

March 22, 2021

FOI No: 2021-08

VIA E-MAIL – Redacted

# Redacted

Dear Redacted

Re: Request for Records  
Freedom of Information and Protection of Privacy Act

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The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *all emails and correspondence between Carolyn Latzen and Council and staff and business owners, regarding the business licence and tenant improvements permit applications for the list of businesses below:*
  - *15077 Marine Drive (Alebriges)*
  - *15065 Marine Drive (le Sasquatch)*
  - *15057 Marine Drive (The Bund)*
  - *15053 Marine Drive (The Seed and Stone) Cannabis Store Application*
  - *1122 Vidal Street (Galaxie Craft Brewhouse Ltd.)*
  - *1357 Johnstone Road (Tandori Flare)*
  - *1379 Johnstone Road ( Mad Mike's Poutinerie)*

Access to these records is available. However, some of the information in the records is excepted from the disclosure requirements of the Act. I have severed the excepted information so that I could disclose to you the remaining information as attached.

The severed information is excepted from disclosure under section 22 of the Act. Severing is necessary to avoid disclosing any third-party personal information without permission. Any names or contact information that could not be verified as business contact information has been withheld.

**Corporate Administration**  
P: 604.541.2212 | F: 604.541.9348

**City of White Rock**  
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

**WHITE ROCK**  
*City by the Sea!*

[www.whiterockcity.ca](http://www.whiterockcity.ca)

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton  
Manager, Property, Risk Management, and FOI  
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner  
3rd Floor, 756 Fort Street  
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

Record # N/A Reference Number 38908 Status **ERROR** Sent Date

Subject An Inspection has been completed for Permit: MI000131 (1357 JOHNSTON RD)

Template Type INSPECTION RESULTS System COMDEV Scheduled Date Nov 12, 2019

Template Name INSPECTION RESULTS System Ref Folder Number: MI000131 Priority NORMAL

Main Errors Attachments

From <JNyhus@whiterockcity.ca>

To <ricky\_saini83@yahoo.com>

Cc <jbirkland@whiterockcity.ca>

Bcc

Reply To <noreply@whiterockcity.ca>

Error	Yes	Test	No
Created On	Nov 12, 2019 01:30:05 PM		
Created By	dbo		
Last Modified On	Nov 12, 2019 01:30:27 PM		
Last Modified By	GUY		

## City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149  
White Rock, BC V4B 1Y6 Fax: (604) 541-2153

### FINAL INSPECTION

**Address:** 1357 JOHNSTON RD

**Permit:** MI000131 - FINAL INSPECTION

**Date:** Nov 12, 2019

**Status:** **FAILED**

#### THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED

- Add seismic strap on hot water tank.
- Confirm that roof top grease collector, rain hood in place.
- Exit door to be repaired
- Kitchen suppression layout require, complete with point/nozzle count.
- Laundry room to be cleaned out.
- Report required certifying that the wash down system is functioning.
- Smoke alarm required in kitchen area and main seating area.
- Wall mount all fire extinguishers.



Record # N/A Reference Number 39110 Status **ERROR** Sent Date

Subject An Inspection has been completed for Permit: MI000131 (1357 JOHNSTON RD)

Template Type INSPECTION RESULTS System COMDEV Scheduled Date Nov 15, 2019

Template Name INSPECTION RESULTS System Ref Folder Number: MI000131 Priority NORMAL

Main Errors Attachments

From <JNyhus@whiterockcity.ca>

To <ricky\_saini83@yahoo.com>, <IVirk@whiterockcity.ca>

Cc <jbirkland@whiterockcity.ca>

Bcc

Reply To <noreply@whiterockcity.ca>

Error	Yes	Test	No
Created On	Nov 15, 2019 01:42:56 PM		
Created By	dbo		
Last Modified On	Nov 15, 2019 01:43:01 PM		
Last Modified By	GUY		

## City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149  
White Rock, BC V4B 1Y6 Fax: (604) 541-2153

### FINAL INSPECTION

**Address:** 1357 JOHNSTON RD  
**Permit:** MI000131 - FINAL INSPECTION  
**Date:** Nov 15, 2019

**Status: FAILED**

**THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED**

- Smoke alarm required in kitchen area and main seating area.

**Building Official:** GUY GAREAU

- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Record #  Reference Number  Status  Sent Date

Subject

Template Type  System  Scheduled Date

Template Name  System Ref  Priority

Main Errors Attachments

From

To

Cc

Bcc

Reply To

Error	Yes	Test	No
Created On	Nov 15, 2019 02:56:38 PM		
Created By	dbo		
Last Modified On	Nov 15, 2019 02:56:42 PM		
Last Modified By	GUY		

# City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149  
 White Rock, BC V4B 1Y6 Fax: (604) 541-2153

## FINAL INSPECTION

**Address:** 1357 JOHNSTON RD  
**Permit:** MI000131 - FINAL INSPECTION  
**Date:** Nov 15, 2019

**Status: PASSED**

**THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED**

**Building Official: GUY GAREAU**

- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Record # N/A Reference Number 55765 Status **READY** Sent Date

Subject An Inspection has been completed for Permit: MI000170 (15065 MARINE DR)

Template Type INSPECTION RESULTS System COMDEV Scheduled Date Aug 13, 2020

Template Name INSPECTION RESULTS System Ref Folder Number: MI000170 Priority NORMAL

Main Errors Attachments

From <ggareau@whiterockcity.ca>

To <GORD@LESASQUATCH.COM>

Cc <jbirkland@whiterockcity.ca>

Bcc

Reply To <noreply@whiterockcity.ca>

Error No	Test No
Created On	Aug 13, 2020 10:39:59 AM
Created By	dbo
Last Modified On	Aug 13, 2020 10:39:59 AM
Last Modified By	dbo

## City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149  
White Rock, BC V4B 1Y6 Fax: (604) 541-2153

### FINAL INSPECTION

**Address:** 15065 MARINE DR  
**Permit:** MI000170 - FINAL INSPECTION  
**Date:** Aug 13, 2020

**Status:** **FAILED**

#### THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED

- Could not gain access. 10:30 am

**Building Official:** GUY GAREAU

- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.



Record # N/A Reference Number 55846 Status SENT Sent Date Aug 14, 2020 09:58:01 AM

Subject An Inspection has been completed for Permit: MI000170 (15065 MARINE DR)

Template Type INSPECTION RESULTS System COMDEV Scheduled Date Aug 14, 2020

Template Name INSPECTION RESULTS System Ref Folder Number: MI000170 Priority NORMAL

Main Errors Attachments

From &lt;ggareau@whiterockcity.ca&gt;

To &lt;GORD@LESASQUATCH.COM&gt;

Cc &lt;jbirkland@whiterockcity.ca&gt;

Bcc

Reply To &lt;noreply@whiterockcity.ca&gt;

Error No Test No

Created On Aug 14, 2020 09:55:38 AM

Created By dbo

Last Modified On Aug 14, 2020 09:55:44 AM

Last Modified By GUY

## City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149  
White Rock, BC V4B 1Y6 Fax: (604) 541-2153

### FINAL INSPECTION

**Address:** 15065 MARINE DR

**Permit:** MI000170 - FINAL INSPECTION

**Date:** Aug 14, 2020

**Status:** **FAILED**

#### THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED

- Check valve required on ice maker
- Documentation required for treatment on plywood wall finish in dining room.
- Kitchen hood suppression system to be recertified.
- Smoke detector required as discussed.

**Building Official:** GUY GAREAU



Record #  Reference Number  Status  Sent Date

Subject

Template Type  System  Scheduled Date

Template Name  System Ref  Priority

Main Errors Attachments

From

To

Cc

Bcc

Reply To

Error	No	Test	No
Created On	<input type="text" value="Aug 20, 2020 03:23:03 PM"/>		
Created By	<input type="text" value="dbo"/>		
Last Modified On	<input type="text" value="Aug 20, 2020 03:23:36 PM"/>		
Last Modified By	<input type="text" value="WBERG"/>		

# City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149  
 White Rock, BC V4B 1Y6 Fax: (604) 541-2153

## BUSINESS LICENCE INSPECTION

**Address:** 15065 MARINE DR  
**Permit:** MI000170 - BUSINESS LICENCE INSPECTION  
**Date:** Aug 20, 2020

**Status: FAILED**

**THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED**

- Documentation required for treatment on plywood wall finish in dining room.

**Building Official:** WAYNE BERG

- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

**From:** [Abhilasha More](#)  
**To:** **Redacted S. 22**  
**Cc:** [Harris, Cecillia \[FH\]](#)  
**Subject:** 1379 Johnston Road - Plan review#1 - 16 Sept 2020  
**Date:** Wednesday, September 16, 2020 4:03:00 PM  
**Attachments:** [image002.jpg](#)  
[image004.jpg](#)

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Hi Mike,

This is Abhilasha, Plans Examiner with the City of White Rock Building Department, contacting you in regards to your building permit application for 1379 Johnston Road (BP020668).

Your BP application is under review and there are some outstanding documents & design items of note listed as below:

**Permit Number: BP020668**

**Project Address: 1379 Johnston Road**

**Date: 16 September 2020**

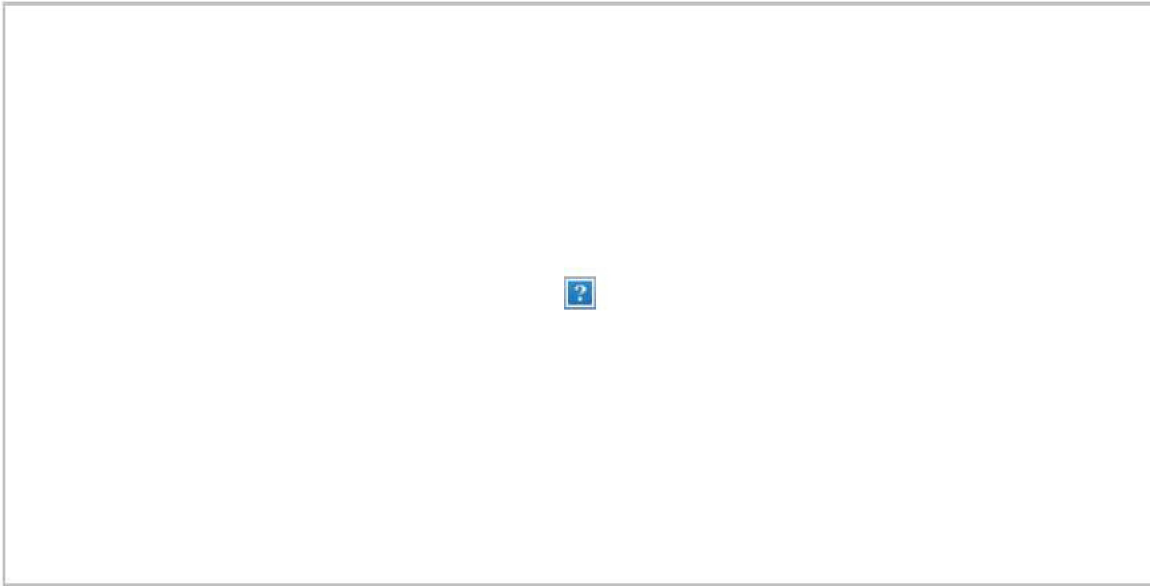
**Scope of Project:** To renovate existing building to accommodate Poutine shop including kitchen, customer area and a washroom.

The following comments are to identify any issues that do not comply with **BC Building Code 2018** and City of White Rock Zoning Bylaw No. 2000, and to request clarification of information in the submitted documentation and drawings. All items must be addressed before issuance of the Permit.

**Comments on documentation and drawings:**

1. Please provide Land Title search (dated within 30 days of the date of application). It was not submitted at the time of application.
2. Please provide proposed occupant load for staff, customers, etc. (just mentioned 6 on architectural drawing. Does it include customers)
3. Please provide layout on architectural drawings confirming proposed washroom satisfies accessible washroom requirement per Section 3.8 of BCBC 2018
4. Please be advised that since only one washroom proposed occupant load is maximum 10 and sign stating "maximum occupant load 10" would be required to be displayed within business at all times.
5. Are new roof openings required for the supply air and kitchen hood exhaust fan? If yes, then the Structural Engineer needs to provide details (as mentioned on HVAC drawing) including existing structure's ability to take such loads or any measures/upgrades required to do so considering climatic data (wind and seismic) for White Rock.
6. Emergency lighting with emergency power supply needs to be provided per 3.2.7.3 and 3.2.7.4 of BCBC 2018.
7. Please note that the plans must be reviewed and approved by the Health Authority prior to the Building Permit issuance. (cc'd in this email)
8. Architectural drawings refer to 3.2.2.61, but the building is not sprinklered. Please revise accordingly and provide correct article of construction for proposed TI.
9. Fire suppression system drawings refer to City of Richmond. Please revise it to refer to City of White Rock requirements.
10. Is the Sizing method for the Grease Interceptors per CSA B481.3? Please note that the Grease Interceptors also needs to comply with the Metro Vancouver Grease Interceptor Bylaw. Please confirm the sizes, fixtures served and connections with that agency.
11. Please be advised that if there are 2 or more Registered Professional of Record involved in the Project then the "Coordinating Registered Professional" (CRP) is required.

Review of mechanical drawings is still pending and comments thereon will be emailed within a week from now.



Please confirm receipt of this email and contact me if you have any questions or concerns.

Thanks and regards,

Abhilasha More, Intern Architect

**Plans Examiner, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2152 | [www.whiterockcity.ca](http://www.whiterockcity.ca)

**RESPECT** is a shared responsibility – bullying, harassment, aggressive language or any threats will not be tolerated.





**From:** [Abhilasha More](#)  
**To:** [tan@xtengineering.com](mailto:tan@xtengineering.com); **Redacted S. 22**  
**Subject:** FW: 1379 Johnston Road - Plan review#1 - 23 Sept 2020  
**Date:** Wednesday, October 21, 2020 11:57:00 AM  
**Attachments:** [image002.jpg](#)  
[image003.jpg](#)  
[1379\\_Johnston-BPnotvaliduntilsignedbyboth.pdf](#)

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Hi Mike,

Your revisions submitted until today are under review and comments thereby are as follows:

1. Please provide Land Title search (dated within 30 days of the date of application). It was not submitted at the time of application. (Can be emailed)
2. Please provide project value for this improvement so as to calculate the BP application fees. Based on that Fee slip for the remaining amount (after deducting initial payment of \$205) would be emailed to you.
3. P. Eng. to confirm if the building currently has fire alarm or its localised fire alarm (confirmation via reply to email would be acceptable)
4. P. Eng. To confirm that no other fresh air intakes for other adjacent units are within 10' radius of kitchen exhaust (confirmation via reply to email would be acceptable)
5. Pull station (KIDDIE XV control system) should be in the path of egress and easily accessible. Current location isn't satisfying the requirement. Suggested location is on the corner of Washroom wall which could be easily accessed while exiting from rear exit door. (confirmation/clarification via reply to email would be acceptable and notes will be added to the approved drawings accordingly)

Please provide response to above mentioned items.

Secondly, please find attached BP card for Owner's or authorised agent's signatures. (That means you or the Owners can sign the document). Please email me back scanned pdf copy of the signed document.

Thanks and regards,

Abhilasha More, Intern Architect

**Plans Examiner, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2152 | [www.whiterockcity.ca](http://www.whiterockcity.ca)

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**From:** Abhilasha More  
**Sent:** September 23, 2020 4:49 PM  
**To:** **Redacted S. 22**  
**Subject:** RE: 1379 Johnston Road - Plan review#1 - 23 Sept 2020

Hi Mike,

Pardon me but missed one important point in mechanical drawings comments:

17. Pull station (KIDDIE XV control system) should be in the path of egress and easily accessible. Current location isn't satisfying the requirement. Suggested location is on the corner of Washroom wall which could be easily accessed while exiting from rear exit door.

Thanks and regards,

Abhilasha More, Intern Architect

**Plans Examiner, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2152 | [www.whiterockcity.ca](http://www.whiterockcity.ca)

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**From:** Abhilasha More

**Sent:** September 23, 2020 4:40 PM

**To:** **Redacted S. 22**

**Subject:** 1379 Johnston Road - Plan review#1 - 23 Sept 2020

Hi Mike,

Your mechanical drawings review is complete and comments therein are as below:

12. ~~P. Eng. to confirm NFPA 96 edition on drawings.~~

13. P. Eng. to conform if the building currently has fire alarm or its localised fire alarm

14. ~~Carbon Monoxide alarms conforming to 9.32.4.2. aren't shown on the drawings (notes will be added on architectural drawing)~~

15. ~~In continuation item#10, P. Eng. needs to confirm on drawings that the Grease Interceptor sizing satisfies Metro Vancouver requirements.~~

16. P. Eng. To confirm that no other fresh air intakes for other adjacent units are within 10' radius of kitchen exhaust

For above items (12 to 17) you may choose to submit revised 2X signed and sealed paper copies of affected drawings or Engineer can come in person to City Hall with prior appointment to manually correct/edit the drawings on file.

Contact me if you have any questions or concerns.

Thanks and regards,

Abhilasha More, Intern Architect

**Plans Examiner, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2152 | [www.whiterockcity.ca](http://www.whiterockcity.ca)

**RESPECT** is a shared responsibility – bullying, harassment, aggressive language or any threats

will not be tolerated.



---

**From:** Abhilasha More  
**Sent:** September 16, 2020 4:03 PM  
**To:** Redacted S. 22  
**Cc:** Harris, Cecillia [FH] <[Cecillia.Harris@fraserhealth.ca](mailto:Cecillia.Harris@fraserhealth.ca)>  
**Subject:** 1379 Johnston Road - Plan review#1 - 16 Sept 2020

Hi Mike,

This is Abhilasha, Plans Examiner with the City of White Rock Building Department, contacting you in regards to your building permit application for 1379 Johnston Road (BP020668). Your BP application is under review and there are some outstanding documents & design items of note listed as below:

**Permit Number: BP020668**

**Project Address: 1379 Johnston Road**

**Date: 16 September 2020**

**Scope of Project:** To renovate existing building to accommodate Poutine shop including kitchen, customer area and a washroom.

The following comments are to identify any issues that do not comply with **BC Building Code 2018** and City of White Rock Zoning Bylaw No. 2000, and to request clarification of information in the submitted documentation and drawings. All items must be addressed before issuance of the Permit.

**Comments on documentation and drawings:**

1. Please provide Land Title search (dated within 30 days of the date of application). It was not submitted at the time of application.
2. Please provide proposed occupant load for staff, customers, etc. (just mentioned 6 on architectural drawing. Does it include customers)
3. Please provide layout on architectural drawings confirming proposed washroom satisfies accessible washroom requirement per Section 3.8 of BCBC 2018
4. Please be advised that since only one washroom proposed occupant load is maximum 10 and sign stating "maximum occupant load 10" would be required to be displayed within business at all times.
5. Are new roof openings required for the supply air and kitchen hood exhaust fan? If yes, then the Structural Engineer needs to provide details (as mentioned on HVAC drawing) including existing structure's ability to take such loads or any measures/upgrades required to do so considering climatic data (wind and seismic) for White Rock.
6. Emergency lighting with emergency power supply needs to be provided per 3.2.7.3 and 3.2.7.4 of BCBC 2018.
7. Please note that the plans must be reviewed and approved by the Health Authority prior to the Building Permit issuance. (cc'd in this email)
8. Architectural drawings refer to 3.2.2.61, but the building is not sprinklered. Please revise accordingly and provide correct article of construction for proposed TI.
9. Fire suppression system drawings refer to City of Richmond. Please revise it to refer to City of White Rock requirements.
10. Is the Sizing method for the Grease Interceptors per CSA B481.3? Please note that the Grease Interceptors also needs to comply with the Metro Vancouver Grease Interceptor



Bylaw. Please confirm the sizes, fixtures served and connections with that agency.

11. Please be advised that if there are 2 or more Registered Professional of Record involved in the Project then the "Coordinating Registered Professional" (CRP) is required.

Review of mechanical drawings is still pending and comments thereon will be emailed within a week from now.

cid:image003.jpg@01D691C9.79845CE0



Please confirm receipt of this email and contact me if you have any questions or concerns.

Thanks and regards,

Abhilasha More, Intern Architect

**Plans Examiner, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2152 | [www.whiterockcity.ca](http://www.whiterockcity.ca)

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Record #	N/A	Reference Number	63168	Status	SENT	Sent Date	Dec 18, 2020 11:50:00 AM
Subject	An Inspection has been completed for Permit: MI000192 (15077 MARINE DR)						
Template Type	INSPECTION RESULTS	System	COMDEV	Scheduled Date	Dec 18, 2020		
Template Name	INSPECTION RESULTS	System Ref	Folder Number: MI000192	Priority	NORMAL		

Main Errors Attachments

From <WBERG@whiterockcity.ca>  
 To <ADMINISTRATOR@ALEBRIJESKITCHEN.CA>, Redacted S. 22, <awilson@...>  
 Cc <jbirkland@whiterockcity.ca>  
 Bcc  
 Reply To <noreply@whiterockcity.ca>

Error No	Test No
Created On	Dec 18, 2020 11:45:39 AM
Created By	dbo
Last Modified On	Dec 18, 2020 11:47:09 AM
Last Modified By	WBERG

# City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149  
 White Rock, BC V4B 1Y6 Fax: (604) 541-2153

## BUSINESS LICENCE INSPECTION

**Address:** 15077 MARINE DR  
**Permit:** MI000192 - BUSINESS LICENCE INSPECTION  
**Date:** Dec 18, 2020

**Status:** PASSED

**THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED**

**Building Official:** WAYNE BERG

- Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

Record #  Reference Number  Status  Sent Date   
 Subject   
 Template Type  System  Scheduled Date   
 Template Name  System Ref  Priority

Main Errors Attachments

From   
 To   
 Cc   
 Bcc   
 Reply To

Error No	Test No
Created On	Jan 27, 2021 01:40:16 PM
Created By	dbo
Last Modified On	Jan 27, 2021 01:43:58 PM
Last Modified By	WBERG

# City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149  
 White Rock, BC V4B 1Y6 Fax: (604) 541-2153

## BUSINESS LICENCE INSPECTION

**Address:** 100 15057 MARINE DR  
**Permit:** MI000206 - BUSINESS LICENCE INSPECTION  
**Date:** Jan 27, 2021

**Status: FAILED**

**THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED**

- Accessible washroom requires accessible vanity, remove cabinet and install in accordance to 3.8 of the BC building code. Additional grab bar required above rear of toilet.
- Installation of new glass guards requirements: shop drawings, schedule B and C-B from engineer of record. All steps in elevated areas are required to have handrails on both sides and steps are required to be illuminated.

**Building Official:** WAYNE BERG



Record #  Reference Number  Status  Sent Date

Subject

Template Type  System  Scheduled Date

Template Name  System Ref  Priority

Main Errors Attachments

From

To

Cc

Bcc

Reply To

Error	No	Test	No
Created On	Feb 1, 2021 10:36:20 AM		
Created By	dbo		
Last Modified On	Feb 1, 2021 10:36:26 AM		
Last Modified By	WBERG		

# City of White Rock

15322 Buena Vista Ave Phone: (604) 541-2149  
 White Rock, BC V4B 1Y6 Fax: (604) 541-2153

## BUSINESS LICENCE INSPECTION

**Address:** 100 15057 MARINE DR  
**Permit:** MI000206 - BUSINESS LICENCE INSPECTION  
**Date:** Feb 1, 2021

**Status: FAILED**

**THE BUILDER MUST ENSURE THE FOLLOWING ITEMS ARE COMPLETED**

- Installation of new glass guards requirements: shop drawings, schedule B and C-B from engineer of record. All steps in elevated areas are required to have handrails on both sides and steps are required to be illuminated.

**Building Official:** WAYNE BERG

**From:** [Carl Isaak](#)  
**To:** [Mayor and Council](#)  
**Cc:** [Senior Leadership Team](#); [Donna Kell](#)  
**Subject:** 2020-08-07 Weekly Activity Update  
**Date:** Friday, August 7, 2020 2:32:27 PM  
**Attachments:** [DayCamps2020.png](#)

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Hello Mayor and Council,

On behalf of Guillermo, I am pleased to bring you this week's Activity Update as well as the Council Correspondence, which is attached. There is also a link to a [Pride video](#), produced by the City in conjunction with the White Rock Pride Society.

The Activity Update includes:

1. [New Business Here, and Coming Soon](#)
2. [Bylaw Enforcement Officers—Activity Update](#)
3. [Mobile Message Signs Leading to the Waterfront](#)
4. [White Rock Film Locations e-Newsletter](#)
5. [Land N Sea Camp Update](#)
6. [Artists Walk Returns to the Waterfront](#)
7. [Update from the Fire Chief on COVID-19](#)

Thank you,

Carl

## 1. [New Businesses Here, and Coming Soon](#)

**Department:** Planning and Development Services

**Summary:** While the COVID-19 recovery continues to pose a challenge for the economy, and some White Rock businesses have closed, there are new businesses coming in to fill those spaces and there are also stores in recently constructed developments.

Joining recently opened businesses, such as Grounds and Greens Café (1369 Johnston Rd.), The Yoga Bar (1326 Johnston Rd.), Total PKG Fitness (1120 Oxford St.) and The Ocean Beach (14995 Marine Dr.), the following new business licences have been recently issued and will open soon:

- Maya's Ice Cream at 15045 Marine Dr. (formerly occupied by 'Dolce Gelato')
- Le Sasquatch Eatery at 15065 Marine Dr. (formerly occupied by 'the Dew Drop Inn')
- Health Food Heaven at 1130 Oxford St. (in the 'Newport' development)
- Marble Slab Creamery at 14967 Marine Dr. (formerly occupied by 'Hempyz Gifts and Novelties')
- Attractive Distraction Framing and Gallery at 1377 Johnston Rd. (formerly occupied by 'Country Sun Natural Foods')
- A Little Bud Cannabis Store at 1484 Johnston Rd. (formerly occupied by 'King Koin Laundromat').

**Contact:** Carl Isaak

**Key Messages:**

- While some long-time White Rock businesses have closed during the COVID-19 pandemic, there continues to be strong interest in doing business in White Rock, demonstrated by new companies setting up shop in the community.

## 2. **Bylaw Enforcement Officers – Activity Update**

**Department:** Planning and Development Services

**Summary:** The City’s Bylaw Enforcement Officers have been active in July, responding to over 85 complaints. The complaints include Animal Control, Noise and Unsightly Properties. Bylaw has also increased patrol of the White Rock Pier and Promenade to enforce the no-dogs bylaw and to encourage physical distancing.

**Contact:** Trevor Welsh

**Key Messages:**

- The Bylaw Enforcement division has seen high levels of activity and complaints over the month of July, responding to over 85 complaints.
- The response to the increase in complaints is in addition to the current focus on patrol work at the Promenade and Pier for enforcing the no-dogs bylaw and encouraging physical distancing. Over 15 tickets have been issued for dog related bylaw violations in the promenade and pier area since July 28, 2020.

## 3. **Mobile Message Signs Leading to the Waterfront**

**Departments:** Engineering and Municipal Operations and Communications

**Summary:** The City installed mobile messaging signs in three locations leading to the Waterfront to ensure messages are being seen by residents and visitors heading to Marine Drive. The locations are Marine Drive at Stayte Road and Oxford Street and Johnston Street leading to Marine Drive. There are three screens with three lines each and a nine-character limit per line. Messages have included keeping a safe, physical distance, following the speed limit of 30 km/hour and updates on what is open and closed at the Waterfront. The signs will be changed on weekends starting Friday, Aug. 7 to inform visitors that the West Beach Parkade is available for parking.

**Monday to Friday afternoon (August):**

COVID-19  
Stay safe  
Stay apart

No dogs on  
Promenade  
Or Pier



**30 km/hr  
On Marine  
Drive**

**Friday afternoon to Sunday night (August):**

COVID-19  
Stay safe  
Stay apart

No dogs on  
Promenade  
Or Pier

**Parkade  
Open at  
Vidal St.**

**Contact:** Donna Kell

**Key Messages:**

- The City has installed mobile signs at three locations leading to the Waterfront.
- The signs provide current information, including what is open and closed and any parking updates.
- The signs will vary on weekends starting Aug. 7, including information about the West Beach Parkade on weekends and on weekdays reminding motorists of the 30/km hour speed limit.

#### 4. **White Rock Film Locations e-Newsletter**

**Department:** Recreation and Culture

**Summary:** Recreation and Culture has developed an e-newsletter to promote potential film locations in White Rock to be sent to location scouts and managers in the motion picture industry. This industry employs about 164 White Rock residents with a payroll of just over \$7.6 million, according to Creative BC's 2018 statistics, and has the potential to create a lucrative revenue stream for the City. The e-newsletter is already getting a steady stream of subscribers from the department's current contacts and with the help of Creative BC. The first edition will go out Friday, Aug. 7.

**Link:**

[Film Location Update](#)

**Contact:** Elizabeth Keurvorst

**Key Messages:**

- Recreation and Culture has developed an e-newsletter as a promotional tool to encourage the film industry to come to White Rock.
- This e-newsletter will be sent out at least once a month and starts Friday, Aug. 7.
- There is potential to create a lucrative revenue stream for the City through the motion picture industry.

## 5. Land N Sea Camp Update

**Department:** Recreation and Culture

**Summary:** The City's signature Land N Sea camp is well underway with increased safety protocols. Children have been participating in fun and exciting outdoor activities, including visiting White Rock Beach twice weekly. Families have the advantage of child care. The camps have been running at capacity and almost 50 per cent of registrants have registered in multiple weeks of day camp. The Land N Sea camp will continue until Aug. 28.

**Link:** [Spring/Summer 2020 Recreation Guide](#)

**Contact:** Sylvia Yee

**Key Messages:**

- With increased safety protocols, and focusing on outdoor fun, White Rock Land N Sea Camps are successfully providing fun, safe activities and child care for families this summer.

## 6. Artists Walk Returns to the Waterfront

**Department:** Recreation and Culture

**Summary:** The Artists Walk on the Promenade is back with a few safety modifications. Artists are being approved as they provide their safety plans and will be assigned designated spots this year. They must stay inside of their 10 x 10 canopy area and must set up against the black rail so there more room for Promenade pedestrians to keep a safe, physical distance.

Once the Food Carts were established in their new locations, the Artists Walk spaces could

be mapped out and participating artists from 2019 invited to apply. The Artists Walk now extends down the Promenade to allow for more room for everyone to enjoy the display seven days a week. Space is limited. So far, three artists have provided approved safety plans and been assigned locations west of the White Rock Museum and Archives.

**Contact:** Elizabeth Keurvorst

**Key Messages:**

- The Artists Walk will be available seven days a week.
- Safety protocols are in place.
- The assigned locations will be farther apart than in previous years to allow for more room on the grass for pedestrians.
- All 2019 participating artists have been invited to apply for a 2020 permit.

## 7. Update from Fire Chief on COVID-19

**Department:** White Rock Fire and Rescue

**Summary:** For the second day in a row, British Columbia has announced 47 new cases of COVID-19 with no additional deaths. The province's case total now stands at 3,881. Of that total, 3,315 people have recovered, or about 85 per cent. We have 371 cases that remain active, which is a 53-per-cent increase from last week. The province's death toll due to Covid-19 stands at 195.

New cases have begun to trend upwards, reaching into the 40s on five of the last 10 days. Eleven people are currently hospitalized with the virus, with five of those in critical care.

Health Minister Adrian Dix said over 1,500 British Columbians are currently self-isolating with a majority of those due to failure to engage in physical distancing, referencing the increase in COVID-19 cases resulting from larger private parties.

**Contact:** Ken Molland

**Key Messages:**

- B.C. has now recorded 3,881 cases of the Coronavirus with 371 remaining active.
- New cases have begun to trend upward.

- Most exposures are from private group gatherings.



**From:** [Guillermo Ferrero](#)  
**To:** [Mayor and Council](#)  
**Subject:** 2021-01-29 Weekly Activity Update  
**Date:** Friday, January 29, 2021 12:40:10 PM  
**Attachments:** [image001.png](#)  
[image002.jpg](#)

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Hello Mayor and Council,

Please see this week's Activity Update as well as the Council Correspondence, which is attached.

Here is the list of activities for this week:

1. Funding from UBCM for Housing Needs Report
2. New Businesses for White Rock
3. Noise Extension Approved to Avoid Impact to Adjacent Businesses – 1545 Johnston Rd.
4. Pay Parking: Shoulder Season Feb. 1 to March 31
5. Marine Drive Stabilization and Bin Wall Repair
6. LED Light Removal on Johnston Road—Thrift to North Bluff
7. White Rock RCMP: New Telephone Numbers
8. FREE BC Family Day Skating Sessions
9. *Virtual* Coldest Night of the Year Walk
10. Update from the Fire Chief on COVID-19

## 1. **Funding from UBCM for Housing Needs Report**

**Department:** Planning and Development Services

**Summary:** The City of White Rock has been awarded \$30,000 by the Union of BC Municipalities (UBCM) to support the preparation of a Housing Needs Report as required by the Province.

The funding will be largely directed toward hiring a consultant to help carry out public engagement activities with attention given to engaging vulnerable members of the community. The work of the consultant will form part of the narrative of the Housing Needs Report, linking the “lived experience” of White Rock residents with some of the trends highlighted by the data.

See the project webpage for more information: [talkwhiterock.ca/housing](http://talkwhiterock.ca/housing).

**Contact:** Greg Newman

Link: [talkwhiterock.ca/housing](http://talkwhiterock.ca/housing)

### **Key Messages:**

- The City of White Rock is grateful for the more than 650 responses to its Housing Needs Survey.
1. Consultation activities will be scheduled for the late winter and early spring of 2021.
  2. The targeted completion of public engagement is late March 2021.
- The report will be prepared in the early summer with the final Housing Needs Report presented in the summer of 2021.

## 2. **New Businesses for White Rock**

**Department:** Planning and Development Services

**Summary:** Several new ‘brick-and-mortar’ businesses are set to arrive in White Rock as they finish up their business licensing process, including in the Uptown and Waterfront areas.

These include:

- ALEBRIJES KITCHEN + BAR at 15077 Marine Dr. (Formerly occupied by ‘Italian Touch’)
- MARINA O'S TEA HOUSE at 14963 Marine Dr. (Formerly occupied by Prime’s Thai Tea)
- THE BUND SHANGHAI CUISINE & BAR at 15057 Marine Dr. (Formerly occupied by ‘Knuckles Bar & Grill’)
- THE FIX STUDIO (cosmetic tattooing/microblading) at 1598 Nichol Rd. (One of the first commercial tenants in the mixed-use “Beachborough” building)
- A LITTLE MORE (cannabis accessories) at 1482 Johnston Rd. (Formerly occupied by ‘Seashore Music & Games’)
- LEELA THAI RESTAURANT at 1558 George St. (This restaurant was previously at 1310 Johnston Rd.)

**Contact:** Carl Isaak

### **Key Messages:**

- There continues to be strong interest in doing business in White Rock, despite the COVID-19 pandemic.
- Companies are setting up shop in the community and expanding or relocating within White Rock.

## 3. **Noise Extension Approved to Avoid Impact to Adjacent Businesses – 1545 Johnston Rd.**

**Department:** Planning and Development Services

**Summary:** The commercial building at 1545 Johnston Rd., formerly the Penguin Meats location, will be undergoing renovations in the coming weeks. As part of this work, they are removing interior concrete walls that originally formed vaults for the Montreal Trust Company.

In order to remove these concrete walls and limit the noise and vibration from the required jackhammering to the adjacent businesses—Family Care Pharmacy and Johnston Road Dental — the City approved a noise extension to allow this work to begin at 6 a.m. Jackhammering will occur before 9 a.m. and will stop during business hours. Work will not continue past the Noise Bylaw evening cut-off of 7 p.m.

This current approval is valid for Feb. 2 to 5 and Feb. 8 to 9, 2021, weekdays only. The concrete removal is not expected to be fully completed at the end of this period. Any requests for additional noise extensions for this work will be considered along with any feedback received during this initial period.

**Contact:** Carl Isaak

**Key Messages:**

- In order to remove concrete walls as part of interior renovations to the commercial building at 1545 Johnston Rd., while minimizing impact to adjacent businesses, the City has approved a noise extension to allow construction activities to start at 6 a.m. between Feb. 2 and 5 and Feb. 8 and 9, 2021, weekdays only. Typical construction hours under the Noise Bylaw begin at 7:30 a.m. on weekdays.
- The builder is required to provide at least 24 hours' notice of the noise extension to adjacent property owners.
- Staff have contacted the management of the nearest residential building (Oceana PARC retirement living) to ensure they are aware of what is occurring.
- The jackhammering will occur outside of business hours, between 6 and 9 a.m., and potentially after adjacent businesses close.
- Any further requests for noise extensions for this work will be evaluated after this initial period concludes.

#### 4. **Pay Parking: Shoulder Season Feb. 1 to March 31**

**Department:** Financial Services

**Summary:** The City of White Rock's Waterfront lots, which were free in November, December and January to help local businesses and encourage outdoor activity, return to pay parking starting Monday, Feb. 1.

Waterfront rates during the shoulder season, from Feb. 1 to March 31, are \$2 an hour at the Waterfront and \$7.50 a day at the West Beach Parkade and the Montecito Parkade.

The City is communicating the update through the City's website, social media, LED signs at the Waterfront and the City Connects electronic newsletter. Free parking signage will be removed on Feb. 1.

**Contact:** Ralph Volkens

**Link:** [whiterockcity.ca/parking](http://whiterockcity.ca/parking)

**Key Messages:**

- The City of White Rock's Waterfront lots return to pay parking starting Monday, Feb. 1.
- Waterfront rates during the shoulder season are \$2 an hour at the Waterfront and \$7.50 a day at the West Beach Parkade and the Montecito Parkade.
- The City is communicating the update.

#### 5. **Marine Drive Stabilization and Bin Wall Repair**

**Department:** Engineering and Municipal Operations

**Summary:** The project for the stabilization of Marine Drive with micro piles is completed, except one week of paving work scheduled for late March. The project was initially projected to be finished well ahead of the planned completion date of Jan. 29. but the scope was extended to include anchoring and shotcrete sealing of the middle bin wall. Excavation around

this bin wall as part of the micropile process showed that reinforcing was advisable. The other two bin walls do not need work at this time.

The contractor will leave a small fenced-in First Aid trailer in the Cypress parking lot until the paving works are completed in March.

Two-way traffic is returned and will remain during the March paving, although there will be temporary lane closures and delays during construction hours.

**Contact:** Jim Gordon

**Key Messages:**

- The project is completed except paving work scheduled for late March.
- A small fenced-in First Aid trailer will be left in the Cypress parking lot until paving is completed in March.
- Two-way traffic is returned and will remain during the March paving, although there will be temporary lane closures and delays during construction hours.

## 6. LED Light Removal on Johnston Road—Thrift to North Bluff

**Department:** Engineering and Municipal Operations

**Summary:** Parks staff will be removing LED lights from the trees on Johnston Road between Thrift Avenue and North Bluff Road during the week of Feb. 1 to allow the trees to grow. Sidewalks will remain open. Curb lane parking may be affected.

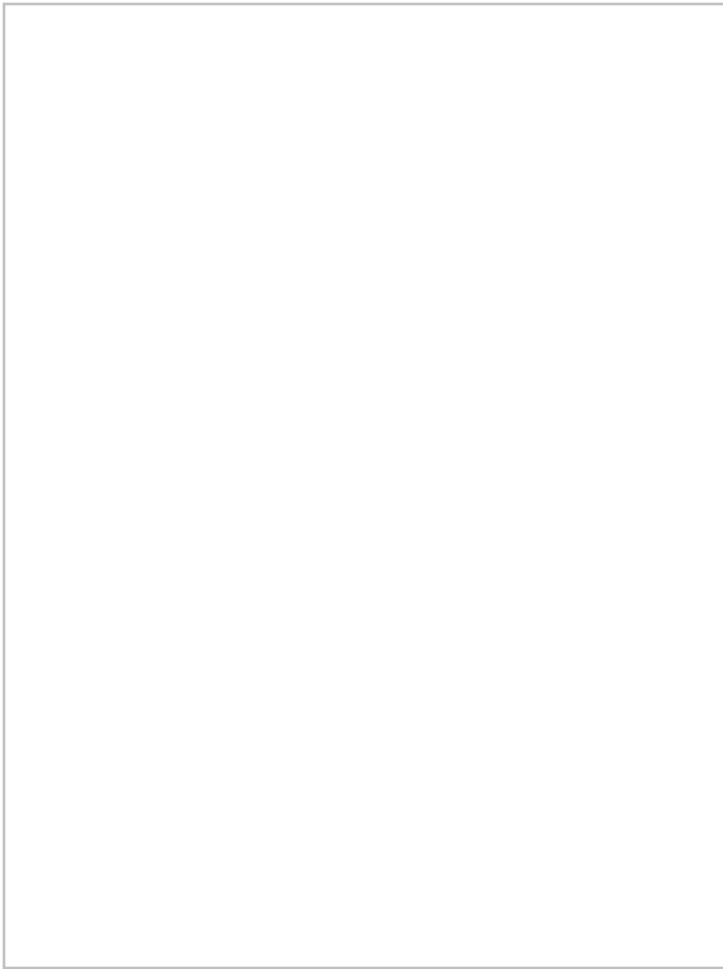
The tree lights will be reinstalled in November or December 2021.

**Contact:** Jim Gordon

**Key Messages:**

- Parks staff will begin removing LED lights from trees on Johnston Road between Thrift Avenue and North Bluff Road beginning the week of Feb. 1.
- The lights will be reinstalled in November and December 2021.
- Sidewalks will remain open. Curb lane parking may be affected.





## 7. **White Rock RCMP: New Telephone Numbers**

**Department:** RCMP Support Services

**Summary:** The White Rock RCMP is transitioning to new telephone numbers at the end of February 2021 to meet updated system requirements.

**Key Messages:**

- The new VoIP telephone numbers have been mandated.
- The transition is scheduled to occur at the end of February 2021.
- The transition will result in new phone numbers being issued to the RCMP Detachment, including a new main non-emergency number.
- New phone numbers will be assigned and published with the assistance of the Communications Department in the next coming weeks.

## 8. **FREE BC Family Day Skating Sessions**

**Department:** Recreation and Culture

**Summary:** Recreation and Culture will host free Family Day skating sessions at Centennial Arena on BC Family Day, Monday, Feb. 15.

The Province of British Columbia has provided the City of White Rock a grant in support of this

free, community Family Day activity. COVID-19 public health and safety protocols are in place and pre-registration is required for all skaters.

The skating sessions will be held from 10 to 11 a.m.; 11:30 a.m. to 12:30 p.m.; 1 to 2 p.m. and 2:30 to 3:30 p.m. Registration begins Monday, Feb. 8.

**Contact:** Sylvia Yee

**Link:** [whiterockcity.ca/skate](http://whiterockcity.ca/skate)

**Key Messages:**

- The City is offering free skating sessions on BC Family Day, Monday, Feb. 15.
- Financial support from the Province of British Columbia is gratefully acknowledged.
- The skating sessions will be held from 10 to 11 a.m.; 11:30 a.m. to 12:30 p.m.; 1 to 2 p.m. and 2:30 to 3:30 p.m.
- Registration begins Feb. 8.

## 9. **Virtual Coldest Night of the Year Walk**

**Summary:** The Coldest Night of the Year Walk is a nationwide fundraiser that supports homeless, hurting and vulnerable Canadians. In White Rock, the event supports SOURCES Community Resource Society.

In 2020, the White Rock walk raised \$106,000 after a beautiful walk on the Waterfront Promenade and Pier. In 2021, the walk will be virtual and take place the weekend of Feb. 19 to 21. For the second year, White Rock staff and Council are fundraising as a team. The 2020 White Rock City team was the top seventh fundraiser.

Staff are invited to join the White Rock City team, which is co-captained by Jennifer Robbins and Councillor Helen Fathers, for a virtual walk this year.

**Department:** Recreation and Culture; Communications

**Contact:** Elizabeth Keurvorst; Donna Kell

**Link:** Coldest Night of The Year Event: [cnoy.org/whiterock](http://cnoy.org/whiterock)

**Key Messages:**

- The Coldest Night of the Year Walk is a virtual fundraising walk supporting SOURCES Community Resource Society.
- The virtual walk takes place Feb. 19 to 21.
- White Rock City employees and council have a Coldest Night of the Year team: [Join White Rock City Team](#)
- Questions? Visit [The Wave](#) for information.

## 10. **Update from the Fire Chief on COVID-19**

**Department:** White Rock Fire Rescue

**Summary:** The Province reported 546 new cases of [COVID-19](#) yesterday along with 12 additional deaths. The province's death toll now stands at 1,184, increasing by 65 over the week.

There are currently 4,455 active cases in the province with another 7,176 people isolating due to possible exposure. B.C. has now recorded 66,265 total cases with approximately 89 per cent of those cases recovered.

Of the new cases, 218, or 40 per cent, are in the Fraser Health region; 174, or 32 per cent, are in Vancouver Coastal region; 70 cases, or 13 per cent, are in Interior Health region; and 51 cases, or nine per cent, are in the Northern Health region.

The Province reports 291 patients in hospital with 75 patients in intensive care.

The Province has administered 127,255 doses of the COVID-19 vaccine, including 4,185 second doses.

**Contact:** Ed Wolfe

**Key Messages:**

- B.C. has now recorded 66,265 cases of COVID-19 with 4,455 active cases.
- The number of active cases has remained relatively stable over the week.
- Hospitalizations continue to trend downward. There are 291 COVID-19 patients in hospital, with 68 of those patients in intensive care.
- The Province has administered 127,255 doses of COVID-19 vaccine, including 4,185 second doses.

Have a great weekend,

G.

**GUILLERMO FERRERO**

**Chief Administrative Officer, City of White Rock**

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