

March 29, 2021

FOI No: 2021-16

VIA E-MAIL – Redacted

# Redacted

Dear Redacted

Re: Request for Records  
Freedom of Information and Protection of Privacy Act

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The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the “Act”):

- *Structural drawings for 1465 Merklin Street*

Access to these records is available. Please find copies attached.

Please contact our office if you have any questions or concerns.

Sincerely,



Ken Overton  
Manager, Property, Risk Management, and FOI  
604-541-2104

Att.

Corporate Administration  
P: 604.541.2212 | F: 604.541.9348

City of White Rock  
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

**WHITE ROCK**  
*City by the Sea!*

[www.whiterockcity.ca](http://www.whiterockcity.ca)

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner  
3rd Floor, 756 Fort Street  
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.



**NOTES:**

ALL WORK TO CONFORM TO 1975 B.C. AND ALL APPLICABLE PROVINCIAL AND/OR MUNICIPAL CODES AND REGULATIONS  
 DIMENSIONS SHOWN ON PLANS ARE TO STUD FACE OR CENTER LINE OF PARTY WALLS  
 HEADERS OVER 6'-3" R.O. 2-2"x12" PLUS 3 PLATES  
 7'-0" R.O. 2-2"x12" 1 PLATE  
 DOUBLE BOTTOM PLATE REQUIRED WHERE LIGHTWEIGHT CONCRETE IS USED ON FLOOR ASSEMBLY  
 SHOP DRGS REQ'D FOR ALUM. RAILING & ALUM. DES. & WINDOWS (TO BE APPROVED BY ARCH. PRIOR TO INSTALLATION) TO CODE  
 † DENOTES EXISTING ELEVATION  
 □ DENOTES FINAL ELEVATION  
 LUMBER GRADES TO CONFORM TO 1975 B.C. SUBSECTION 9.3.3. & TABLE 9.3.3.A  
 CONSULT ARCH. PRIOR TO FINAL SITE GRADING  
 FIRE STOP BETWEEN SUITES AND ALL SOFFITS & DROPS AS REQUIRED BY CODE (REF. WALL TO U.S. JOISTS ON ALL PARTY WALLS)

**LEGAL:**

LOTS 11, 13, 15 AND 16 OF BLOCK 14,  
 N.W. 1/4 OF SEC. 11, T.P. 1, R4M 14124 N.W.D.



24 units  
 white rock, b.c.

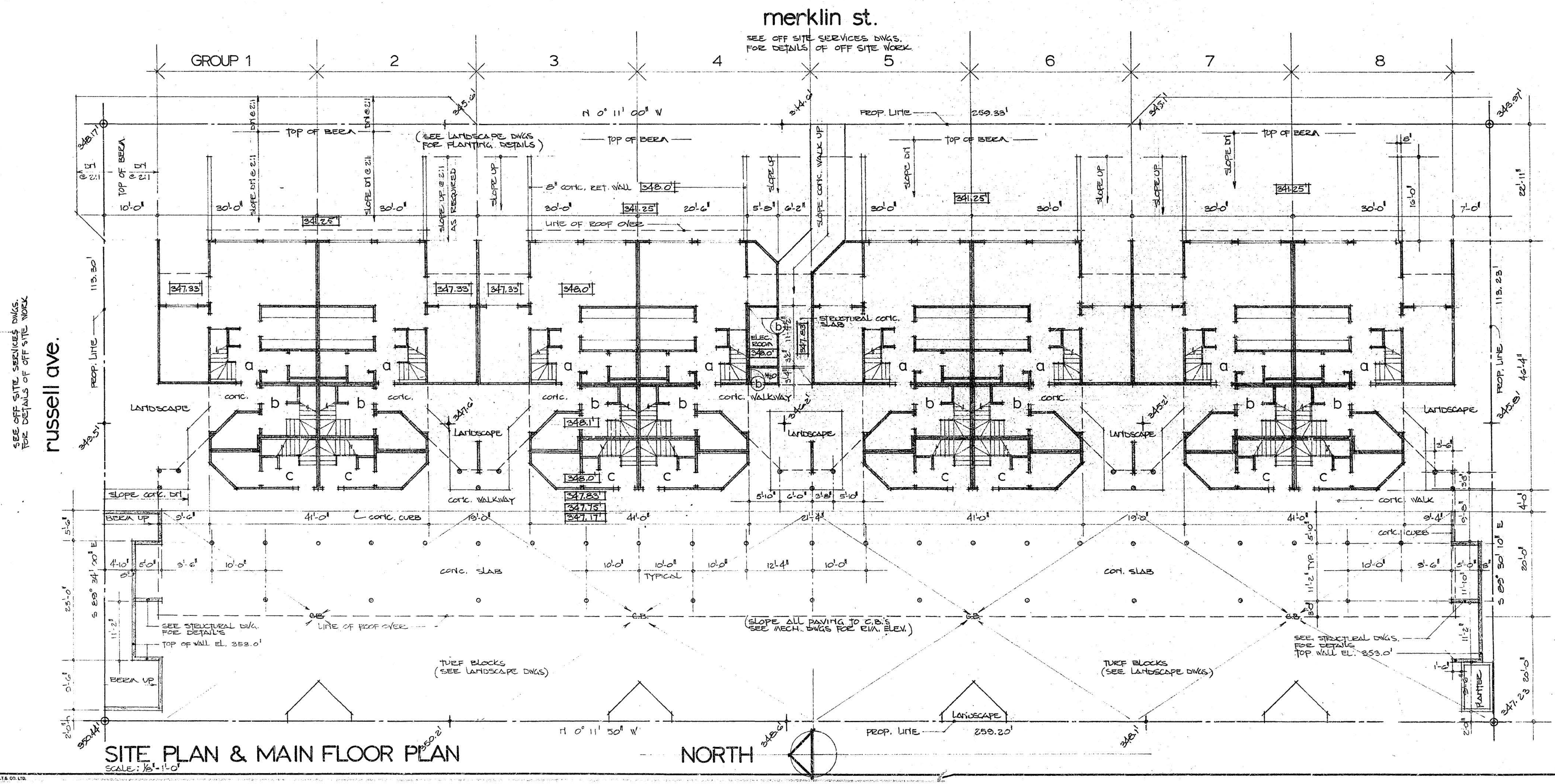
FOR  
 HAZELMERE DEVELOPMENTS LTD.

site plan

REVISIONS:

SCALE: 1/8" = 1'-0"  
 FEB. 4 1977  
 BARRETT  
 JOB NO. 76-109

1 of 5



**SITE PLAN & MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

SEE OFF-SITE SERVICES DRGS FOR DETAILS OF OFF-SITE WORK

russell ave.

merklin st.

SEE OFF-SITE SERVICES DRGS FOR DETAILS OF OFF-SITE WORK

N 0° 11' 00" W

NORTH



24 units  
white rock, b.c.

FOR

HAZELMERE DEVELOPMENTS LTD.

REVISIONS:

SCALE: 1/4" = 1'-0"

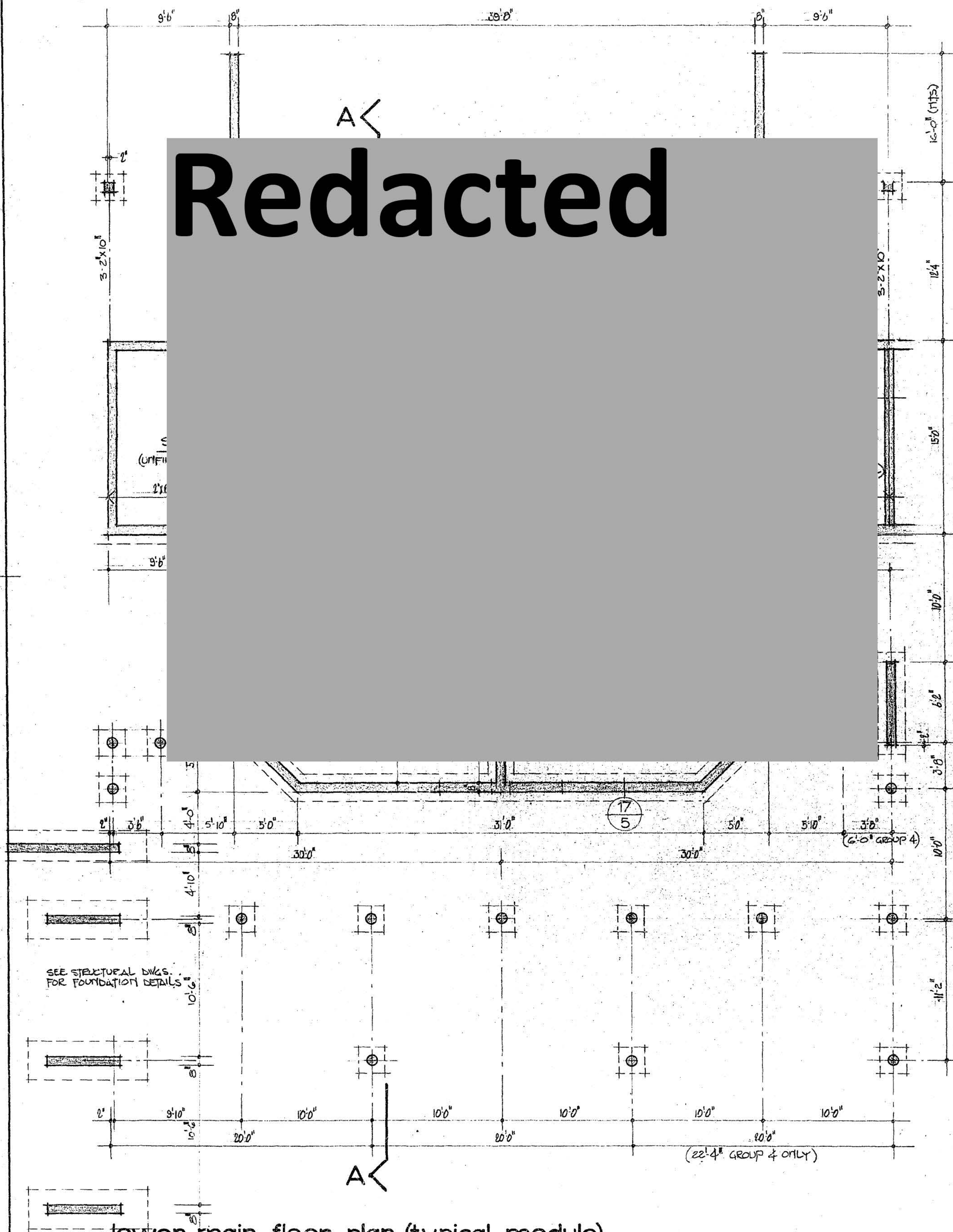
DATE:

DRAWN: TATE

JOB Nº: 76-109

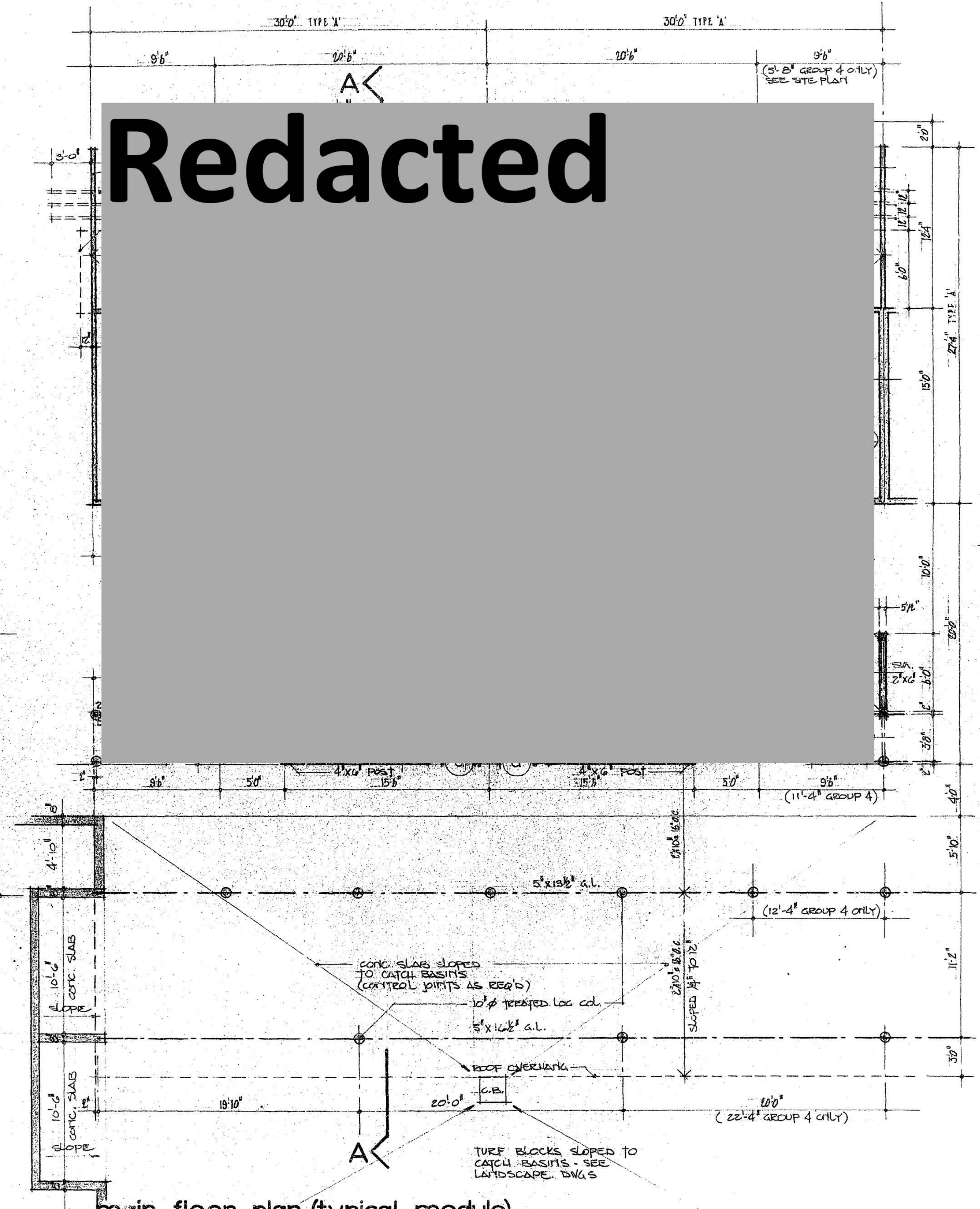
Redacted

Redacted



lower main floor plan (typical module)

SCALE: 1/4" = 1'-0"



main floor plan (typical module)

FIN. FLOOR ELEV. 348.0'  
SCALE: 1/4" = 1'-0"





24 units  
white rock, b.c.

FOR

HAZELMERE  
DEVELOPMENTS  
LTD.

plans

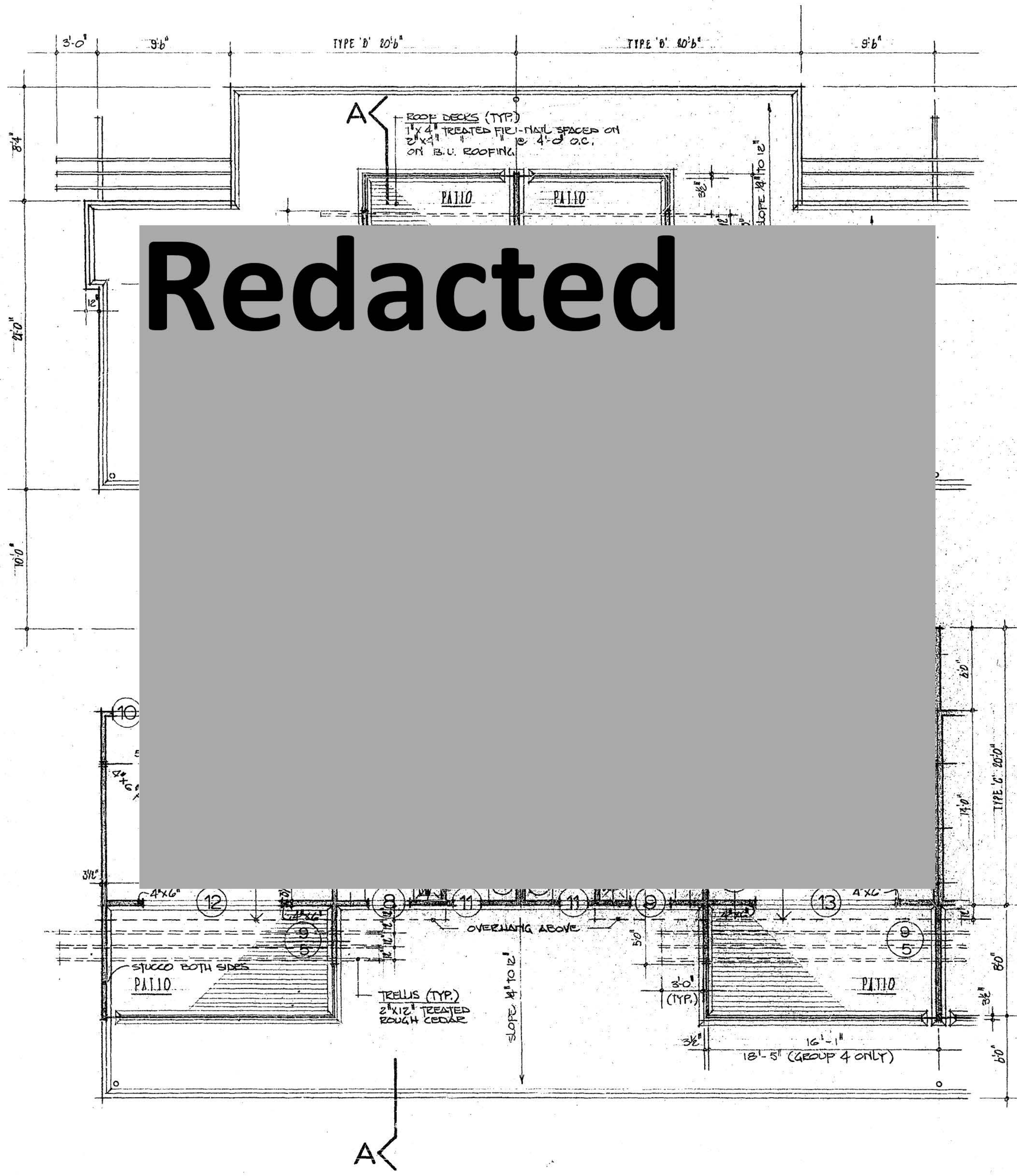
REVISIONS:

SCALE 1/4" = 1'-0"

DATE:

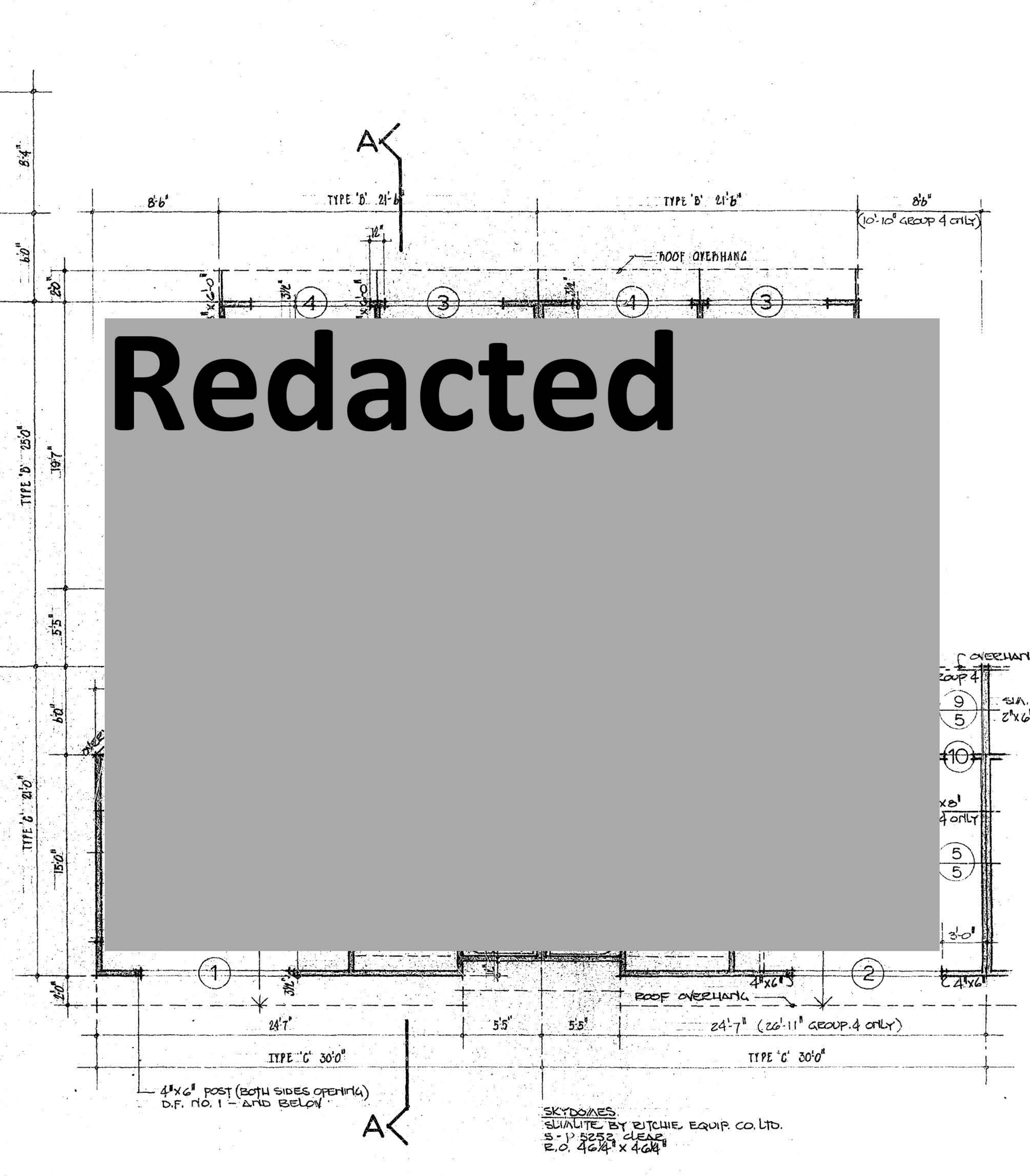
DRAWN: TATE

JOB NO. 76-109



second floor plan (typical module)

SCALE: 1/4" = 1'-0"



third floor plan (typical module)

SCALE: 1/4" = 1'-0"





24 units  
 white rock bc.

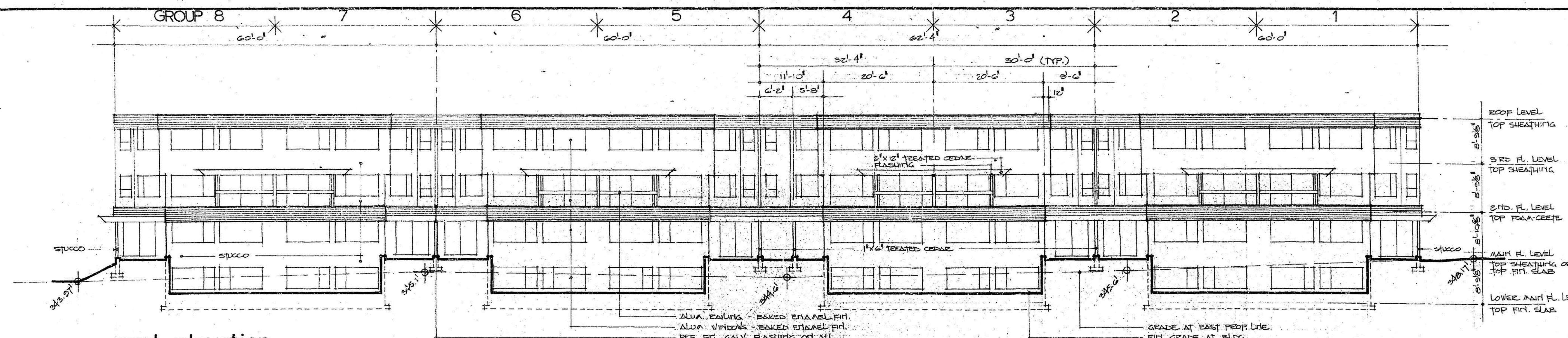
FOR  
 HAZELMERE DEVELOPMENTS LTD.

elevations  
 schedules

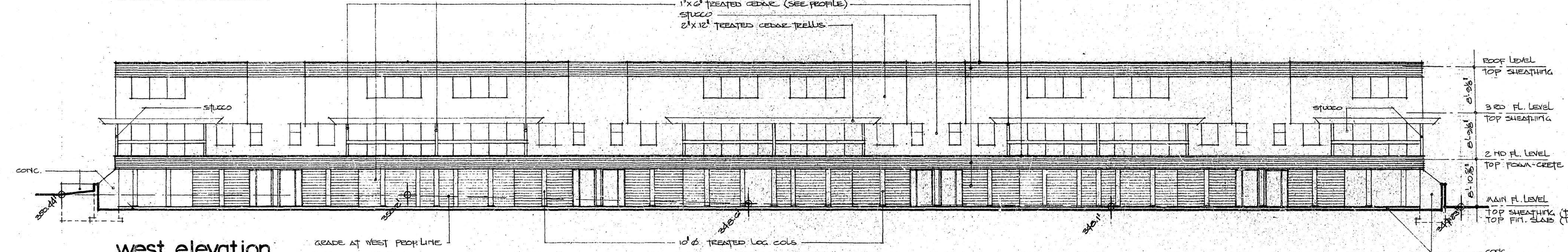
REVISIONS:

SCALE: 1/8" = 1'-0"  
 FEB 4, 1977  
 BARRETT

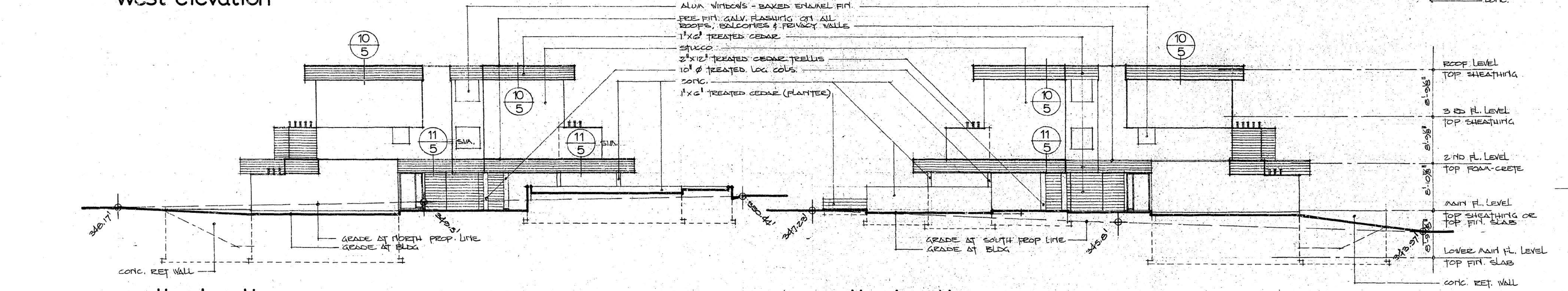
JOB NO. 76-109



east elevation

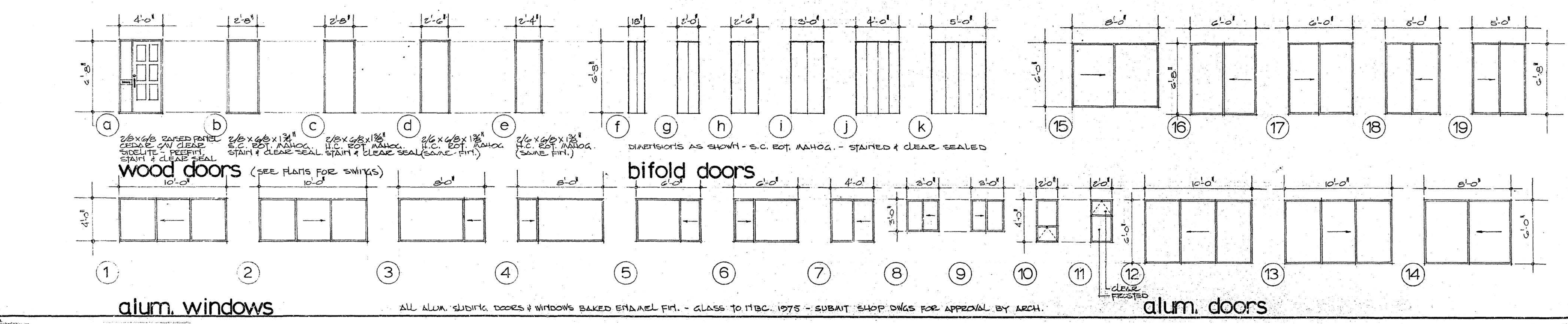


west elevation



north elevation

south elevation



wood doors

bifold doors

alum. doors

ALL ALUM. SLIDING DOORS & WINDOWS BAKED ENAMEL FIN. - GLASS TO HBC 1975 - SUBMIT SHOP DRGS FOR APPROVAL BY ARCH.





24 units  
 White Rock, B.C.

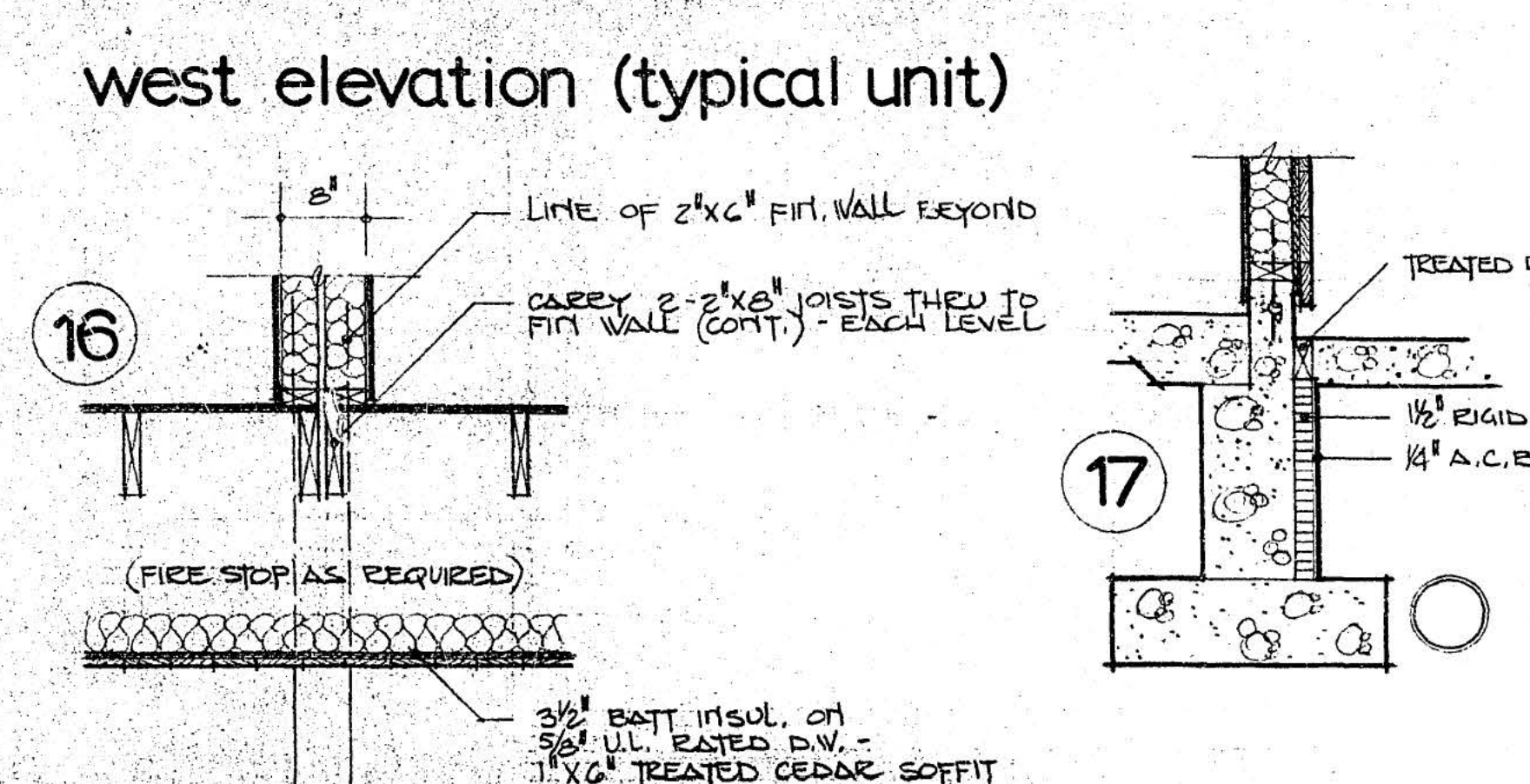
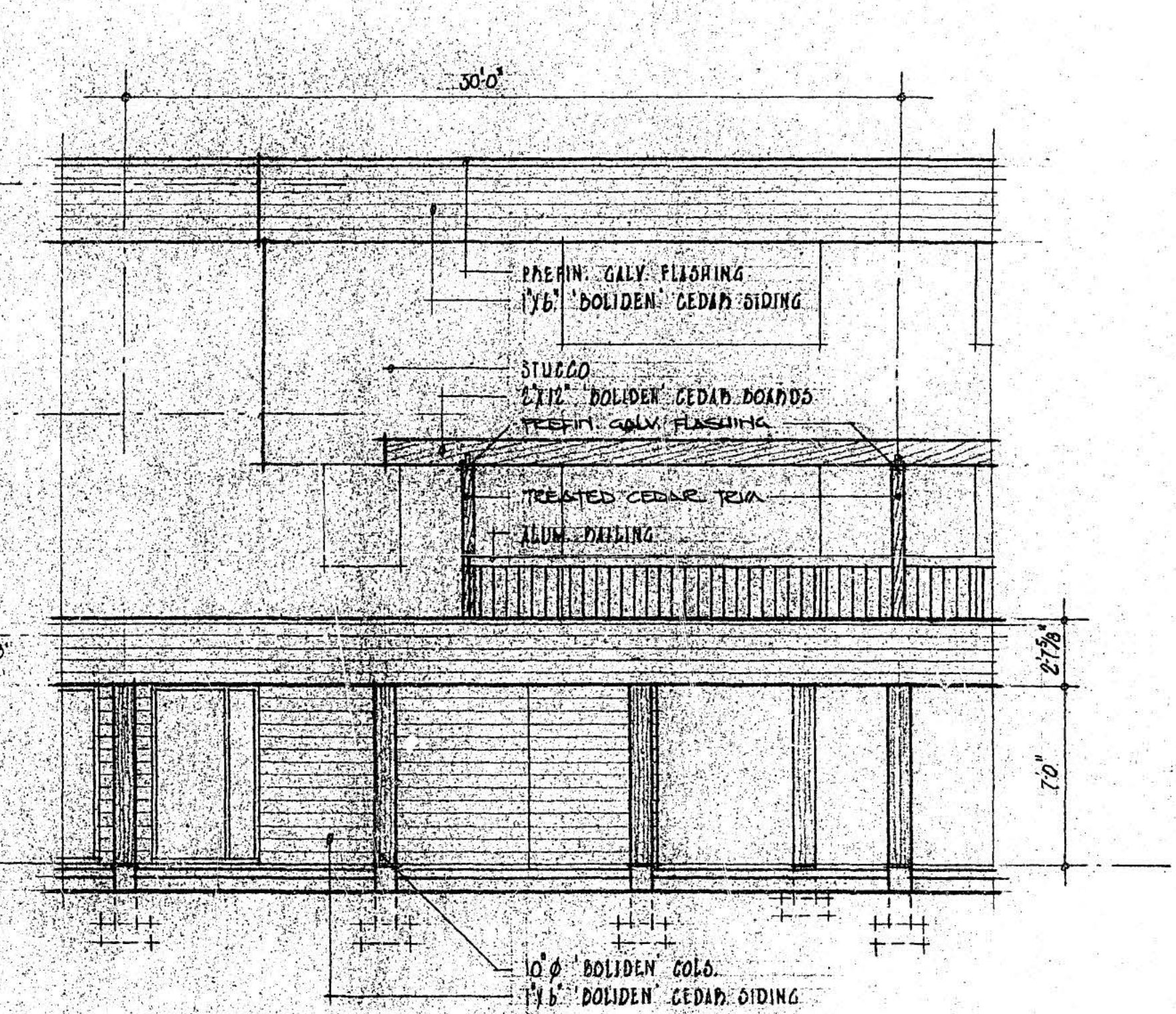
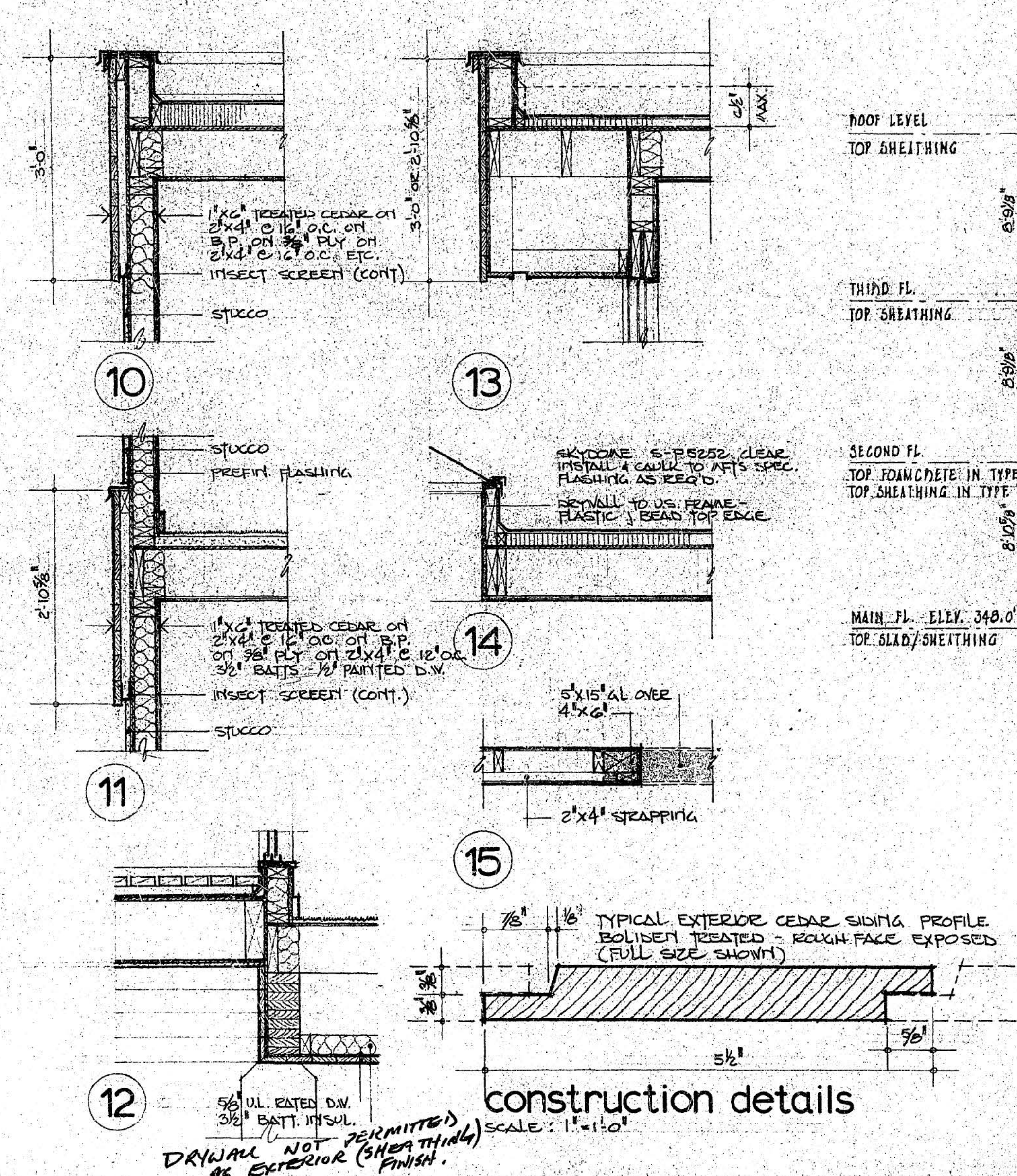
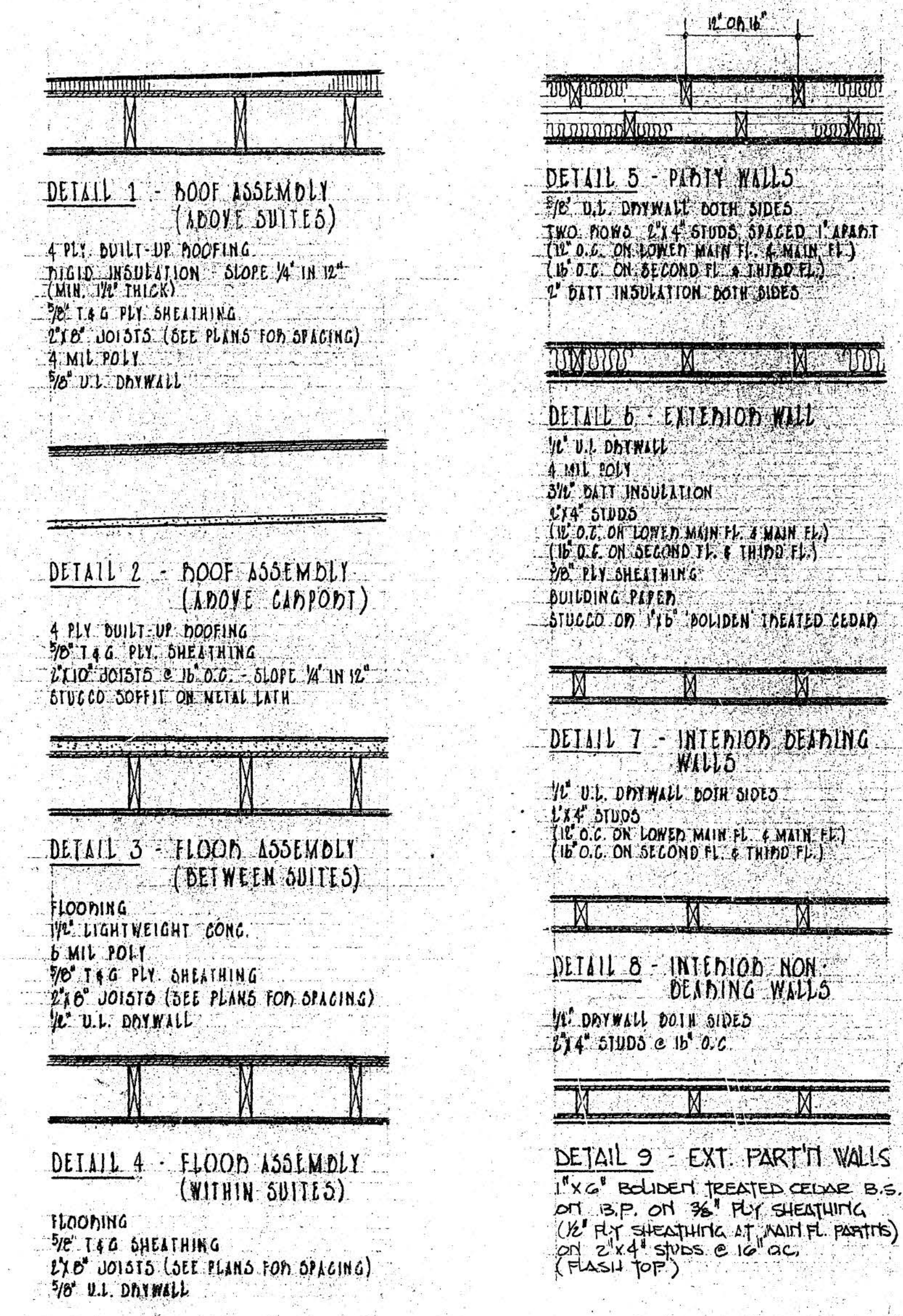
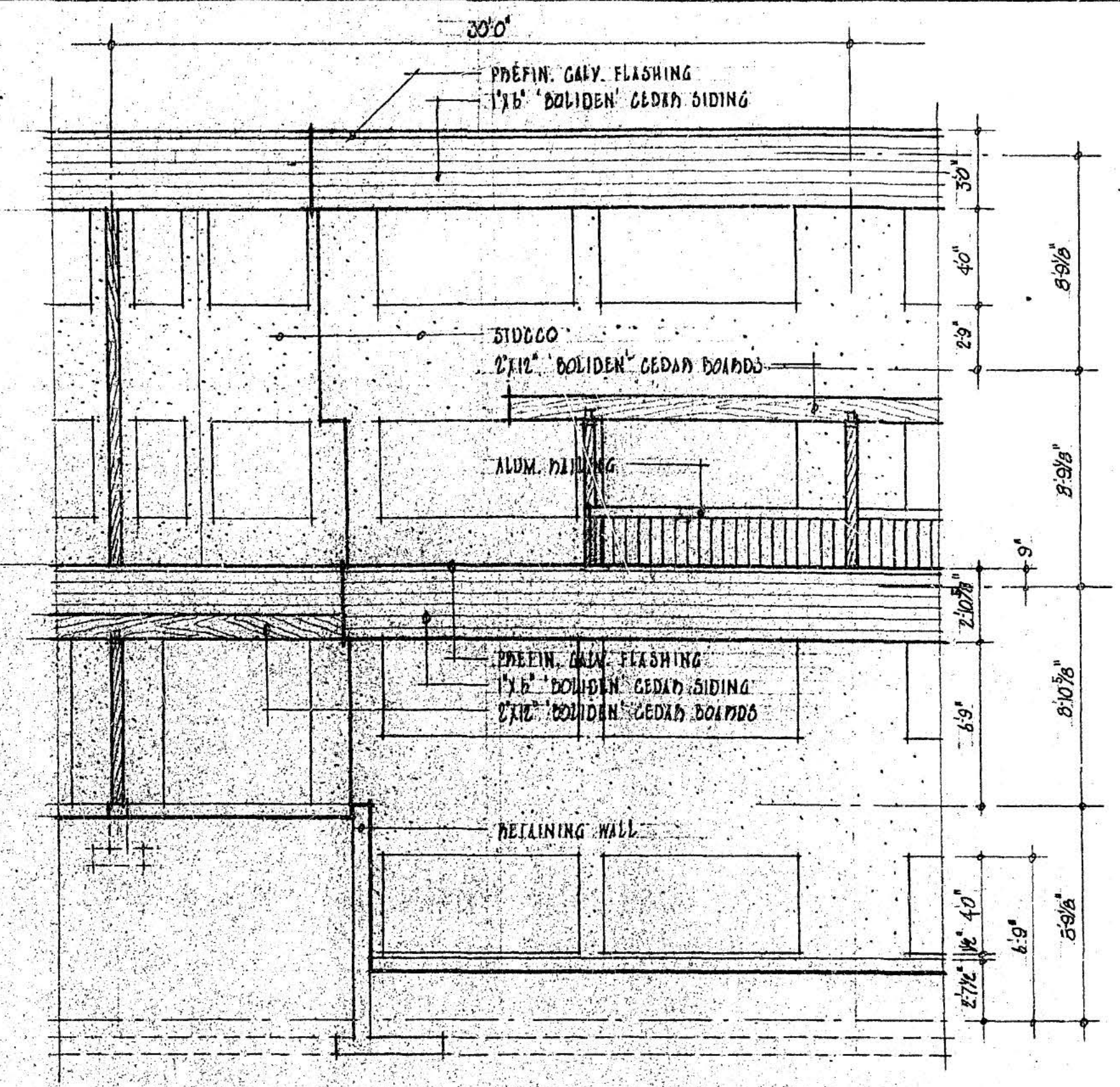
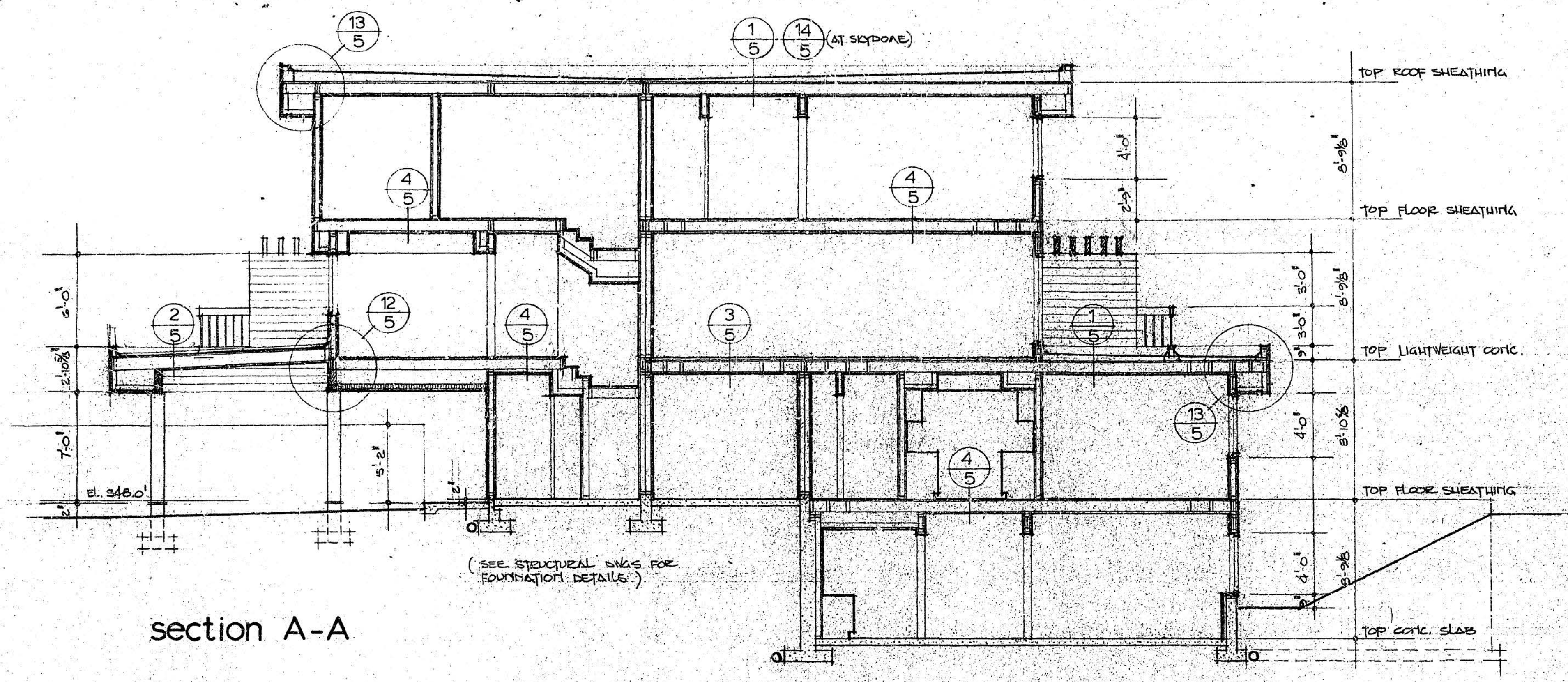
FOR

HAZELMERE DEVELOPMENTS LTD.

section elevations details

REVISIONS:

SCALE: 1/4" = 1'-0"  
 FEB 4, 1977  
 BARRETT  
 JOB NO. 76-109





**SPECIFICATIONS**

COMPLETE INSTALLATION TO BE IN ACCORDANCE WITH LOCAL CODES, N.B.C., C.M.H.C. REGULATIONS AND TO THE SATISFACTION OF THE PLUMBING INSPECTOR.

PLUMBING FIXTURES: TO BE AMERICAN STANDARD OR EQUAL. COLOURS TO BE SELECTED BY OWNER.

BATH: ACCO126 OR ACCO127 SALEM  
c/w WALTER FLO TROL 14F135 TRIM AND 14F134 R.T.

WALTER 33WG G30 WASTE OVERFLO

WATER CLOSET: AF 2131 RIVIERA  
c/w 30 OLSONITE SEAT  
3" FLEX. SUPPLY  
X.H. FLOOR FLANGE + SEAL

LAVATORY: ADO222 OVATION  
c/w WALTER 21F141 4" CENTRE SET  
PR. 3" FLEX. SUPPLIES  
1 1/2" P TRAP

KITCHEN SINK: K.I.L. QDL203 DBLE. S.S.  
c/w WALTER 25F123 DECK FAUCET  
PR. 3" STAT. STOPS  
1 1/2" P TRAP

WATER HEATER: RUUD (RHEEM) MODEL EE-30-D ELECTRIC  
30 IMP. GAL. STORAGE  
2- 3KW HEATERS

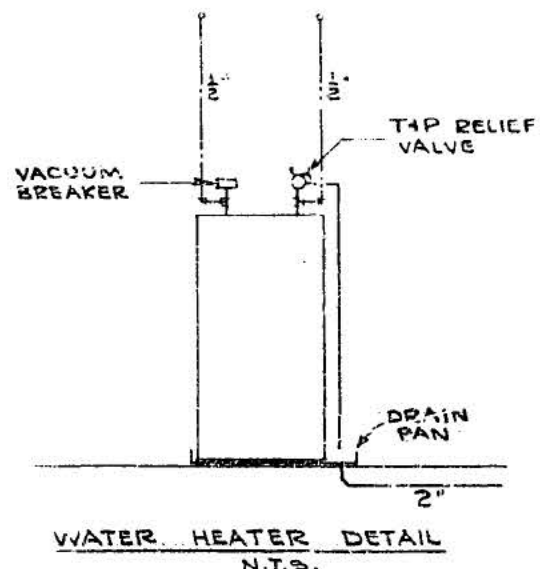
BATHROOM FAN: AIR KING MODEL BHF-50CFM.  
@.10" S.P., 250 WATT HEAT LAMP  
c/w 3" DUCT + B.D.D.

KITCHEN RANGE HOOD: BY OTHERS c/w 4" DUCT BY THIS CONTR.

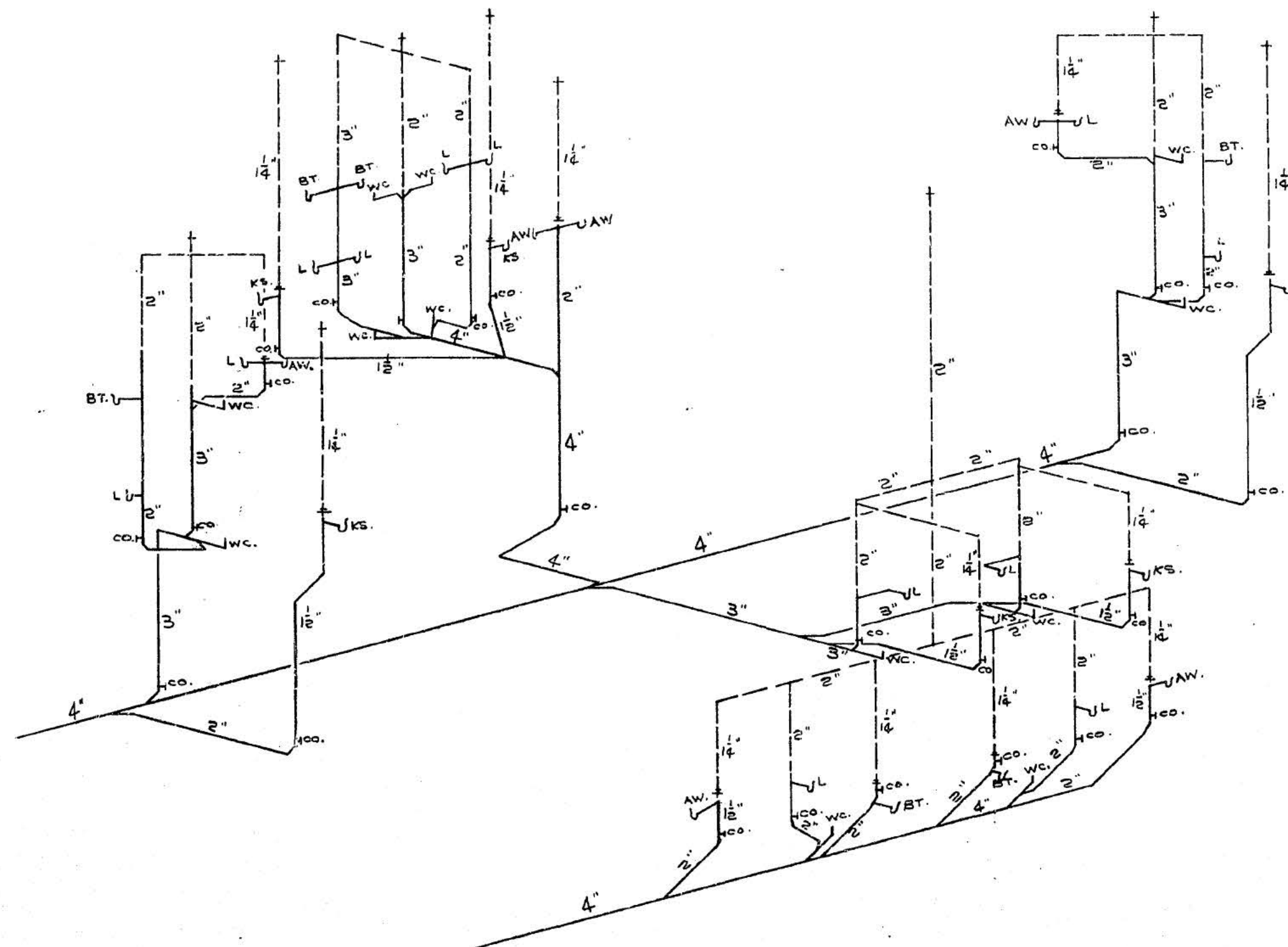
DUCTS TO ROOF, TERMINATE IN WEATHERPROOF HOODS. DUCTS TO BE 26 GA.

EXHAUST FANS: LOWER MAIN FLOOR: POWER LINE MODEL 10DWX - 365 CFM. @.1" S.P.  
c/w 1/2 HR MOTOR + 12" X 3 1/2" DUCT  
MAIN FLOOR: AIR KING MODEL WFBC 140 CFM. @.03" S.P.  
CONTROL EXHAUST FANS FROM LIGHT SWITCH.

SEWAGE PUMP: PARAMOUNT DUPLEX PUMP SET 50 U.S. GPM. EACH @ 25 FT. HD. c/w 1HP MOTORS, ALTERNATOR, HIGH LEVEL ALARM + STARTERS. MOUNT IN 36" X 36" X 15'0" DEEP SUMP.



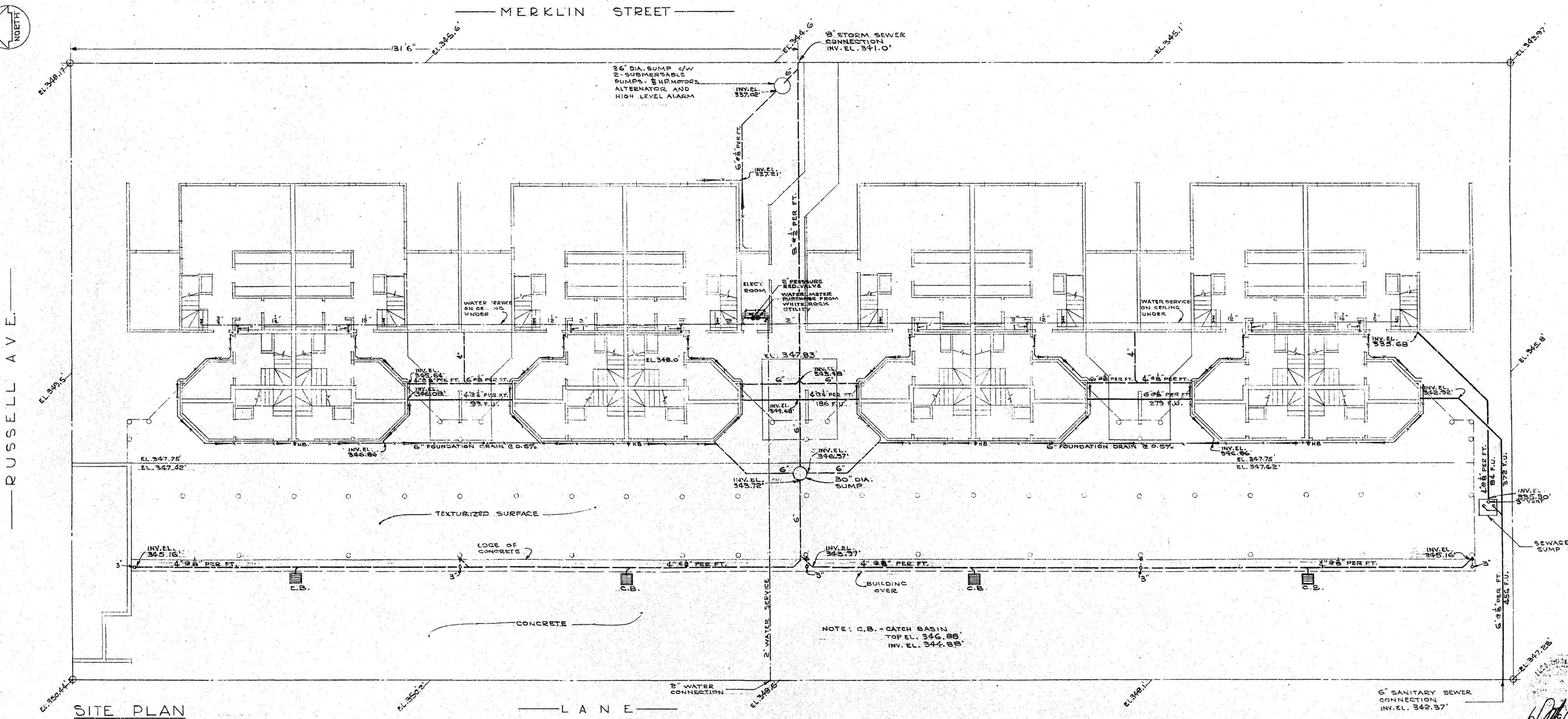
LEGEND	
---	SANITARY DRAIN
---	SANITARY VENT
---	STORM DRAIN
---	COLD WATER
---	HOT WATER
---	FOUNDATION DRAIN
---	GATE VALVE
---	H.B. HOSE BIBB
---	F.D. FLOOR DRAIN
---	R.D. ROOF DRAIN



PROPOSED  
24 UNIT  
HOUSING  
PROJECT

FOR  
HAZELMERE  
DEVELOPMENT  
LTD.

SITE PLAN,  
SPEC. AND  
DETAILS



LET. 1061 E.D.I.  
R.F. CARSON LTD.  
4975 SCOTT ST.  
BRADNER B.C.  
530 1828



R.F. CARSON LTD.  
MECHANICAL CONSULTANT  
4975 SCOTT ST.  
BRADNER B.C.  
S30 1B22



PROPOSED  
24 UNIT  
HOUSING  
PROJECT

For  
HAZELMERE  
DEVELOPMENT  
LTD.

LOWER MAIN  
AND MAIN  
FLOOR PLANS

LOWER MAIN FLOOR

NOTE:  
ALL WATER PIPE NOT SIZED WITHIN  
UNITS TO BE 1/2"

MAIN FLOOR

SCALE - 1/4" = 1'0"

DATE - JAN. 1977

DRAWN - R.F.C.

JOB NO. 358

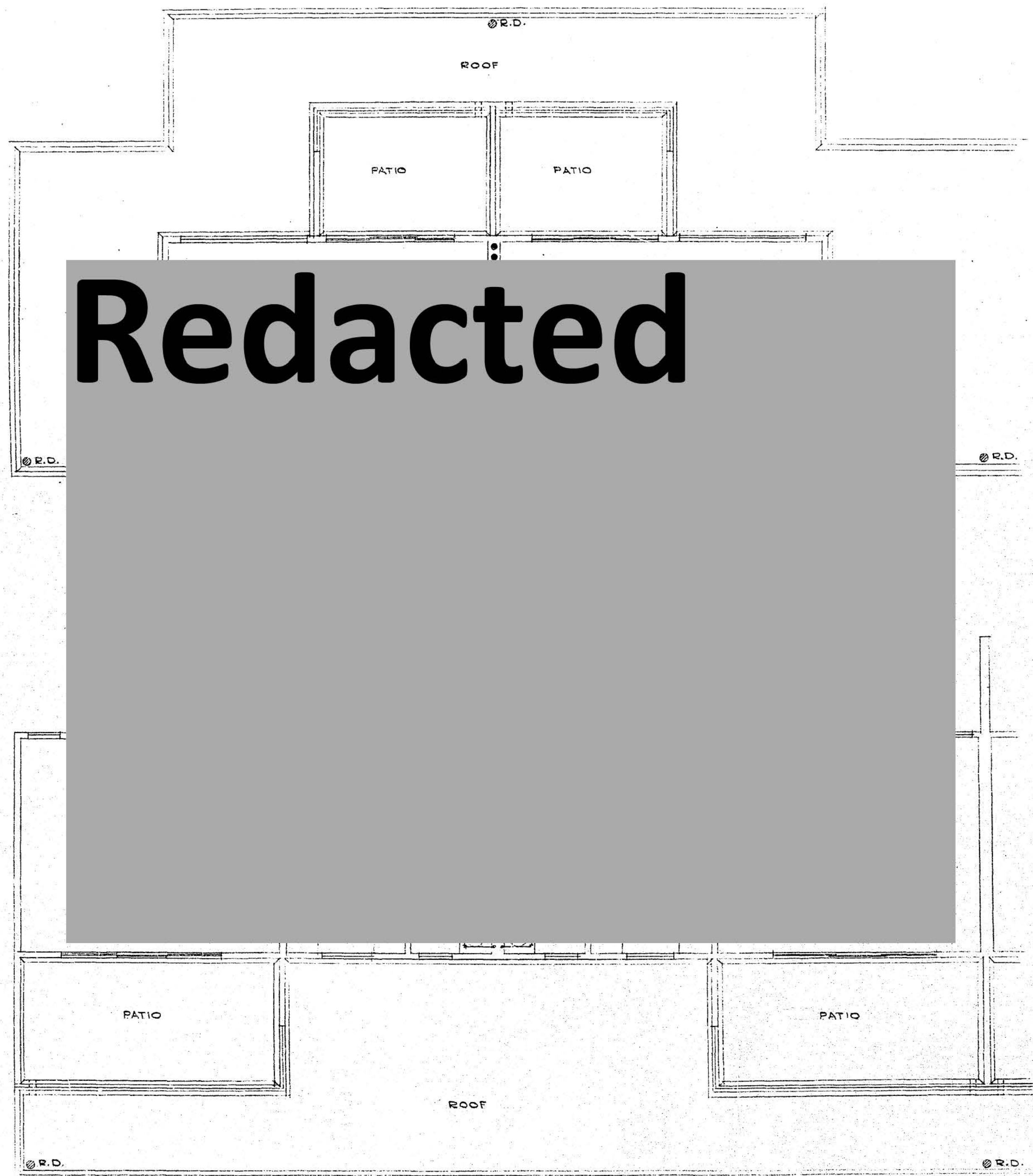
DRAWING NO.

PV-23  
OF

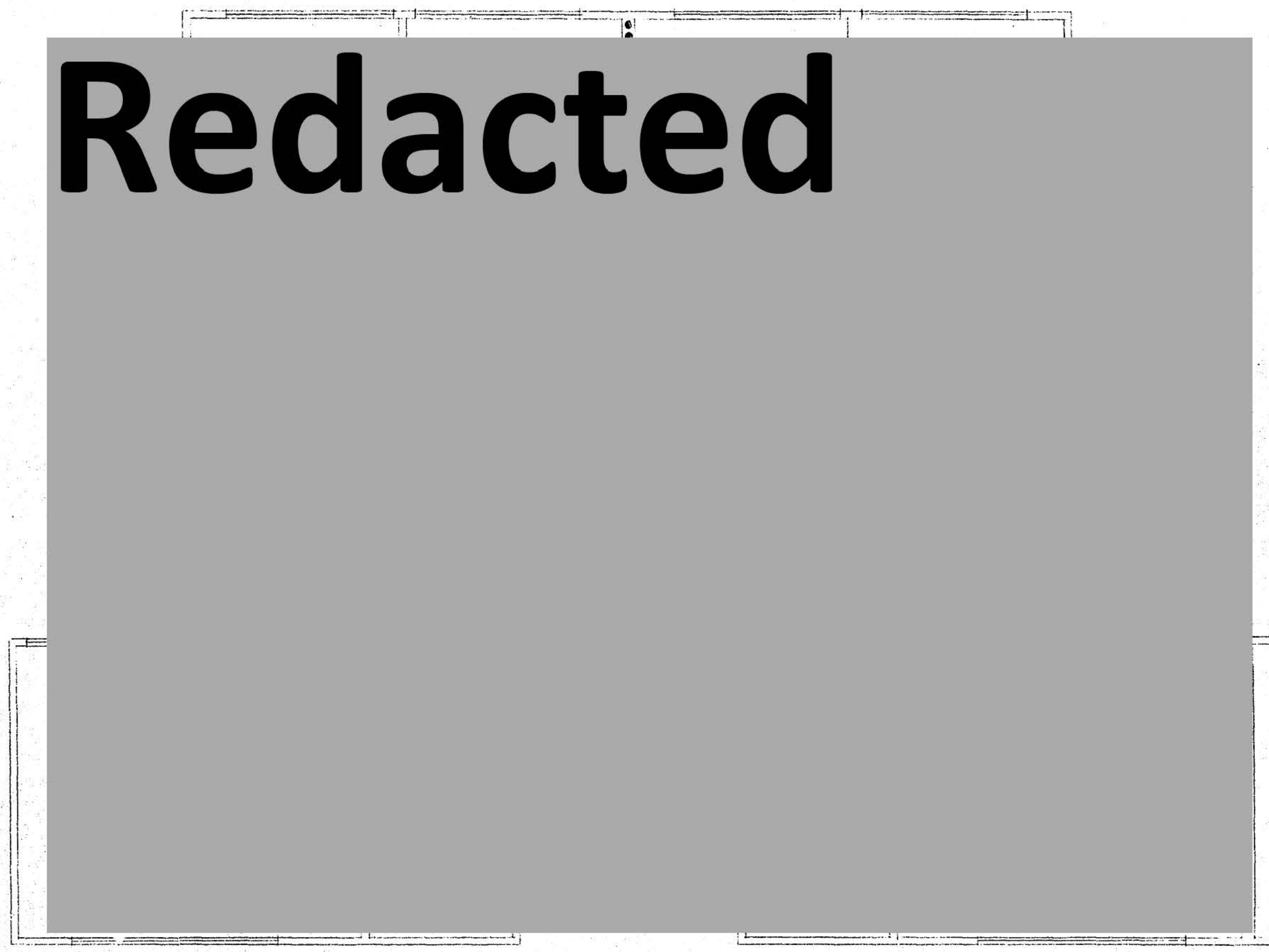




R.F. CARSON LTD.  
MECHANICAL CONSULTANT  
4975 SCOTT ST.  
BRADNER B.C.  
S30 1B2B



SECOND FLOOR



THIRD FLOOR

PROPOSED  
24 UNIT  
HOUSING  
PROJECT

FOR  
HAZELMERE  
DEVELOPMENT  
LTD.

SECOND AND  
THIRD  
FLOOR  
PLANS

SCALE -  $\frac{1}{4}'' = 1'0''$

DATE - JAN. 1977

DRAWN - R.F.C.

JOB NO. 358

DRAWING NO.

PV-33  
OF





FOUNDATION  
PLAN

REVISIONS:

REV.	DATE	DESCRIPTION
1	APR 1977	PERMIT SUBMITTAL

ISSUED  
FEB - 4 1977

BIANCO ENG.



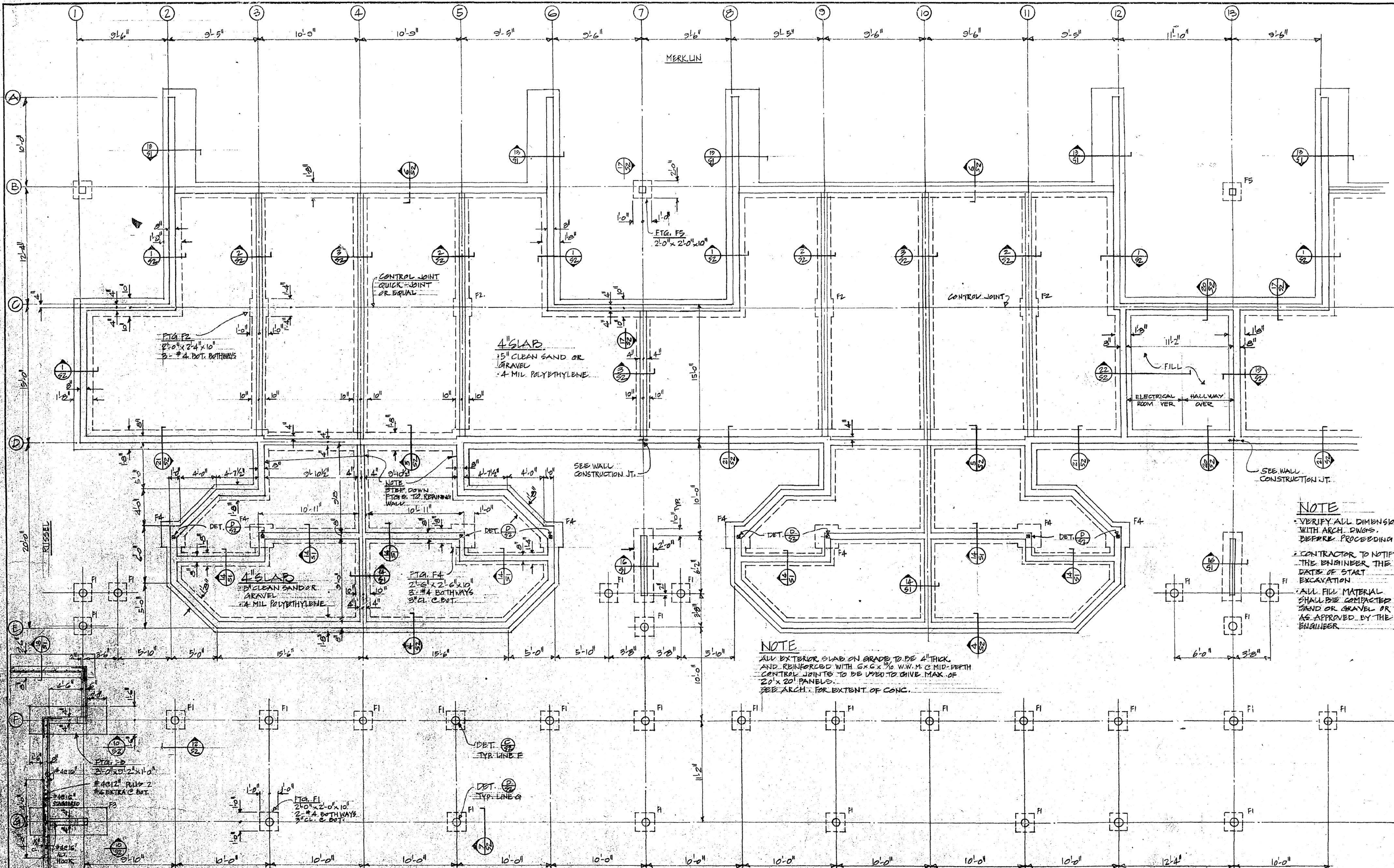
SCALE: 1/4" = 1'-0"

20 JAN 1977

DRAWN: N.M.

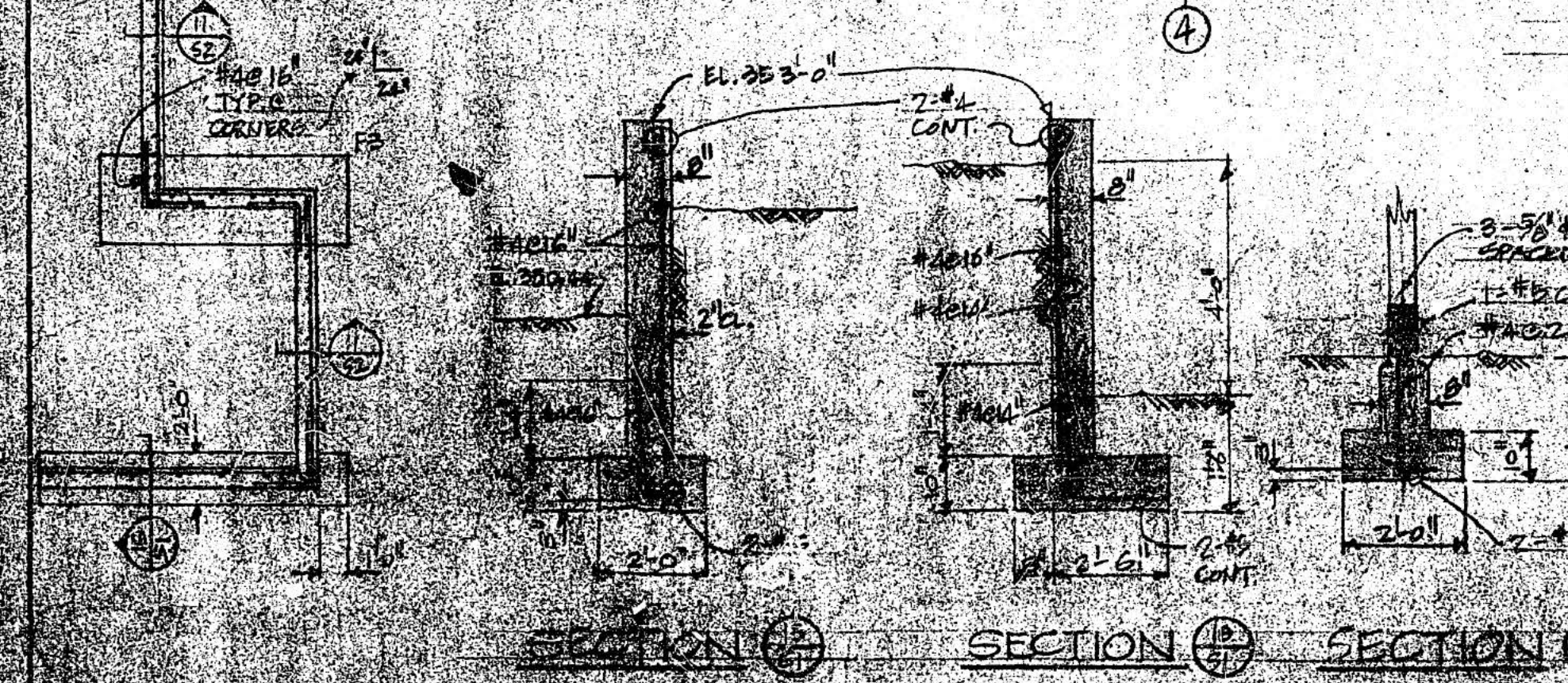
JOB NO: 76-109

**\$1**



**FOUNDATION PLAN**

SYMMETRICAL ABOUT LINE 13 EXCEPT PER DIMENSIONS CLINE 12 TO 13. ALSO SEE ARCH. DRAWINGS. (CONTRACTOR TO CHECK DIMS. WITH ARCH. DWGS.)



**WALL CONSTRUCTION JT.**

LOCATE AS SHOWN ON PLAN OR 60" OC.

**SECTION** (4)

OR TO GOOD BEARING WHICHEVER IS GREATER.

**SECTION** (5)

GRADE VARIES

**NOTE**  
PLACE 3/8" x 0.3" ANCHOR BOLTS IN CONCRETE @ 5'-0" OC ALL PLATS UNLESS SPECIFIED OTHERWISE ON THE DRAWING.

H'	L'	T'	REIN.	STEEL
1A'	1B'			
10'4"	2'-6"	8"	#4E16	#4E16
4'-0"	3'-6"	10"	#4E16	#4E16
6'-0"	5'-0"	10"	#5E10	#5E15
2'-0"	3'-6"	8"	#5E8	#4E8



REVISIONS:

REV.	DATE	DESCRIPTION
1	4 FEB 1977	PERMIT SUBMITTAL ISSUED
		FEB - 4 1977

BIANCO ENG.



SCALE = 1/2" = 1'-0"

20 JAN. 1977

DRAWN BY N.M.

JOB NO. 76-109

NOTES

CONCRETE - MINIMUM COMPRESSIVE STRENGTH TO 3000 PSI AT 28 DAYS MAXIMUM SIZE AGGREGATE TO BE 3/4". SLUMP TO BE NOT MORE THAN 3". USE MECHANICAL VIBRATORS THROUGHOUT. ALL BREAKS IN POURS SHALL BE AS DIRECTED BY THE ENGINEER TO SUIT FIELD CONDITIONS. CHECK ALL APPLICABLE DRAWINGS FOR LOCATION OF ANCHORS, INSERTS, ETC. BEFORE CONCRETE IS PLACED. FORMS AND REINFORCING STEEL MUST BE INSPECTED AND APPROVED BY THE ENGINEER BEFORE CONCRETE IS PLACED. ALLOW 24 HRS. NOTICE.

REINFORCING STEEL - REINFORCING STEEL SHALL BE INTERMEDIATE DEFORMED BARS TO CSA 330.8.  
REINFORCING PROTECTION SHALL BE AS FOLLOWS:  
2" - FOR FORMED SURFACES EXPOSED TO WEATHER OR IN CONTACT WITH GROUND.  
3" - FOR FOOTINGS WHERE CONCRETE IS DEPOSITED AGAINST GROUND.  
CORNER BARS ARE TO BE PROVIDED TO MATCH HORIZONTAL WALL REINFORCING.

MISCELLANEOUS - SHALL BE AS PER A.S.T.M. A36-60T SPEC. OR G40-12.

WELDING - TO MEET CSA W59 SPECIFICATIONS. TOUCH UP ALL FIELD WELDS.  
LUMBER - SHALL BE D.F. NO. 2 FOR ALL JOISTS. EXCEPT AS SPECIFIED ON THE DRAWINGS.

GLU-LAM BEAMS - SHALL BE IN ACCORDANCE WITH CSA 086, 0122 AND 0177 STRESS GRADE 24F, APPEARANCE - INDUSTRIAL SERVICE - EXTERIOR.  
GLU-LAM BEAM @ LINE (G) TO BE TREATED FOR EXTERIOR SERVICE CONDITION.

STRUCTURAL DRAWINGS - ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AND MECHANICAL DRAWINGS FOR DETAILED DIMENSIONS OF DOORS, WINDOWS, DECKS, OPENINGS, REEVES, CHAIRS, ANCHORS, ETC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS BEFORE COMMENCING WITH ANY WORK.

ALL FABRICATORS SHALL SUPPLY THREE SETS OF DETAIL AND ERECTION DRAWINGS. THESE DRAWINGS ARE TO BE APPROVED BY THE ENGINEER BEFORE FABRICATION.

INSPECTIONS - CONTRACTOR TO NOTIFY ENGINEER AT TIME OF SITE EXCAVATION TO VERIFY SOIL BEARING. ENGINEER TO INSPECT FORMS AND REINFORCING BEFORE ANY CONCRETE IS PLACED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER AHEAD OF TIME.

DESIGN LOADS - FLOORS - 40 PSF PARTIT. 15 PSF  
ROOF - 34 PSF

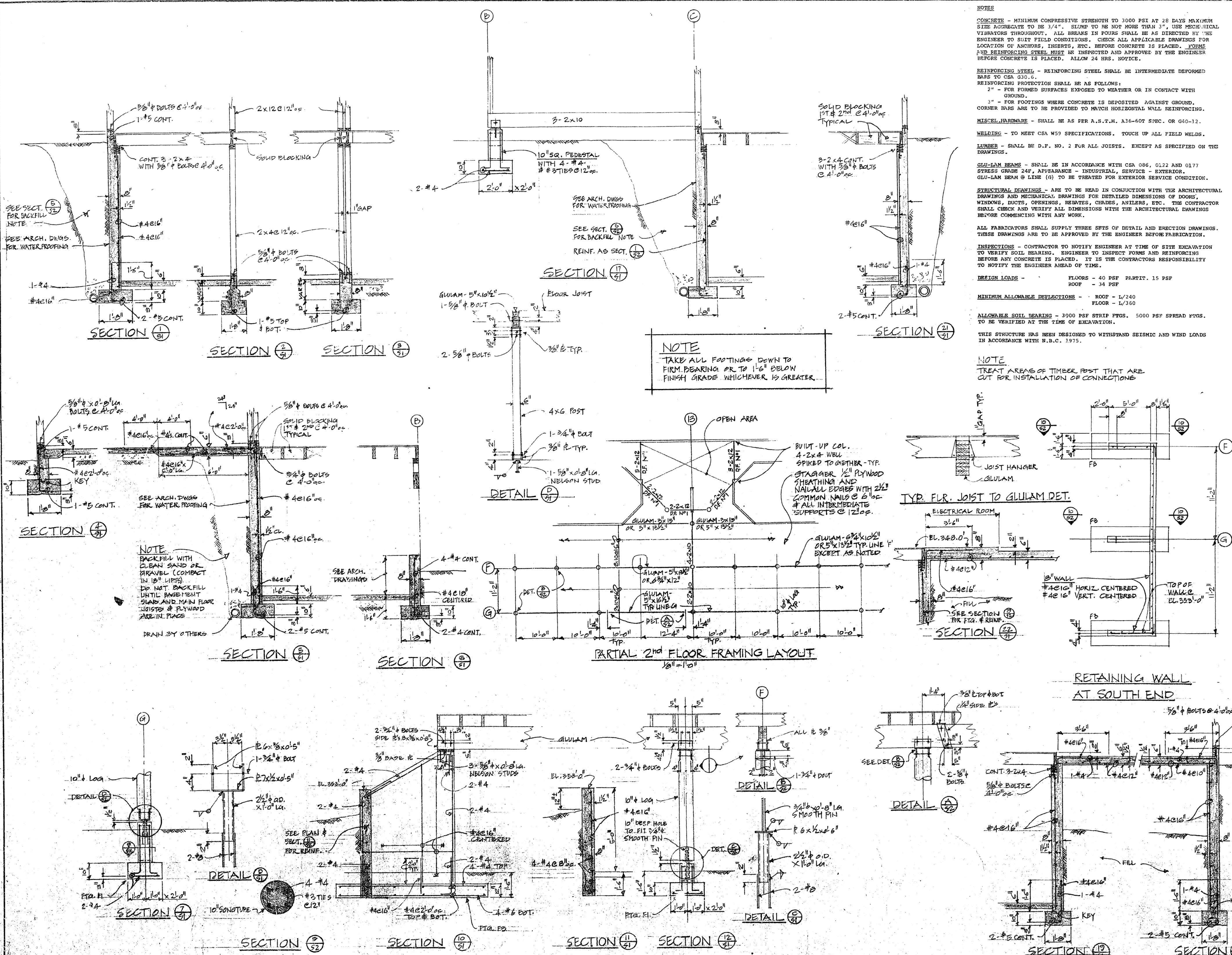
MINIMUM ALLOWABLE DEFLECTIONS - ROOF - L/240  
FLOOR - L/360

ALLOWABLE SOIL BEARING - 3000 PSF STRIP FTGS. 5000 PSF SPREAD FTGS. TO BE VERIFIED AT THE TIME OF EXCAVATION.

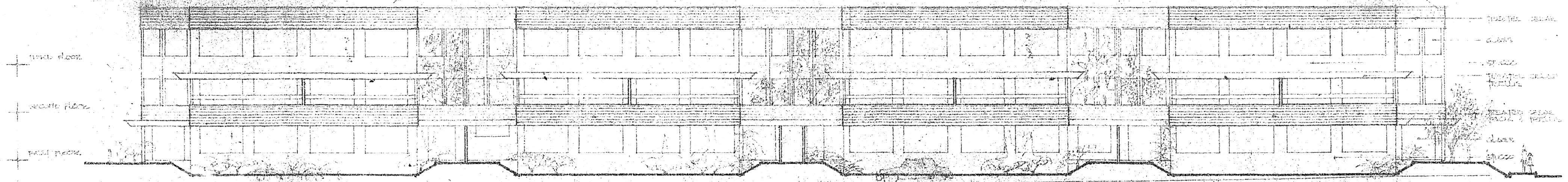
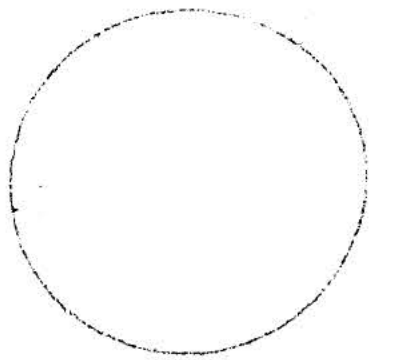
THIS STRUCTURE HAS BEEN DESIGNED TO WITHSTAND SEISMIC AND WIND LOADS IN ACCORDANCE WITH N.B.C. 1975.

NOTE

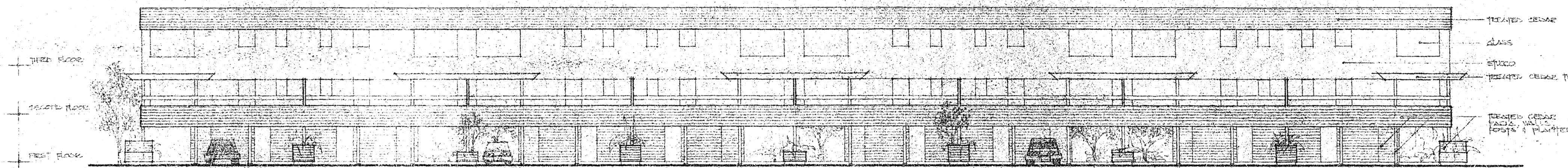
TREAT AREAS OF TIMBER POST THAT ARE CUT FOR INSTALLATION OF CONNECTIONS



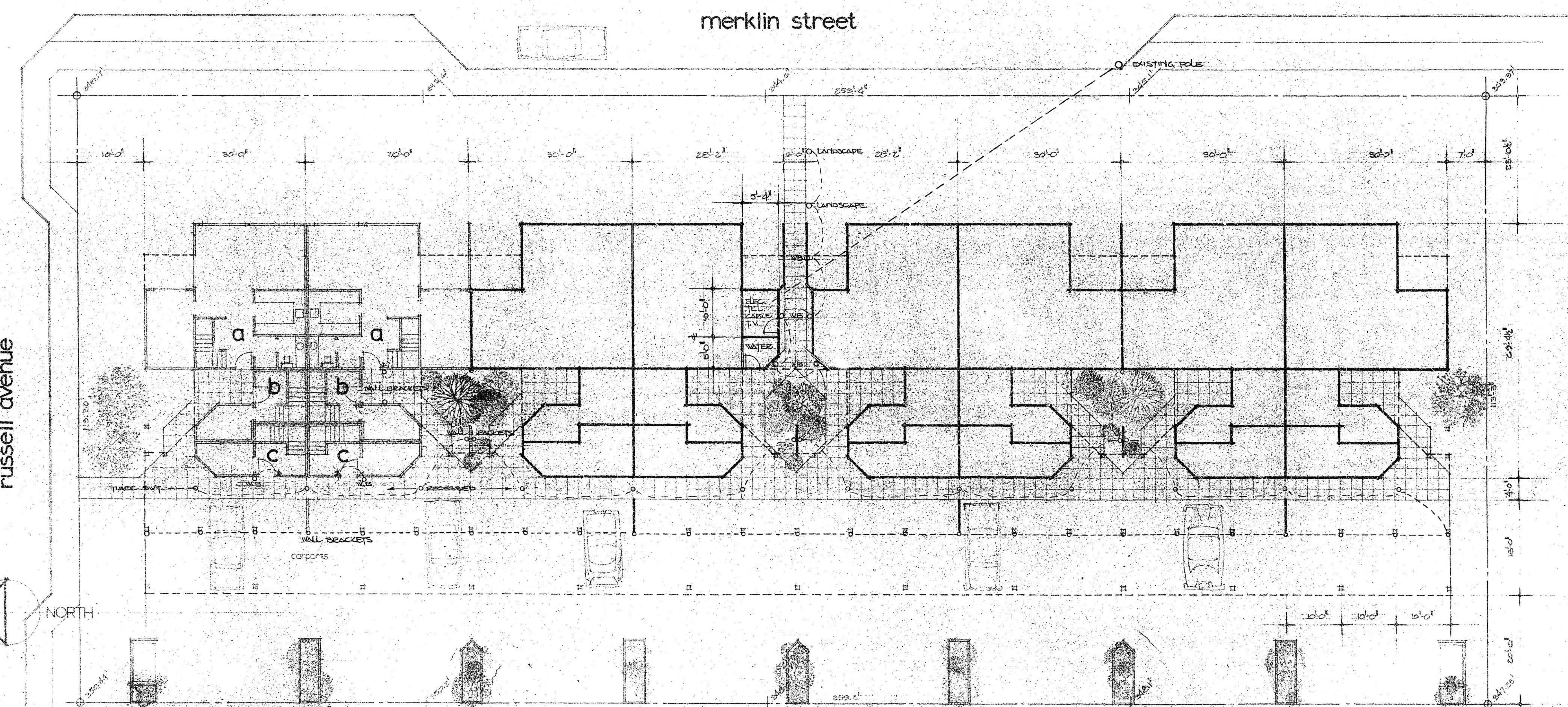




**EAST ELEVATION**



**WEST ELEVATION**



**SITE PLAN**

proposed  
24 unit  
housing  
project

CONDOMINIUMS  
FOR

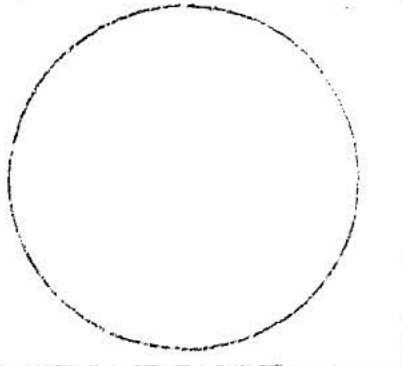
JEFFS  
REALTY  
LTD

site plan  
and  
elevations

REVISIONS:

scale: 1/8"=1'-0"  
august 1976  
barnett  
job no: 76-109





proposed  
24 unit  
housing  
project

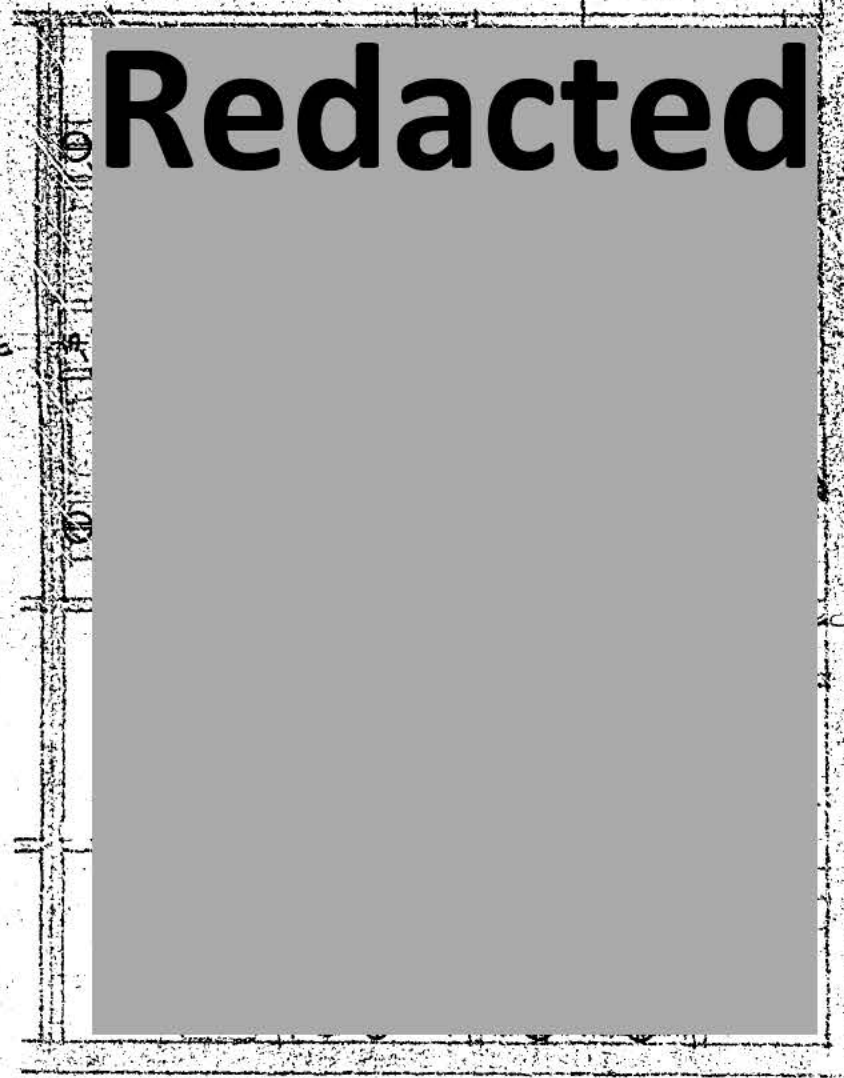
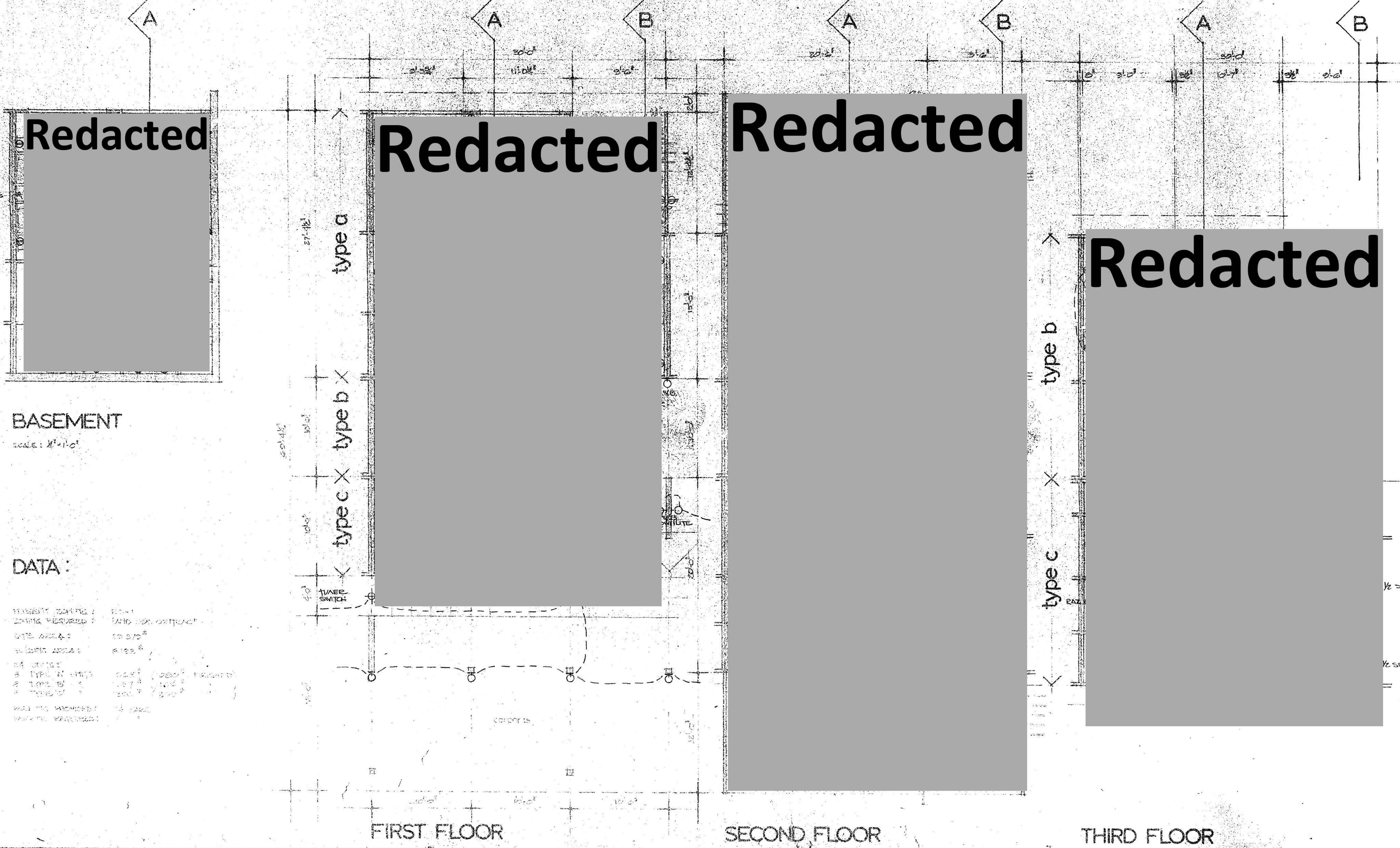
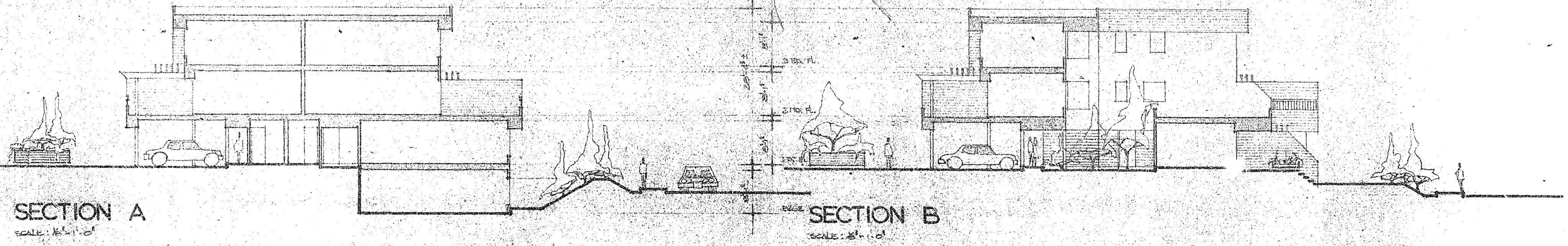
CONDOMINIUMS  
FOR

JEFFS  
REALTY  
LTD

plans  
and  
sections

REVISIONS:

scale: as noted  
august 1976  
barnett  
job no: 76-109



BASEMENT  
scale: 1/8"=1'-0"

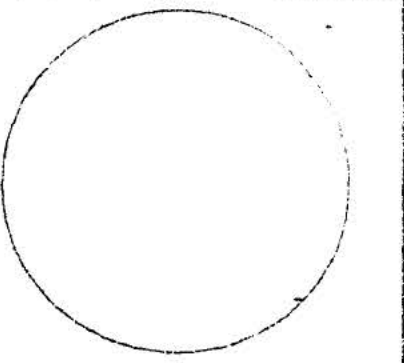
DATA:

FINISHES: WALLS: 1/2" GYP BOARD	FLOOR: 1/2" GYP BOARD
CEILING: 1/2" GYP BOARD	ROOF: 2" POLYSTYRENE INSULATION
DOORS: 1 3/4" SOLID CORE	WINDOWS: 1 3/4" ALUMINUM
STAIRS: 1 3/4" SOLID CORE	STAIRS: 1 3/4" SOLID CORE
WALLS: 1/2" GYP BOARD	WALLS: 1/2" GYP BOARD
WALLS: 1/2" GYP BOARD	WALLS: 1/2" GYP BOARD

Redacted

Redacted





proposed  
24 unit  
housing  
project

CONDOMINIUMS  
FOR

JEFFS  
REALTY  
LTD

plans  
and  
sections

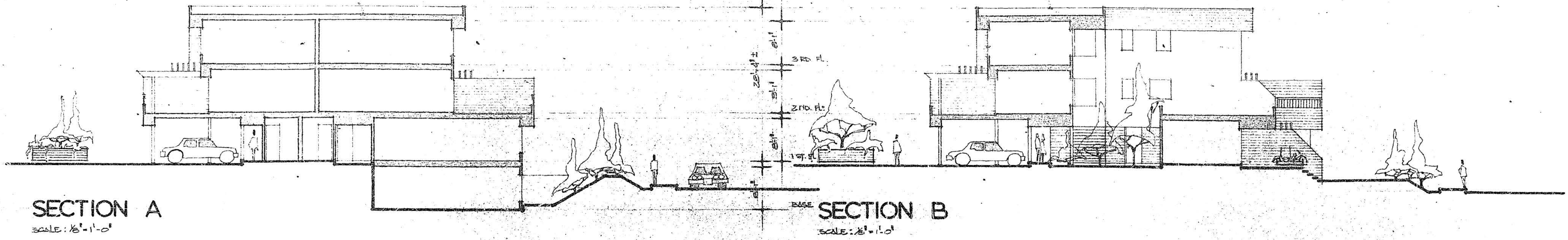
REVISIONS:

scale: as noted

august 1976

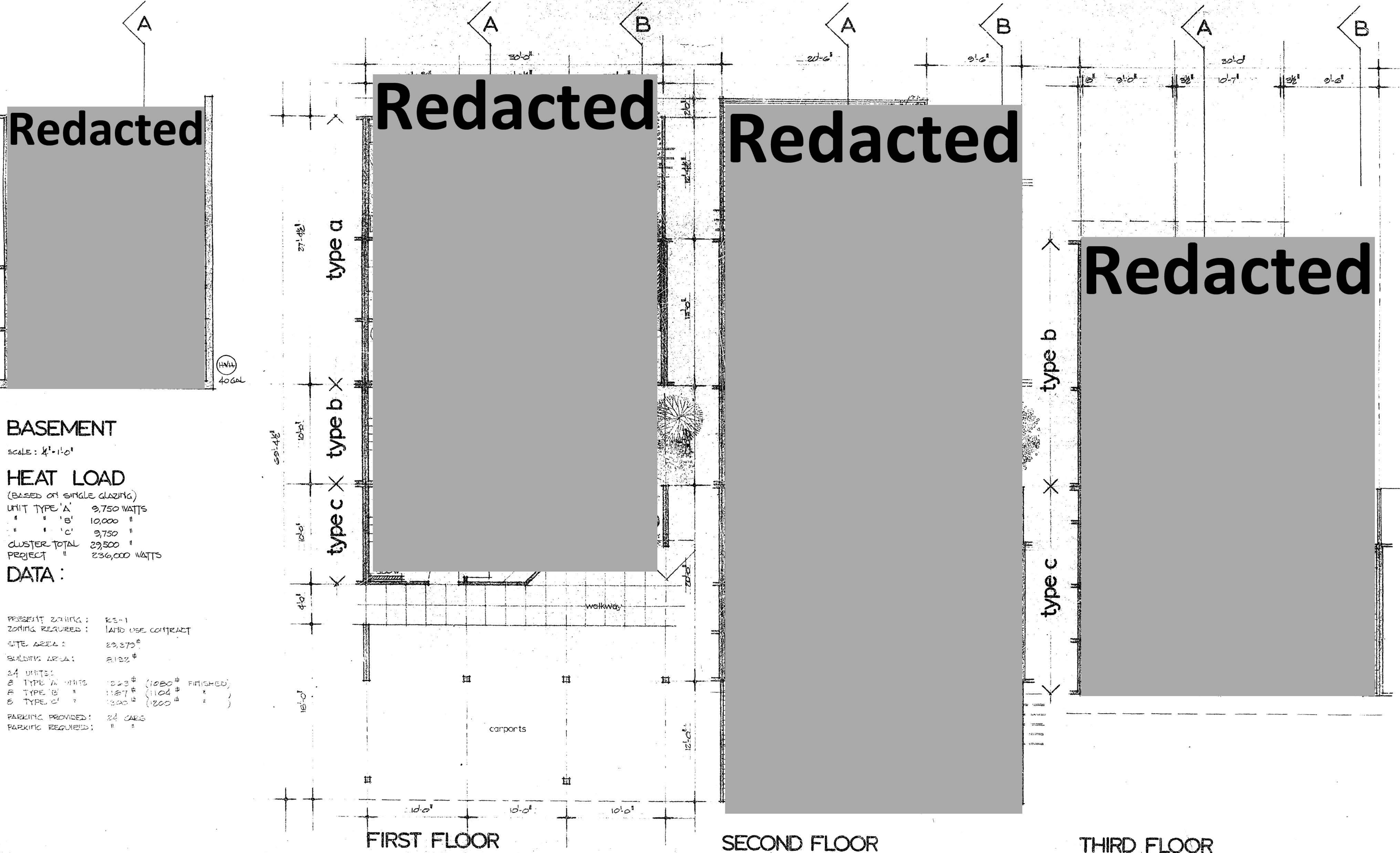
barnett

job no: 76-109



SECTION A  
SCALE: 1/8" = 1'-0"

SECTION B  
SCALE: 1/8" = 1'-0"



Redacted

Redacted

Redacted

Redacted

**BASEMENT**

SCALE: 1/4" = 1'-0"

**HEAT LOAD**

(BASED ON SINGLE GLAZING)

UNIT TYPE 'A'	9,750 WATTS
UNIT TYPE 'B'	10,000 "
UNIT TYPE 'C'	9,750 "
CLUSTER TOTAL	29,500
PROJECT	236,000 WATTS

**DATA :**

PRESENT ZONING :	R2-1
ZONING REQUIRED :	LAND USE CONTRACT
SITE AREA :	29,370 #
BUILDING AREA :	2,122 #
24 UNITS :	
8 TYPE 'A' UNITS	1028 # (1080 # FINISHED)
8 TYPE 'B' UNITS	1187 # (1104 # " )
8 TYPE 'C' UNITS	1080 # (1200 # " )
PARKING PROVIDED :	24 CARS
PARKING REQUIRED :	" "