

May 4, 2021

FOI No: 2021-22

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *all permits issued for the above property and all reports provided by the homeowners (e.g. Engineering reports, Geo-tech reports, energy efficiency reports, etc.)*

Access to these records is available as attached.

Please contact our office if you have any questions or concerns.

Sincerely,



Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

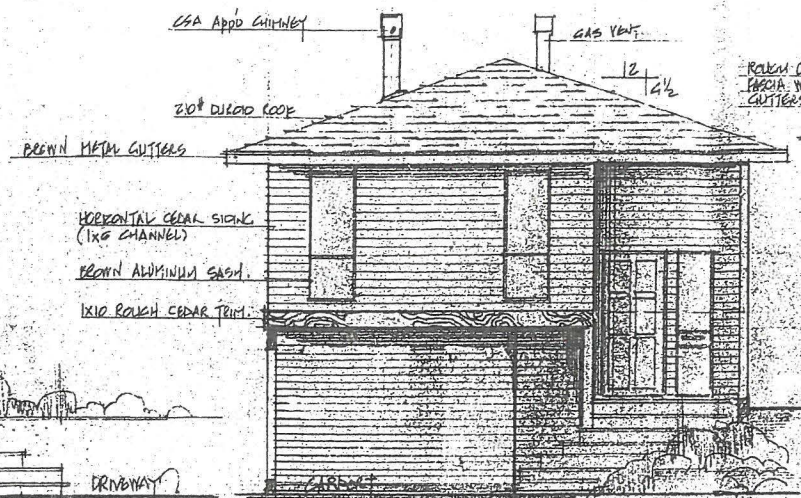
EXISTING DWG ON RECORD

020697



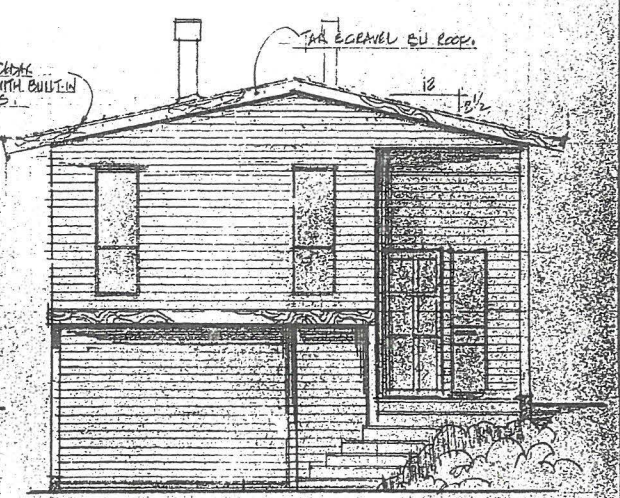
LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

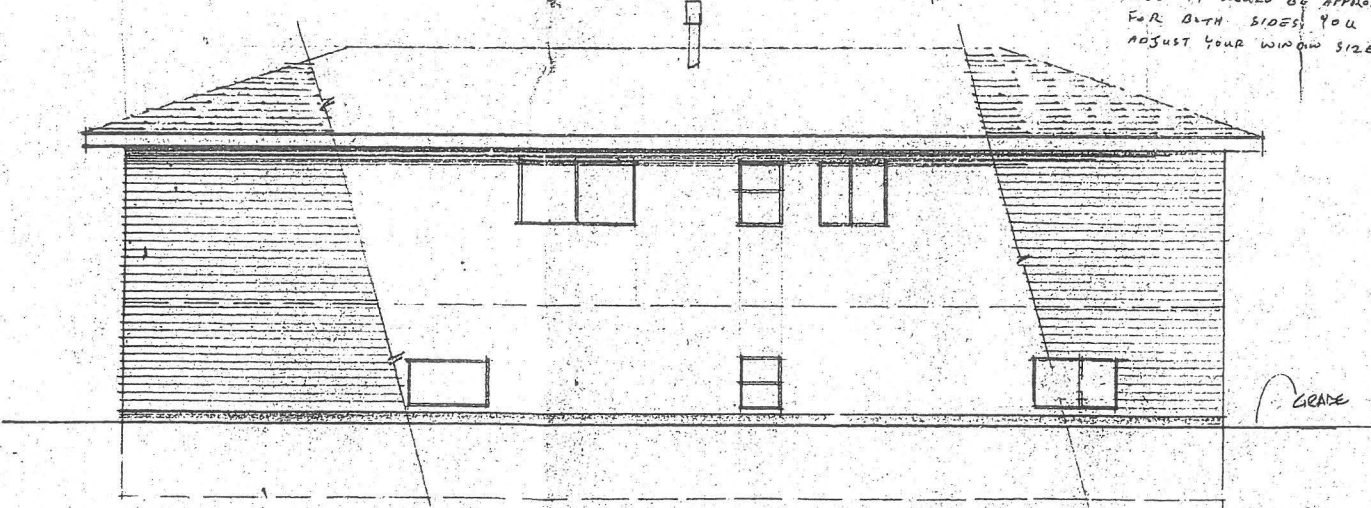


FRONT ELEVATION

SCALE 1/4"=1'-0"

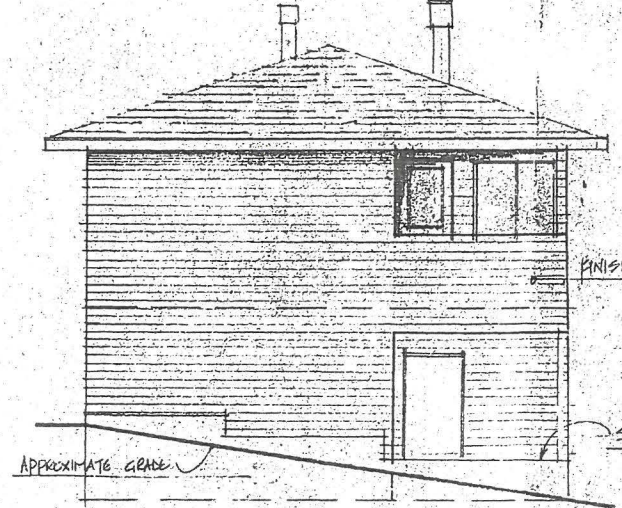
TYPE "15" TAR & GRAVEL ROOF 2 1/2" / 12" PITCH
(ALTERNATE ROOF)

NOTE: LIMITED DISTANCE REQUIRES THAT THE MAXIMUM WINDOW AREA BE 8% OF THE WALL AREA FROM GRADE TO UPPER DECKING. IN THIS CASE IT WOULD BE APPROX. 58 SQFT FOR BOTH SIDES. YOU WILL HAVE TO ADJUST YOUR WINDOW SIZES ACCORDINGLY.



RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



REAR ELEVATION

SCALE 1/4"=1'-0"

NOTE: - ERECTION INSPECTION REQ'D
- 5' MIN. SIDYARD PROVIDED THE TOP OF THE BASEMENT FLOOR FINISH IS AN OVERALL 24" BELOW THE NATURAL GRADE
- ENCROACHMENT SURVEY REQ'D BEFORE FRAME INSPECTION
- 6" x 6" NOT PERMITTED UNDER DRIVEWAY OR FOR DRIVEWAY
- MIN SLOPE OF DRAIN TILE 1/8" IN 1'
- ENGINEERED TRUSS PLAN REQ'D BEFORE FRAME INSPECTION
- NOTCHED JOISTS AND BEAMS NOT PERMITTED
- METAL "L" FLASHING AT DECK AND HOUSE INTERSECTION
- EXTERIOR GUARDS MIN 42" HIGH AND CLIMBING MEMBERS BETWEEN 4" x 36" MAX 4" OPENINGS
- EXPOSED EXTERIOR NAILS TO BE GALVANIZED OR BETTER
- ACCESS TO AND VENTILATION OF ATTICS TO CODE
- WINDOWS ON SIDE TO COMPLY TO LIMITED DISTANCE 1975 N.B.C.

Edward Tierling Designer

598-7876

DESIGN TWO LEVELS (C/F) 33'-0" LOT

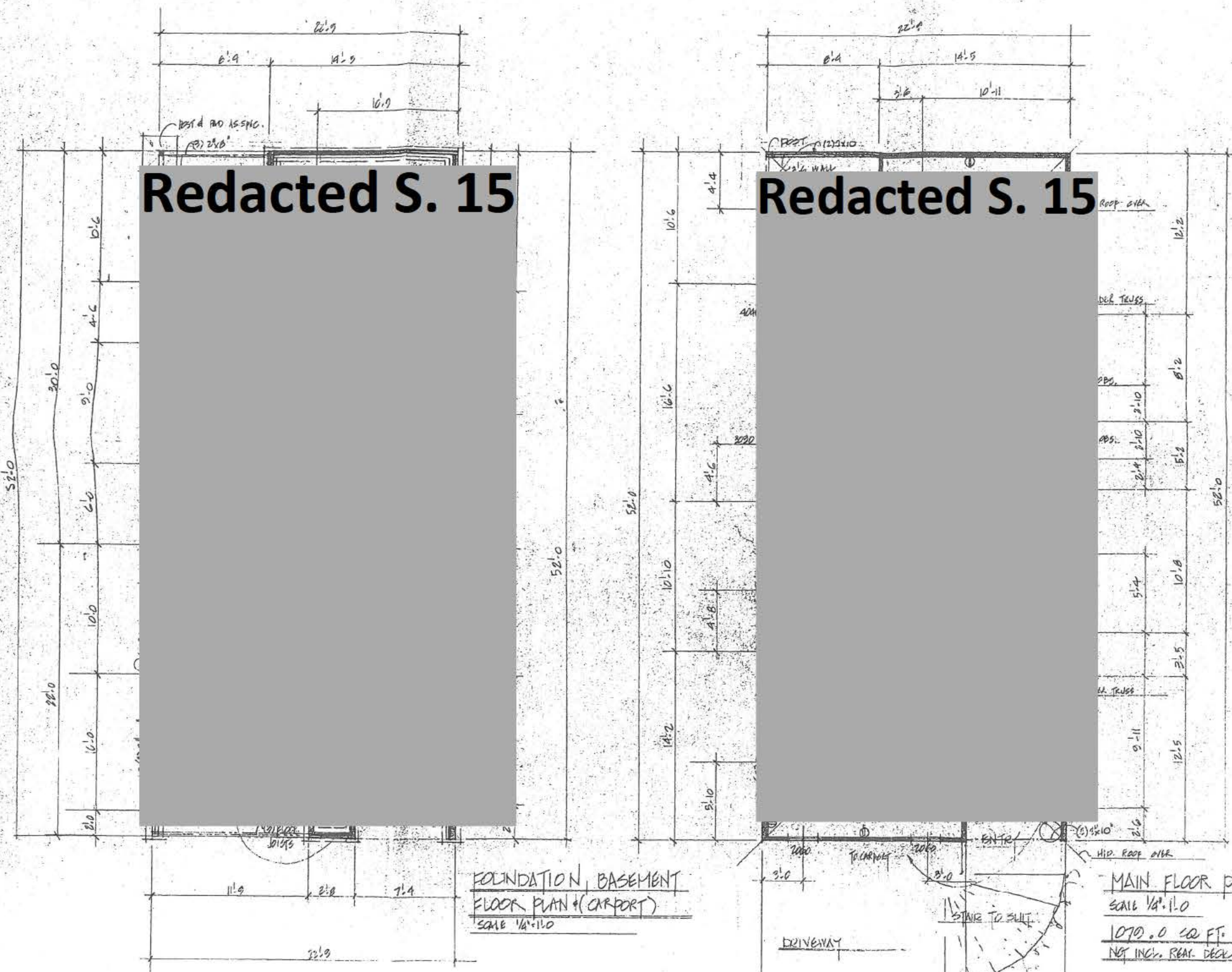
PLAN NO.

DWG. NO. 1

020697

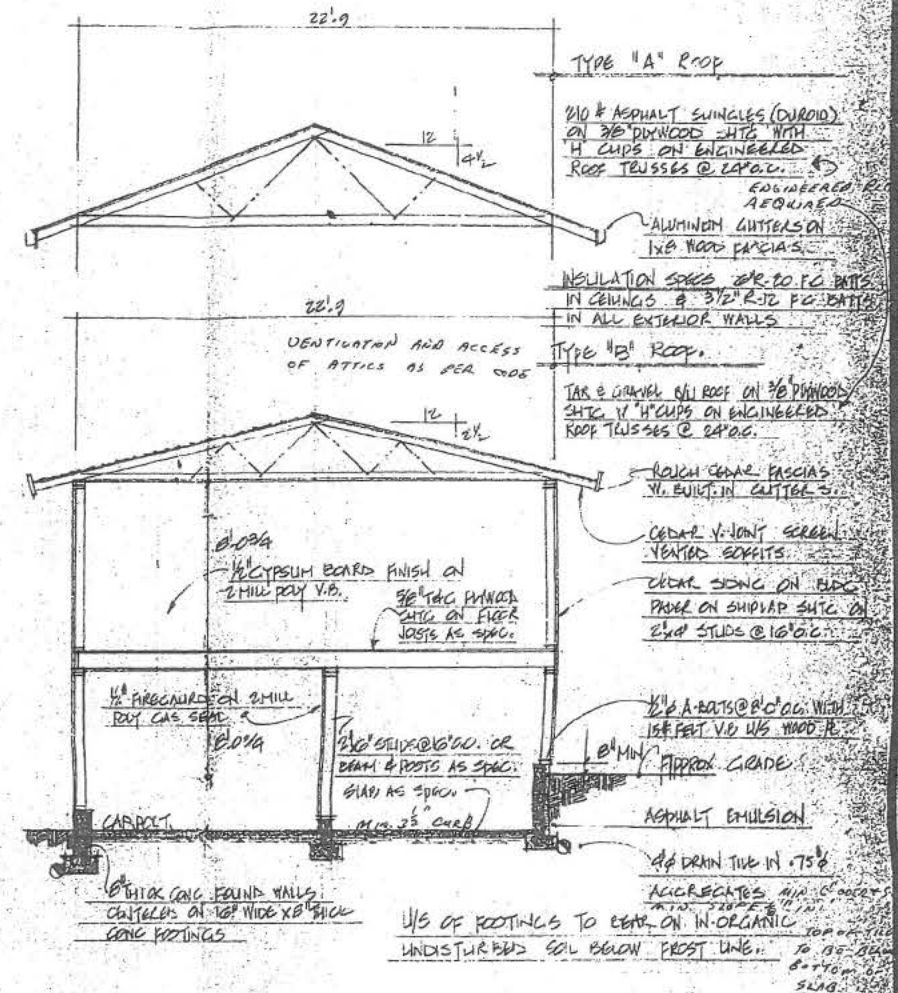
Redacted S. 15

Redacted S. 15



FOUNDATION, BASEMENT FLOOR PLAN (CARPORT) SCALE 1/4"=1'-0"

MAIN FLOOR PLAN SCALE 1/4"=1'-0" 1070.0 SQ. FT. NET INCL. REAR DECK



TYPICAL CONSTRUCTION SECTION THRU RESIDENCE SCALE 1/4"=1'-0"

June 3/77
 RE: 953 Maple
 WHITE ROCK UTILITIES LIMITED
 J.R. Galt

EXISTING ON RECORD

Edward Tierling Designs

596-7875

DESIGN 38'-0" LOT (SIV.)

PLAN NO.

DWG. NO.

2

GENERAL NOTES & SPECIFICATIONS:

CONSTRUCTION TO BE TO THE LATEST EDITION OF THE NATIONAL BUILDING CODE OF CANADA, & TO CONFORM TO LOCAL & PROVINCIAL CODES & BY LAWS WHERE APPLICABLE.

CONSTRUCTION TO BE TO C.M.H.C. STANDARDS ONLY IF SPECIFIED ON ATTACHED C.M.H.C. APPLICATION FORM.

ELECTRICAL & HEATING INSTALLATIONS TO BE TO PROVINCIAL & LOCAL CODES & BYLAWS WHERE APPLICABLE.

HEATING DUCTS (FORCED AIR) & OR BASE BOARD ELECTRIC HEATERS TO BE LOCATED BY BUILDING OR INSTALLATION CONTRACTOR.

INTERIOR FINISHING DETAILS, PAINT SPECIFICATIONS & COLOURS, & FLOOR COVERINGS TO BE TO BUILDERS SPECIFICATIONS & CHOCG.

BUILDING LOCATION AS INDICATED TO BE APPROVED BY MUNICIPAL AUTHORITY HAVING JURISDICTION.

FOUNDATION SIZES SUCH AS WALLS, FOOTINGS, & PIERS/PADS AS SHOWN ARE TO STANDARDS OF GOOD ENGINEERING PRACTICE & N.B.C. BUT MUST BE RE-DETERMINED IF LOCAL SOIL CONDITIONS & AUTHORITIES HAVING JURISDICTION SPECIFY OTHERWISE.

CONTRACTOR TO CHECK & VERIFY ALL DIMENSIONS & CONSTRUCTION DETAILS & PLANS PRIOR TO CONSTRUCTION & NOTIFY DESIGNER OF ANY DISCREPANCIES, ERRORS OR OMISSIONS.

A COMPLETE SET OF THE APPROVED PLANS SHOULD BE KEPT AT THE JOB SITE DURING CONSTRUCTION.

SYMBOLS & ABBREVIATIONS:

CONC.	CONCRETE	⊖	110 VOLT OUTLET
DDS.	DOWNSIDE	⊕	220 VOLT OUTLET OR CONNECTION
U/S.	UNDERSIDE	⊖	⊖ LIGHT SWITCH SINGLE
R.O.	ROOF OUTLET	⊖	⊖ LIGHT SWITCH THREE WAY
FURN.	FURNACE	⊖	⊖ LIGHT PLASTER
HWT.	HOT WATER TANK	⊖	⊖ HOSE BIP
FTCS.	FOOTINGS	⊖	⊖ FLOOR DRAIN
F.D.	FLOOR DRAIN	⊖	⊖ TREES OR PLANTS
V.B.	VAPOR BARRIER	⊖	
TYP.	TYPICAL		
SYM.	SYMBOLICAL		
R.T.	ROUGH IN		
W.C.	WATER CLOSET		
M.B.	MASH BASIN		
R.S.	ROCK & SHELF		
SHW.	SHOWER		
V.A.	VERMILION		
E.B.	EMERALD		
B.G.	BROWN GLASS		
G.L.O.	CAST FROM CLEANOUT		
B.	BIFOLD DOOR		
LIN.	LINEN CLOSET		
B.W.	BROOM CLOSET		
G.L.	GALVANIZED IRON		

spec sheet

CORPORATION OF THE CITY OF WHITE ROCK

PUBLIC WORKS DEPARTMENT

ADDRESS:- 953 MAPLE BUILDING PERMIT #:- 133

HOUSE CONNECTION / APT. CONNECTION COST FOR:-

LOT:- 27 BLOCK:- QUARTER:- SEC.-: TWP:- PLAN:-

ITEM	SIZE	LOCATION	DESCRIPTION	COSTS
SANITARY SEWER:-	4" @ ± 5'	NORTH OF SOUTH EAST CONNECTION:-	INSPECTION:-	\$ 150.00
		CORNER OF PROPERTY	INSPECTION:-	\$ 5.00
	± 4' DEEP		ROAD CROSSING	\$ 100.00
STORM SEWER:-	4" @ ± 3'	NORTH OF SOUTH EAST CONNECTION:-	INSPECTION:-	\$ 50.00
		CORNER OF PROPERTY	INSPECTION:-	\$ 5.00
	± 2' DEEP			
TOTALS:-				\$ 310.00

GENERAL REQUIREMENTS AND/OR REMARKS:- CONFIRM LOCATIONS PRIOR TO CONSTRUCTION. MUST CONFORM TO CITY OF WHITE ROCK SPECIFICATIONS.

DATE:- JUNE 3/77 SIGNATURE:- [Signature] CHECKED BY:- [Signature]

*** MAXIMUM SPAN TABLE FOR TRUSS TYPE 800 FOUR PANEL HOLE DESIGNED IN ACCORDANCE WITH TPIC AND CSA 086

LOADING: TOP CHORD (LL+DL) 30.0 BOTTOM CHORD (LL+DL) 30.0 TOTAL LOAD 60.0 LUMBER INCREASE 1.37

SPACING: 2.00 FT

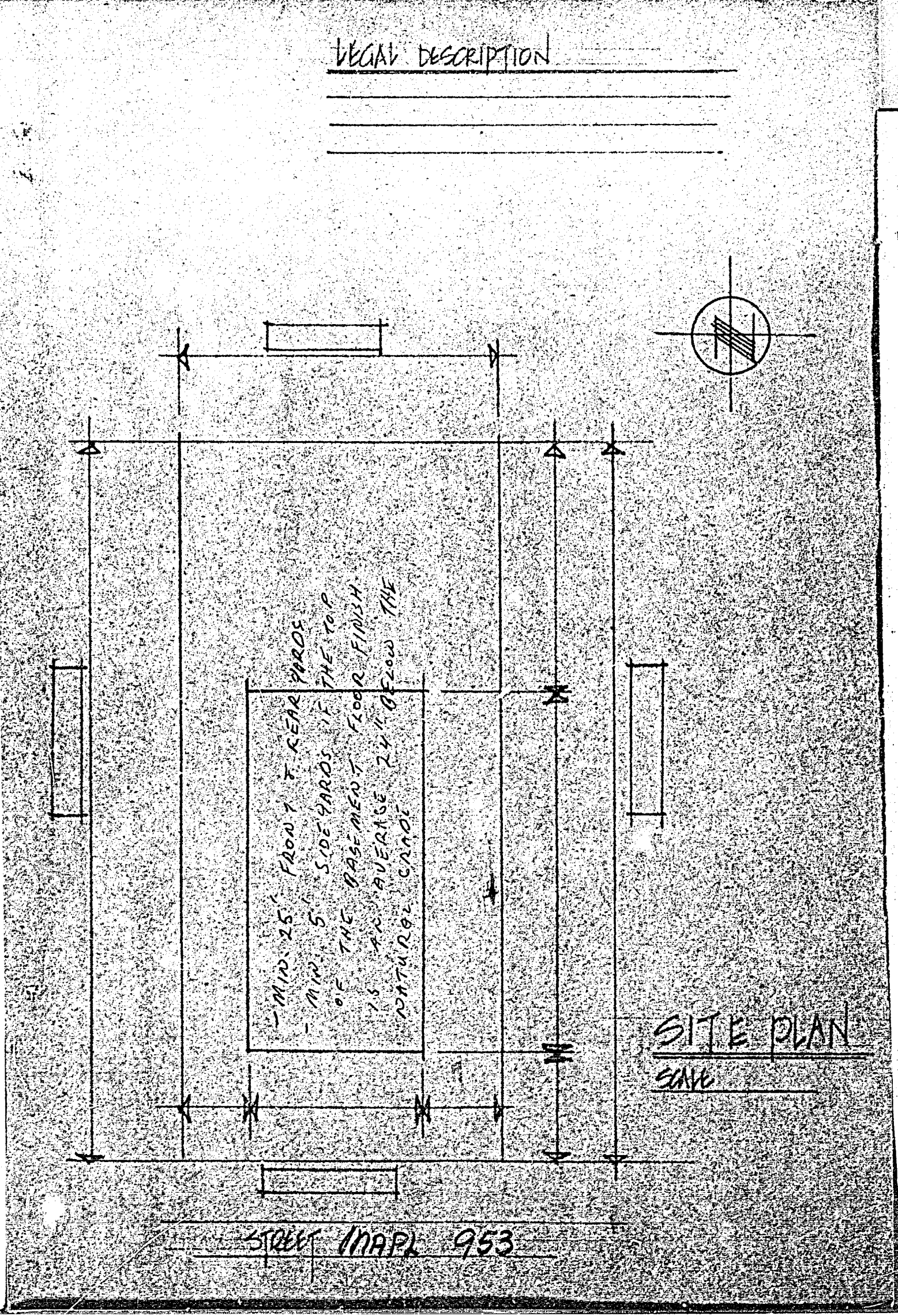
ENGINEERING AS PER ATTACHED SHEETS(S) Address: 953 - Maple St.

LUMBER DESCRIPTION	TOP-CHORD MAXIMUM SPANS IN FT. AND IN.			
	2x4	2x6	2x8	2x10
2x4 NO. 2 SPRUCE	18-6	19-9	21-1	23-0
2x4 NO. 2 HEIN-FIR	19-10	21-3	23-0	25-0
2x4 NO. 2 DOUGLAS FIR	23-2	24-8	26-7	31-0
2x4 NO. 1 SPRUCE	22-4	23-11	25-0	28-0
2x5 NO. 1 SPRUCE	25-2	26-11	28-6	32-0
2x5 NO. 2 HEIN-FIR	27-4	29-0	31-9	35-0
2x5 NO. 1 DOUGLAS FIR	27-11	29-9	32-9	37-0
2x6 NO. 2 SPRUCE	31-3	33-2	35-6	40-0
2x6 NO. 1 SPRUCE	27-0	29-5	32-11	37-0
2x6 NO. 2 HEIN-FIR	29-4	31-3	33-7	39-0
2x6 NO. 1 HEIN-FIR	33-8	35-9	38-0	43-0
2x6 NO. 2 DOUGLAS FIR	34-5	36-7	39-0	45-0
2x6 NO. 1 DOUGLAS FIR	38-7	40-0	42-0	48-0
2x8 NO. 2 SPRUCE	38-5	40-0	42-0	48-0
2x8 NO. 1 SPRUCE	40-0	42-0	44-0	50-0
2x8 NO. 2 HEIN-FIR	40-0	42-0	44-0	50-0
2x8 NO. 1 HEIN-FIR	40-0	42-0	44-0	50-0
2x8 NO. 2 DOUGLAS FIR	40-0	42-0	44-0	50-0
2x8 NO. 1 DOUGLAS FIR	40-0	42-0	44-0	50-0

TRUSS TYPE 800

HYDRO-AIR ENGINEERING (CANADA) LTD.

17474 54th AVENUE SURREY, B.C.



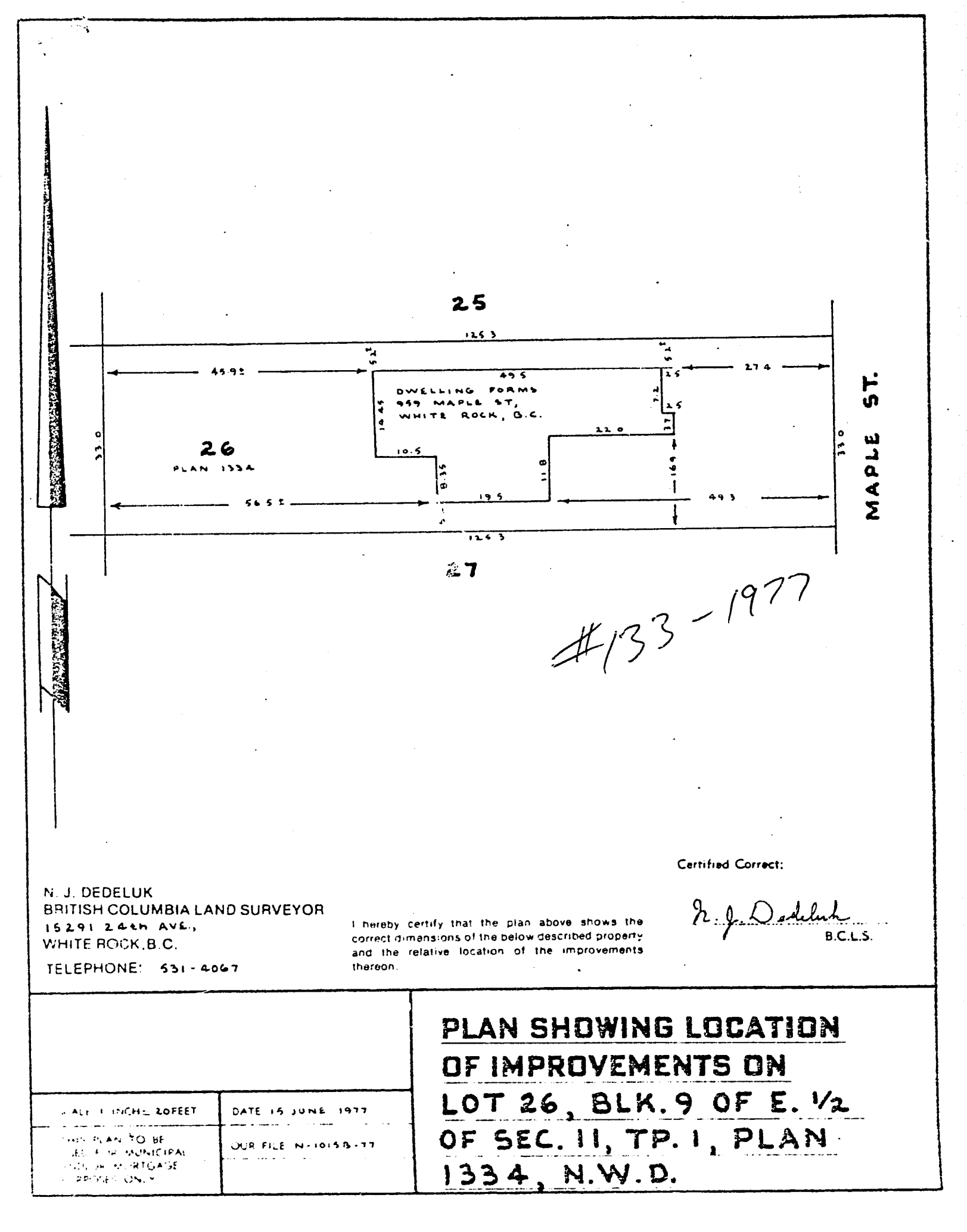
PLATING CONFORMS TO TPIC AND CSA 086

TOP CHORD L1 = 30.0 PSF BOT CHORD L1 = 30.0 PSF TOTAL LOAD = 60.0 PSF

JOIST	POST-TENSION PLATE SIZE	PLATE LOCATION	MAXIMUM SPANS
J01	3" x 6" x 6" PT	20'-2"	20'-2"
J02	3" x 6" x 6" PT	21'-10"	21'-10"
J03	3" x 6" x 6" PT	21'-10"	21'-10"
J04	3" x 6" x 6" PT	21'-10"	21'-10"
J05	3" x 6" x 6" PT	21'-10"	21'-10"
J06	3" x 6" x 6" PT	21'-10"	21'-10"
J07	3" x 6" x 6" PT	21'-10"	21'-10"
J08	3" x 6" x 6" PT	21'-10"	21'-10"
J09	3" x 6" x 6" PT	21'-10"	21'-10"
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J12	3" x 6" x 6" PT	21'-10"	21'-10"
J13	3" x 6" x 6" PT	21'-10"	21'-10"
J14	3" x 6" x 6" PT	21'-10"	21'-10"
J15	3" x 6" x 6" PT	21'-10"	21'-10"
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J30	3" x 6" x 6" PT	21'-10"	21'-10"
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J38	3" x 6" x 6" PT	21'-10"	21'-10"
J39	3" x 6" x 6" PT	21'-10"	21'-10"
J40	3" x 6" x 6" PT	21'-10"	21'-10"
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J46	3" x 6" x 6" PT	21'-10"	21'-10"
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J97	3" x 6" x 6" PT	21'-10"	21'-10"
J98	3" x 6" x 6" PT	21'-10"	21'-10"
J99	3" x 6" x 6" PT	21'-10"	21'-10"
J100	3" x 6" x 6" PT	21'-10"	21'-10"

HYDRO-AIR ENGINEERING (CANADA) LTD.

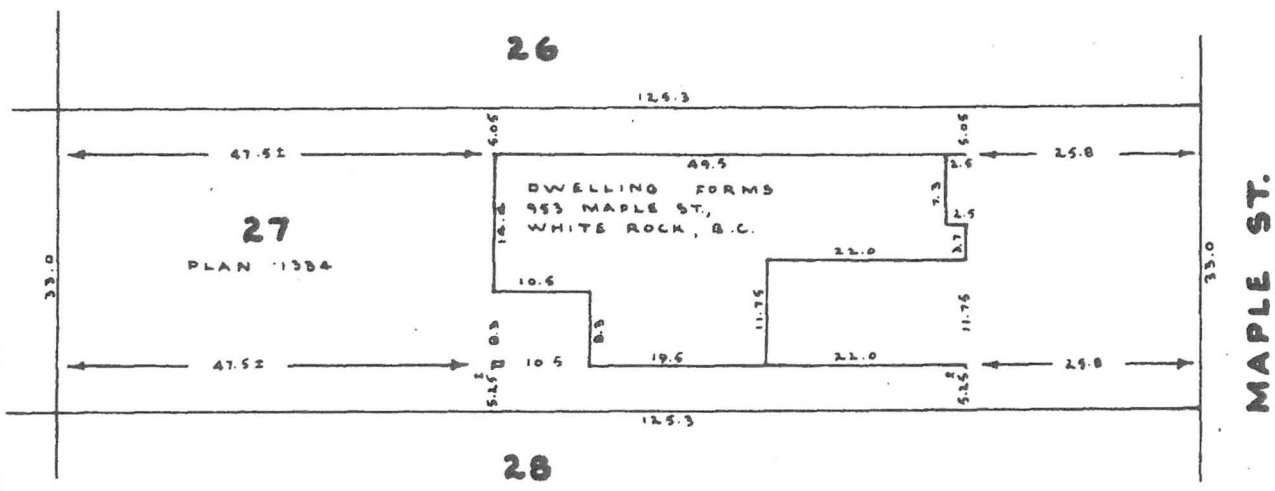
17474 54th AVENUE SURREY, B.C.



953 MAPLE ST.

EXISTING ON FILE

020697



N. J. DEDELUK
 BRITISH COLUMBIA LAND SURVEYOR
 15291 24th AVE.,
 WHITE ROCK, B.C.
 TELEPHONE: 531-4067

I hereby certify that the plan above shows the correct dimensions of the below described property and the relative location of the improvements thereon.

Certified Correct:

N. J. Dehluk
 B.C.L.S.

**PLAN SHOWING LOCATION
 OF IMPROVEMENTS ON
 LOT 27, BLK. 9 OF E. 1/2
 OF SEC. II, TP. I, PLAN
 1334, N.W.D.**

SCALE 1 INCH = 20 FEET

DATE 15 JUNE 1977

THIS PLAN TO BE
 USED FOR MUNICIPAL
 AND/OR MORTGAGE
 PURPOSES ONLY.

OUR FILE N-1019 A-77

DP

Plumbing

CORPORATION OF THE CITY OF WHITE ROCK BUILDING INSPECTION DEPARTMENT

Address 953 Maple St. Date July 14th 19 77

Owner Carl Blomkvist Owner's Address

Contractor Olson Plbg. & Htg. Address 2257 153A St., Surrey

No. of Fixtures Permit No. #1100

11

July 16/77
1st Inspection rough D.D. & water in house passed Re
at 13/77, check valve on water service,
2nd Inspection Dishwasher not connected, Water Meter location? Re

Final Inspection

Remarks

WHITE ROCK BUILDING BY-LAW NO. 578

SCHEDULE "B"

THE CORPORATION OF THE CITY OF WHITE ROCK

INSPECTION DEPARTMENT

OCCUPANCY PERMIT

(Issued pursuant to Section 21 of By-law No. 578)

Address of Building: 953 Maple Street

Legal Description: Lt.27 Bk.9 E½ Sec.11 T.1 Pl.1334

Approved Occupancy: Single Family Dwelling

The building constructed under authority of Building Permit
No. #133 (1977) may now be occupied.

It is unlawful to change the class of occupancy of any
building or part thereof without first obtaining an
occupancy permit from the Building Inspector.

This certificate must be affixed to a conspicuous and permanent
place in the said building and shall not be removed.

B. W. Hall

Building Inspector

Per: _____

Date: March 2nd, 1978

CLIENT: Duradek
8288-129th Street
Surrey, British Columbia, Canada V3W 0A6
Attn: Len Viegener

Report Excerpt
with comments

Test Report No: RJ0449P-1R1	Date: February 18, 2011
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SUBJECT: Physical Testing on Duradek PVC Roofing and Waterproofing Membrane

SAMPLE ID: The following material was sampled at the client's facility by a QAI representative on November 12, 2009:

One roll of Duradek Ultra 60 mil, Roll #7, PO #83513.

DATE OF RECEIPT: Samples were received on December 4, 2009.

TESTING PERIOD: December 15, 2009 through October 30, 2010.

AUTHORIZATION: Signed QAI Test Proposal No. QU-2009-10086a dated October 22, 2009.

TEST PROCEDURE: Testing was performed in accordance with National Standard of Canada CAN/CGSB-37.54-95, Polyvinyl Chloride Roofing and Waterproofing Membrane for Type 3, Class B Membranes.

TEST RESULTS: Test results are provided on the ~~subsequent pages of this report.~~ **On Request**

FINDINGS: The sampled Duradek Ultra 60 mil, PVC Roofing and Waterproofing Membrane demonstrated compliance with National Standard of Canada CAN/CGSB-37.54-95, Polyvinyl Chloride Roofing and Waterproofing Membrane for Type 3, Class B Membranes.

Prepared By



Larry Burmer
Project Specialist

Signed for and on behalf of
QAI Laboratories Inc.



Andrew Tan, P.E.
Lab Manager

John curran neville graham & assoc inc.

CIVIL ENGINEERS

020639

Unit 74, 15515-24 Ave, Suite 201
Surrey V4A 2J4

Tel (604) 536 - 1621
Fax (604) 536 - 1621
nga@paralynx.com

REVIEW REPORT

Review Date: 2/12/2020
Time:

Site Address 953 Maple St, White Rock.

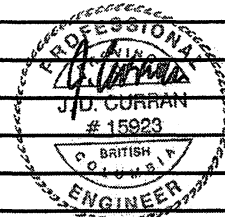
Project Name: Upper Floor Porch Structural.

Project Number: 1049.08

Comments:

This is to confirm that I have reviewed the structural framing, and decking currently being constructed, and I can confirm that the work is soundly constructed and in accordance with the design drawing.

J. Curran



Technical Memo

August 27, 2020

020639

Valley Project No.: 44951-01

To:	Redacted S. 22	Email:	Redacted S. 22
Cc:		Telephone:	
From:	Joel Blanco, P.Eng. Narayan Abhyankar, FEC, P.Eng.	Page(s):	4 including attachments
Regarding:	Existing Rear Deck and Proposed Front Deck		
Site Address:	953 Maple Street, White Rock, BC		

INTRODUCTION

This letter has been prepared in response to your request regarding the existing rear deck and proposed front deck at the site mentioned above. As the subject site is located within the Landslide Assessment Area, we understand that the City of White Rock requires a geotechnical letter to be prepared for a permit application to address the geotechnical concerns (i.e., White Rock Building Bylaw Section 11.3).

SLOPE STABILITY

We understand that the existing deck was built approximately ten years ago and without a building permit. Another deck is proposed at the front of the house. The proposed deck will be attached at the frontage of the existing residence and approximately 10m² in plan area (see attached site plan). Based on the White Rock Online Mapping System, the slope gradient on the site is approximately 4 percent. Maple Street (i.e., the frontage road) slopes north to south with a gradient of approximately 10 percent.

Valley Geotechnical Engineering conducted a site reconnaissance on August 21, 2020. The existing residence is a two-story at grade wooden structure. During our site visit, no visible slope instability signs were observed.

According to the published Geological Survey of Canada 1484A, the native subsurface soil is of Capilano Sediments (Cd), which contains marine and glaciomarine till like deposits. Valley Geotechnical Engineering Services Ltd. (Valley Geo) has completed several geotechnical investigations in the vicinity. The soil profile, in descending order, generally consists of:

- Surficial loose organic topsoil and surficial sand and gravel up to 2m thick,
- Very dense sandy silt (till-like) to the maximum depth explored.

Valley Geo has local experience on several projects in the vicinity of the subject site. The files of the projects were reviewed in conjunction with the preparation of this report. The files are listed below:

- 982 Lee Street, Single-Family
- 932 Keil Street, Single-Family
- 938 Lee Street, Single Family House Addition
- 923 Lee Street, Single-Family

A review of these files concluded no slope stability issues were present in the general vicinity.

Based on the above information and in accordance with the "EGBC Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia, revised May 2010", Valley Geo is the opinion that the existing rear deck and the proposed front deck would not negatively impact the current stability of the slope.

We trust the above meets your present requirements; please contact us if you have any questions.

Yours truly,

Valley Geotechnical Engineering Services Ltd.

Reviewed by:



Joel F. Blanco, P.Eng.
Geotechnical Engineer

Narayan Abhyankar, FEC, P.Eng.
Principal Senior Geotechnical Engineer

Attachments:

Photos
Site Plan (Raymond S. Bonter, Designer Ltd.)

VGES-PROJECTS\44900\44951-01\REPORTS\44951-01) 2020-08-27 Geo Lette20090422r.doc



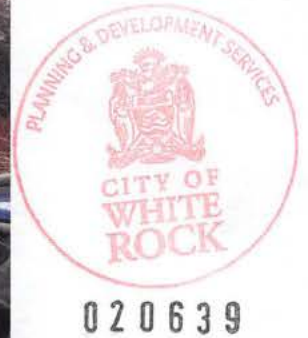
Technical Memo



Existing Rear Deck



Location of the Proposed Front Deck





Unit 15 - 20279 97th Avenue
Langley, BC, V1M 4B9

Technical Memo

August 27, 2020

020697

Valley Project No.: 44951-01

To: **Redacted S. 22** Email **Redacted S. 22**

Cc: Telephone: **Redacted S. 22**

From: Joel Blanco, P.Eng. Page(s): 4 including attachment
Narayan Abhyankar, FEC, P.Eng.

Regarding: Existing Rear Deck and Proposed Front Deck

Site Address: 953 Maple Street, White Rock, BC

INTRODUCTION

This letter has been prepared in response to your request regarding the existing rear deck and proposed front deck at the site mentioned above. As the subject site is located within the Landslide Assessment Area, we understand that the City of White Rock requires a geotechnical letter to be prepared for a permit application to address the geotechnical concerns (i.e., White Rock Building Bylaw Section 11.3).

SLOPE STABILITY

We understand that the existing deck was built approximately ten years ago and without a building permit. Another deck is proposed at the front of the house. The proposed deck will be attached at the frontage of the existing residence and approximately 10m² in plan area (see attached site plan). Based on the White Rock Online Mapping System, the slope gradient on the site is approximately 4 percent. Maple Street (i.e., the frontage road) slopes north to south with a gradient of approximately 10 percent.

Valley Geotechnical Engineering conducted a site reconnaissance on August 21, 2020. The existing residence is a two-story at grade wooden structure. During our site visit, no visible slope instability signs were observed.

According to the published Geological Survey of Canada 1484A, the native subsurface soil is of Capilano Sediments (Cd), which contains marine and glaciomarine till like deposits. Valley Geotechnical Engineering Services Ltd. (Valley Geo) has completed several geotechnical investigations in the vicinity. The soil profile, in descending order, generally consists of:

- Surficial loose organic topsoil and surficial sand and gravel up to 2m thick,
- Very dense sandy silt (till-like) to the maximum depth explored.

Valley Geo has local experience on several projects in the vicinity of the subject site. The files of the projects were reviewed in conjunction with the preparation of this report. The files are listed below:

- 982 Lee Street, Single-Family
- 932 Keil Street, Single-Family
- 938 Lee Street, Single Family House Addition
- 923 Lee Street, Single-Family

A review of these files concluded no slope stability issues were present in the general vicinity.

Based on the above information and in accordance with the "EGBC Guidelines for Legislated Landslide Assessments for Proposed Residential Development in British Columbia, revised May 2010", Valley Geo is the opinion that the existing rear deck and the proposed front deck would not negatively impact the current stability of the slope.

We trust the above meets your present requirements; please contact us if you have any questions.

Yours truly,

Valley Geotechnical Engineering Services Ltd.

Reviewed by:



Joel F. Blanco, P.Eng.
Geotechnical Engineer

Narayan Abhyankar, FEC, P.Eng.
Principal Senior Geotechnical Engineer

Attachments:

Photos
Site Plan (Raymond S. Bonter, Designer Ltd.)

VGES-PROJECTS\44900\44951-01\REPORTS\44951-01) 2020-08-27 Geo Lette20090422r.doc



Technical Memo



Existing Rear Deck



Location of the Proposed Front Deck



020697

OFFICE COPY

888 - 959 - 152nd STREET
 SOUTH SURREY, B.C. V4A 3E3
 PHONE: 604-535-3372 FAX: 1-866-454-4271
 E-MAIL: info@raymondsonterdesigner.ca

THIS PROPERTY FALLS WITHIN THE CITY OF WHITE ROCK'S LANDSLIDE ASSESSMENT AREA AND IS SUBJECT TO A GEOTECHNICAL LANDSLIDE ASSESSMENT REPORT

DESIGN BY RAYMOND S. BONTER, DESIGNER LTD.

PROJECT INFORMATION

CLIENT NAME	S. 22
PROPERTY OWNER	1953 MAPLE STREET WHITE ROCK B.C.
SITE ADDRESS	PROPOSED NEW DECK AND REGISTER AS-BUILT DRAWINGS
PROJECT TYPE	CITY OF WHITE ROCK
AUTHORITY HAVING JURISDICTION	1, T. 71, B.L.K. 5 & 1/2 OF SEC. 10, N.W. 1/4, PL. NURD34/TOP1
LEGAL DESCRIPTION	NO
TITLE SEARCH COMPLETED	NO
ZONE	R5-3 ZONING BY LAW 2000 2013
SUBDIVISION	INFILL LOT
DESIGN CONTROL CONSULTANT	NOT REQUIRED
BUILDER	TRD

ZONING ANALYSIS

SETBACKS	FRONT YARD	REAR YARD	SIDE YARD	FLANKING ST.
PRINCIPAL BUILDING	5.843 (3.0m) (1)	5.843 (3.0m) (1)	3.937 (2m) (2)	5.843 (3.0m) (3)
ACCESSORY BUILDING	NOT ALLOWED (4.5) (1.5m)	3.937 (2m) (2)	5.843 (3.0m) (3)	5.843 (3.0m) (3)

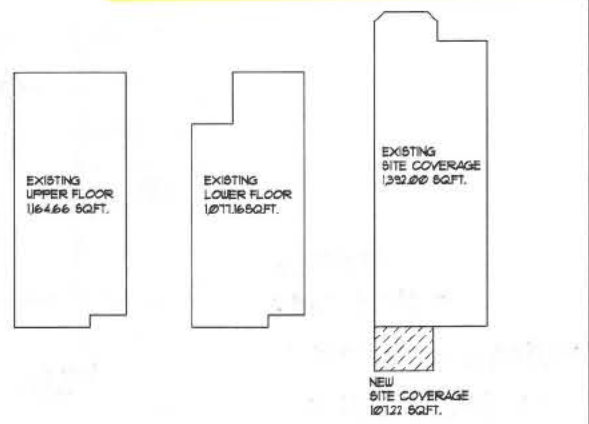
SPECIAL SETBACK NOTES:
 (1) FRONT AND REAR YARD IN COMBINATION TO BE NO LESS THAN 3.937' (2.0m).
 (2) INTERIOR SIDE YARD ABUTTING A LAKE IS MINIMUM 1.874' (2.0m).
 (3) 5.843 (3.0m) FOR A DISTANCE OF 24.606' (7.5m) FROM THE FRONT LOT LINE, THEN 4.5' (1.5m).

PERMITTED PROJECTIONS	FRONT YARD	REAR YARD	NT. SIDE YARD	EXT. SIDE YARD
ARCH FEATURES AND CORNICES (1)	1' (0.30m)	1' (0.30m)	1' (0.30m)	1' (0.30m)
CLADDING AND RAINSCREEN (1)	0.375 (0.09m)	0.375 (0.09m)	0.375 (0.09m)	0.375 (0.09m)
BAY BOULDER WINDOWS (1)	1.57 (0.60m)	1.57 (0.60m)	NOT PERMITTED	1.57 (0.60m)
FRONT PORCH ROOF (2)	3.54 (2.0m)	NOT PERMITTED	NOT PERMITTED	3.54 (2.0m)
BALC, DECKS, PATIOS, STEPS (3)	0.89 (2.0m)	0.89 (2.0m)	NOT PERMITTED	4.57 (1.0m)
EAVES, GUTTERS, SILLS, SHADES (4)	3.54 (2.0m)	3.54 (2.0m)	1.57 (0.60m)	3.54 (2.0m)
CHIMNEYS AND FIREPLACES (5)	1.57 (0.60m)	1.57 (0.60m)	NOT PERMITTED	1.57 (0.60m)

PERMITTED PROJECTIONS NOTES:
 (1) BAY BOULDER AND ROCK WINDOWS AND CANTILEVERS MAY PROJECT A MAXIMUM OF 0.61M (2FT) INTO A FRONT, REAR OR EXTERIOR SIDE YARD SETBACK AREA (BUT NOT AN INTERIOR SIDE YARD SETBACK AREA) PROVIDED THAT SUCH PROJECTION SHALL ONLY APPLY TO THE PROJECTED FEATURE, SHALL NOT COMPRISE MORE THAN 1/3RTH (33%) OF LINEAR DISTANCE OF ANY WALL, AND PROVIDED THAT THE PROJECTED FEATURE IS LOCATED AT LEAST 2.44M (8FT) FROM THE FRONT, REAR OR EXTERIOR SIDE LOT LINE.
 (2) BAY WINDOWS MAY CONTAIN A CANTILEVERED FLOOR (INCLUDED IN FAR) BUT NO FOUNDATION.
 (3) STRUCTURES TO PROVIDE WEATHER PROTECTION OVER THE MAIN PEDESTRIAN ENTRANCE MAY PROJECT A MAXIMUM OF 1.2M (4FT) INTO A REQUIRED FRONT OR EXTERIOR SIDE YARD PROVIDED IT MUST BE AT LEAST 2.44M (8FT) FROM A FRONT OR EXTERIOR SIDE LOT LINE. THIS IS FOR CANTILEVERED OR WALL HANG ELEMENTS ONLY, NOT INCLUDING POSTS.
 (4) BALCONIES, DECKS, ELEVATED PATIOS OR STEPS MAY PROJECT BEYOND THE FACE OF THE PRINCIPAL BUILDING TO A MAXIMUM OF 1M INTO AN EXTERIOR SIDE YARD SETBACK AND/OR 2M INTO A FRONT OR REAR YARD SETBACK, WHERE THE SETBACK BEING ENCLOSED INTO IS A MINIMUM OF 5.66M. ANY OF THESE ELEMENTS LOCATED LESS THAN 2M ABOVE FINISHED GRADE CAN BE LOCATED ANYWHERE ON THE PROPERTY.
 (5) EAVES AND GUTTERS, CORNICES, SILLS AND SUN SHADES MAY PROJECT A MAXIMUM OF 1.2M (4FT) INTO A REQUIRED INTERIOR SIDE YARD SETBACK, AND 1.2M (4FT) INTO A FRONT, REAR OR EXTERIOR SIDE YARD SETBACK PROVIDED THAT WHERE AN EXISTING SIDE YARD SETBACK REQUIRED IS LESS THAN 3.0M (9.84FT), THE MAXIMUM PROJECT PERMITTED IS 0.61M (2FT).

- GENERAL PROJECT NOTES**
- DIMENSIONS TO BE TAKEN FROM OUTSIDE FACE OF SHEATHING FOR EXT. WALLS AND CENTRE ON FACE OF STUDS FOR INT. WALLS AS SHOWN.
 - ALL HEIGHT DIMENSIONS ON FLOOR PLANS ARE FROM TOP OF FLOOR FINISHED TO THE PROJECTED FEATURE, SHALL NOT COMPRISE MORE THAN 1/3RTH (33%) OF LINEAR DISTANCE OF ANY WALL, AND PROVIDED THAT THE PROJECTED FEATURE IS LOCATED AT LEAST 2.44M (8FT) FROM THE FRONT, REAR OR EXTERIOR SIDE LOT LINE.
 - THE OWNER AND/OR CONTRACTOR IS TO ENSURE THAT THE LANDSCAPING MEETS THE REQUIREMENTS OF THE APPLICABLE BY-LAWS AND REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION. NECESSARY UTILITIES PLANTING BEING AROUND THE BUILDINGS TO ENSURE THE FINISHED LOT GRADING BLENDS INTO THE EXISTING LOT GRADING.
 - BRING FOOTINGS TO UNDISTURBED, SOUND BEARING SOIL BELOW FROSTLINE (1' MIN. BELOW GRADE).
 - APPLY ADMIXT. BELLISON TO FOUNDATION WALLS BELOW GRADE.
 - FOUNDATION CONCRETE STRENGTH TO BE MIN. 20 MPa.
 - INTERIOR SLAB CONCRETE STRENGTH TO BE MIN. 20 MPa.
 - EXTERIOR SLAB CONCRETE STRENGTH TO BE MIN. 30 MPa WITH 5-8% AIR ENTRAINMENT.
 - LIFTERS IN CONTACT WITH CONCRETE TO BE DAMPROOFED, AND ANCHORED WITH 1/2" A.B. # 8-2" O.C. MAX.
 - STRUCTURAL LIFTER TO BE 1/2" D.I.P.R. UNO.
 - LIFTERS TO BE 2-24R D.I.P.R. UNO.
 - PROVIDE SOLID LAMINATED STUDDING # BEARING POINTS.
 - DOUBLE JOISTS # PARALLEL PARTITIONS (OPT. 2ND BLOCKING # 24" O.C.).
 - BEDROOM WINDOWS MUST CONFORM TO B.C. B.C. SEC. 5113.
 - DWELLING MUST MEET CURRENT B.C. VENTILATION CODE.
 - MIRROR DOORS ARE NOT PERMITTED # BALK-IN CLOSETS.
 - LINO OR EQUAL REQ'D ON BATHROOM FLOORS.
 - WATERPROOF WALLBOARD REQ'D AT TILE SURROUNDS # TUBS AND SHOWERS.
 - PROVIDE A BOND-BREAKING MATERIAL BETWEEN FOUNDATION OR ROCK AND SLABS.
 - IN SURREY FOLDING PANEL DOORS MUST BE COVERED BY A ROOF OR FLOOR AND

ORIGINAL BUILDING PERMIT DRAWINGS ISSUED ARE REQUIRED TO BE ON-SITE DURING THE ENTIRE DURATION OF THE CONSTRUCTION



BUILDING HEIGHT

PRINCIPLE BLDG ALLOWED	15.24' (4.6m)
ACCESSORY BLDG ALLOWED	15.2' (4.6m)
PRINCIPLE BLDG PROPOSED	15.2' (4.6m)
ACCESSORY BLDG PROPOSED	15.2' (4.6m)

GEODETIC ELEVATIONS

ROOF PEAK ELEV.	
ROOF MEAN ELEV.	
UPPER FLOOR CEILING ELEV.	
UPPER FLOOR FLOORWOOD ELEV.	
MAIN FLOOR FLOORWOOD ELEV.	
GARAGE SLAB & ENTRY ELEV.	
AVERAGE NATURAL GRADE	
BASEMENT SLAB ELEV.	

BUILDING HEIGHT NOTES:
 - HEIGHT IS TO THE HIGHEST POINT OF THE BUILDING FROM THE AV. NATURAL GRADE.
 - ANGLE OF CONTAINMENT APPLIES: SOUTH WALL TO BE NO HIGHER THAN 1/400 (0.25%) FROM THE GRADE AT THE MID POINT OF THE WALL, THEN SLOPE BACK AT A 45 DEGREE ANGLE. NOTHING EXCEPT OPEN TIE BALCONY GUARDS CAN GO THROUGH THE ANGLE OF CONTAINMENT. THE GRADE AT THE MID POINT OF THE SOUTH WALL DOES NOT INCLUDE DECKS.

DRIVEWAY REQUIREMENTS:
 - ELEVATED DRIVEWAYS MUST BE 10% UP FROM ROAD TO MIN. 7%
 - LOT MAY BE ACCESSED FROM BOTH LAINE OR FRONTING ROAD.
 - PERMIT DRAWINGS MUST INCLUDE A SECTION THROUGH THE DRIVEWAY.

PARKING REQUIREMENTS:
 - EACH SINGLE FAMILY DWELLING REQUIRES TWO OFF STREET PARKING SPACES.
 - EACH SECONDARY SUITE REQUIRES ONE OFF STREET PARKING SPACE.
 - EACH OFF STREET PARKING SPACE MUST BE MINIMUM 8.5' (2.6m) x 5.0' (1.5m).

SITE SERVICES:
 - PERIMETER DRAINAGE BELOW THE PROVIDED STORM SERVICE CAN BE PUMPED W/ COVENANT.
 - RAIN WATER LEADER SYSTEM TO BE SEPARATE AND CAN BE GRAVITY FED TO STORM SERVICE.
 - IF SANITARY CAN BE GRAVITY FED # 2% TO HEIGHT AT E THEN IT WON'T HAVE TO BE PUMPED.

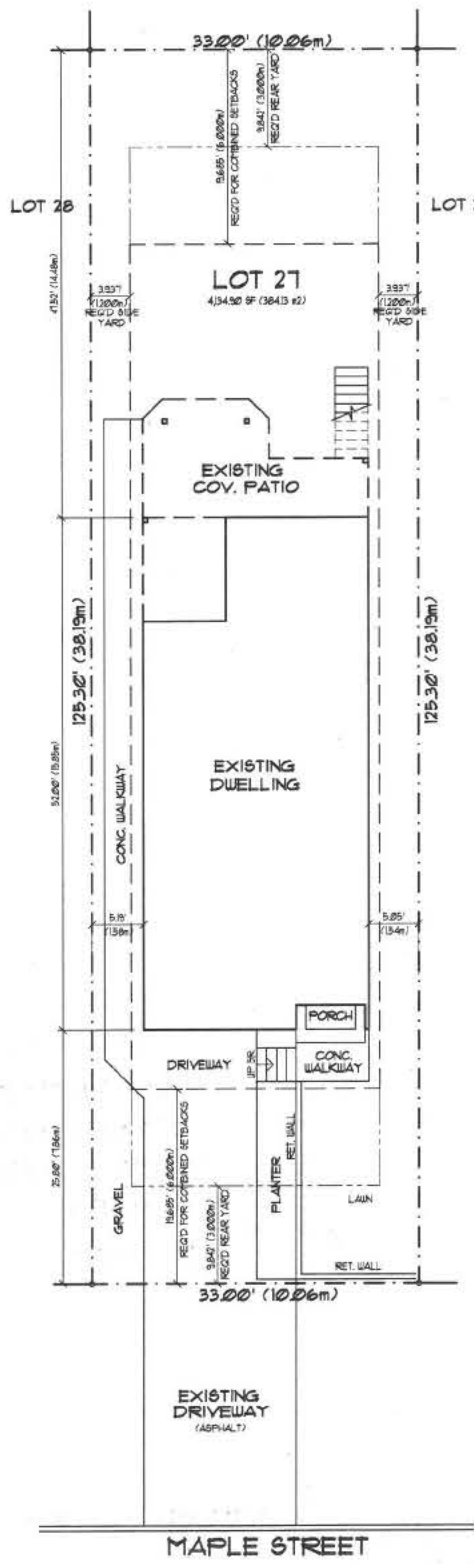
SECONDARY SUITES:
 - THE MAXIMUM FLOOR AREA OF A SECONDARY SUITE IS 968 SF (90 sqm) AND MAY ONLY CONTAIN NOT MORE THAN TWO BEDROOMS.
 - ONLY ONE SECONDARY SUITE IS PERMITTED PER RESIDENTIAL LOT INCLUDING COACH HOUSE.
 - THE ADDITIONAL OFF STREET PARKING SPACE CANNOT BLOCK ACCESS TO THE TWO REQUIRED OFF STREET PARKING SPACES FOR THE PRINCIPAL DWELLING.
 - A SEPARATE HINGED ACCESS DOOR MUST BE PROVIDED. SLIDING DOORS ARE NOT ALLOWED.
 - SUITE MUST BE REGISTERED THROUGH THE CITY'S REGISTERED SUITE PROGRAM.

SPRINKLERS:
 - ALL HOMES IN WHITE ROCK REQUIRE SPRINKLERS.
 - AREA OF UNPROTECTED OPENINGS DOUBLES WITH USE OF SPRINKLERS.

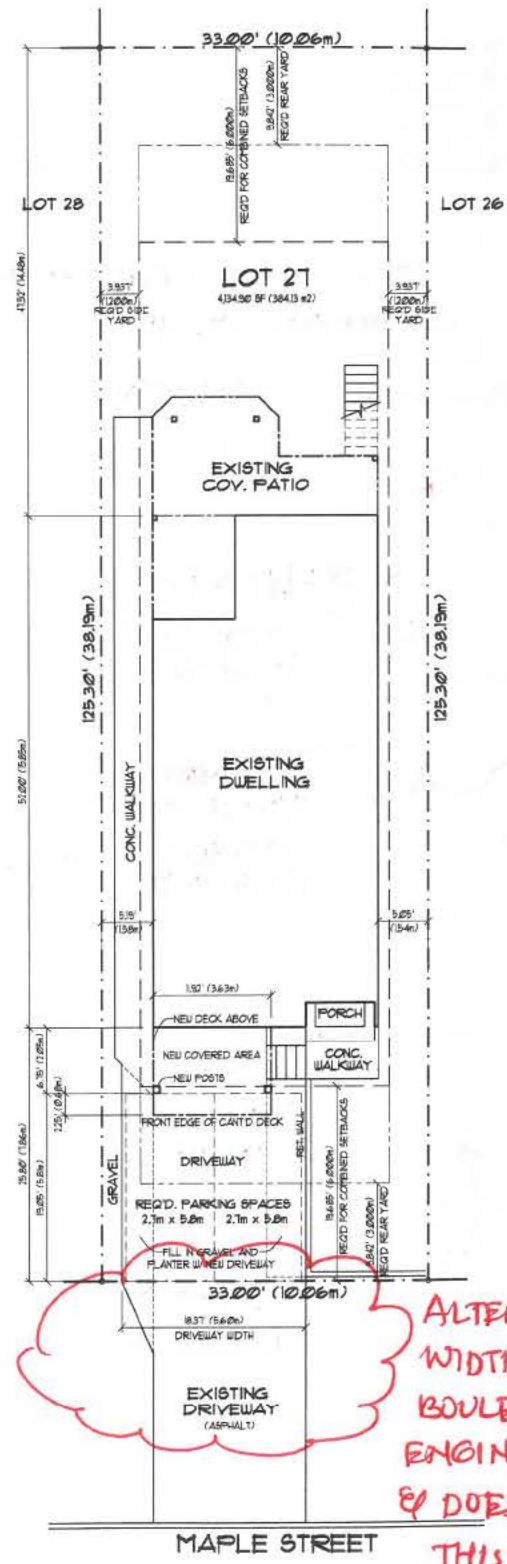
TREE PROTECTION:
 - ALL TREES GREATER THAN 15cm ARE PROTECTED. TREES TO BE REMOVED REQUIRE A PERMIT.
 - TREES ON PUBLIC PROPERTY (BOULEVARDS) ARE ALWAYS PROTECTED AND MAY ONLY BE REMOVED WITH A TREE CUTTING PERMIT.
 - TREES TO REMAIN REQUIRE TREE PROTECTION FENCING AND ARE LIMITED IN THE AROUND THE TRUNK OR ROOTS ARE PRUNED.

RENOVATION/ADDITION UPGRADES:
 - IF 25% OF THE CURRENT FINISHED LIVING AREA IS ADDED AS AN ADDITION THEN THE ENTIRE HOME MUST BE RETROFITTED WITH SPRINKLERS.
 - IF THE VALUE OF CONSTRUCTION IS GREATER THAN 50% OF THE ASSESSED VALUE OF THE EXISTING HOUSE THEN THE ENTIRE HOUSE MUST BE BROUGHT UP TO CURRENT CODE STANDARDS.

GEOTECHNICAL ASSESSMENT:
 - IF THE LOT FALLS WITHIN THE GEOTECHNICAL LANDSLIDE ASSESSMENT ZONE AS INDICATED ON THE MAP IN THE BUILDING BY-LAW THEN A GEOTECHNICAL ASSESSMENT MUST BE PROVIDED WITH ALL PERMIT APPLICATIONS.
 - THIS LOT IS WITHIN THE GEOTECHNICAL ASSESSMENT ZONE. A GEOTECH WILL BE REQUIRED.



EXISTING SITE PLAN
 SCALE 1/8" = 1'-0"



PROPOSED SITE PLAN
 SCALE 1/8" = 1'-0"

ALTERATION TO DRIVEWAY WIDTH AT PL & WORKS IN BOULEVARD REQUIRE ENGINEERING DEPT'S APPROVAL & DOES NOT FORM PART OF THIS BP APPLICATION.



The review of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

SMITH - AS-BUILTS 4 DECK ADDITION COPYRIGHTED
 THESE DRAWING COPIES OR ANY COPIES THEREOF MAY ONLY BE ISSUED BY RAYMOND S. BONTER DESIGNER LTD. MAY ONLY BE USED FOR THE DESIGNATED PURPOSE INDICATED. THE REVIEW OF THESE DRAWINGS UNDERSTANDING THAT RAYMOND S. BONTER DESIGNER LTD. WILL BE RESPONSIBLE FOR THEIR WORK ONLY TO THE EXTENT OF THE ORIGINAL CORRECTED COPIES IN THE EVENT OF AN ERROR OR OMISSION OF THE SAME.
 AND ALL WORK DONE BY RAYMOND S. BONTER DESIGNER LTD. IS ALL FUNDS PAID ARE NON-REFUNDABLE.

AS-BUILT DRAWINGS AND PROPOSED DECK ADDITION TO SMITH RES.

THESE PLANS CONFORM TO THE B.C. BUILDING CODE, 2018 ED. INCLUDING ALL REVISIONS

SITE PLAN, SCHEMATICS, INFO

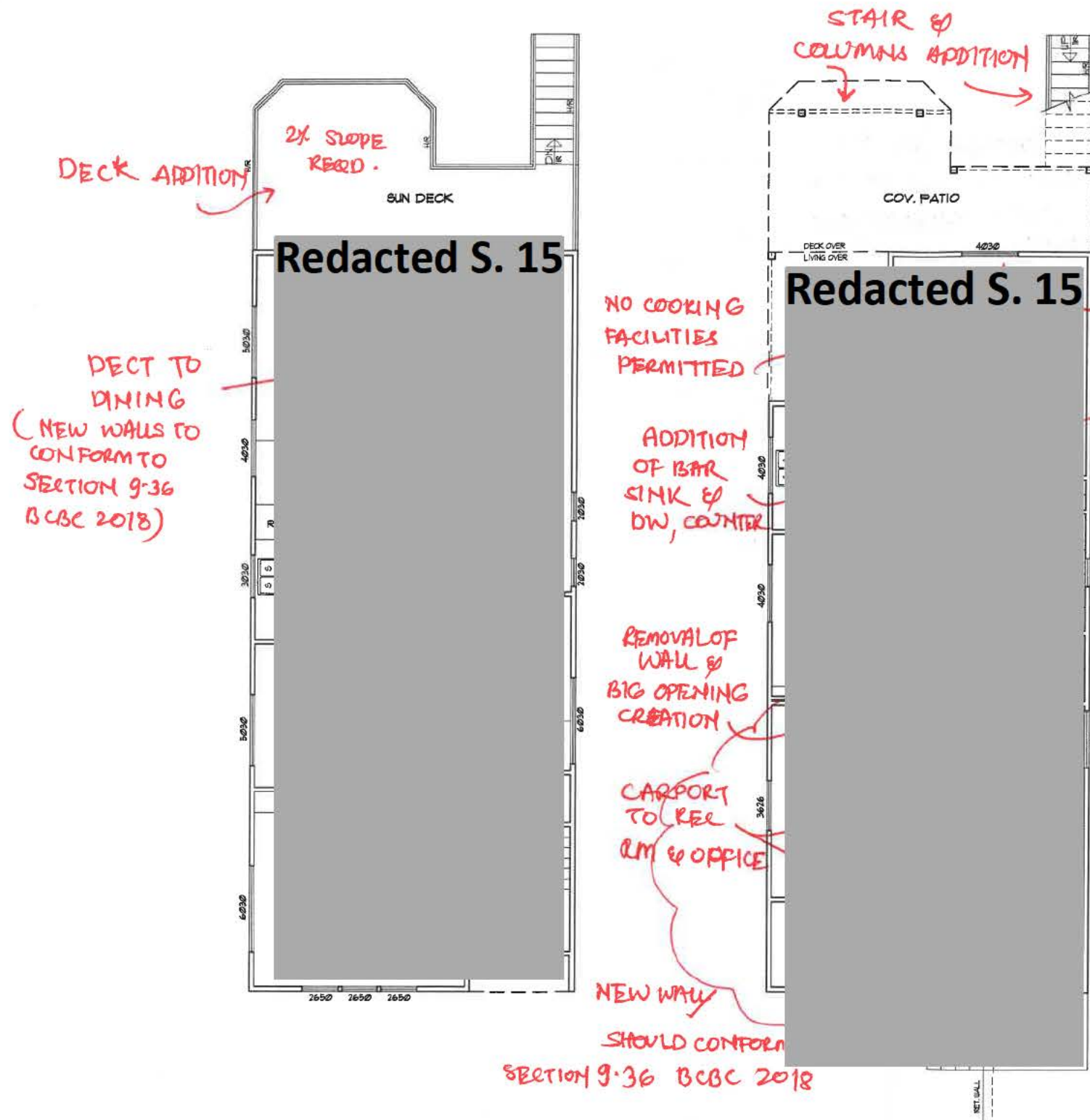
THESE DRAWINGS SHOULD BE PRINTED ON 24x36" PAPER TO BE AT SCALE INDICATED ON REDUCED SIZE THEY WILL NOT BE TO SCALE. FEBRUARY 04, 2020 SHEET 1 OF 3

RECEIVED
 SEP 21 2020
 PLANNING & DEVELOPMENT
 CITY OF WHITE ROCK

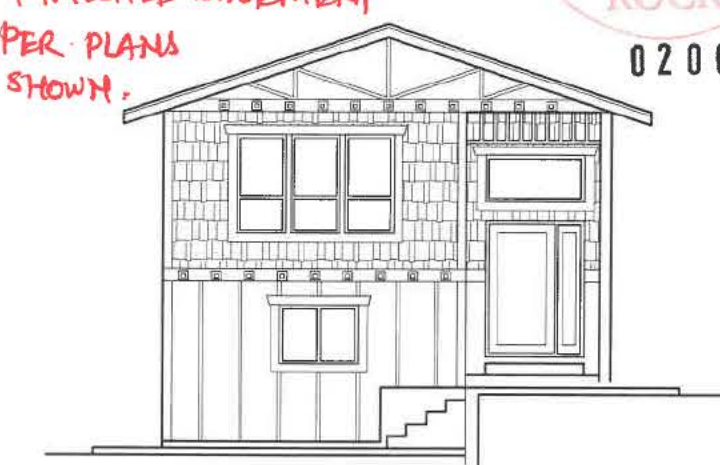
NO SUITE

Confirmed

188 - 1999 - 152nd STREET
SOUTH SURREY B.C. V4A 9E3
PHONE: 604-535-3322 FAX: 1-866-454-4271
E-MAIL: info@raymondsonterdesigner.ca



- ⊕ SAT CO - SMOKE CO ALARM.
- ⊕ SA - SMOKE ALARM PER 9.10.19.1
- ⊕ EXHAUST FAN PER 9.32.3.6 BCBC 2018.



EXISTING / AS-BUILT FRONT ELEVATION

EXISTING / AS-BUILT UPPER FLOOR PLAN 1,164.66 SQ.FT.

EXISTING / AS-BUILT LOWER FLOOR PLAN 1,077.16 SQ.FT. LOT COVERAGE 1,392.00 SQ.FT.

NEW
All stairs, guards, handrails and landings to comply with Sec.9.8 of the BCBC 2018.

NEW
All Windows, Doors & Skylights must conform to NAFS

THESE DRAWING COPIES OR ANY COPIES THEREOF
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- MAY ONLY BE USED FOR THE DESIGNATED PURPOSE INDICATED.
- ARE ISSUED WITH THE UNDERSTANDING THAT RAYMOND & BONTER DESIGNER LTD. WILL BE RESPONSIBLE FOR THEIR WORK ONLY TO THE EXTENT OF ISSUING CORRECTED COPIES IN THE EVENT OF AN ERROR OR OMISSION OF THE SAME.
- AND ALL WORK DONE BY RAYMOND & BONTER DESIGNER LTD. IS AND WILL REMAIN SOLELY THE PROPERTY OF THE SAPE.
ALL FUNDS PAID ARE NON-REFUNDABLE.

THESE PLANS CONFORM TO THE B.C. BUILDING CODE 2018 ED. INCLUDING ALL REVISIONS

EXISTING / AS-BUILT DRAWINGS

DESIGN BY RAYMOND S. BONTER, DESIGNER LTD.

john curran neville graham assoc.
 Suite 201 #74 15515 24 Avenue,
 Surrey, B.C. V4A 2J4
 Tel. & Fax (604) 536-1621
 Email: nga@paralynx.com


Owner: **s. 22** RECEIVED
 OCT 20 2020
 PLANNING & DEVELOPMENT
 CITY OF WHITE ROCK


A	2020.03.16	ISSUED FOR APPROVAL
B	2020.08.31	ISSUED FOR APPROVAL
C	2020.10.02	REVISED SEISMIC DATA TO 2018

PROJECT:
NEW DECK ADDITION
 953 Maple Street, White Rock, BC

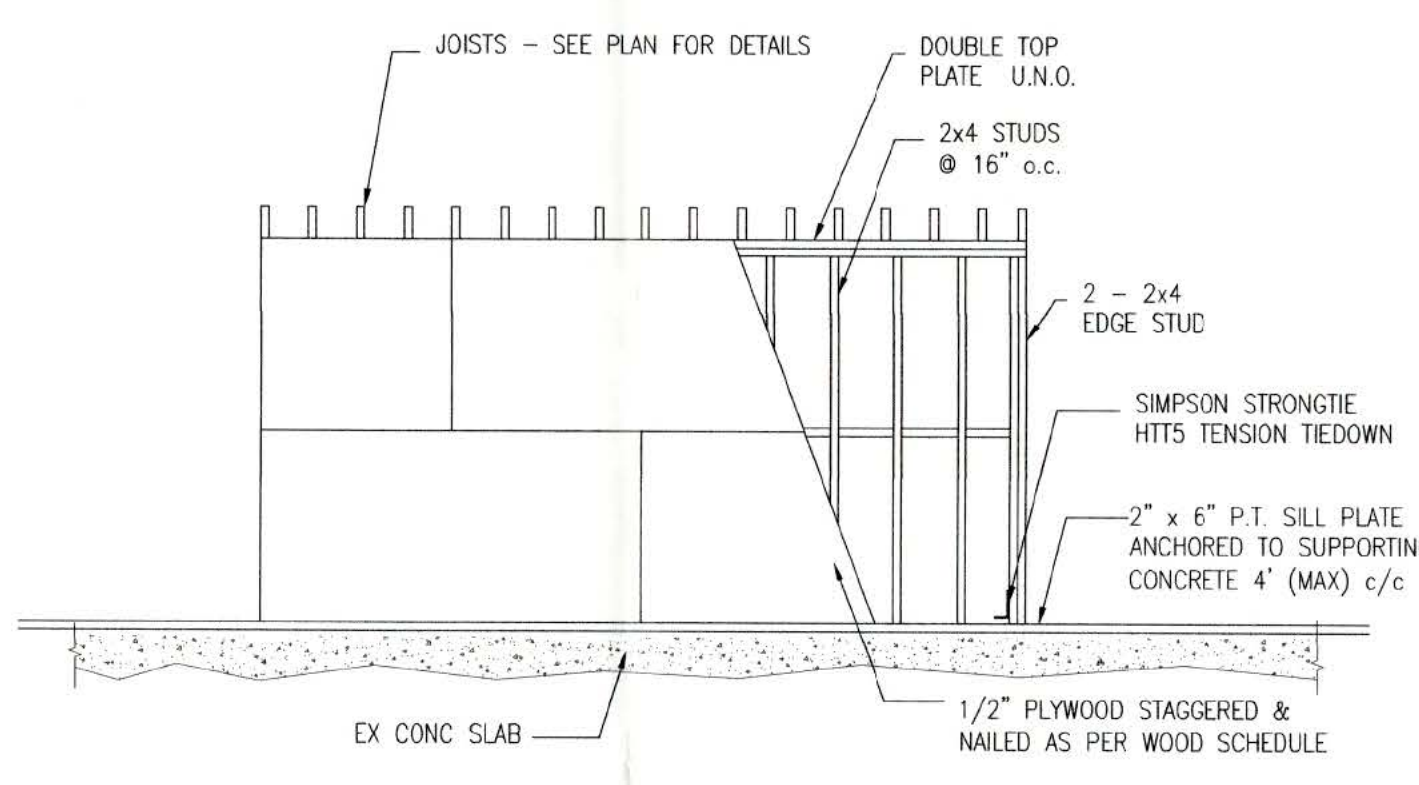
Title:
DECK PLAN & FOOTING DETAILS
 SCALE: 1/4" = 1'-0"
 DATE: 2020-10-02
 DRAWN: JC/SK CHECKED JC

JOB No: 1049.08
 SHEET No. S1 of 1 REVISION C

SEAL

 OCT 08 2020

NOTES:
 The review of these plans shall not in any way release the owner of any liability or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

 020697
 Drawings are to be read in conjunction with architectural drawings.
 Contractors are responsible to ensure that all work is executed to the requirements of the latest edition of the B.C. Building Code.

DESIGN NOTES:
 ALL STRUCTURAL WORK HAS BEEN DESIGNED IN ACCORDANCE WITH BCBC 2018.
 SPECIFIED LOADS: Ss (1/50) = 2.0kPa
 Sr = 0.2kPa
 HOURLY WIND PRESSURE: (V₁₀) = 0.34 kN/m²
 (V₅₀) = 0.44 kN/m²
 SEISMIC DATA: S₀ (0.2) = 0.868
 (0.5) = 0.765
 (1.0) = 0.432
 (2.0) = 0.260
 PGA = 0.376
 SDL = 15 psf
 SLL = 50 psf
 STRUCTURAL DATA
 BEARING: ASSUMED SOIL BEARING = 1500 psf.
 CONCRETE: TO CSA STANDARD A23.3-04;
 25MPa (MIN) @ 28 DAYS.
 FOOTINGS: THESE ARE TO BE POURED ON UNDISTURBED SUBGRADE OR STRUCTURAL FILL COMPACTED AND APPROVED BY THE ENGINEER.
 BEAMS:
 LUMBER TO BE COMMON DESIGNATION (TYPE) AS SPECIFIED ROUGH CUT TO SPECIFIED DIMENSIONS.
 BUILT UP BEAMS TO BE ASSEMBLED PER BCBC 2018 & CSA 086.5.5.3, 086.5.5.4.2.1
 MIN. BEARING TO BE AS SPECIFIED OR 4 1/2" (MIN) FOR 3 PLY OR MORE. 3 1/2" (MIN) FOR 2 PLY OR LESS.
 BUILT UP BEAM PLYS TO BE NAILED AS FOLLOWS:
 EITHER FOR 2" ROUGH CUT NOT LESS THAN 4 1/2" NAILS IN 2 ROWS OF NAILS NOT MORE THAN 18" APART IN EACH ROW WITH THE END NAILS AT 4" TO 6" FROM BEAM END OR BOLTED TOGETHER WITH 1/2" BOLTS AND WASHERS @ NOT GREATER THAN 48" c/c WITH END BOLTS NOT 24" FROM BEAM ENDS.
 EACH PLYWOOD AT INTERVALS NOT GREATER THAN THE LUMBER DEPTH.
 SIMPSON STRONGTIE ANCHORS AND HARDWARE ARE TO BE USED PER SST SPEC TO SECURE AND CONNECT SHEAR BRACING PANEL COMPONENTS.
 INSPECTIONS BY JCNGA TO BE AS FOLLOWS:
 BEFORE WALLS ARE COVERED WHERE SHEAR WALL REINFORCEMENT IS ADDED.
 ADDITIONAL AS PER ENGINEER OF RECORD REQUIRES.

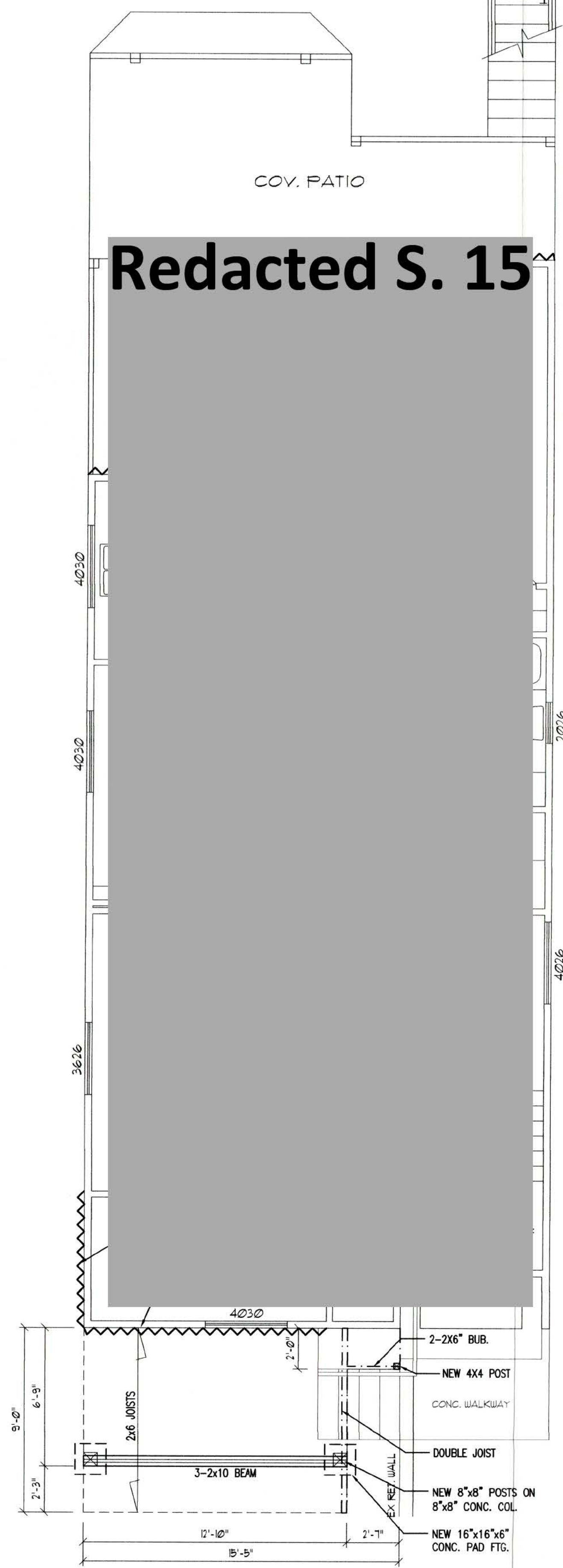


WOOD SCHEDULE

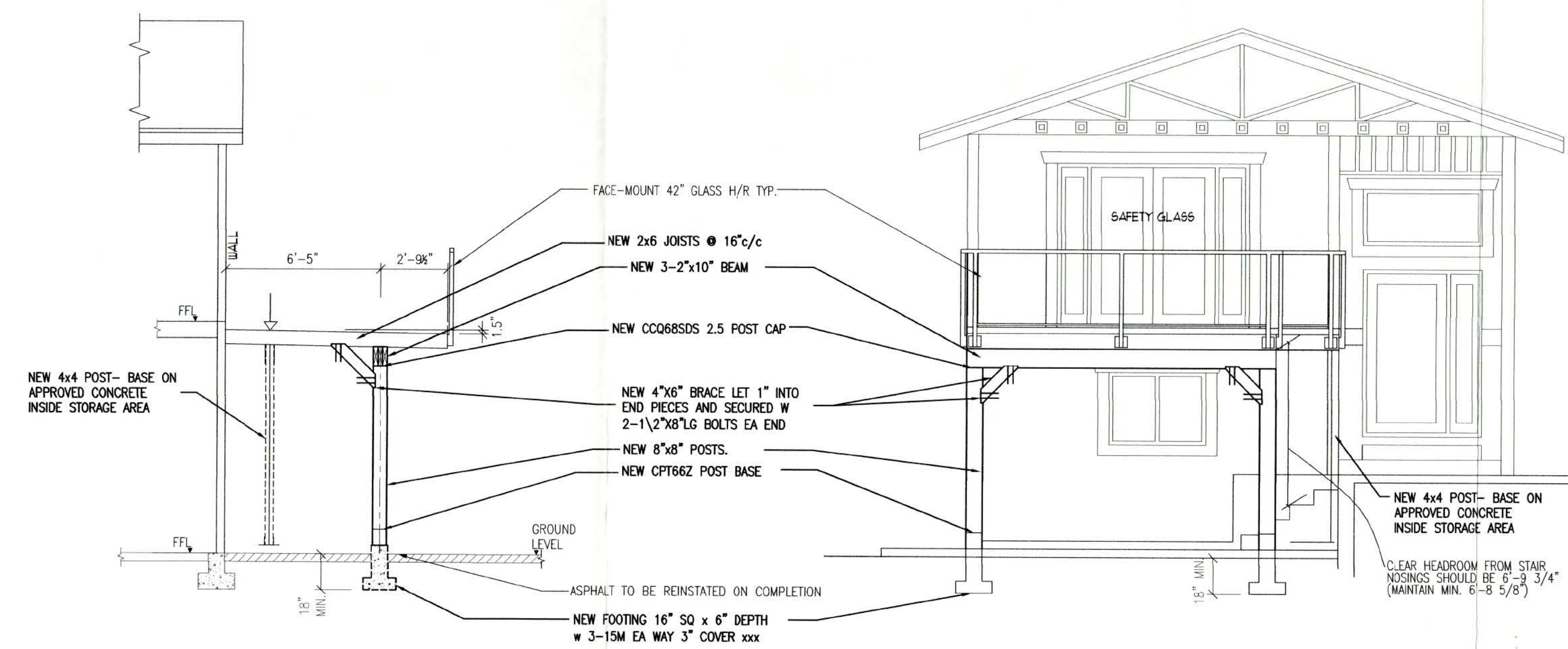
STUDS	SILL PLATE	TOP PLATE	PLYWOOD SHEATHING	NAIL SPACING	SIMPSON STRONGTIE HTS TENSION TIEDOWNS	COMMENTS
2x4 OR 2x6 @ 16" c.c.	1 - 2x4 OR 2x6	2-2x4 OR 2-2x6	1/2" ON ONE SIDE w/ BLOCKING AT PANEL JOINTS	@ PANEL EDGES 3" NLS @ 4" c.c. INTERNAL 2 1/2" NLS @ 4" c.c.	@ 16" c.c.	BLOCK ALL FREE PLYWOOD EDGES

- WOOD FRAME WALL NOTES:
- ONLY STRUCTURAL WALLS HAVE BEEN DESIGNED ON THIS DRAWING. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND CONSTRUCTION OF NON STRUCTURAL WALLS.
 - STAGGER SPLICES ON WALL TOP PLATES MIN 4'-0" AND NAIL WITH 10 - 3" NAILS EACH SIDE OF SPLICE TYPICAL EXCEPT AS NOTED.
 - PROVIDE SOLID BLOCKING AS PER WALL SCHEDULE FOR SHEAR WALLS.
 - BUILT-UP WOOD POSTS ARE TO BE NAILED WITH 3" NAILS PER LAMINATION AS FOLLOWS:
 2 x 4 1 ROW @ 8" o.c.
 2 x 6 2 ROWS @ 8" o.c.
 2 x 8 2 ROWS @ 8" o.c.
 - ALL PLYWOOD PANEL EDGES IN SHEAR WALLS TO BE BACKED WITH 1 1/2" NOMINAL OR WIDER FRAMING.
 - NAL PLYWOOD SHEET EDGES WITH 3" NAILS AS INDICATED IN TABLE.
 NAL PLYWOOD ALONG INTERMEDIATE FRAMING MEMBERS WITH 3" NAILS @ 12" c.c.
 NAL PLYWOOD AT MIN 9mm FROM PANEL EDGES.
 - STAGGER PLYWOOD SHEATHING TO AVOID CONTINUOUS SHEATHING JOINTS HEIGHT OF WALL ON ANY ONE STUD.
 - PROVIDE CRIPPLES TO EACH SIDE OF CUT TOP PLATE.
 - ~~~~~ DENOTES PLYWOOD SHEARWALL

SHEAR WALL DETAILS



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"



DECK SECTION AT POST
 SCALE: 1/4" = 1'-0"

DECK FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

john curran neville graham & assoc engineers inc

1049.08
8 October, 2020

The City of White Rock,
15322 Buena Vista Ave
White Rock
BC V4B 1Y6

020697

To Whom it may concern

Re: 953 Maple St, White Rock



Review of Unpermitted Works made to residence.

020697

A review of the un-permitted revisions previously made to the residence at the above address was made to ascertain whether or not the work done was in accordance with the current BCBC2018.

My observations, in areas as shown on attached Sketch 1, were:

Lower Floor

- (1) Original Carport enclosure. - Revisions include the addition of a footing and framing.
The footing and stud framing are done in accordance with the current building code, however no shear diaphragms were added when the work was done.
- (2) Original unfinished, now Lounge/Bar Area/ bathroom areas - Revisions include the addition of framing and drywall.
The finishing was done in accordance with the current building code, and it provides additional strength to the original building sufficient to satisfy the current building code.

Upper Floor

- (3) Original bedroom/washroom/breakfast/ deck areas now bedroom/washroom/ dining areas – revisions include removal of walls and construction of alternate walls.
The net effect of work done on the upper floor provides sufficient strength in the area of the building involved to satisfy the requirements of the current building code.
- (4) Rear Sun deck construction – This is adequately supported on footings, posts and beams with sufficient shear bracing on the side away from the building and it is well attached and adequately supported at the building side of the deck. The structure is well built, however no additional shear strength was added to the building on attaching the new deck.

1/2

john curran neville graham & assoc engineers inc

Conclusions

New shear diaphragms need to be added to the outside building walls in the original carport area, and adjacent to the rear deck to bring the areas of the building previously changed, without City approval, up to the requirements of the current building code.

It is recommended that shear diaphragms be added to the building as part of the owners current plan to add a front porch to the existing building.

Details as to how this should be done are included on the drawings for the structural design for the current project.

John Curran P.Eng.



020697

2/2

RECEIVED

OCT 20 2020

**PLANNING & DEVELOPMENT
CITY OF WHITE ROCK**

THE CORPORATION OF THE CITY OF WHITE ROCK
BUILDING PERMIT



DATE OF ISSUANCE:

OCT 27 2020

BUILDING PERMIT No: BPO20697

ROLL No: 004180.000

PROJECT ADDRESS: 953 MAPLE ST

LEGAL DESCRIPTION: LT 27/ BLK 9/ SEC 11/ NWD/ PL NWP1334/ TWP 1

ZONE: RS-2

DESCRIPTION OF PROJECT:

Back deck addition and conversion of garage and enclosed deck to habitable space

OWNER:
ADDRESS:

Redacted S. 22

Phone: **Redacted S. 22**

BUILDER:
ADDRESS:

DELVAN ENTERPRIZES
#8 - 27250 58 CRESCENT LANGLEY

Phone: 604 625 0960

Redacted S. 22

A handwritten signature in purple ink, appearing to read 'J. Curran', written over a dotted line.

Owner or Authorized Agent

Building Official

B.C.B.C. 1.1.2.4 Responsibility of Owner

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

PERMIT FEES:

BP APPL FEE

Project Value:

0.00

205.00

Total:

\$205.00

CONDITIONS:

ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE.

FIELD REVIEWS ARE REQUIRED

GEO-TECHNICAL MEMO ON FILE FROM JOEL BLANCO, P. ENG. (VALLEY GEOTECHNICAL ENGINEERING SERVICES LTD.) 604-882-8475

A HAZARDOUS MATERIALS REPORT AND AN ASBESTOS ABATEMENT REPORT MUST BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO ANY INSPECTIONS BEING CONDUCTED.

STRUCTURAL SCHEDULE B ON FILE FROM JOHN CURRAN NEVILLE GRAHAM, P. ENG. (JOHN CURRAN NEVILLE GRAHAM) 604-536-1621

OCCUPANY / FINAL GRANTED:

Date:

The City of White Rock, in issuing this Building Permit, has relied upon (a) Registered Professional(s) for certification to the B. C. Building Regulations for the plans or aspects of the plans.

Neither the issuance of a **permit** under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the **City** shall in any way relieve the **owner** or his or her representatives from full and sole responsibility to perform the work in strict accordance with the **Building Code**, this Bylaw, and any other applicable enactments respecting safety.

It shall be the full and sole responsibility of the **owner** (and where the **owner** is acting through a representative, the representative) to carry out the work in respect of which the **permit** was issued in compliance with the **Building Code**, this Bylaw and any other applicable enactments respecting safety.

Neither the issuance of a **permit** under this Bylaw nor the acceptance or review of plans, drawings, specifications or supporting documents, nor any inspections made by or on behalf of the **City** constitute in any way a representation, warranty, assurance or statement that the **Building Code**, this Bylaw or any other applicable enactments respecting safety have been complied with.

John curran neville graham & assoc inc.

CIVIL ENGINEERS

Unit 74, 15515-24 Ave, Suite 201
Surrey V4A 2J4

020639

Tel (604) 536 - 1621
Fax (604) 536 - 1621

nga@paralynx.com

REVIEW REPORT

Review Date: 16 November 2020
Time:

Site Address 953 Maple St, White Rock.

Project Name: Residential Seismic Upgrade.

Project Number: 1049.08

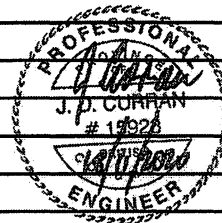
Comments:

A review of the work in progress in removal of the building siding and addition of supplementary nailing of the building sheathing was made on 16th and 17th November, 2020.

This was done in accordance with our design drawing, on the west, south, and east sides of the building.

On my review I was satisfied that the work being done was achieving the required additional shear strength in the walls involved.

J. Curran



Prepared by:

Page:

of

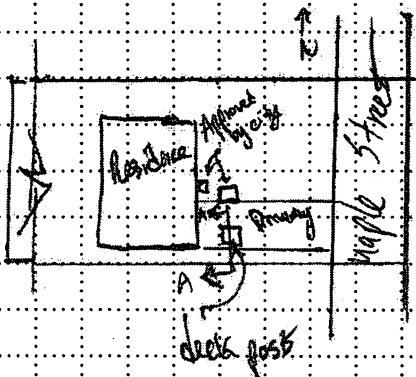


1081

Phone: 604-882-8475, Fax: 604-882-8476, Email: general@valleygeo.ca
 15, 20279-97th Avenue, Langley, BC, V1M 4B9

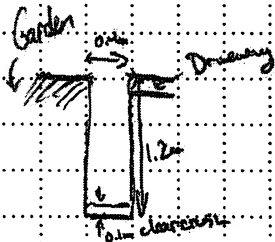
SEND TO: <u>Networks</u>	FROM: <u>Sean Hye</u>
Cc:	DATE: <u>Nov 27th 2020</u>
SITE: <u>955 Maple Street Whiterock BC</u>	
Subject: <u>Foundation bearing for deck post</u>	Project #: <u>44951-01</u>

Message:



Site Plan (NTS)

- Valley Geo was onsite to inspect the subgrade for the southern deck post
- Excavation is 0.4 x 0.9 x 1.2m deep & bearing surface is sand with gravel probing dense
- 0.1m of 19mm clear crush gravel should be placed & all surface water to be pumped out prior to pouring concrete
- 1500 psf (SES) can be used for an allowable bearing capacity for the footing design



Section A-A (NTS)

Sean Hye

Reviewed by J. Blanco, P. Eng
 Nov. 27, 2020

john curran neville graham & assoc engineers inc

1049.08

020639

28 January, 2021

The City of White Rock,
15322 Buena Vista Ave
White Rock
BC V4B 1Y6

Submission to CoWR via Networx Contracting

To Whom it may concern

Re: 53 Maple St, White Rock

Final Approval - Residential Front Porch - structural.

This is to confirm that I have reviewed the work done during construction of the foundations and framing in building the new porch.

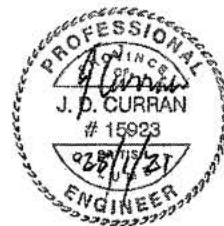
One revision was made in building the porch, in that the diagonal wood braces proposed between the deck stringers, and the two new corner posts, were replaced in construction with steel L-shaped brackets securing the deck stringers to the posts.

This revision was done for aesthetic reasons, however the brackets used will provide the same strength in attachment, and seismic resistance, as the wood braces in the original design would have provided.

I am satisfied that the work was correctly done, and that the building envelope was correctly reassembled in completion of the work.



John Curran P.Eng.





THE CORPORATION OF THE CITY OF WHITE ROCK BUILDING PERMIT

DATE OF ISSUANCE:

OCT 27 2020

BUILDING PERMIT No: BP020639

ROLL No: 004180.000

PROJECT ADDRESS: 953 MAPLE ST

LEGAL DESCRIPTION: LT 27/ BLK 9/ SEC 11/ NWD/ PL NWP1334/ TWP 1

ZONE: RS-2

DESCRIPTION OF PROJECT:

Addition of front deck and replacing windows to french doors

OWNER:
ADDRESS:

Redacted S. 22

Phone: Redacted S. 22

BUILDER:
ADDRESS:

DELVAN ENTERPRIZES
#8 - 27250 58 CRESCENT LANGLEY

Phone: 604 625 0960

Redacted S. 22

Owner or Authorized Agent


Building Official

B.C.B.C. 1.1.2.4 Responsibility of Owner

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PERMIT FEES:

BP SCAN FEE
BP APPL FEE

Project Value:

15.00	75.00
15,000.00	438.00
Total:	\$513.00

CONDITIONS:

ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE 2018

FIELD REVIEWS ARE REQUIRED

GEO-TECHNICAL SCHEDULE B ON FILE FROM JOEL BLANCO, P. ENG. (VALLEY GEOTECHNICAL ENGINEERING SERVICES LTD.)
604-882-8475

A HAZARDOUS MATERIALS REPORT AND AN ASBESTOS ABATEMENT REPORT MUST BE SUBMITTED TO THE PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO ANY INSPECTIONS BEING CONDUCTED.

INSPECTION IS REQUIRED PRIOR TO COVERING ANY WORK

STRUCTURAL SCHEDULE B ON FILE FROM JOHN CURRAN NEVILLE GRAHAM, P. ENG. (JOHN CURRAN NEVILLE GRAHAM) 604-536-1621

OCCUPANY / FINAL GRANTED:

W.B.

Date:

Feb 1/21

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