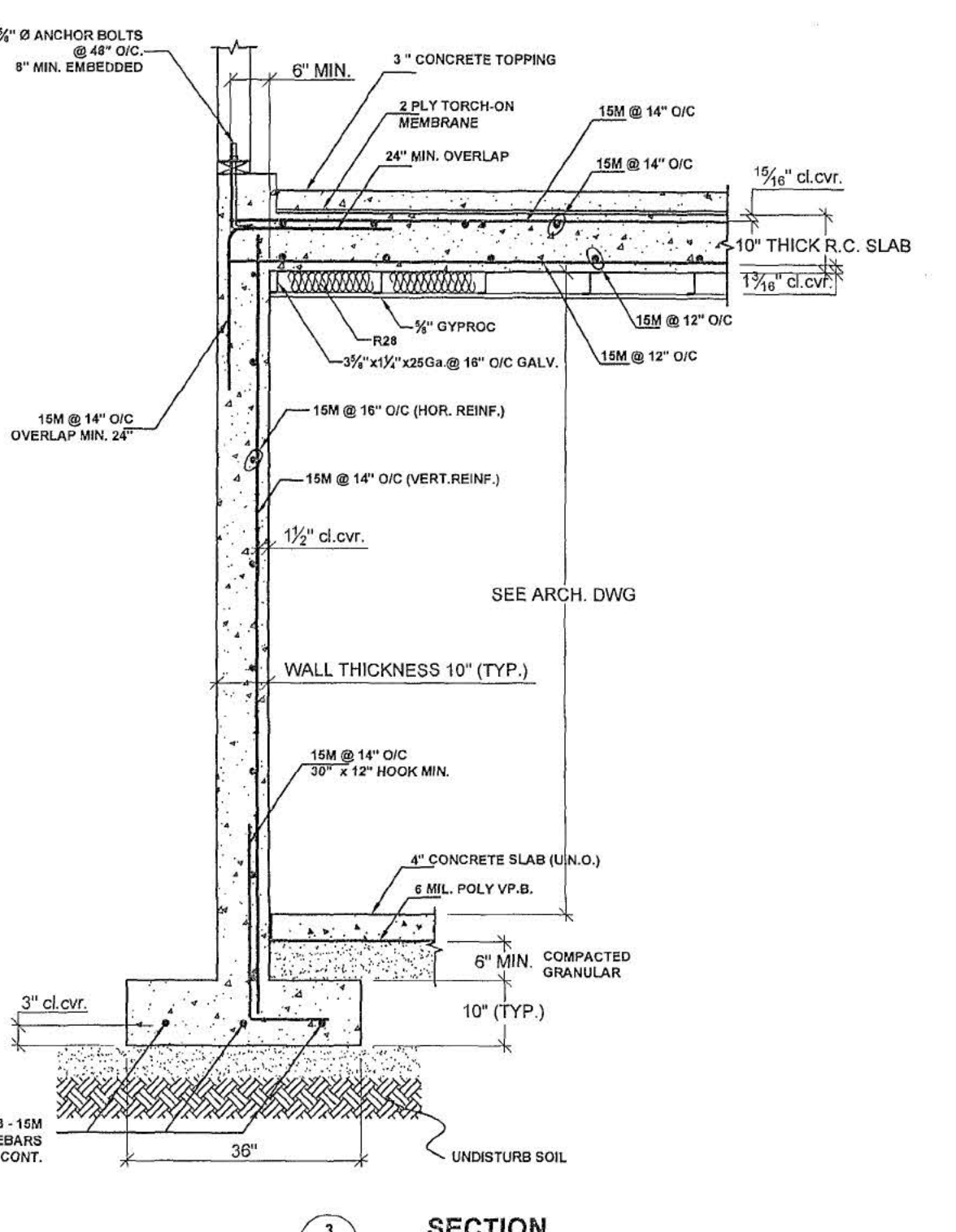
**SUSPENDED SLAB REINFORCEMENT DIAGRAM**



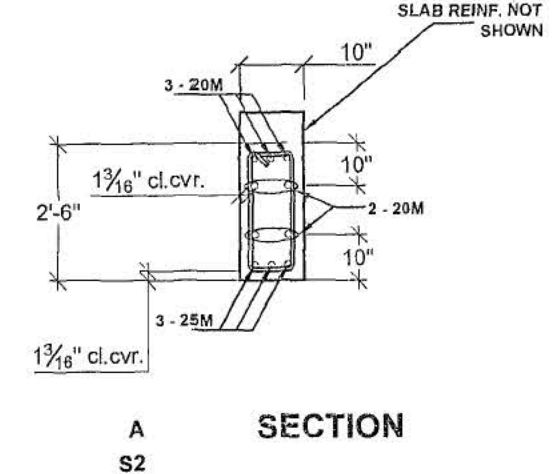
SECTION 1



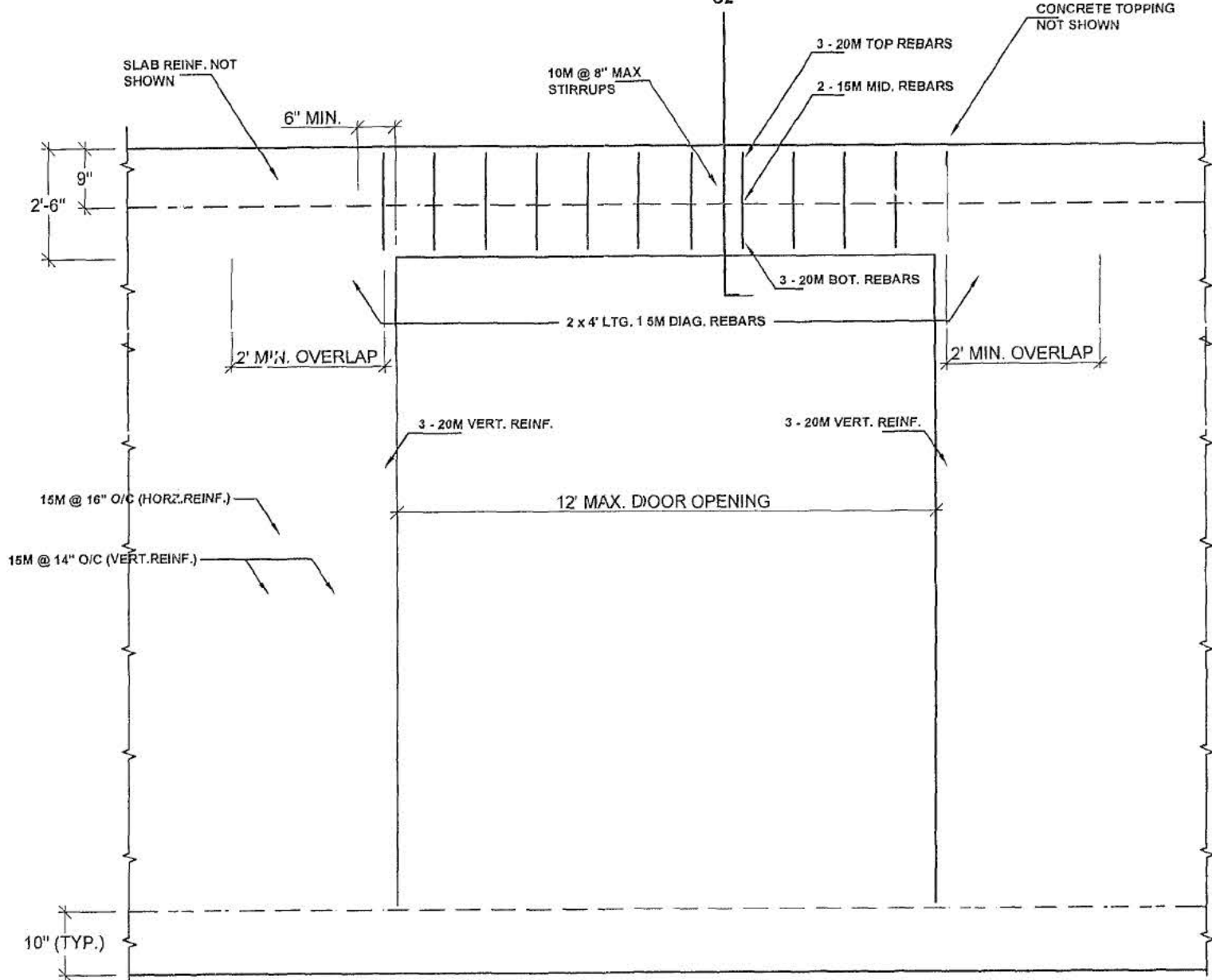
SECTION 2



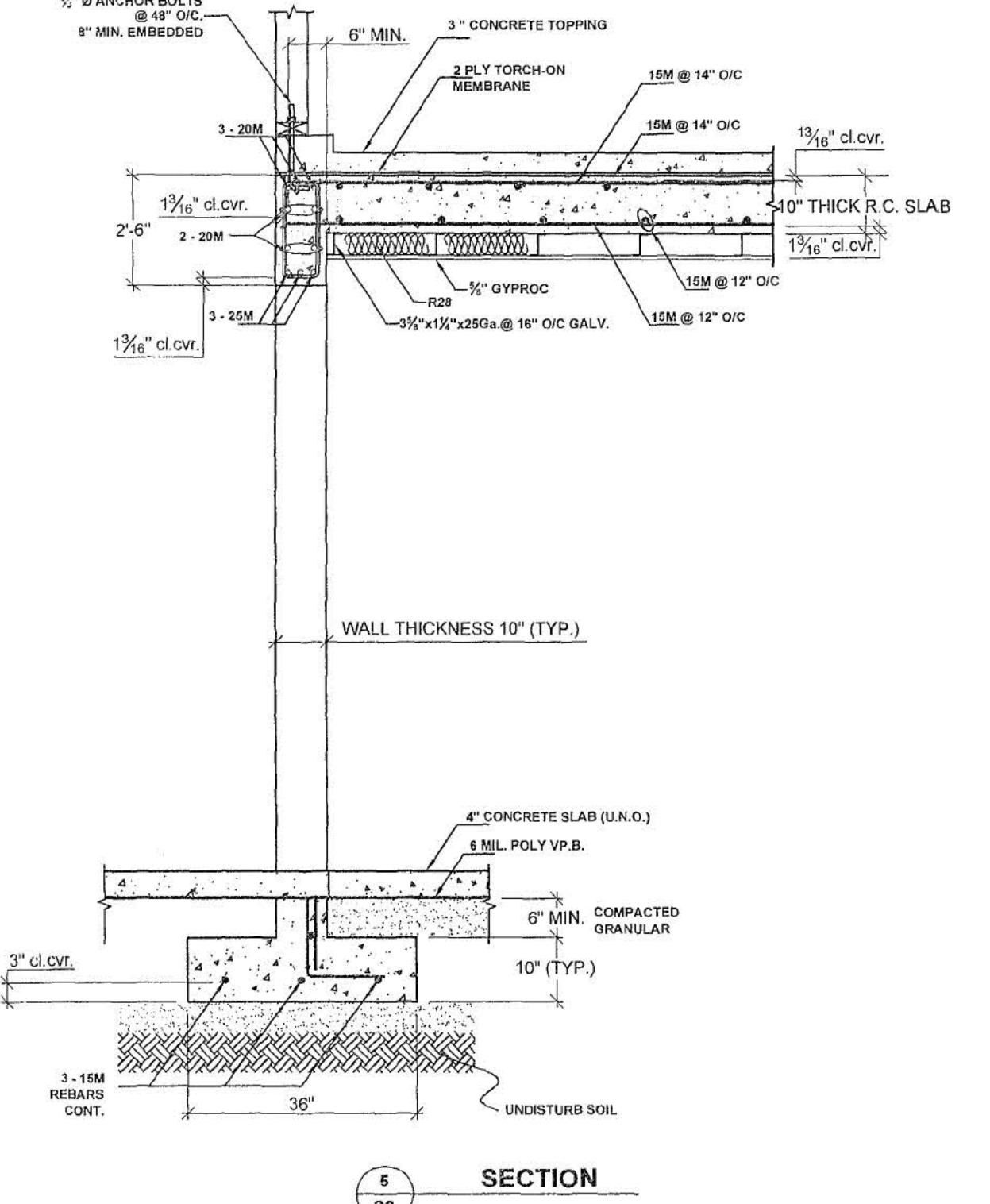
SECTION 3



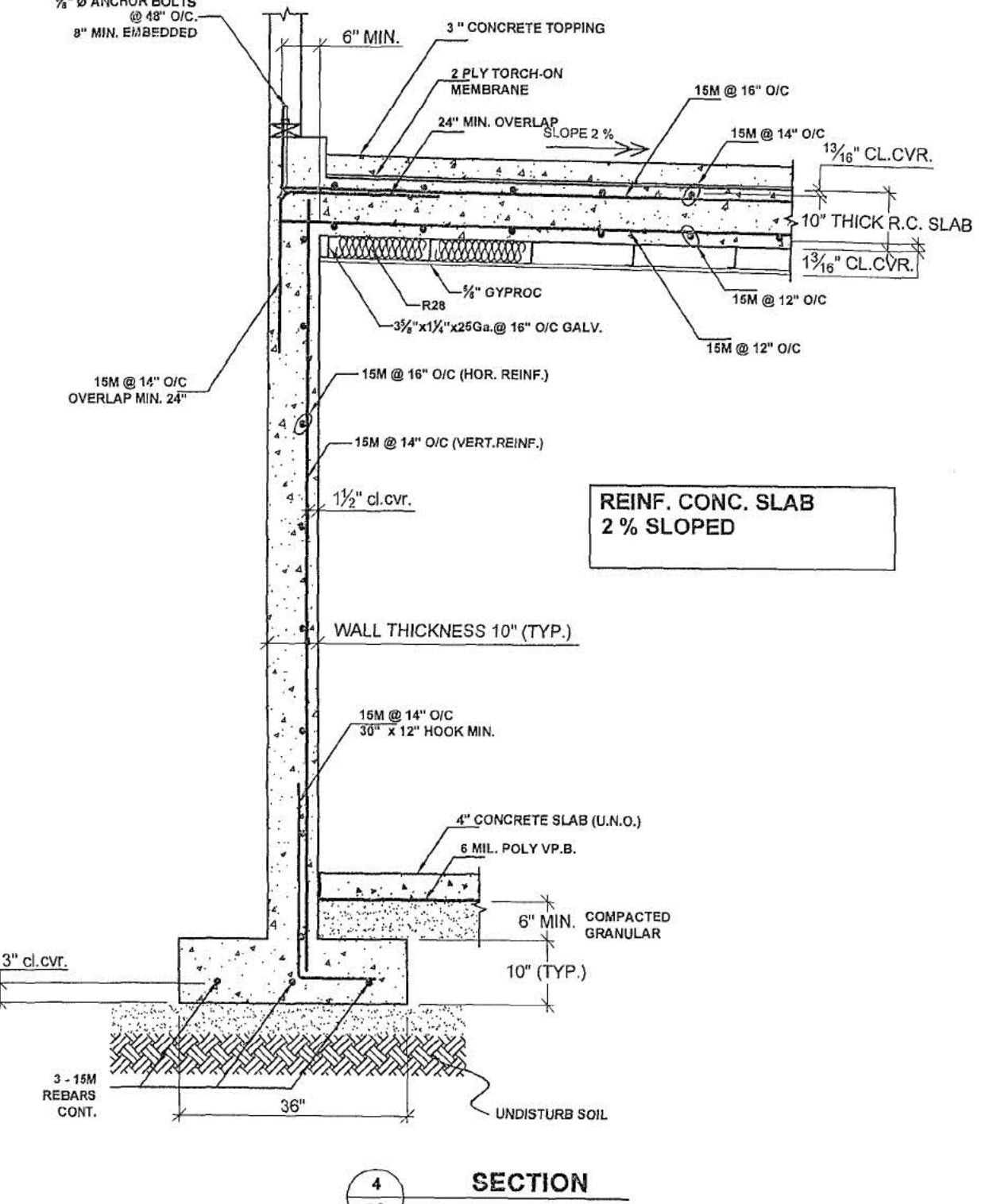
SECTION A



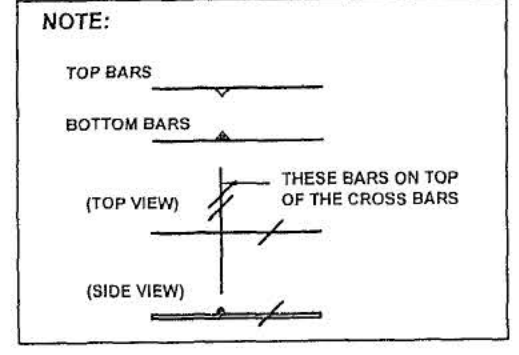
12' WIDTH DOOR OPENING



SECTION 5



SECTION 4



- NOTES :**
- A. BACK FILL WITH WELL COMPACTED GRAVEL AS PER GEOTECHNICAL SOIL REPORT.
  - B. MAINTAIN FROST PROTECTION OF 18" MIN. U.N.O. + MIN. ALLOWABLE BRG. SOIL AS PER SPECS.
  - C. BACK FILL ONLY AFTER SUSPENDED SLAB + S.O.G. CONSTRUCTED.
  - D. FREE DRAINED GRAVEL WELL COMPACTED 6" MIN. PROVIDE 2% SLOPE TOP & BOT. OF SLAB. MAINTAIN SLAB THK. CONSTANT WHILE SLOPING.
  - E. REFER TO ARCH. DWG. FOR EXACT DIM'S + ELEVATIONS
  - F. PROVIDE FIBRE BOARD FILLER BETWEEN SLAB ON GRADE & FOUNDATION WALL TYP. ALL AROUND.
  - G. SHORING DESIGNED BY OTHERS SUBMIT SHORING APPROVAL CERTIFICATE OF B.C. P.ENG. TO NORTHWEST ENGINEER LTD. PRIOR TO POURING CONC.
  - H. WATERPROOFING MATERIAL SHALL CONFORM TO:
    1. CAN/CGSB-37.50-M. "HOT-APPLIED, RUBBERIZED ASPHALT FOR ROOFING AND WATERPROOFING."
    2. CGSB 37-GP-52M. "ROOFING AND WATERPROOFING MEMBRANE, SHEET APPLIED, ELASTOMERIC."
    3. APPLIED 2 PLYS TORCHFLEX (MODIFIED BITUMINOUS MEMBRANES). TP-180-FE-BASE IKO-BRAND WATERPROOF SURFACE OR EQUAL.

- DESIGN CRITERIA:**
1. LL = 125 PSF (6 kPa)
  2. R.C. SLAB 2% MIN. SLOPE
  3. CONC. TOPPING = 3" MAX.
  4. DESIGNED FOR MAX. LL+DL DEFLECTION OF SLAB = L/360
  5. ASSUMED SOIL BEARING CAPACITY = 2000 PSF

CONSTRUCTION TO COMPLY WITH BRITISH COLUMBIA BUILDING CODE (2006), CSA 5413-07 AND CSA STANDARD A23.3-04 FOR DESIGN OF CONCRETE STRUCTURES

**NOTE:**  
FOOTING & WALL SIZE SHOULD BE VERIFIED ON SITE BY THE NORTHWEST ENGINEERS



**B.C. LAND SURVEYORS CERTIFICATE OF LOCATION  
SHOWING CONSTRUCTED FORMS ON LOT 26**

**BLOCK 10 SECTION 11 TOWNSHIP 1**

**NWD PLAN 1334**

**PID : 001-524-763**


**CIVIC ADDRESS :**

959 - LEE STREET  
WHITE ROCK, B.C.

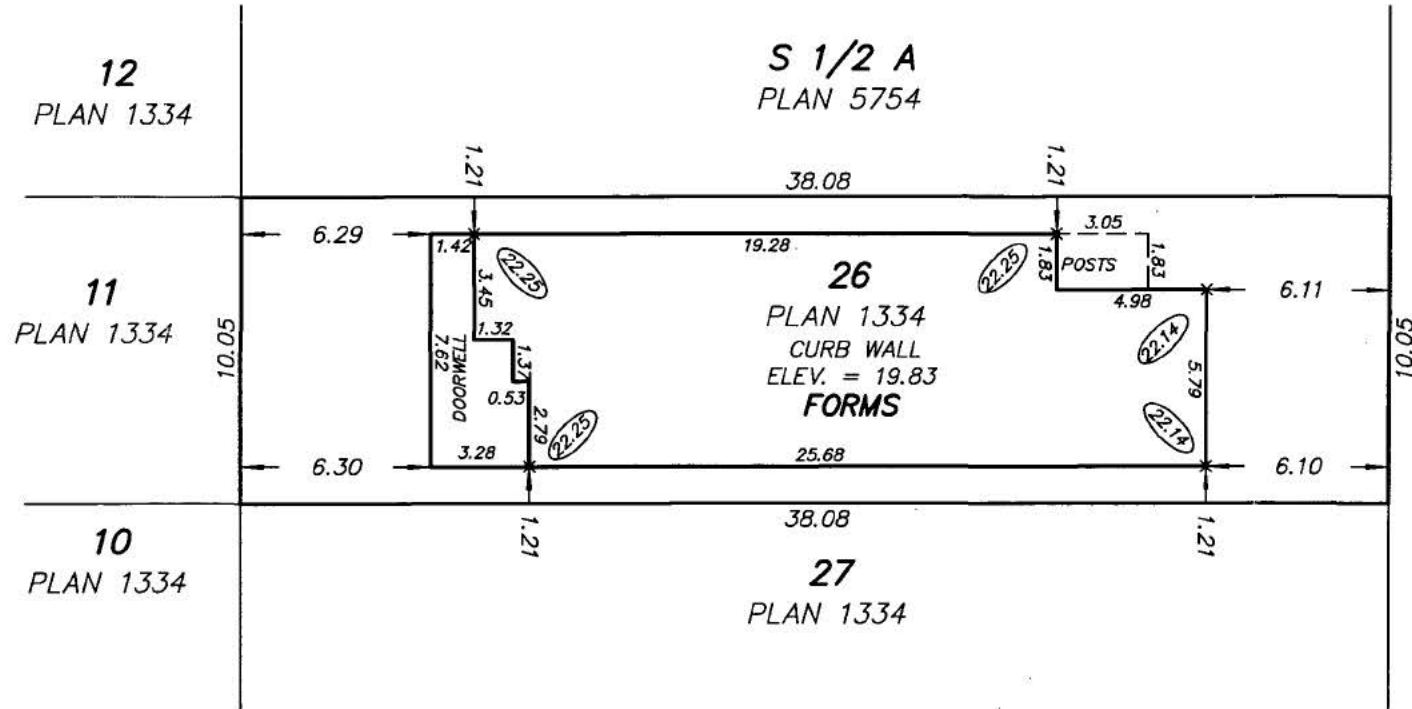
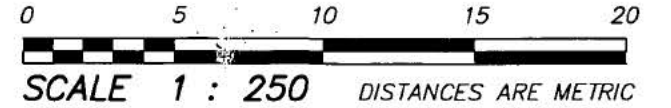
Lot dimensions and clearances according to  
Field Survey.

This plan was prepared for inspection purposes and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made or actions taken based on this document. This documents shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners. All rights reserved. No person may copy, reproduce, transmit or alter this document in whole or in part without the consent of the signatory.

THIS BUILDING LOCATION CERTIFICATE HAS BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE AND IS CERTIFIED CORRECT THIS 30th DAY OF JULY, 2015.


  
LAKHJOT S. GREWAL B.C.L.S.

This document is not valid unless originally signed and sealed.  
NOT SUITABLE FOR MORTGAGE PURPOSES



LEE STREET

**NOTE:**

 -DENOTES POUR STRIP ELEVATION (TYPICAL)  
ELEVATIONS ARE GEODETIC DERIVED FROM CITY OF WHITE ROCK CONTROL MONUMENT  
No. WR88012 ELEVATION=41.428m  
DATUM CVD28GVRD 2005

© GREWAL & ASSOCIATES  
PROFESSIONAL LAND SURVEYORS  
UNIT 204, 15299-68th AVENUE  
SURREY, B.C. V3S 2C1  
TEL: 604-597-8567  
EMAIL: Office@GrewalSurveys.com  
FILE : 1410-023  
DWG : 1410-023 CE



