

October 18, 2021

FOI No: 2021-33

VIA E-MAIL – Redacted

Redacted

Dear Redacted

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the “Act”):

- *All planning/building records related to 1172 Parker St*

Access to these records is available. However, some of the information in the records is exempted from the disclosure requirements of the Act. I have severed the exempted information so that I could disclose to you the remaining information as attached.

The severed information is exempted from disclosure under sections 21 and 22 of the Act. Severing under section 21 is necessary to avoid disclosing any financial information that could harm the financial interests of a third party is disclosed. Severing under section 22 is necessary to avoid disclosing any third-party personal information without permission. All contact information that could not be confirmed as business contact information has been withheld.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton
Manager, Property, Risk Management, and FOI
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

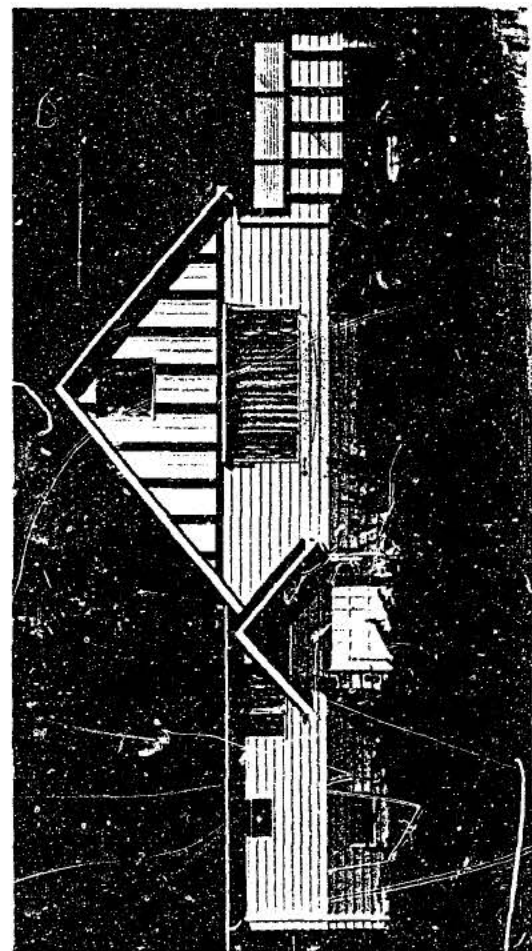
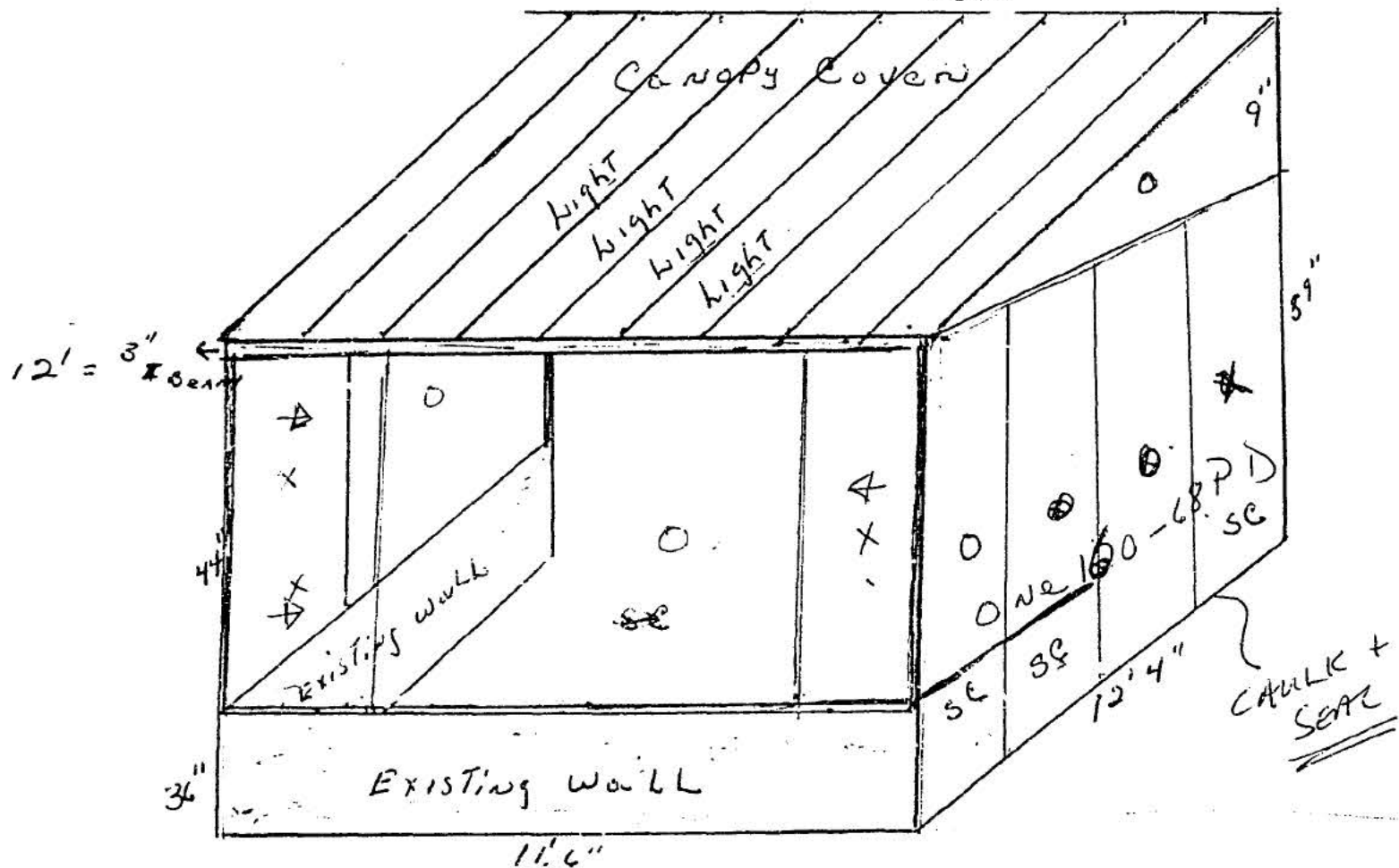
1. your name, address, and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

Mrs Lathian
1172 PARKER ST
WHITE ROCK BC

92/85

1172 PARKER ST.

APRIL 22/85



Alfred Aluminium Product LTD

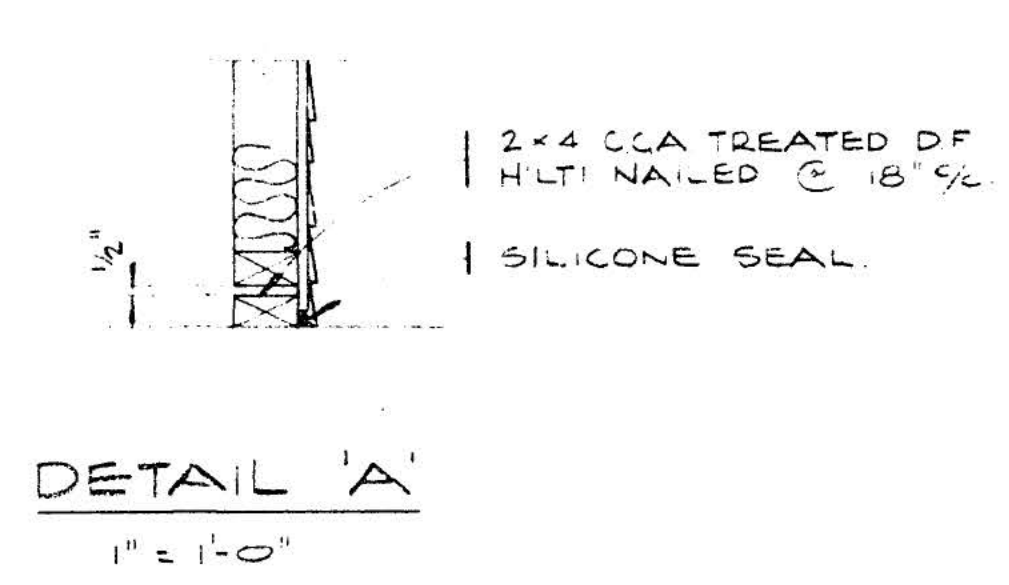
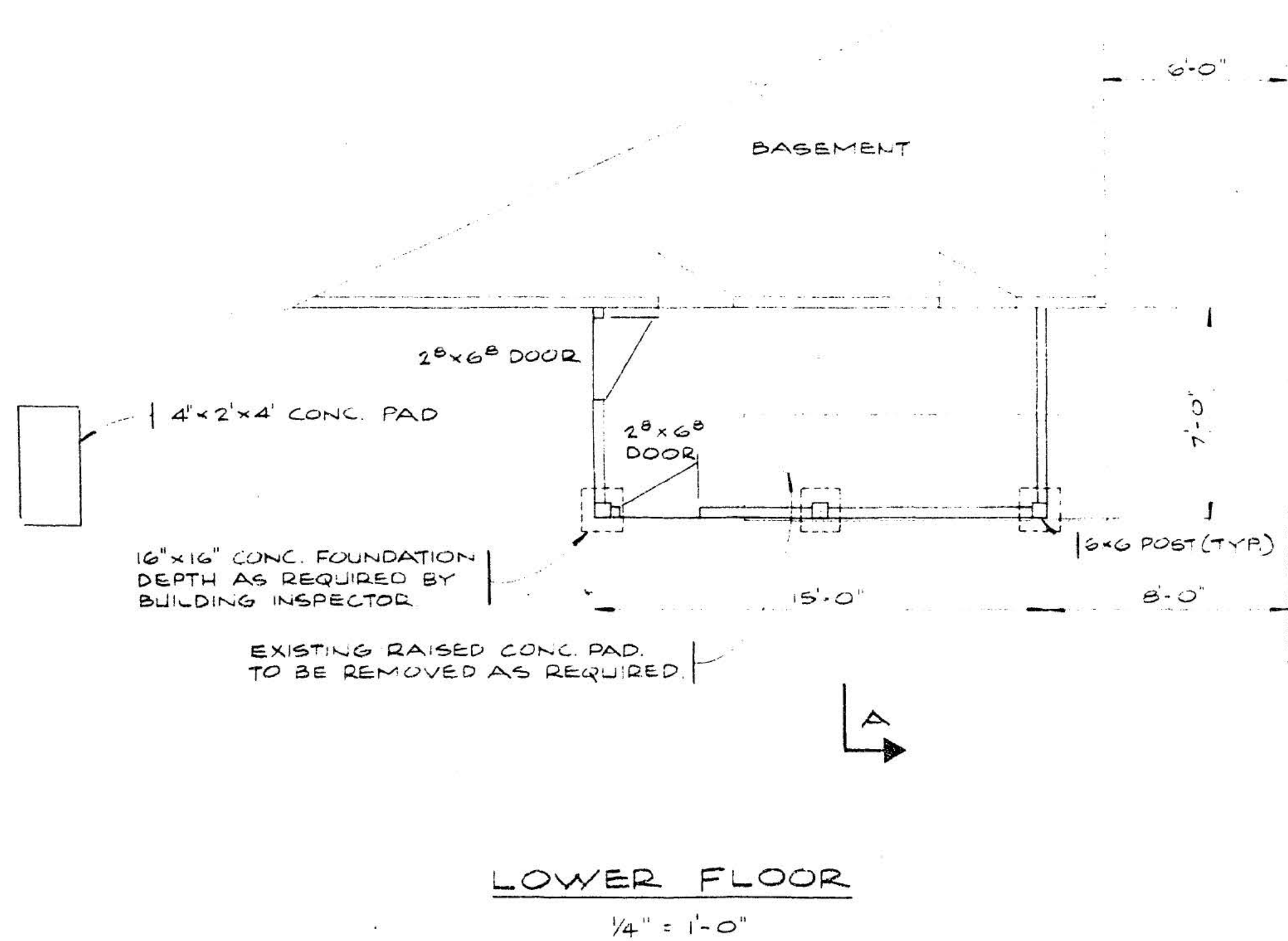
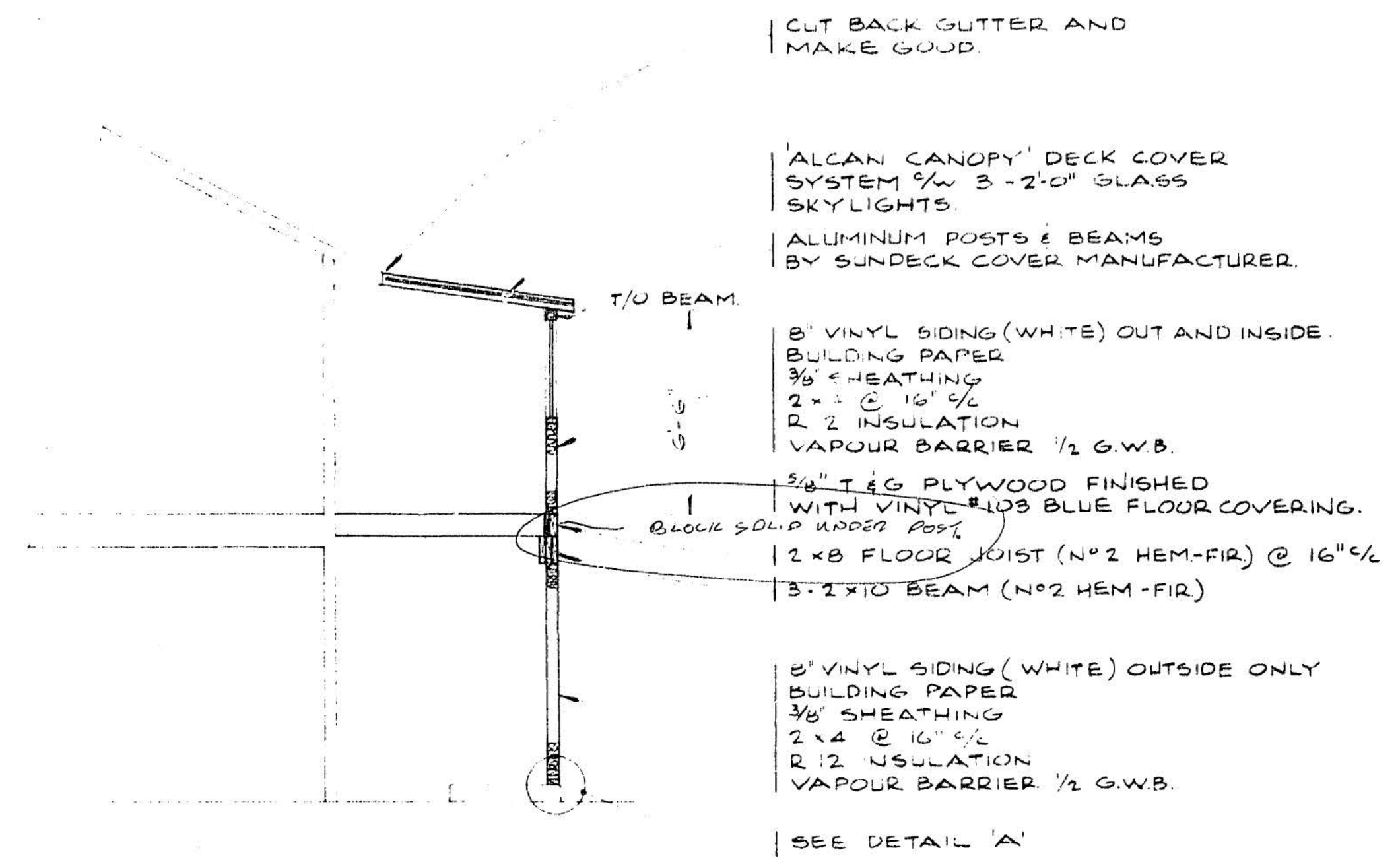
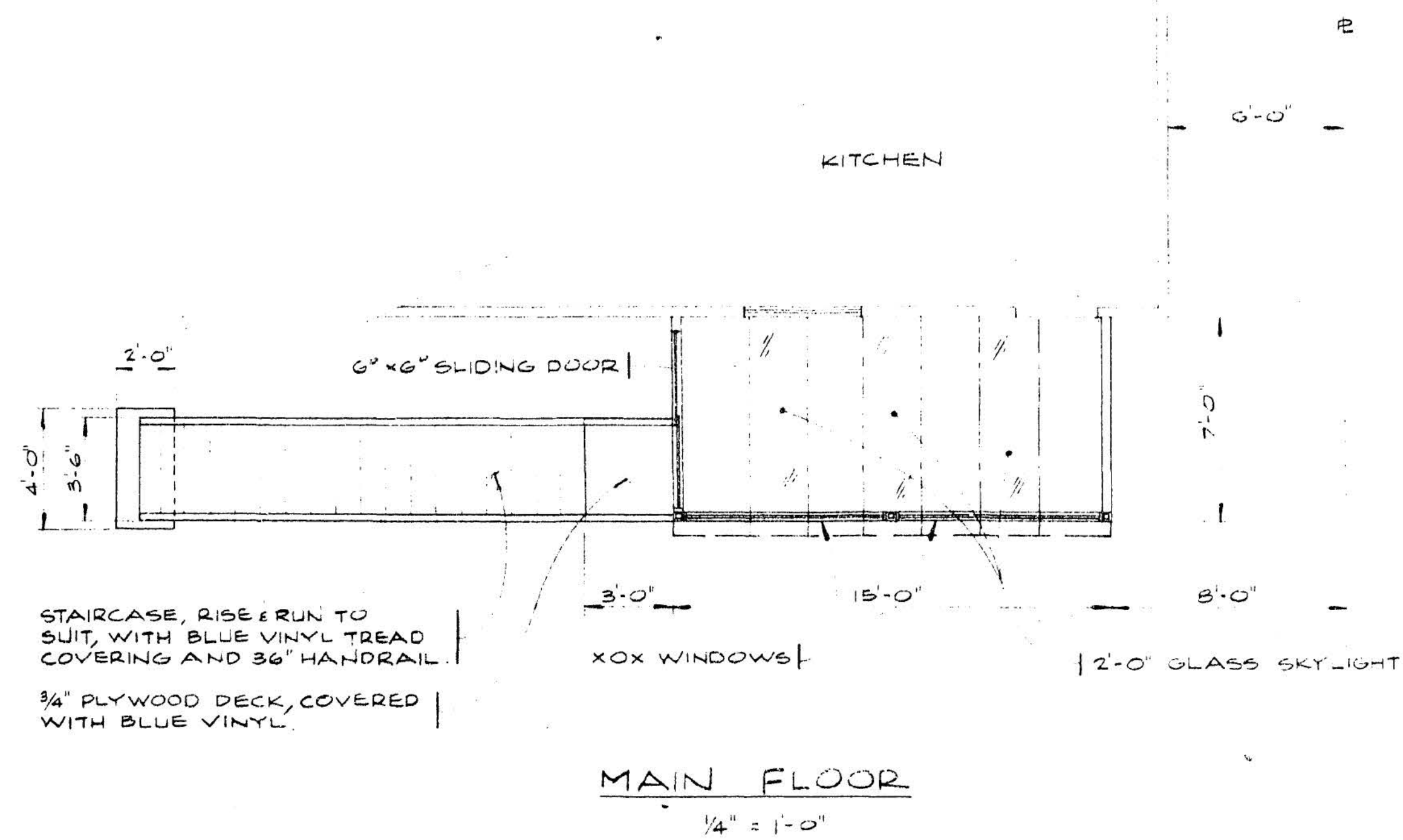
J.B. Corrie

530-4131

30' DECK

182 - 1988

1172 PARKER



No. _____ REVISION _____ DATE _____	CLIENT LUMBERLAND INSTALLATIONS LTD. 5485 LANE STREET, BURNABY, B.C. V5H 2H4	BEESLEY ENGINEERING LTD. CONSULTING ENGINEERS 631-7212	#230 - 341 North Rd. Coquitlam, B.C. V3K 3V8	TITLE FLOOR PLAN & SECTION	DESIGN DRAWN G.W. CHECKED _____ DATE OCT, 1988	DRAWING No. 5.6-1
	PROJECT SUN DECK RECONSTRUCTION & ENCLOSURE MRS. E. LOTIAN 1172 PARKER ST., WHITE ROCK, B.C.				SCALES HORIZ AS SHOWN VERT AS SHOWN	1 of 1
	REVISION _____ DATE _____				SEAL _____	REVISION No. _____
	No. _____				SEAL _____	REVISION No. _____



Wamock Hersey Professional Services Ltd.

211 Schoolhouse St., Coquitlam, B.C. V3K 4X9 - (604) 520-3321 - Telex 04-351404

REPORT OF: Buckling Load Test & Load/Deflection Test

AL077
FILE NO. 480-0068-A68

AT: Coquitlam Laboratory

DATE December 19/84

PROJECT: Product Evaluation

REPORT NO. 11/84

REPORTED TO: Alcan Building Products
Division of Alcan Canada Products Ltd.
620 Audley Blvd, Annacis Island,
New Westminster, B.C. V3M 5P2

ORDER NO.

INTRODUCTION:

As requested we have conducted load deflection and buckling load tests on the two Aluminum Alloy 6063 square tubes that you submitted to our lab.

LOAD DEFLECTION TEST:

The two beams were placed on 10 feet centers and then loaded uniformly. The ends of the beams were not constrained.

Load lb/ft 10 ft span	Deflection Beam A (in)	Deflection Beam B (in)	Deflection Average
25	0.092	0.111	0.101
50	0.188	0.226	0.207
75	0.299	0.329	0.314
100	0.396	0.420	0.408
125	0.509	0.513	0.511
150	0.609	0.624	0.616
175	0.700	0.734	0.717
200	0.796	0.855	0.825
225	0.889	0.922	0.930
250	0.972	0.028	1.000

.../2

ALL REPORTS ARE THE CONFIDENTIAL PROPERTY OF CLIENTS PUBLICATION OF STATEMENTS, CONCLUSIONS OR EXTRACTS FROM OR REGARDING OUR REPORTS IS NOT PERMITTED WITHOUT OUR WRITTEN APPROVAL ANY LIABILITY ATTACHED THERETO IS LIMITED TO THE FEE CHARGED

Alcan Building Products
Report 11/84
December 14/84

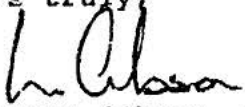
Buckling Load Test:

The beam was tested at its full length of 16 feet and both ends were butted up against two Flat Panelled plates. The load was applied with a hydraulic ram and slowly increased until the critical load was reached.

	<u>Critical Load Per (lbs)</u>
Beam A	13,200
Beam B	15,100
Average	14,150

WARNOCK HERSEY PROFESSIONAL SERVICES LTD.

Yours truly,



Lawrence Gibson, E.I.T.,
Supervising Engineer,
Testing Laboratory

LG/lw



THE CORPORATION OF THE CITY OF WHITE ROCK
 15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6
 Telephone: (604) 541-2136 Fax: (604) 541-2153

Permit Number: N° 4380

Date: Feb 26/92

APPLICATION FOR PLUMBING PERMIT

Location of Work: 1172 Parker St. Occupancy: SFD Type of Work: New Existing Additional

Owner: _____ Phone: _____ T.Q. Number: _____

Contractor: Roto-Rooter Phone: 522-7289 Business Licence: Yes: _____ No: _____ Applied For: _____

I wish to apply to the Chief Plumbing Inspector for a permit to install the following fixtures: storm outfall

Floor	Water Heater	Water Closets	Wash Basins	Bath Tubs	Showers	Kitchen Sink	Wash Tubs	Automatic Washer	Floor Drains	Urinals	Dish Washer	Hose Bibs	Sprinklers	Other Fixtures
Basement														/
Main														
Second														
Third														
Fourth														
Fifth														
Sixth														
TOTAL														
Fixture Units														

Water Service Size: _____ Total Fixture Units: _____ Total No. of Fixtures: _____ PERMIT FEE: \$ 22.

[Signature]
 Signature (Applicant)

[Signature]
 Signature (Inspector)

COMMENTS: _____



1172 Parker ST
March 11/91 11:00 AM



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES
15322 Buena Vista Avenue, P.O. Box 188, White Rock, B.C. V4B 5C6

City Hall,
White Rock, B.C.
Tel. No.: 531-9111
Fax.No.: 538-6049

Inspection Report

NAME: Mrs Lottian PERMIT No.

ADDRESS: 1172 Parker St SHEET No. 1

TYPE OF INSPECTION: SUNDER DATE: FEB 29/91

AREA OF INSPECTION: REAR OF HOUSE

1. IF DECKING IS ROTTED THEN REMOVE DECKING AND REINSTALL DURADECK.
2. FLASHING REED FROM TRIC TO WALLS ON NORTH AND EAST SIDES.
3. SEAL DECKING TO EXISTING PATIO DOORS (WESTSIDE)
- 3A.
4. BUILDING PERMIT REED FOR ABOVE WORK
5. BUILDING PAPER REED BEHIND UYNAL SIDING

SIGNATURE: INSPECTOR: [Signature]

DATE:

Please sign this form when the work is completed and return to the above department.



CITY OF WHITE ROCK
PUBLIC WORKS DEPARTMENT
STORM AND SANITARY SEWER CONNECTION SHEET

BUILDING PERMIT # _____

ADDRESS 1172 Packer OWNER'S NAME Mrs. Lathiam
LOT# _____ PLAN# _____
BUILDER'S NAME _____ CONTACT # WK 531-1794 CEL

SANITARY SEWER * DEPTH AND LOCATION OF PROPOSED SERVICE ARE APPROXIMATE AND TO BE USED AS A GUIDE ONLY.

PROPOSED LOCATION _____ CONNECTION FEE \$ 1200.00
INSPECTION FEE \$ 50.00
MAIN EXTENSION REQUIRED? (Y/N) _____
REMARKS _____
SANITARY MAIN EXTENSION COST \$ _____
TOTAL COST FOR SANITARY CONNECTION \$ 0

STORM SEWER * DEPTH AND LOCATION OF PROPOSED SERVICE ARE APPROXIMATE AND TO BE USED AS A GUIDE ONLY.

PROPOSED LOCATION Install 4" PVC service 3 ft CONNECTION FEE \$ 1200.00
North of South West E. Corner Depth @ 2 ft INSPECTION FEE \$ 50.00
MAIN EXTENSION REQUIRED? (Y/N) N
REMARKS Owner will require a sump pump
STORM MAIN EXTENSION COST \$ _____
TOTAL COST FOR STORM CONNECTION \$ 1250

PERFORMANCE BOND

The owner/builder of a development shall provide security covering performance in the amount of \$1000.00 for a single family dwelling development and in an amount to be determined by the City Engineer for multi-family and commercial developments. The bond will be used to cover the costs of repairs and cleaning of the street and boulevard that are required as a result of the development. The unused balance of the bond will be funded on issuance of final occupancy permit.

COST FOR PERFORMANCE BOND \$ _____

TOTAL COST FOR STORM CONNECTION, SANITARY CONNECTION AND EXCAVATION BOND \$ 1250
PAY THIS AMOUNT

DRIVEWAYS

MAXIMUM ALLOWABLE GRADE = 20% NORMAL _____ EXCESSIVE _____

REMARKS _____

GENERAL REQUIREMENTS

- OWNER/DEVELOPER MUST EXPOSE EXISTING SANITARY CONNECTION AT THE PROPERTY LINE FOR THE PUBLIC WORKS FOREMAN TO CAP-OFF. FAILURE TO DO THIS WILL RESULT IN A DENIAL FOR REQUEST OF A BUILDING PERMIT.
- All work must conform to the City of White Rock Standards and Specifications.
- All inspections are to be carried out by the City's Building Department.
- All proposed work on City property must be applied for through a Boulevard Improvement Application form. The form is available at White Rock Public Works Office(877 Keil Street) or City Hall for a ten dollar (\$10.00) fee.
- All proposed work on City property must be approved by the Public Works Department and the City Engineer PRIOR to construction.
- The owner/ builder is responsible for maintaining and lowering the Inspection Chamber to no lower than finished grade. Any replacement/repairs to the Inspection Chamber will be done by the City and charged to the owner/builder.
- All services will be installed at the lowest possible elevation, however, the City is not responsible for providing a gravity service. It is the owner's/builder's responsibility to connect at that elevation at property line whether by gravity or sump pump.
- Owner/Builder is recommended to wait City installs new services prior to installing sump and service as exact service depth can not be determined to any degree of accuracy prior to construction.
- Notify Public Works Foreman (541-2181) two weeks prior to service installation to allow for scheduling of work

DATE: Feb. 9/99 SIGNATURE: [Signature]

Paid Feb. 8. 99

PD

GORD COOK & MARK DUMAS

THE CITY OF WHITE ROCK PERMIT TO BUILD

Date: NOV. 3 19 86 Roll # 542E Dev. Permit No. N/A Permit No. 182

Owner E. C. LOTHIAN
Address 1172 PARKER
Architect
Contractor L.H. BERLAND INSTALLATION
Contractor's Address 5485 LAKE ST. B64

Location 1172 PARKER
Legal 295 26 E 1/4 11 T. 1 R. 25303
Dev. Permit Area: N/A Zone: R1
Occupancy DUPLEX
Name of Project ENCLOSE DECK

Description of Construction CONC & FRAME BALCONY Lot Size
Truss Plan Req'd.: Survey Plan Req'd.: Max. Height:
Size 7x15 Storeys 1 Min. Yards: Front N/A R. Side 8' L. Side 8' Rear 25'

	Basement	1st	2nd	Roof
Basement				
Footings	Ext. Walls			
Columns	Floors, Joists			
Beams	Live Loads	<u>TO</u>	<u>CODE</u>	
Stairways				

Int. Partitions
Heating
Ventilation
Insulation
Plans Filed

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ <u>10,000.00</u>
Permit Fee	\$ <u>28.00</u>
	\$
	\$
Total Fees	\$ <u>28.00</u>

Owner or Authorized Agent [Signature] B. W. Hall Building Inspector [Signature] (OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

NOV 14/86

forms

OC to pour with @ min 3 1/2" curb. R

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED



APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. NOV. 3 1988

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to A.O.D. the building as follows:

..... ENCLOSE SUNDECK

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: R.T.1 Development Permit # N/A

Correct description of property 295 26 2 1/2 11 T-1 35303

Street 1172 PARKER Size of land 80 X 123.74

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for? DUPLEX

How heated?

Entire value, when completed \$ 10,000.00

Name and mail address of owner E.O. LOTHIAN Phone:
..... 1172 PARKER

Name and mail address of builder LUMBERLAND INST. Phone:
..... 5405 LANE ST. #10 BB

Name and address of architect (if any)

Name and address of person or persons to whom permit is to be issued:

Name LUMBERLAND INST. Address

Do you require to use street for placing material? NO

How long? Days

And I agree to conform to all requirements of said By-Law.

Roll No. 5420 Signature of Applicant:

Building Permit Fee: 88.00

Plan Checking Fee:

Permit No. 182

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

THE CITY OF WHITE ROCK PERMIT TO BUILD

Date: April 24 19 85 Roll # _____ Dev. Permit No. _____ Permit No. 92

Owner: <u>Mrs. LOTHARD</u> Address: <u>1172 PARKER ST</u> Architect: _____ Contractor: <u>ALVIN'S AC PRODUCTS</u> Contractor's Address: _____	Location: <u>1172 PARKER ST</u> Legal: _____ Dev. Permit Area: _____ Zone: _____ Occupancy: <u>SINGLE FAMILY DWELLING</u> Name of Project: <u>ENCLOSED SUNDECK</u>
---	--

Description of Construction: AC/CEILING Lot Size: _____
 Truss Plan Req'd.: _____ Survey Plan Req'd.: _____ Max. Height: _____
 Size: _____ Storeys: _____ Min. Yards: Front: _____ R. Side: _____ L. Side: _____ Rear: _____

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				

Int. Partitions: _____ Heating: _____ Ventilation: _____ Insulation: _____ Plans Filed: <u>yes</u>	The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.	Value: \$ <u>2850</u> Permit Fee: \$ <u>39</u> _____ \$ _____ _____ \$ _____ Total Fees: \$ <u>390</u>
--	---	--

Owner or Authorized Agent: [Signature] B. W. Hall Building Inspector: [Signature] (OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED

THE CITY OF WHITE ROCK

PERMIT TO BUILD

dead pt

Date.....19..... Dev. Permit No..... Permit No. #156

Owner: <u>James Lothian</u> Address: <u>233 W. 15th Ave., Vancouver 10, B.C.</u> Architect: <u>Galpins Design Centre, 623 240th St</u> Contractor: <u>owner</u> Contractor's Address: <u>(Langley, B.C.)</u>	Location: <u>1160 Parker St.</u> Legal: <u>Lt. 295 Bk. 26 Et Sec. 11 T. 1 Pl. 35303</u> District: <u>1</u> Fire Zone: <u>1</u> Group: <u>1</u> Type: <u>1</u> Occupancy: <u>Duplex</u> Name of Project: <u>Existing S.F.D. to Duplex</u>
--	--

Description of Construction: Stucco & Cedar Siding Lot Size: 80'x123.74'

Size: 34'x69.8' Storeys: 1 Rooms: 9 Min. Yards: Front: 25' R. Side: 5' L. Side: 5' Rear: 25'

	Basemt.	1st	2nd	Roof
Basement: <u>Yes</u>				
Footings: <u>8x16</u>	Ext. Walls			<u>See plans</u>
Columns: <u>as per code</u>	Floors, Joists	<u>2x10 @16"oc</u>	<u>2x10 @16"oc</u>	<u>2x6 @16"oc</u>
Beams: <u>as per code</u>	Live Loads			
Stairways: <u>6'4"</u>				

Int. Partitions: <u>2x4 @16"oc</u>	Gas Appliances: <u>-----</u>	Fire Protection: <u>as per code</u>	Value - - \$ <u>11,000.00</u>
Int. Finish: <u>Drywall</u>	Plumbing Fixtures: <u>11</u>	Chimney: <u>Yes</u>	Permit Fee - \$ <u>21.50</u>
Int. Lath: <u>-----</u>	Heating: <u>Oil</u>	Fire Place: <u>No</u>	Water Rates - \$
Ceiling: <u>Drywall</u>	Ventilation: <u>as per code</u>	Plans Filed: <u>Yes</u>	Numbers - - \$
Insulation: <u>2" Batts</u>			Total Fees - \$ <u>21.50</u>

Owner or Authorized Agent: Lothian Building Inspector: agb

(OVER)

Remarks:

Basement suite passed April 5/71

INSPECTED	CONDITION	INSPECTED	CONDITION	DATE OF INSPECTION
Front Yard		Insulation		1. <i>From Passed Sept 2/70</i>
R. Side Yard		Rafters		2. <i>id</i>
L. Side Yard		Roofing		3. <i>From 2/71 Passed</i>
Rear Yard		Chimney		4. <i>From 4/70</i>
Excavation		Fireplace		DATE OF INSPECTION
Footings		Stucco Lath		1. <i>From Passed Jan 11/71</i>
Foundation Walls		Plaster Lath		2. <i>id</i>
Columns		Exterior Finish		3.
Beams		Plaster		4.
Floor Joists		Stairs		5.
Ceiling Joists		Exits		6.
Bridging		Eav. Tr. & Down Spout		7.
Headers & Trimmers		Furnace Room		8.
Sub Floors		Toilet Clearance		Bldg. complete?
Studding		Attic Trap		Occupied
Bracing		Louvres		<i>See 2/71</i>
Sheathing		Bathroom Vent		<i>id</i>
Fire Stop				Building Inspector

**THE CITY OF WHITE ROCK
PERMIT TO BUILD**

dead file

Date.....19..... Dev. Permit No..... Permit No..... #158

Owner James Lothian Location 1172 Parker St.
 Address 233 W. 15th Ave., Vancouver 10, B.C. Legal Lt. 295 Bk. 26 Pt. Sec. 11 T. 1 P. 35303
 Architect Galpins Design Centre, 623 240th St. District 1 Fire Zone 1 Group 1 Type 1
 Contractor owner (Langley, B.C.) Occupancy Duplex
 Contractor's Address _____ Name of Project Existing S.F.D. to Duplex

Description of Construction Stucco & Cedar Siding Lot Size 80'x123.74'

Size 34'x69.8' Storeys 1 Rooms 9 Min. Yards: Front 25' R. Side 5' L. Side 5' Rear 25'

	Basemt.	1st	2nd	Roof
Basement <u>Yes</u>				
Footings <u>8x16</u>	Ext. Walls			<u>See plans</u>
Columns <u>as per code</u>	Floors, Joists	<u>2x10 @16"oc</u>	<u>2x10 @16"oc</u>	<u>2x6 @16"oc</u>
Beams <u>as per code</u>	Live Loads			
Stairways <u>6'4"</u>				

Int. Partitions <u>2x4 @16"oc</u>	Gas Appliances	Fire Protection <u>as per code</u>	Value - - \$ <u>11,000.00</u>
Int. Finish <u>Drywall</u>	Plumbing Fixtures <u>11</u>	Chimney <u>Yes</u>	Permit Fee - \$ <u>21.50</u>
Int. Lath	Heating <u>oil</u>	Fire Place <u>No</u>	Water Rates - \$
Ceiling <u>Drywall</u>	Ventilation <u>as per code</u>	Plans Filed <u>Yes</u>	Numbers - - \$
Insulation <u>2" Batts</u>			Total Fees - \$ <u>21.50</u>

Owner or Authorized Agent Lothian Building Inspector [Signature] (OVER)

Remarks: *Basement suite passed April 5/71 ed*

INSPECTED	CONDITION	INSPECTED	CONDITION	DATE OF INSPECTION
Front Yard		Insulation		1. <i>From Passed April 5/71</i>
R. Side Yard		Rafters		2.
L. Side Yard		Roofing		3. <i>Main 2/1/71</i>
Rear Yard		Chimney		4. <i>From Passed</i>
Excavation		Fireplace		DATE OF INSPECTION
Footings		Stucco Lath		1. <i>From Passed Jan 11/71</i>
Foundation Walls		Plaster Lath		2.
Columns		Exterior Finish		3.
Beams		Plaster		4.
Floor Joists		Stairs		5.
Ceiling Joists		Exits		6.
Bridging		Eav. Tr. & Down Spout		7.
Headers & Trimmers		Furnace Room		8.
Sub Floors		Toilet Clearance		Bldg. complete?
Studding		Attic Trap		Occupied <i>Dec 7/71</i>
Bracing		Louvres		
Sheathing		Bathroom Vent		
Fire Stop				

Building Inspector

OVER



The Corporation Of The
City Of White Rock
15322 Buena Vista Avenue, White Rock BC V4B 1Y6

Development Services Department

Facsimile: 604-541-2153
Telephone: 604-541-2143

MEMORANDUM

To: File

Date: June 11, 2009

From: Chloe Fox, Planning Technician, Development Services

Subject: **1172 Parker Street – Subdivision Application**

Application withdrawn. Cheque request sent to Finance for refund of 80% of subdivision application fees.

A handwritten signature in black ink, appearing to read 'Chloe Fox'.

Chloe Fox
Planning Technician



Application for Demo Permit

Planning and Development Services
 15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6
 Phone: 604 541 2135 Fax: 604 541 2153
 Website: www.whiterockcity.ca

PROPERTY INFORMATION

Address OF DEMOLITION: 1172 Parker St Roll Number: 005428.000
 Owner: 1076030 BC LTD
 Agent: Harji Bisla Phone/Email: 604-782-5205

CONTRACTOR INFORMATION

Demolition Contractor: Singh Excavating Phone: 604-861-0362
 Business Licence #: 11591

BOND

Name of Person/Company who paid bond: 1076030 BC Ltd

Note: All returnable Bonds are issued to the name of the person or company whose name is on the original cheque payment. (as above). It is the responsibility of the Bond Payee to request any potentially refundable bonds with the Engineering Department AFTER the Building Final

FEES

BONDRD	Road and ROW Bond	\$5,000	\$ 5000.00
DEMOPMT	Demolition SFD/Duplex:	\$1,050	\$ 1071.00
	Demolition Commercial/Multi Family	\$1,250	\$
	Demolition Accessory Building	\$80.00 82.00	\$ 82.00
	Moving Building	\$200.00	\$
	Underground Storage Tank Removal	\$210.00	\$
SANITCF	Sanitary Sewer Connection Fee	\$4,000.00	\$ 4000.00
STORMCF	Storm Sewer Connection Fee	\$4,000.00	\$ 4000.00
	Total		\$14,153.00

Owner/Builder's Signature <u>H. S. Bisla</u>	Application Date JAN 16 2018
Building Inspector/Plan Examiner Signature	Issued Date

Sherry Searle

From: Sherry Searle
Sent: Monday, March 29, 2021 11:04 AM
To: Redacted S. 22
Cc: Ameeta Sahota
Subject: Cancellation of Demolition Permit Application BP 020031- 1172 Parker St.
Attachments: Demo Permit Application Cancellation Letter for 1172 Parker.pdf

Dear Harji Bisla,

Please see attached letter regarding cancellation of the Demolition Permit application for 1172 Parker St.

Regards,

SHERRY SEARLE

Plans Examiner 2, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2295 | www.whiterockcity.ca



**WESTRIDGE ENGINEERING
&
CONSULTING LTD.**

SPECIALIZED PROJECTS AND DEVELOPMENT

UNIT #203, 12992-76 AVENUE SURREY, BC, V3W 2V6
PHONE: (604).789.9520, FACSIMILE (778).564.6507

Engineering Design Final Submission

August 3, 2017

Attention: Mr. Hip Lo, ASc.T.
Engineering Technologist
City of White Rock
877 Keil Street
White Rock, B.C.
V4B 46V

Dear Mr. Lo:

RE: 2 Lots Subdivision at 1172 Parker Street, White Rock
City File No. SD 16 -034

As discussed, on July 31, 2017, please find attached two (2) sets of engineering design final submission drawings for the above development for your review and approval.


Secondly, see attached Westridge Engineering & Consulting Ltd. construction estimates for your review and acceptance (including Cash In-Lieu items including BCHyro).

We hope that this meets your needs to proceed with service agreement. If you have any questions or concern, or need any additional information, please advise the undersigned at 604 789-9520.

Regards,

Signed by:

Westridge Engineering & Consulting Ltd.


Dharam Kajal, P.Eng., M.Eng.
Aug 3, 2017

**WESTRIDGE ENGINEERING
&
CONSULTING LTD.**

SPECIALIZED PROJECTS AND DEVELOPMENT

UNIT #203, 12992-76 AVENUE SURREY, B.C. V3W 2V6
PHONE: (604).789.9520. FACSIMILE (778).564.6507

Engineering Design Final Submission

August 3, 2017

Attention: Mr. Hip Lo, ASc.T.
Engineering Technologist
City of White Rock
877 Keil Street
White Rock, B.C.
V4B 46V

Dear Mr. Lo:

RE: 2 Lots Subdivision at 1172 Parker Street, White Rock
City File No. SD 16 -034

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Signed by:

Westridge Engineering & Consulting Ltd.


Diaram Kajal, P.Eng., M.Eng.

Aug 3, 2017

TOPOGRAPHIC SITE PLAN OF LOT 295 SEC. 11 TWP. 1 NWD PLAN 35303

CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

SCALE 1 : 250



LEGEND

- DENOTES STANDARD IRON POST FOUND
- ⊕ PP DENOTES UTILITY POLE
- Ⓜ DENOTES WATER METER
- MH-S DENOTES SANITARY MANHOLE
- MH-D DENOTES STORM MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- x DENOTES GROUND ELEVATION
- x^w DENOTES TOP OF WALL ELEVATION
- ▭ DENOTES BEST ESTIMATION OF NATURAL GRADE



Lot dimensions are derived from field survey

Elevations are Geodetic (CVD28 GVRD-2005 - IN METERS)
Derived from Control Monument 88H3876 located at the SW corner of the intersection of Buena Vista Ave. and Lee St.
Elevation = 78.44m

Invert elevations and offsets of services from property lines are derived from municipal records and field survey. Contractor to verify all service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter

If this plan is used in digital form, Target Land Surveying will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 1.4m above grade and are shown in cm.

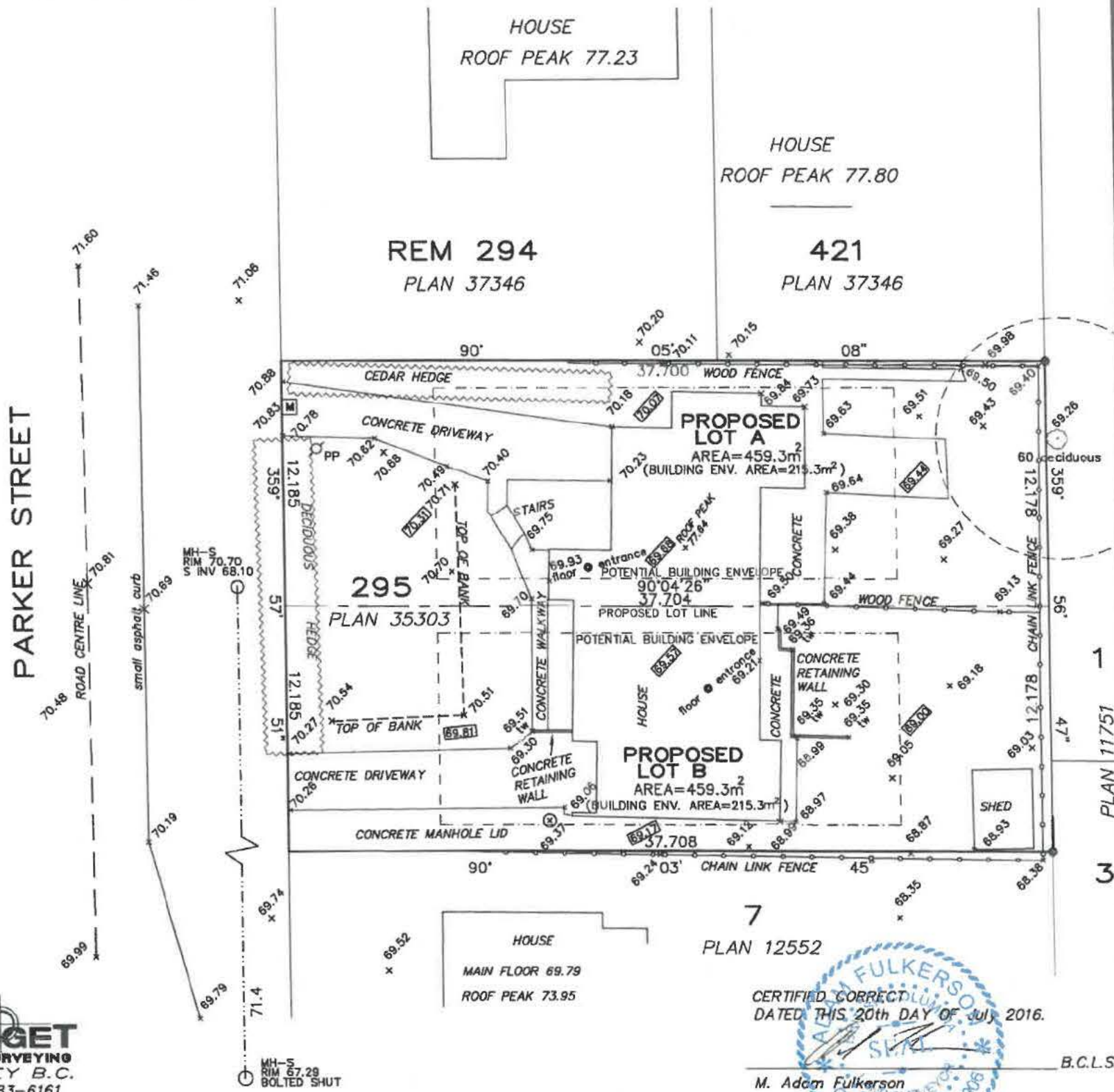
This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

**PROPOSED RS-4 ZONING
BUILDING ENVELOPE SETBACKS**
FRONT YARD : 7.5m
REAR YARD : 7.5m
SIDE YARD : 1.35m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

AVERAGE NATURAL GRADE ESTIMATION	
PROPOSED LOT A	PROPOSED LOT B
70.31	69.81
70.07	69.57
69.44	69.00
69.68	69.17
AVERAGE= 69.88m	AVERAGE= 69.39m

SUBJECT TO CITY OF WHITE ROCK APPROVAL



**TARGET
LAND SURVEYING
SURREY B.C.
604-583-6161**

**FULKERS
LAND SURVEYING**
CERTIFIED CORRECT
DATED THIS 20th DAY OF JULY 2016.
M. Adam Fulkerson
B.C.L.S.

TOPOGRAPHIC SITE PLAN OF LOT 295 SEC. 11 TWP. 1 NWD PLAN 35303

CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

SCALE 1 : 250



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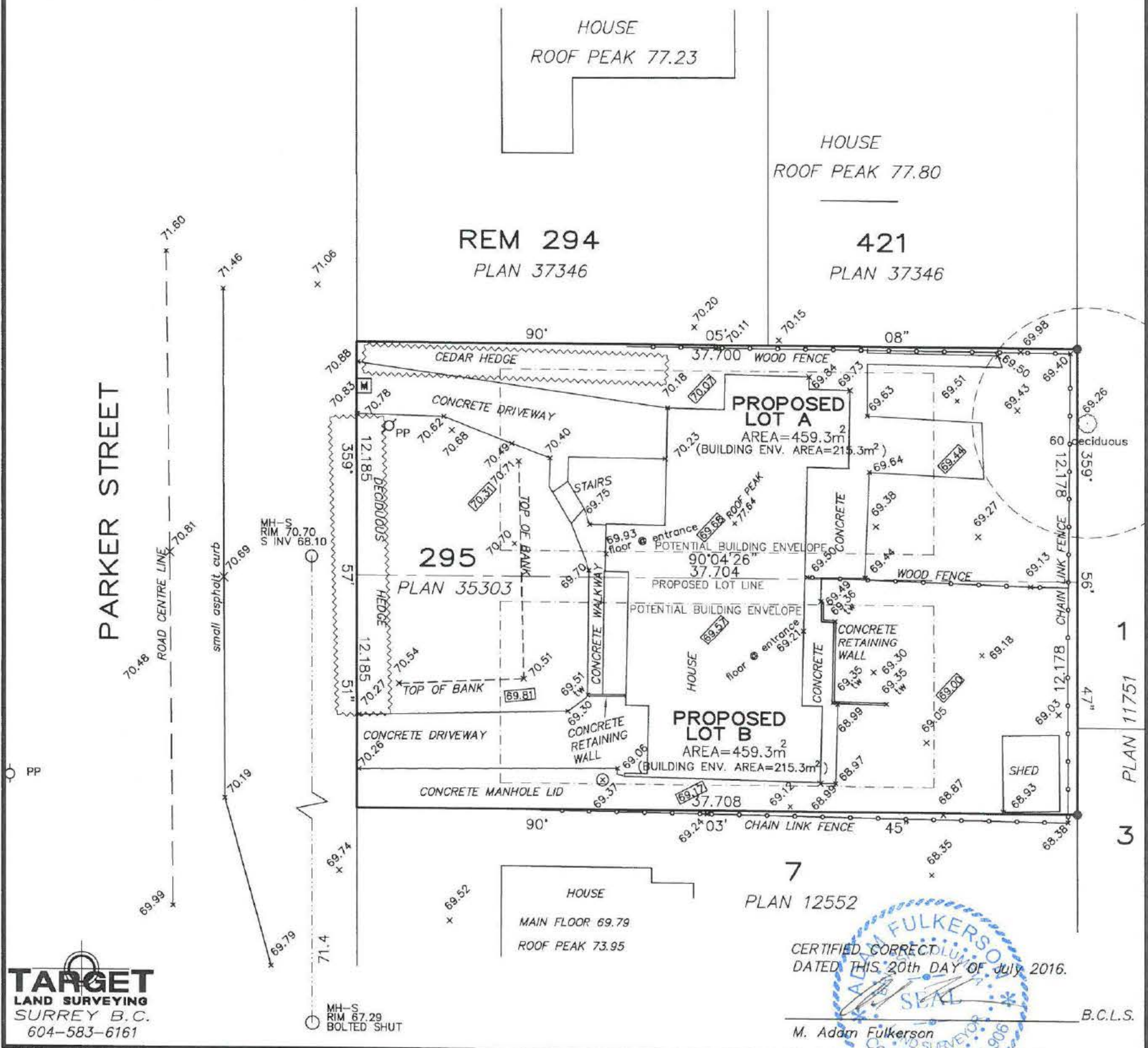
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SUBJECT TO CITY OF WHITE ROCK APPROVAL



TARGET
LAND SURVEYING
SURREY B.C.
604-583-6161

CERTIFIED CORRECT
DATED THIS 20th DAY OF July 2016.

M. Adam Fulkerson
B.C.L.S.

WORKS AND SERVICING AGREEMENT

In connection with the Development of:

1172 Parker Street

**LOT 295 SECTION 11 TOWNSHIP 1 NEW
WESTMINSTER DISTRICT
PLAN 35303 PID 001-565-184 (the "Land")**

BETWEEN:

**CITY OF WHITE ROCK
15322 Buena Vista Avenue
WHITE ROCK, B. C.
V4B 1Y6 (the "City")**

AND:

**1076030 B.C. LTD, INC.NO. BC1076030
12227 75 Avenue
Surrey, BC
V3W 2S7
(the "Owner")**

WHEREAS:

- A. The Owner is the registered owner of 1172 Parker Street, LOT 295 SECTION 11 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 35303 PID 001-565-184
- B. The Owner desires to develop the Land and pursuant to Section 506 of the Local Government Act, is required to provide certain works and services on the Land and highways adjoining the Land.
- C. The Owner wishes to defer construction of these works and provide security for their completion until after issue of the building permit pursuant to Section 509 of the Local Government Act.

NOW THEREFORE in consideration of the terms and conditions herein, the parties covenant and agree as follows:

OWNER TO DO WORK 1. The Owner covenants and agrees to construct and provide all the works and services listed on Schedule "A" as approved by the City (the "Works"), in accordance with City of White Rock Engineering Standards and Specifications in force at the time of this Agreement.

SCHEDULES 2. The following Schedules shall be read with and form part of this Agreement:

Schedule A – List of Works
Schedule B – Engineer's Cost Estimate
Schedule B – Cash-in-Lieu
Schedule C – Subdivision Plan

START OF WORK

3. The Owner covenants and agrees not to commence construction of the Works until all City agreements and permits are executed.

A Right of Way Use Permit is required prior to the commencement of any works or activities on the Right of Way.

COMPLETION OF WORK

4. The Owner shall, at the Owner's cost, substantially complete the construction of the Works to the satisfaction of the City either prior to Occupancy Permit issuance or by the **8th day of August 2018**. The City will consider a request for a revised completion date if made in writing by the applicant.

PERMISSION TO DO WORK

5. The City covenants and agrees to permit the Owner to construct the "Works", on the terms and conditions herein, and in the manner required by and at the places specified in the plans and specifications; prepared by the Owner's Professional Engineer and accepted by the City for construction.

TRANSFER OF INTEREST IN WORKS

6. The Owner covenants and agrees with the City to assign, transfer and convey to the City all of its rights, title and interest in the works upon completion of the Works (as witnessed under this Agreement by the issuance of a Certificate of Acceptance). Nothing in this Agreement shall be construed as an undertaking on the Part of the City to make available the use of or access to the Works for any purpose, and without limiting the foregoing, for the purpose of serving the Lands or any other property. The City reserves the right in its sole and absolute discretion to make available, operate, alter, use, extend, diminish, discontinue, tear up, sell, rent, or otherwise dispose of the Works as Council from time to time deems fit.

RIGHTS-OF-WAY

7. The Owner shall grant to the City all necessary road dedications, statutory rights-of-way and easements over the said Lands to accommodate the Works, and where located upon or under privately owned lands other than the Land, shall obtain at the Owner's expense, all necessary road dedications, statutory rights-of-way and easements over such lands, in favour of the City where applicable, to accommodate the said works.

DESIGN BY P. ENG.

8. The Owner covenants and agrees that all Works shall be designed by a Professional Engineer, in good standing and registered in the Province of British Columbia, retained by the Owner. Plans and specifications for the Works shall

bear his professional seal and signature and shall be submitted to the City Engineer for approval prior to construction.

COMPLIANCE WITH LAWS

- 9. In undertaking the Works, the Owner shall construct, install and complete the Works in accordance with this Agreement and all applicable laws, bylaws, permits, licenses, statutes, regulations, orders, codes (including the BC Building Code), and other applicable enactments.

ADHERENCE TO ENGINEERING DRAWINGS

- 10. The Owner confirms to the City that in undertaking the Works, the Owner shall strictly adhere to the Engineering Drawings and obtain the prior written approval of the City Engineer for any changes to the Engineering Drawings.

SAFETY DURING CONSTRUCTION

- 11. The Owner covenants and agrees to provide, pay for, erect, and maintain various protective devices to ensure the safety of the public during the construction of the Works.

INSPECTION

- 12. The Owner covenants and agrees to have its Professional Engineer inspect and certify that the Works have been carried out substantially in accordance with the accepted drawings and the City of White Rock Engineering Standards and Specifications.

CITY INSPECTION

- 13. The Owner authorizes the City, its agents and contractors to enter upon the Land and other work sites at all times as the City may consider necessary or convenient for the carrying out of this Agreement, including without limitation for the purpose of inspecting or undertaking the Works.

CITY DIRECTIONS

- 14. If the City considers at any time that the Works are in any way defective or do not operate in a satisfactory manner, the City may require the Works to be corrected and Owner shall, at its own expense, modify and reconstruct the Works immediately so that the Works are fully operative and function in accordance with the required standards.

Any explanations, orders, instructions, directions and requests given by the City to the Professional Engineer shall be deemed to have been given to the Owner.

AS- BUILT SUBMISSION

- 15. The Owner covenants and agrees to submit to the City the final "as-built" drawings and records of construction, and test results, acceptable to the City Engineer, pursuant to the City of White Rock Engineering Standards and

Specifications, within 30 days of the date of substantial completion of the Works.

**GRANT OF
STATUTORY
RIGHT-OF-WAY**

16. The Owner shall, prior to the City's acceptance of the Certificate of Substantial Completion, grant to the City, in the City's standard form of agreement, and cause to be registered, in prior to all charges except those accepted by the City, statutory rights of way for all portions of the Works located on privately-owned lands which the City determines are to be owned, maintained and repaired by the City, and the Owner shall be responsible for all associated surveying and land title registration costs.

**CERTIFICATE OF
SUBSTANTIAL
COMPLETION**

17. The City covenants and agrees that, upon Substantial Completion by the Owner of the covenants and conditions in this Agreement, and upon the receipt of written request by the Owner's engineer, to provide the Owner with a Certificate of Substantial Completion, signed on approval by the City Engineer. All Works remain at the risk of the Owner for one year until the Certificate of Acceptance for the Works has been issued. Five percent (5%) of the security deposit or a minimum of \$5,000 will be held from the date of Substantial Completion until the Certificate of Acceptance is issued.
- 17a. Occupancy Permit shall not be issued unless:
- a) All final letters of assurance showing substantial completion have been submitted when required in accordance with this agreement;
 - b) All aspects of the work requiring inspection and acceptance pursuant to this agreement have been inspected and are substantially complete.

**CERTIFICATE OF
ACCEPTANCE**

18. The City covenants and agrees that
- Upon:
- a) the City's receipt of the Final Performance Certificate signed and sealed by the Owner's Professional Engineer;
 - b) payment to the City of any amount owing under this Agreement,
 - c) delivery by the Owner to the City of the As Built Drawings;

the City will:

- a) issue a letter of acceptance of the Final Performance Certificate;
- b) return the Deficiency Security or portion remaining, if any, to the Owner; and
- c) return the Warranty Security or portion remaining, if any, to the Owner.

**OWNER INDEMNIFIES
CITY**

19. The Owner covenants and agrees to save harmless and effectually indemnify the City:
- (a) Against all actions, proceedings, claims and demands whatsoever and whomsoever brought by reason of any work or service performed under this Agreement.
 - (b) Against all expenses and costs which may be incurred by reason of the execution of the Works, resulting in damage to any property owned by the City or which the City by custom or duty is obliged to construct, repair or maintain.
 - (c) Against all expenses and costs which may be incurred by reason of liens for non-payment of labour or materials, Workers' Compensation assessments, unemployment insurance, federal or provincial tax, and for encroachments due to mistakes in survey, and all such claims recoverable from the City.
 - (d) All expenses and costs which may be incurred by the City as a result of faulty workmanship and defective material in any of the works installed by the Owner.

This indemnity shall survive any expiry or other termination of this Agreement.

**OWNER RELEASES
CITY**

20. The Owner shall release the City and the City Representatives from and against any and all actions, causes of action, liabilities, demands, losses, damages, costs, expenses (including actual fees of professional advisors), remediation of contamination costs, fines, penalties and other harm of any kind whatsoever, despite any negligence by the City or the City Representatives, whether related to death, bodily injury, property loss, property damage or consequential loss or damage, which the Owner may suffer or incur in relation to this Agreement.

This release shall survive any expiry or other termination of this Agreement.

**INSURANCE
COVERAGE**

21. The Owner shall ensure that it or its contractors shall have in force during the course of the work a public liability insurance policy in the amount of at least FIVE MILLION DOLLARS (\$5,000,000.00) and shall provide evidence of the policy prior to the commencement of the Works.

The Owner's Policy shall state the location of the works and include the City as "additional named insureds".

OWNER'S RISK

22. The Owner acknowledges and agrees that the Owner relies exclusively on its own expertise, the Owner's Consulting Professionals and contractors, and that the City does not, by its approvals, inspections, issuance of certificates, or acceptance of the Works, warrant or represent that the Works are in compliance with this Agreement or any enactment or warrant the quality, fitness for purpose, adequacy or safety of the Works. The Owner further acknowledges and agrees that all approvals and inspections of the Works by the City are for the sole benefit of the City and shall in no way relieve the Owner from constructing and installing the Works in strict compliance with this Agreement.

SECURITY DEPOSIT

23. As security for the due performance of all of the covenants and promises contained in this Agreement, the Owner has deposited with the City a security deposit in the amount of Sixty Eight Thousand Seven Hundred and Fifteen cents (\$68,700.15) as per Schedule B, Engineer's Cost Estimate, in the form of cash or an irrevocable Letter of Credit.



The letter of credit shall be irrevocable with an automatic renewal clause acceptable to the City to keep the Security Deposit in effect.

CASH IN LIEU

24. The owner agrees to pay a cash-in lieu deposit to the City in the amount of Sixty One Thousand Eight Hundred and Sixty Six dollars and Fifty cents (\$61,866.50) as per Schedule B, Engineer's Cash-in-Lieu Estimate, in the form of cash to cover the cost of works by the City for future capital projects. This cash in-lieu is non-refundable.



**FORFEIT OF SECURITY
DEPOSIT**

25. In the event that the Owner fails to construct and install the Works prescribed herein within the time specified in Subsection 4, the Security Deposit shall be forfeited to the City.

USE OF SECURITY

26. The Owner agrees that if all the Works are not completed or its obligations performed pursuant to the Agreement, the City may complete or fulfill the works or obligations at the

cost of the Owner and deduct from the Security Deposit the cost of such completion, and the balance of the deposit shall be returned to the Owner, less any legal and administration fees, or costs incurred. If there is insufficient money on deposit with the City, then the Owner will pay such deficiency on the City's bill for completion. The City may do such work either by itself or by contractors employed by the City. If the Works are completed as herein provided, then the deposit shall be returned to the Owner.

RELEASE OF SECURITY 27.

If the City Engineer is of the opinion that the Works or any portion thereof have been adequately completed, and the Owner's covenants performed in compliance with this Agreement, and if there is no litigation pending or threatened against the City as a result of, or arising from the construction of the Works, the City Engineer may, at the request of the Owner's engineer, return a portion of the Security Deposit to the Owner, during the period from the commencement of construction to Substantial Completion. The minimum amount of any security release for any given month shall be \$10,000.00.

ADMINISTRATION FEE 28.



The Owner covenants to pay the City a **non-refundable** fee in the amount of Two Thousand Seven Hundred and Forty Eight dollars (\$2748.00) to cover City administration and engineering costs.

NO OTHER REPRESENTATIONS 29.

It is understood and agreed that the City has made no representations, covenants, warranties, guarantees, promises or agreements, verbal or otherwise, with the Owner other than those in this Agreement.

TIME IS OF THE ESSENCE 30.

Time is of the essence of this Agreement.

NO WAIVER 31.

The Owner covenants and agrees that nothing contained or implied herein shall prejudice or affect the rights and powers of the City in the exercise of its functions under any statutes, bylaws, orders, and regulations, all of which may be fully and effectively exercised in relations to the said Lands as if and the Works as if the Agreement had not been executed.

NO EFFECT ON LAWS AND POWERS 32.

This Agreement does not:

- a) affect or limit the discretion, rights, duties or powers of the City under any enactment or at common law, including in relation to the use or subdivision of the Land;
- b) affect or limit any enactment relating to the use or subdivision of the Land; or
- c) relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Land.

The Owner acknowledges having read and fully understood all the terms and conditions of this Agreement and confirms that this Agreement has been entered voluntarily.

WHENEVER the singular or the masculine is used in the Agreement it will be construed as including the plural or the feminine or body corporate or politic where the context of the parties so require.

THIS CONTRACT SHALL ENSURE TO THE benefit of and be binding upon the parties hereto, their respective successors and assigns.

IN WITNESS WHEREOF the parties hereto have executed this contract this 11 day of August, 2017

THE CORPORATE SEAL OF
1076030 B.C. LTD.
was affixed in the presence of



Authorized Signatory

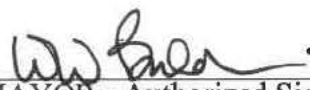
HARTI BISLA.
Print Name

Authorized Signatory

Print Name


Signed
11/11/2017
August
RAJ BINPAL
BARRISTER & SOLICITOR
215... AVE.
SURREY, B.C. V3W 2P2
604-541-...

THE CORPORATE SEAL OF THE
CITY OF WHITE ROCK
was affixed in the presence of



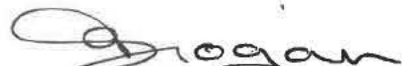
MAYOR - Authorized Signatory

Wayne Baldwin
Mayor



CITY CLERK - Authorized Signatory

Tracey Arthur
City Clerk


GURDEEP DIOGAN, COMMITTEE & FOI CLERK
A COMMISSIONER FOR TAKING AFFIDAVITS
IN THE PROVINCE OF BRITISH COLUMBIA
CITY OF WHITE ROCK
15322 BUENA VISTA AVENUE
WHITE ROCK, BC V4B 1Y6
(604) 541-2127
EXPIRES MARCH 31, 2020

SCHEDULE A

LIST OF WORKS

A-1 SCOPE OF WORK

The works and services shall be as shown on the following design drawings completed by Westridge Engineering & Consulting Ltd.

Drawing Title	Sheet	Date	Revision
Key Plan	1	May 19 2017	2
Lot Grading Plan	2	May 19, 2017	2
ESC Plan	3	May 19, 2017	2

A-2 WATERWORKS

Obtain and provide the necessary water services for the development from White Rock Water Services to adequately meet all applicable City by-laws and Provincial codes.

A-3 WIRING

Provide and install underground hydro, tel and cable on all dedicated roadways as approved by the City Engineer. All power transformation shall take place on the lands and shall be screened from public view acceptable to the City Planner.

A-4 REINSTATEMENT

Repair and reinstate all existing roadways, driveways and boulevards affected by the above said works. All reinstatement shall be completed to the satisfaction of the City Engineer.

A-5 STREET SIGNS

The Developer shall provide and erect street marker signs, regulatory and warning signs, and provide and apply traffic paint in the marking of traffic lanes and other traffic regulatory markings upon the lands and highways where deemed necessary by the City with the full cost thereof to be paid by the Developer.

SCHEDULE B
ENGINEER'S COST ESTIMATE

WESTRIDGRE ENGINEERING & CONSULTING LTD.

SPECIALIZED PROJECTS AND DEVELOPMENTS



SUITE#203, 12992 – 76 AVENUE SURREY, V3W 2Y6
PHONE:(604).789.9520, FACSIMILE (778).564.6507

2 LOT SUBDIVISION, #1172, PARKER STREET WHITE ROCK
CLASS A CONSTRUCTION COST ESTIMATE (OFF SITE)

SUMMARY SHEET

03-Aug-17

ITEM	ESTIMATED COST
Roadworks Works	<u>\$20,838.15</u>
Storm Sewers	<u>\$0.00</u>
Storm Sewer Service Connection	<u>\$10,000.00</u>
Sanitary Sewers	<u>\$14,816.00</u>
Watermains	<u>\$11,000.00</u>
Street Lighting	<u>\$0.00</u>
Siltation Control & Lot Grading	<u>\$9,046.00</u>
Traffic Signals	<u>\$0.00</u>
BC Hydro and Telephone Civil Works	<u>\$0.00</u>
Miscellaneous (Two (2) proposed trees)	<u>\$1,500.00</u>
Video Testing Service Connection and Sewermain	<u>\$1,500.00</u>
SUBTOTAL:	<u>\$68,700.15</u>

TOTAL CONSTRUCTION COST ESTIMATE: \$68,700.15

PROFESSIONAL
PROVINCE
OF
D. P. KAJAL
27269
BRITISH
COLUMBIA
ENGINEER

Aug 3, 2017

WESTRIDGRE ENGINEERING & CONSULTING LTD.

SPECIALIZED PROJECTS AND DEVELOPMENTS



SUITE#203, 12992 - 76 AVENUE, SURREY, V3W 2V6
PHONE: (604) 789.9520, FACSIMILE (778) 564.6507

2 LOT SUBDIVISION, #1172, PARKER STREET WHITE ROCK

ITEM	DESCRIPTION	UNIT	QUANTITY	UNIT	
				PRICE	AMOUNT
<u>ROADWORKS - CASH IN-LIEU</u>					
1	Remove and Dispose Pavement 2. Milling Asphalt	m2	209	\$15.00	\$3,135.00
2	Remove and Dispose of Existing Structures 4. Fences	m	14	\$10.10	\$141.40
3	Saw Cutting Asphalt 1. 25 mm Depth	m	12	\$7.50	\$90.00
4	Subbase Course 1.3 Gravel (Pit-Run), 300 mm Thick	m2	90	\$9.00	\$810.00
5	Base Course 1.3 Gravel (Crushed) 100 mm Thick	m2	90	\$5.30	\$477.00
6	Concrete Curbs and Gutters 1.1 Barrier Type (150 mm High)	m	25	\$112.50	\$2,812.50
7	Asphaltic Base Course Pavement (20 mm Mix) 2. 40 mm Thickness	m2	299	\$20.25	\$6,054.75
8	Asphaltic Surface Course Pavement (13 mm or 19 mm Mix) 2. 25 mm Thickness	m2	0	\$13.50	\$0.00
9	Concrete Sidewalk, 1.50 m Wide Including Excavation and Granular Base 1.1 Concrete 100 mm Thick	m	25	\$72.00	\$1,800.00
10	Concrete Driveway Crossing and Wheelchair Ramps Including Excavation and Granular Base 1.2 Concrete 150 mm Thick	m2	24	\$90.00	\$2,160.00
11	Asphalt Sidewalks Including 50 mm Asphalt, 100 mm Gravel Base	m2	5	\$40.50	\$202.50
12	Construct Driveways 2. Concrete 120 mm Thick (Not including Gravel Base)	m2	35	\$85.00	\$2,975.00
13	Grading of Boulevards 1. Flat areas	m2	36	\$5.00	\$180.00
TOTAL ROADWORKS - CASH IN-LIEU:					\$20,838.15
<u>STORM SEWERS - CASH IN-LIEU</u>					
1	Storm Sewers Fronting This Development	total	0		\$0.00
TOTAL STORM SEWERS - CASH IN-LIEU:					\$0.00

STORM SEWERS

1	Lot Service Connections 3. Connections, Complete with Inspection Chambers	each	2	\$5,000.00	\$10,000.00
<hr/>					
TOTAL STORM SEWERS:					\$10,000.00

SANITARY SEWER

1	Lot Service Connections 3. Connections, Complete with Inspection Chambers	each	2	\$5,000.00	\$10,000.00
2	2 to 2.99 m Depth to Pipe Invert	m	12	\$243.00	\$2,916.00
3	Manhole Base, Lid, Frame and Cover 2. 1,050 mm dia.	each	1	\$1,900.00	\$1,900.00
<hr/>					
TOTAL SANITARY SEWER:					\$14,816.00

WATER MAIN

1	19 mm dia. Lot Service, Connections Complete with Connections to Main and All Valving, etc.	each	2	\$5,500.00	\$11,000.00
<hr/>					
TOTAL WATERMAINS:					\$11,000.00

STREET LIGHTING CASH IN-LIEU

1	Street Lighting Charges	Total	0	\$10,000.00	\$0.00
<hr/>					
TOTAL STREET LIGHTING CASH IN-LIEU:					\$0.00

SILTATION CONTROL & LOT GRADING

1	Siltation Control & Lot Grading Charges	Total	1	\$9,046.00	\$9,046.00
<hr/>					
TOTAL SILTATION CONTROL & LOT GRADING:					\$9,046.00

B.C. HYDRO CIVIL WORKS

1	Hydro/Telecomm. Utility Charges	Total	0	\$10,000.00	\$0.00
<hr/>					
TOTAL B.C. HYDRO / TELEPHONE:					\$0.00

MISCELLANEOUS

1	Two (2) proposed Trees	ea	2	\$750.00	\$1,500.00
2	Video test	total	1		\$1,500.00
<hr/>					
TOTAL MISCELLANEOUS:					\$3,000.00

SUBTOTAL: \$68,700.15

TOTAL CONSTRUCTION COST ESTIMATE: \$68,700.15



WESTRIDGRE ENGINEERING & CONSULTING LTD.

SPECIALIZED PROJECTS AND DEVELOPMENTS



SUITE#203, 12992 – 76 AVENUE SURREY, V3W 2V6
PHONE:(604).789.9520. FACSIMILE (778).564.6507

2 LOT SUBDIVISION, #1172, PARKER STREET WHITE ROCK
CLASS A CONSTRUCTION COST ESTIMATE (OFF SITE)

SUMMARY SHEET CASH IN-LIEU

03-Aug-17

ITEM	ESTIMATED COST
Roadworks Asphalt Overlay Cash In-Lieu	<u>\$8,666.50</u>
Storm Sewers Upgrade Cash In-Lieu Fronting This Development	<u>\$12,000.00</u>
Street Lighting Cash In-Lieu	<u>\$10,000.00</u>
BC HYDRO Cash In-Lieu Fronting This Development	<u>\$31,200.00</u>
SUBTOTAL:	<u>\$61,866.50</u>
<u>TOTAL CASH IN-LIEU COST ESTIMATE:</u>	<u>\$61,866.50</u>



D. P. KAJAL
Aug 3, 2017


1172 Parker Street,
White Rock.

To Whom it May Concern.

This is a request to extend PLA for subdivision
file No. 16-034. Legal description for the property is:

Lot 295 Section 11 New Westminster District Plan NWP35303/TWP.
1

Thank You,

Hanji Bisla. 

17 Oct. 2019

RECEIVED

OCT 17 2019

CITY OF WHITE ROCK
DEVELOPMENT SERVICES

April 17, 2020

Harji Bisla
12227 75 Avenue
Surrey, BC V3W 2S7
VIA email: Redacted S. 22

Re: Interdepartmental Comments – Subdivision Extension Request 16-034 – 1172 Parker Street

Please refer to the interdepartmental comments below related to the Subdivision Extension Request for 1172 Parker Street:

CITY ARBORIST COMMENTS

1. A total of four Letters of Understanding are required from the neighbours with regards to the neighbouring trees.
2. The arborist report is expired and as such an updated report is required.

PARKS COMMENTS

1. There is a shared deciduous hedge along the west property line on the boulevard. If you are wanting to save this hedge, then a proper tree barrier will be required around the whole hedge to preserve it.
2. If you would like to remove the hedge, there will be a requirement of two replacement trees to replace the hedge. The securities (\$ 3,000) will be taken as cash in lieu and the city will plant the trees once the project is completed.

ENGINEERING COMMENTS

1. The Servicing Agreements states a completion date of August 2018. The Engineer on Record will need to submit an extension request to engineering with the associated fee.

FIRE COMMENTS

1. No additional requirements.

PARKING COMMENTS

1. No additional concerns.

Please note that these comments are only related to the materials submitted to date. Additional information or revisions may be required subsequent to the information provided.

If you have any questions please do not hesitate to contact the undersigned.

Regards,

Planning and Development Services
P: 604.541.2136 | F: 604.541.2153

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
My City by the Sea!

www.whiterockcity.ca



Athena von Hausen, MCIP, RPP

Planner, Planning and Development Services Department

City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2159 | Fax: 604.541.2153 | avonhau@gmail.com

1298933 B.C. Ltd.

7650 151A Street
Surrey, BC V3S 5P1
Tel: (604) 505-5417

May 5, 2021

City of White Rock
15322 Buena Vista
White Rock, BC
V4B 1Y6

Re: 1172 Parker Street, White Rock, BC

To whom it may concern:

I am writing to advise the City of White Rock that my Company, 1298933 B.C. Ltd, is the new owner of the property located at 1172 Parker Street. I would like to carry forward the applications and works from the previous owner regarding the subdivision of this property and am hereby requesting an extension of the Preliminary Layout Approval (PLA). Please note that works going forward to finalize the subdivision will be carried out in an expeditious manner. For your perusal, please find enclosed:

- 1) A cheque for \$510 for the PLA extension.
- 2) Development application form, with payment of \$500, for assignment of the application.
- 3) Title search document showing 1298933 B.C. Ltd. as the owner.

I am looking forward to working with the City to complete the subdivision. If you have any questions, or require further information, please feel free to contact me at anytime.

Kind regards,



Arun Gupta
Director

RECEIVED

MAY 07 2021

PLANNING & DEVELOPMENT
CITY OF WHITE ROCK



Date: May 31, 2021

Email: **Redacted S. 22**

File: SUB 16-034

Arun Gupta, Owner
1298933 B.C. Ltd.
7650 151A Street
Surrey, BC V3S 5P1

**Re: Preliminary Layout Approval
Subdivision of 1172 Parker Street**

This Preliminary Layout Approval (PLA) letter is issued to authorize the subdivision of the parcel listed below ('Subject Property') from one to two lots, subject to the conditions outlined herein. This letter does not constitute an approval, and any matters that have not yet been considered or arise after the date of this letter, through changes to legislation, regulations, or bylaws, or otherwise, may result in revisions to the requirements listed below or the refusal of the proposed subdivision. If the applicant has not applied for final approval within one year from the date of issuance of this letter the preliminary approval of the proposed subdivision shall lapse.

Civic Address	Legal Description	PID
1172 Parker Street	LOT 295, PLAN NWP35303, SECTION 11, TOWNSHIP 1, NEW WESTMINSTER LAND DISTRICT	011-565-184

1. Zoning and Lot Dimensions

The following requirements relating to zoning and lot dimensions must be addressed before final approval of the proposed subdivision can be considered:

1.1 City of White Rock Zoning Bylaw, 2012, No. 2000

Development of each lot must be undertaken in accordance with the requirements of the RS-4 One Unit (12.1m Lot Width) Residential Zone.

1.2 Tree Management

An arborist report was required and submitted as part of the original subdivision application dated July 31, 2016 and prepared by PNW Arborist Training Solutions. The following items are required:

- a) The arborist report needs to be updated to confirm the existing condition of any protected trees.
- b) The front hedge has been severely pruned and cut back. This hedge lacks retention value and can be removed with a payment of \$3000 for two trees to be kept as cash-in-lieu to be planted in the future when road improvements are completed. Driveways should be designed in anticipation of tree planting and services should be provided underneath the driveway. Each driveway crossing

on the City boulevard shall be a maximum of 4.5 m wide to provide adequate soil volume and spatial consideration for the installation and maturation of new City trees.

- c) The City does not support the reduction and removal of 50% of the tree protection zone for offsite tree 002 as there is a greater risk for impact to the tree and it is against best practices. Reducing the size of the protected tree's root zone by 50% can compromise the health and future of the tree, specifically when considering the impacts that the tree has had from recent and ongoing development behind this property. A level 2 assessment is required with involvement and permission from the tree owner. Please gather further information about this mature tree. A Letter of Understanding (LOU) and permission from the owner of the tree at 15778 Buena Vista Avenue is required if you are proposing to remove more than 50% of the required root zone or proposing to remove the tree. The letter will need to confirm the neighbour's understanding of the related risks to the health and structure of the tree, if removal of more than 50% of the root zone is proposed. In the event that you are not able to acquire a LOU from the neighbouring property, the City may require a tree covenant to prohibit development within the 12 metre tree protection zone of offsite tree 002.

2. Works and Services

The following engineering and servicing requirements must be addressed before final approval of the proposed subdivision can be considered:

2.1 Works and Servicing Agreement

A Works and Servicing Agreement is a notarized agreement between the applicant and the City of White Rock that outlines the works and services to be provided to each lot by the applicant in accordance with the requirements of the *City of White Rock Subdivision Bylaw 1980, No. 777*, as amended. This includes bringing the road frontage (i.e. road works, sidewalks, curbs and gutters, street lighting, street trees/landscaping, etc.) up to current municipal standards to the centerline abutting the development, as well as the installation of any new sanitary and storm sewer connections and/or capping of existing service connections. The applicant must submit the following information to the Engineering and Municipal Operations Department for inclusion in the Works and Servicing Agreement:

- a) A Works and Servicing Agreement was executed on August 11th, 2017. The Servicing Agreements states a completion date of August 8th, 2018. The Engineer on Record will need to submit an extension request to Engineering. You will need to resubmit your civil design, cost estimate, pay the extension fee of \$350.00, and restructure the bonds taken to meet our current requirements. The securities for "the Works" have increased from 100% to 150% of the cost estimate.
- b) As stated above, driveways should be designed in anticipation of tree planting and services should follow underneath driveway path.
- c) For water, a serviceability report is required from Kerr Wood Leidal. Depending on the reports results additional works may be required. A \$371.00 fee would be submitted with your Lot Servicing Application extension. Please fill out the application form attached to this letter and submit to engpermits@whiterockcity.ca.
- d) New water services are to be 38mm per City standard and must be shown as such in the civil designs.
- e) No City fiber optic conduit is required at this location.
- f) A plan showing the proposed layout/location of all sidewalks, street lighting, and street trees.
- g) A plan showing the location of all existing and proposed service connections to the property such as water, sanitary sewer, and storm sewer.
- h) A plan showing on-site storm water detention in accordance with City policies and any development permit guidelines and, where required, proper engineering drawings showing

existing and proposed ground elevations, grading, directions of flow for surface water, along with existing and proposed swale, ditch, and storm system locations.

- i) A topographic survey prepared by a BC Land Surveyor that includes point elevations as well the location and diameters of trees on the subject property and immediately adjacent land.
- j) A detailed sediment and erosion management plan which clearly shows how on-site run-off will be mitigated, and the locations of permanent and temporary sediment basins. The plans should also clearly indicate how vehicular access would be managed to prevent tracking of sediment onto municipal roads and the locations and mechanisms to protect existing storm drain inlets, where applicable.
- k) A letter from a qualified professional engineer retained by the applicant that includes cost estimates for the works outlined above to bring the road frontage up to municipal standards and for the installation and/or removal of service connections. The letter must also provide assurance that all required works and services will be designed, installed, and inspected in accordance with municipal standards and specifications.

2.2 Location of Additional Services

The applicant is required to communicate with BC Hydro, TELUS, Shaw Cable, and FortisBC to obtain designs for new servicing and/or relocation of existing works, and submit each design to the Engineering Department for review and approval.

The applicant is also responsible for the installation of underground ducts to the property line for future underground electrical, telephone, and cable servicing, as per the requirements of the *White Rock Electrical Connection Regulation By-law, 1974, No. 548*.

2.3 Excess or Extended Services

Should any 'excess or extended services' be required as set out in the *Local Government Act*, the works must be approved in writing by the City prior to commencement of construction. In the event the City is unable to cost-share on such works, wherein the works are not included in the City's approved capital works budget, it may be possible to recover some of the cost as adjacent properties utilize the service, by entering into a 'latecomer agreement' with the City. The obligation is upon the applicant making the request to initiate the steps necessary to secure such an agreement, including identification of benefiting areas and the determination of extent of benefit for each property.

3. **Legal and Surveying Details**

The following legal surveying requirements must be addressed before final approval of the proposed subdivision can be considered:

3.1 Confirmation of Non-Encroachment

All existing buildings and structures, including dwellings, which cannot meet the required setbacks for the new lots must be removed prior to final approval. Further, any ancillary buildings that are not on the same lot as an existing principal building must be removed prior to final approval, and services must not encroach on another property. The applicant must provide a survey from a BC Land Surveyor showing that all retained buildings meet the required setbacks of the newly created properties. If all buildings and structures are being removed, a completed demolition permit is sufficient to satisfy this requirement. Details pertaining to demolition permit applications can be found on the City's webpage here: <https://www.whiterockcity.ca/171/Forms-Applications>.

3.2 Registerable Documents

The applicant is required to provide drafts of all applicable easements and rights-of-way pursuant to Section 218 of the *Land Title Act*, or covenants pursuant to Section 219 of the *Land Title Act*, for review by

City staff. All agreements/covenants require that the surveyor shall show the boundaries of all rights-of-way, easements and covenant areas on the survey plans, and *Land Title Act* requirements for rights-of-way/ easement/ covenants are to be stamped on the final survey plan to ensure registration of both/all. Two signed paper copies and an electronic copy of all approved registerable documents are to be submitted to the City. Signed Priority consent over all financial charges must be given to the City of White Rock.

If a covenant in favour of the City is required as a condition of approval, the following notation must be included within the covenant:

"This is an instrument required by the Approving Officer for subdivision Plan EPP_____ creating the condition or covenant entered into under s.219 of the Land Title Act."

_____ [Signature] Approving Officer

_____ [Fill in name of Approving Officer]

3.3 Letter of Undertaking

The applicant is required to submit a solicitor's or notary's letter of undertaking to file in the Land Title Office all documents and priority consents in favour of the City over all financial charges and lease agreements. The letter of undertaking shall specifically require that all documents be submitted for registration on an "all or nothing" basis, and that the solicitor or notary shall provide the Planning and Development Services Department with one (1) copy of each document within 10 days after registration is complete. At the time of deposit of the documents the solicitor or notary shall request from the Land Title Office the new State of Title Certificate(s), and upon receipt shall forward them to the City within 10 days. All documents shall be returned to the City if the solicitor or notary is unable to file them.

4. Fees, Charges, and Securities

The following payments must be submitted before final approval of the subdivision can be considered:

4.1 Payment of Property Taxes

All outstanding and current year's taxes (municipal and school portions) for the subject property shall be paid in full.

4.2 Works and Servicing Fees and Securities

The administration fee, along with securities in the amount of **150%** of the cost estimate for all required works and servicing for the new lots, must be submitted by the applicant. The amount of the fee and securities are included in the Works and Servicing Agreement. **The fee for the securities has increased from 100% to 150% since your original application.**

4.3 Development Cost Charges

Development cost charges (DCCs) as outlined in the *White Rock Development Cost Charges Bylaw, 2015, No. 2112*, as amended are to be submitted by the applicant. DCCs for the subdivision of one (1) lot into two (2) new lots are as follows:

Table 1.0 Summary of Development Cost Charges

	Fee (per Unit)	Units Subject to Fee	Sub-Total
City of White Rock DCCs	\$19,294.76	1	\$19,294.76
TransLink DCCs	\$2,975.00	1	\$2,975.00
Metro Vancouver (Regional) DCCs	\$5,428.00	1	\$5,428.00
Surrey School District SSACs	\$1,000.00	1	\$900.00
		Total	\$28,597.76

5. Final Approval Requirements

This preliminary layout approval should not be considered final approval for land registration purposes. In addition to the requirements listed above, the following requirements must be addressed before final approval of the proposed subdivision can be considered:

5.1 Survey Plan Certification

The applicant is required to submit a plan prepared by a BC Land Surveyor, along with the certification that the plan is accurate, that shows all lot dimensions, lot areas, and street names. If a covenant in favour of the City is required as a condition of subdivision approval, the following notation must be included on the plan:

"A Covenant [or: (insert number) Covenants] in the name of ___{name of covenantee}_ pursuant to Section 219 of the Land Title Act is a condition of approval for this subdivision."

5.2 Application to Deposit Plan

An electronic copy and a hard copy of the Application to Deposit Plan are required. The Plan is to be in substantial compliance with the layout attached to this letter, and must show Subdivision File No. SUB 16-034 below the space for the Approving Officer's signature. All required signatures must be on the Plan prior to submission for the Approving Officer's signature.

5.3 Request for Final Approval and Final Approval Fee

Once all of the required information contained in this Preliminary Approval Letter has been submitted, approved, and/or addressed, the applicant is required to submit a written request for final approval along with a final approval fee in the amount of \$255.00.

All inquiries should be directed towards Greg Newman, Manager of Planning, at gnewman@whiterockcity.ca or at 604-541-2142.

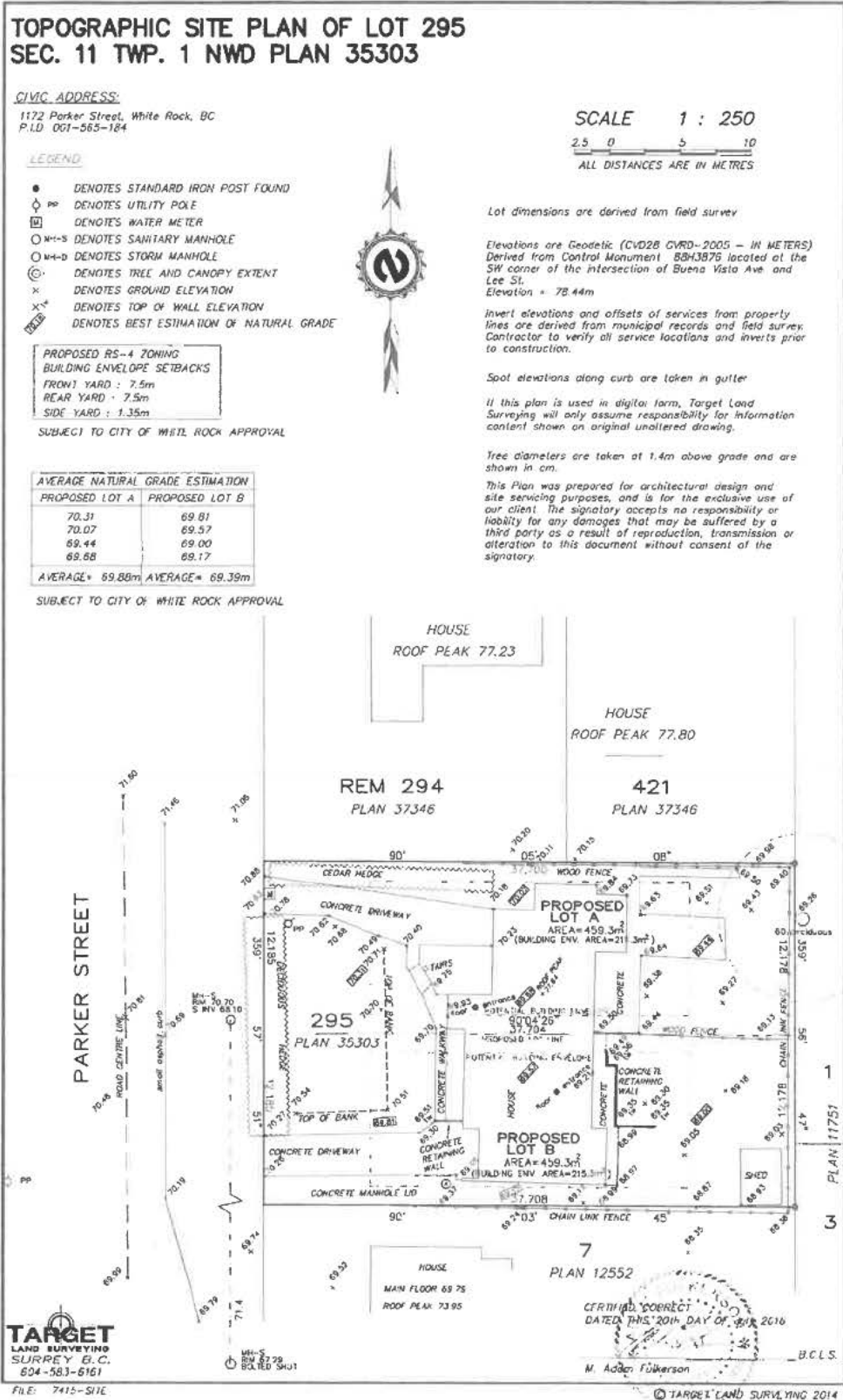
Yours truly,



Carl Isaak, MCIP RPP
Approving Officer

cc. Owner
 Property File
 Municipal Operations

Preliminary Layout



Preliminary Approval: *Cf*

Granted On: June 1, 2021

Expires On: June 1, 2022

From: [Greg Newman](#)
To: [Arun Gupta](#)
Cc: [Alanna Claffey](#)
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension
Date: Wednesday, June 2, 2021 8:59:07 AM
Attachments: [2021-05-31 - PLA Extension \(16-034\) 1172 Parker signed.pdf](#)
[image001.jpg](#)
[Application to Confirm Serviceability \(Single Family and Duplexes\) \(PDF\).pdf](#)

Hi Arun,

Please find attached the extended Preliminary Layout Approval (PLA) letter for the subdivision of 1172 Parker Street.

Per the correspondence below, I wanted to clarify that the securities tied to the Tree Management Permit will need to be replaced as the current securities were posted by the previous owner. As noted in the PLA letter, you will need to complete an updated Arborist Report given the length of time that has elapsed since the last report was completed (July 31, 2016). I would suggest having the Arborist Report prepared and then connecting with my colleague Alanna Claffey (Arboricultural Technician)(copied) to confirm the security requirements.

If you have any questions let me know. Note that you have one year from the date of the PLA letter to satisfy the conditions noted therein.

Regards,

Greg

Greg Newman, MCIP, RPP
Manager of Planning, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2142 | www.whiterockcity.ca

Email signature logo



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From: Arun Gupta **Redacted S. 22**
Sent: May 14, 2021 2:49 PM
To: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Greg,

I hope you are doing well. Regarding the securities and funds deposited by the previous owners, mainly:

Deposit for WSA	61,866.50	
Security deposit for WSA	68,700.15	
Admin Fees	2,748.00	
Payment of DCCs	21,925.76	
Tree Management Permit	23,000.00	
Demolition Permit	14,153.00	
Total	192,393.41	

Ideally, if possible, can these funds be transferred over, rather than having to replace and refund these amounts? If not possible, then, please let me know the process to replace these, and in the cases where there are fee increases, how much the new amounts are?

Kindest regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Greg Newman <GNewman@whiterockcity.ca>
Sent: Monday, May 3, 2021 11:35 AM
To: Arun Gupta **Redacted S. 22**
Cc: Harji Bisla **Redacted S. 22** Seema Shridhar <info@seemayourfamilyrealtor.com>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hi Arun,

Further to our chat last week, please see response below.

Regards,

Greg

Greg Newman, MCIP, RPP
Manager of Planning, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2142 | www.whiterockcity.ca

Email signature logo



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From: Arun Gupta **Redacted S. 22**
Sent: April 23, 2021 1:50 PM
To: Greg Newman <GNewman@whiterockcity.ca>
Cc: Harji Bisla **Redacted S. 22** Seema Shridhar <info@seemayourfamilyrealtor.com>
Subject: FW: 1172 Parker Street - Transfer of File & PLA Extension

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Greg,

I hope you are doing well. Further to our introductory call a few weeks ago, I will be the new owner of 1172 Parker St. as of Wednesday April 28th. With respect to your email below:

- Please find attached a letter of authorization from the current owner.
- The title search can be provided by Thursday morning, as the property is closing on Wednesday April 28. – **please send when available**
- Please let me know how to pay the Assignment of Application fee? – **the assignment of application fee is \$500 and can be paid by cheque made payable to the City of White Rock. You can drop off the cheque in the mailbox in front of City Hall. Note the Preliminary Layout Approval (PLA) on the subdivision lapses on May 20, 2021. If you wanted to apply for an extension (\$510), you may want to provide a cheque for that as well – please provide a simple cover letter outlining your intention to finalize the subdivision in an expeditious manner. The subdivision at 1172 Parker Street has been extended a number of times and we would like to see the work completed.**
- I will complete the Application form from the link you provided.
- Please let me know the process to replace all the securities on account? I would like to make payment by Monday if possible. – **please confirm which securities you are proposing to replace and we can process that upon receive of the replacement monies.**

Many thanks for your ongoing support and cooperation.

Kindest regards,
Arun Gupta
1298933 B.C. Ltd.

----- Forwarded message -----

From: **Greg Newman** <GNewman@whiterockcity.ca>

Date: Mon, Mar 1, 2021 at 2:42 PM

Subject: 1172 Parker Street - Transfer of File & PLA Extension

To: info@seemayourfamilyrealtor.com <info@seemayourfamilyrealtor.com>

Hi Seema,

Generally speaking, the process for transferring an application runs according to section 15 of our [Planning Procedures Bylaw](#), involving the following documents being submitted to the City:

- A letter from the current Owner and Applicant authorizing the change in applicant and ownership and give permission for the new owner/applicant to make use of any supporting reports, architectural and landscape drawings, documents, and paid application fees that have been submitted to the City.
- Updated Title Search for the new ownership.
- \$500 “Assignment of Application” Fee.
- A new [Application Form](#) (see link).
- New [Agent Authorization Forms](#) signed by the owner for any agent.

If there are other deposits or bonds associated with the application that have already been submitted to the City (e.g. for Servicing Agreement or Tree protection/replacement, etc.) these will need to be replaced by new securities from the new property owner, at which time would could release the existing securities.

Once the file has been transferred the new owner could apply to extend the timeframe of the Preliminary Layout Approval (PLA) by identifying such within the above-noted Application Form. The fee to extend the PLA is \$510.

Regards,

Greg

Greg Newman, MCIP, RPP

Manager of Planning, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2142 | www.whiterockcity.ca

Email signature logo



may contain information that is confidential and/or privileged or exempt from disclosure under applicable law. Any copying, review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by individual(s) or entities other than the intended recipient is strictly prohibited. If you have received this information in error, please notify the City of White Rock and destroy any copies of this information. Thank you.



ONE & TWO DWELLING RESIDENTIAL APPLICATION TO CONFIRM SERVICEABILITY (Required for Building Permit Application)

1. PURPOSE OF APPLICATION

The City of White Rock (the City) requires confirmation that proposed buildings can be serviced with water prior to the issuance of a building permit. Servicing requirements are:

- Property is acceptably close to a suitable water main,
- Pressures in the nearest water main are suitable for adequate servicing, including sprinkler fire protection to NFPA 13D (as required by the City’s sprinkler fire bylaw – Bylaw 1683),
- Existing hydrants have adequate available flow and are within an acceptable distance to the proposed development;
- Suitable backflow prevention is provided to protect the distribution system.

This application form provides the City with the required information to evaluate the serviceability of a proposed building. As well, the City will provide required information (expected pressures at the water main) to assist the applicant in designing fire sprinkler systems.

2. INSTRUCTIONS

- Please read, complete, and sign this page and attached page 2. Note that a fee will be charged for this service.
- Submit to the City by email to water@whiterockcity.ca or in person to Municipal Operations at 877 Keil Street.
- Payment must be made at the time of submission. Acceptable forms of payment include credit card (over the phone or in person), or cheque.
- The City will advise when ready for pick-up. Note turnaround time is normally one week.

Note, a separate application for service and a deposit is required to initiate installation of a water service (i.e. after building permit approval). The following must be provided to the City before the water service is turned on:

- A copy of the plumbing inspection report from the City of White Rock; and
- Proof of satisfactory bacteriological sample results from a qualified lab for the customer service line (from property line).

3. LIMITATIONS

This form is only for those buildings governed by NFPA 13D, namely single family houses and duplexes. It may also be used for single family houses with an accessory use either an accessory registered secondary suite OR an accessory coach house, as defined in the City’s Zoning Bylaw 2000. A separate application process is required for larger developments.

Pressures and fire flows provided by the City in response to this application will be based on output from the City’s hydraulic model of the water system not actual flow testing. Results are expected values (i.e., no safety factors applied). Sprinkler system design should include safety factors as deemed appropriate by the sprinkler system designer. Results provided are solely for use in assessing the serviceability of the proposed building. No other party is entitled to rely on results provided in response to this application. No warranty, express or implied, is made.

4. STATEMENT OF UNDERSTANDING

I understand and accept limitations noted above and certify that information provided in this application is correct:

Signature of Applicant

Name of Applicant

Date

ONE & TWO DWELLING RESIDENTIAL APPLICATION TO CONFIRM SERVICEABILITY (Required for Building Permit Application)

Applicant's Address: _____

Phone Number: _____ **Email Address:** _____

PROPOSED DEVELOPMENT DETAILS:

Physical Address
 (If civic address not available please provide site map) _____

Proposed Service Location
 (e.g., West PL 3.0 m South of North PL) _____

Building Type (either single-family or duplex) Single Family Duplex
If Single Family, check an accessory use:
 None Coach House Secondary Suite

Current Service Location
 (if known) (if not serviced mark - N/A) _____

Fire Protection Sprinklers to NFPA 13D Required?
Yes or No (generally Yes unless otherwise approved by City) _____

Setback Distance (distance from property line to the front of the house, in m) _____

First Floor Elevation
 (in m geodetic) _____

Number of Floors
 (excluding floor(s) below first floor) _____

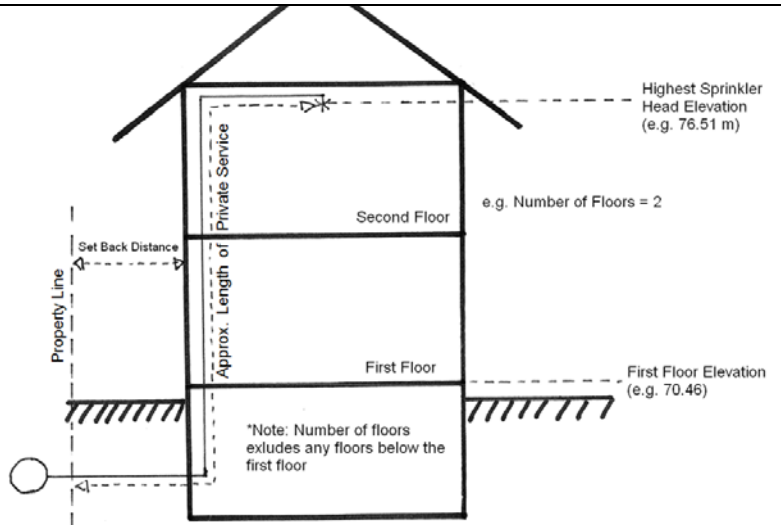
Highest Sprinkler Head Elevation
 (in m geodetic) _____

Approximate Length of Private Service
 (from PL to highest sprinkler, actual length of pipe run) _____

Explanation of terms / abbreviations:

Elevation or el. – Elevation in meters in geodetic datum (i.e., referenced to sea level), +/- 1 m.

PL – property line, used to reference desired location of service.



Signature of Applicant _____ **Name of Applicant** _____ **Date** _____



**ONE & TWO DWELLING RESIDENTIAL
APPLICATION TO CONFIRM SERVICEABILITY
(Required for Building Permit Application)**

ADDITIONAL PAGE FOR ACCESSORY COACH HOUSE APPLICATIONS ONLY

Accessory coach houses will typically share the same service as the main dwelling unit. Where an accessory coach is to be considered as part of the application provide the following:

**PROPOSED ACCESSORY COACH HOUSE
DETAILS:**

Setback Distance (distance from property line to the front of the coach house, in m)

Coach House First Floor Elevation
(in m geodetic)

Coach House Number of Floors
(excluding floor(s) below first floor)

Coach House Highest Sprinkler Head Elevation
(in m geodetic)

Approximate Length of Private Service
(from PL to highest sprinkler, actual length of pipe run)

TOPOGRAPHIC SITE PLAN OF LOT 295 SEC. 11 TWP. 1 NWD PLAN 35303

CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

SCALE 1 : 250



LEGEND

- DENOTES STANDARD IRON POST FOUND
- ⊙ PP DENOTES UTILITY POLE
- Ⓜ DENOTES WATER METER
- MH-S DENOTES SANITARY MANHOLE
- MH-D DENOTES STORM MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- × DENOTES GROUND ELEVATION
- ×^{1w} DENOTES TOP OF WALL ELEVATION
- Ⓜ DENOTES BEST ESTIMATION OF NATURAL GRADE



Lot dimensions are derived from field survey

Elevations are Geodetic (CVD28 GVRD-2005 - IN METERS)
Derived from Control Monument 88H3876 located at the SW corner of the intersection of Buena Vista Ave. and Lee St.
Elevation = 78.44m

Invert elevations and offsets of services from property lines are derived from municipal records and field survey.
Contractor to verify all service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter

If this plan is used in digital form, Target Land Surveying will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 1.4m above grade and are shown in cm.

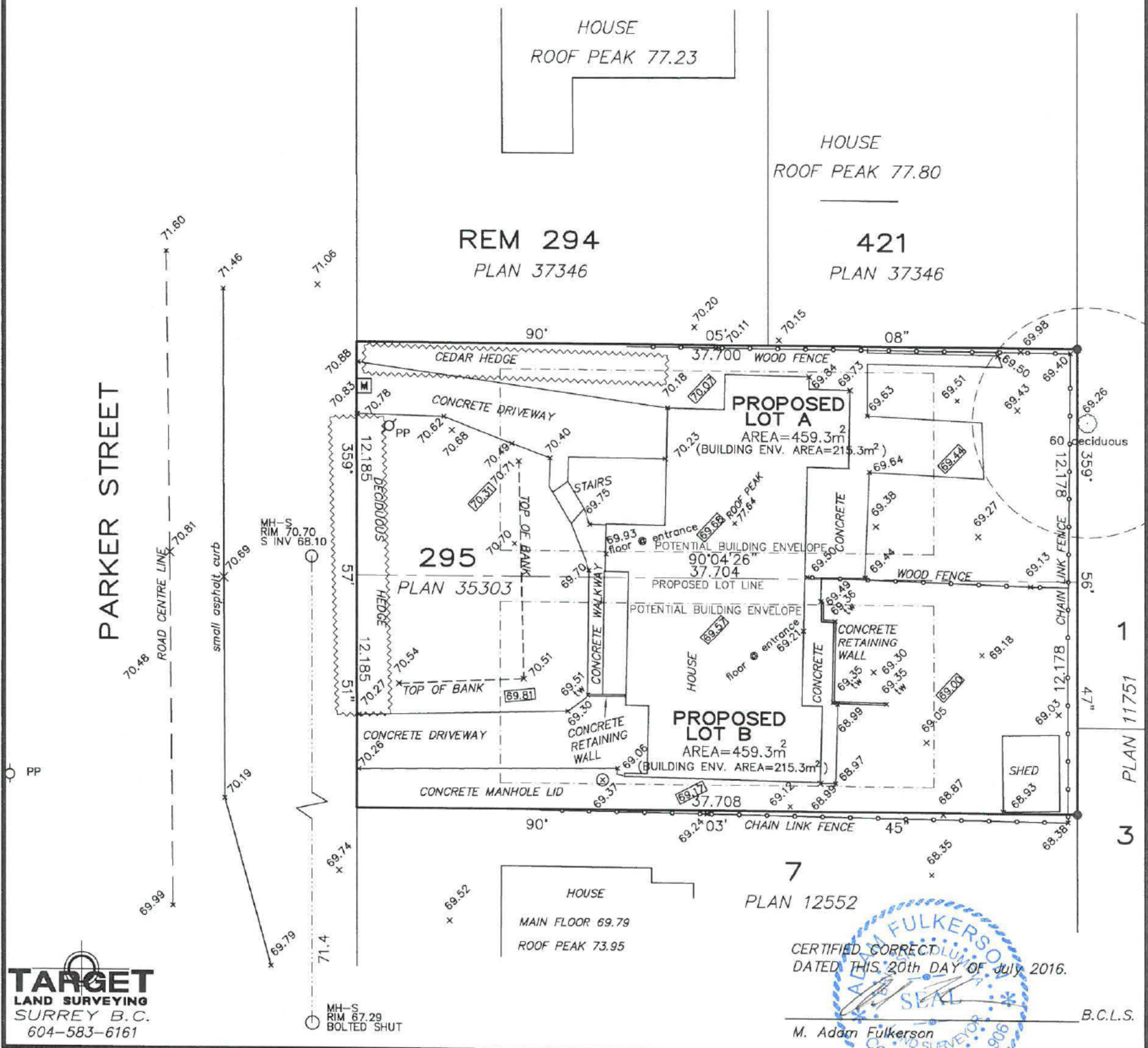
This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

**PROPOSED RS-4 ZONING
BUILDING ENVELOPE SETBACKS**
FRONT YARD : 7.5m
REAR YARD : 7.5m
SIDE YARD : 1.35m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

AVERAGE NATURAL GRADE ESTIMATION	
PROPOSED LOT A	PROPOSED LOT B
70.31	69.81
70.07	69.57
69.44	69.00
69.68	69.17
AVERAGE= 69.88m	AVERAGE= 69.39m

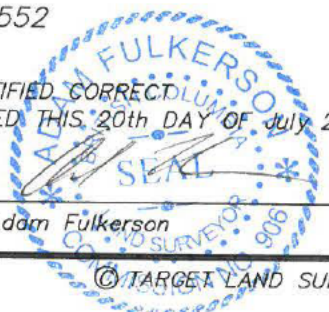
SUBJECT TO CITY OF WHITE ROCK APPROVAL



TARGET
LAND SURVEYING
SURREY B.C.
604-583-6161

CERTIFIED CORRECT
DATED THIS 20th DAY OF July 2016.

M. Adam Fulkerson
B.C.L.S.





TREE MANAGEMENT PERMIT APPLICATION FORM

File # 17-090

1. Type of Application:

Type 1:

- Dead or Hazardous Tree
- Removal of Structural Root in Critical Root Zone

Type 2:

- Unwanted Tree

Type 3: Removal in conjunction with

- Building Permit
- Development Permit
- Subdivision
- Demolition Permit

2. Description of Application:

Civic Address(s): 1172 Parker Street.

PID(s): 001-565-184

Number of trees proposed to be cut: _____

Tag number(s): *as per the Tree Assessment Report* _____

Tree Management Area:

- Ravine Land
- Significant Stand of Mature Trees
- Ecosystem Enhancement Area

Minor Development Permit: *ONLY for Ravine Lands & Significant Stands of Mature Trees Areas*

DP#: _____ Date Issued: _____

3. Owner / Applicant Information:

Registered Owner of the property (ies):

Name (please print) <u>1076030 B.C. Ltd</u>		E-mail	
Address <u>12227 75 Ave</u>	City <u>Surrey</u>	Postal Code <u>V3W 2S7</u>	
Phone	Cell <u>604-782-5205</u>	Fax	

Applicant: To be completed ONLY if applicant is not the owner

Name (please print) <u>HARI BISLA.</u>		E-mail Redacted S. 22	
Address Redacted S. 22			
Phone	Cell <u>604-782-5205</u>	Fax	

4. Submission Requirements:

	Req'd	Rec'd	Details
General			
State of Title Certificate			Dated no more than 7 days from date of application submission
Agent Authorization			If applicant is not the subject property owner
Proof of Business Ownership			If registered owner is a company
Lobbyist Form			Must be completed by all applicants / agents
Tree Assessment Report			Prepared by a Certified Arborist. Not required for Type 1 requests if documentation provided confirming tree is an imminent hazard
Rationale for Removal			Letter from property owner and photos of tree(s) to be cut / removed
Type 1 Applications			
Letter of Consent			From adjacent property owner for removal of structural root of tree on adjacent property
Type 2 Applications			
Tree Survey			Prepared by a BC Land Surveyor
Type 3 Applications			
Tree Survey			Prepared by a BC Land Surveyor
Coordinated Site Development Plan			Coordinated and signed by owner/agent and all project consultants
Other			
Geotechnical			May be required for steeply sloped lots, prepared by a qualified Geotechnical Engineer

5. Consent:

Applicant:

In consideration of the issuance of a Tree Management Permit as a result of this application, the applicant agrees to indemnify and save harmless the City, its elected and appointed officials, officers, employees, servants and agents from and against all claims, losses damages, costs, expenses, including investigatory and legal expenses and other actions caused by or attributable to any willful or negligent act, omission, delay, or allegations thereof on the part of the applicant or owner and their employees, sub-contractors or agents related in any way to the Tree Management Permit. The applicant also agrees that this provision shall survive the termination of the Tree Management Permit. As the applicant, I am aware of, understand and intend to comply with all the regulations and requirements of the "White Rock Tree Management Bylaw, 2008, No. 1831" and certify that all information provided with this application is correct and true. I further understand that a non-refundable fee of \$ 500.00 is payable at time of application.

16 Aug, 2017
(Date)

1076030 B.C. Ltd.
(Name: Please Print)

H. S. Bisla
(Applicant Signature)

Registered Owner(s) of property (ies): *To be completed ONLY if applicant is not the owner*

As the registered owner(s) of the subject site(s), I/we certify that the information in this application is correct and true and acknowledge that although I/we are not the applicant, I/we are also responsible for compliance with all provisions of the "White Rock Tree Management Bylaw, 2008, No. 1831".

16 Aug. 2017
(Date)

HARJI BISLA
(Name: Please Print)

H. S. Bisla
(Registered Owner Signature)

(Date)

(Name: Please Print)

(Registered Owner Signature)



AGENT AUTHORIZATION FORM

Civic Address(s): 1172 Parker street

Legal Description(s): Lot 295 Section 11 Township 1 New Westminster
District Plan 35303

PID(s): 001-565-184

This document shall serve to notify the City of White Rock that I am / we are the legal owner(s) of the property described above and do authorize the person indicated below ("Authorized Agent") to act on my / our behalf on all matters pertaining to the referenced Tree Management Permit Application for the above referenced property. In addition, I / we have read and understand the application requirements of the Tree Management Permit Application and authorize the Authorized Agent to act on our behalf.

Name of Property Owner(s): 1076030 B.C. Ltd

Mailing Address: 12227 75 Ave

City: Surrey Postal Code: V3W 2S7

E-mail: **Redacted S. 22**

Phone: (604) 782-5205 Fax: ()

Name of Authorized Agent: Horji Bisla

Company Name: _____

Mailing Address: **Redacted S. 22**

City: _____

E-mail: **Redacted S. 22**

Phone: (604) 782-5205 Fax: ()

Signature of Property Owner(s): [Signature] Date: 15/08/17

Signature of Property Owner(s): H. S. Bisla Date: 16/08/17

Signature of Authorized Agent: H. S. Bisla Date: 16/08/17

Note: All registered owners of the property shall sign this Authorization Form. Use additional sheets if necessary. A new Authorization Form shall be submitted to the City of White Rock if the ownership of the property changes prior to completion of issuance of the building permit or before final approval is granted.

Engineering and Municipal Operations
 P: 604.541.2181 | F: 604.541.2190
 877 Keil Street, White Rock BC, Canada V4B 4V6



City of White Rock
 15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

Date: **August 25/17** Site Address: **1172 Parker St.** File / Permit #: **17-090**
 Applicant: **Harji Bisla** Phone: **604 782-5205** Receipt #:
 Address: **Redacted S. 22** Clerks's Initial:

GL CODE	iCity Code	CATEGORY	APPLICATION FEE	ADDITIONAL REFERENCE
BONDS/SECURITY DEPOSITS/PERMITS/FEES				
02-4-00250-8701	BONDLAN	Landscape Security	\$	
02-4-00250-8706	BONDTREE	*Tree Protection Bond	\$	
02-4-00255-8755	TREEFEE	Tree Replacement Fee	\$	
02-4-00250-8706	BONDTREE	Tree Removal and Replacement Security	\$	
02-1-00100-0063		Application fee - trees	500	1172 Parker St
02-1-00120-0107-518		Community Garden Fee	\$	
	MISC	Enter appropriate GL#	\$	
*NOTE: Returned bonds are payable only to the name that issued the original bond payment.				
TOTAL			\$	

Payment: Cheque # _____ Cash _____

Cardholder Name: **Harji Bisla** Cardholder Signature: **by phone**
 Visa # _____ Exp _____
 MC # **Redacted S. 21** Exp **s. 21**

Prepared by:

Site Assessment

1172 Parker Street, White Rock, B.C.

Prepared for:

Harji Bisla

(604)782-5205

Redacted S. 22

July 31, 2016

PNW Arborist Training Solutions

#5, 19250 – 65th Avenue, Surrey, B.C. V4N 5R7

(604)992-3592

Email: arboristtraining@telus.net
www.arboristtrainingsolutions.com

Peter Brinson

ISA Certified Arborist #PN0286
Hazard Tree Assessor#CTRA053

City of Surrey Business Licence #152021

Inter-Municipal Business Licence #152141

District of North Vancouver Business Licence #0016536

WCB #667143

Commercial Liability #WG1012343

"I never saw a discontented tree. They grip the ground as though they liked it, and though fast rooted they travel about as far as we do. They go wandering forth in all directions with every wind, going and coming like ourselves, traveling with us around the sun two million miles a day, and through space heaven knows how fast and far!" – John Muir

PNW Arborist Training Solutions

(604)992-3592

arboristtraining@telus.net

1.0 Introduction

On July 18, 2016, a site visit was conducted to assess the trees at 1172 Parker Street and the neighbouring properties for the redevelopment of the property. There is an existing duplex built on the property, and the owner wishes to demolish the duplex, subdivide the lot into two and build two single family homes.

The property is in a well-established neighbourhood with mature landscapes. The existing house was built approximately 58 years ago. Although there are no trees on the property, there are a number of hedges on the property and the neighbouring properties have trees and hedges bordering 1172 Parker Street.

2.0 Executive Summary

Tree # or Location	Common Name	DBH	Recommendations
South Side Back Yard 1172B Parker Along Fence Line Bordering 1162 Parker Street			
313	Acacia	46	TPZ of 2.7 m
Neighbour to the East Backyard at 15788 Buena Vista			
001	Horse Chestnut	57.5	TPZ of 3.6 m
002	Acacia	202	TPZ of 6 m
Property Line to the North on 1172A Parker Street			
	Cedar Hedge		TPZ at drip line
	Laurel Hedge		TPZ at drip line
Front Yard 1172 Parker Street			
	Privet Hedge		If retention desired, TPZ at drip line.
	Rhododendrum		If retention desired, TPZ at drip line.
Front yard 1162 Parker Street			
	Assorted Shrubs		Under-sized and not protected. If the shrubs belong to the neighbour, TPZ required at drip line.

3.0 Observations

South Side Back Yard 1172B Parker Along Fence Line Bordering 1162 Parker Street

Tree #313 Acacia (*Robinia pseudoacacia*)

This tree has three stems (20 cms + 18 cms + 8 cms) for a combined diameter at breast height of 46 centimeters. It is 15 meters tall with a crown spread of eight meters. It has a live crown ratio of 75 percent.



Neighbour to the East Backyard at 15788 Buena Vista

The homeowner at this address gave access to his yard to measure the trees but would not allow the trees to be tagged.

001Horse Chestnut (*Aeculus hippocastanum*)

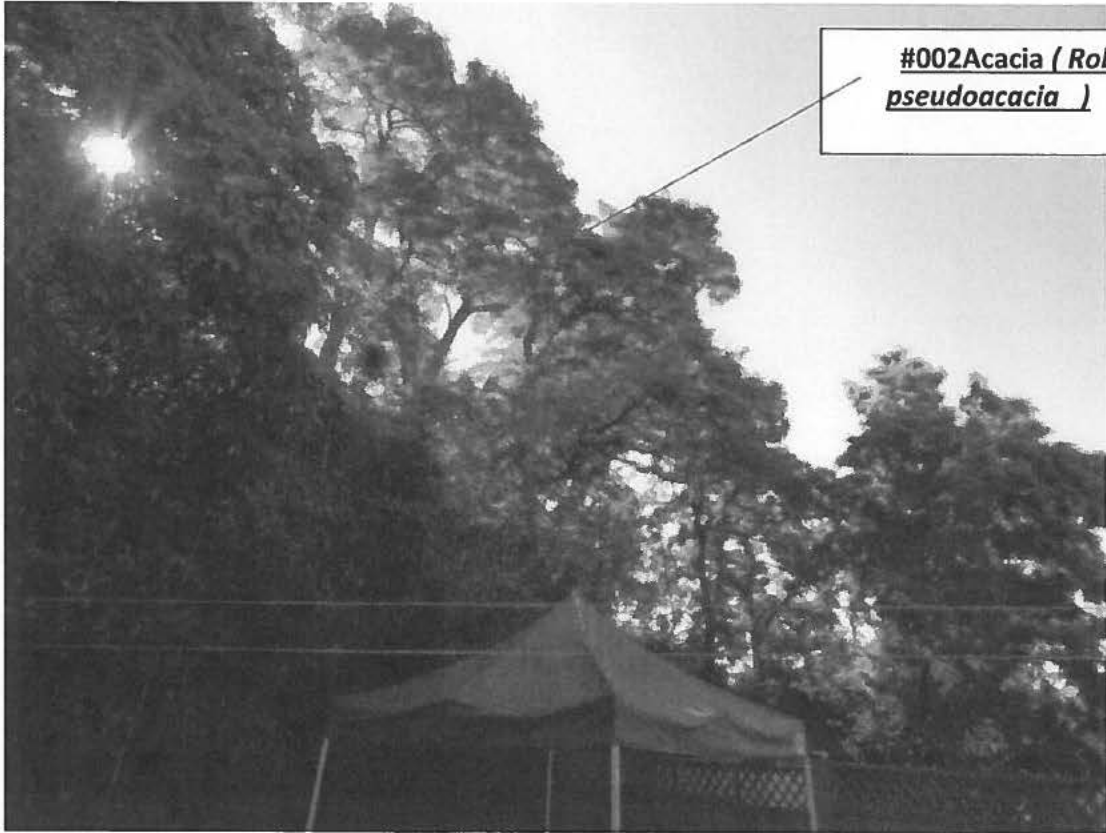
This tree has a diameter at breast height of 57.5 centimeters. The leaf colour and the annual shoot growth indicate the tree is in good health.



001Horse Chestnut
(*Aeculus hippocastanum*)

#002Acacia (Robinia pseudoacacia)

This tree has three stems with a total diameter at breast height of 202 centimeters (41 + 130 +31).



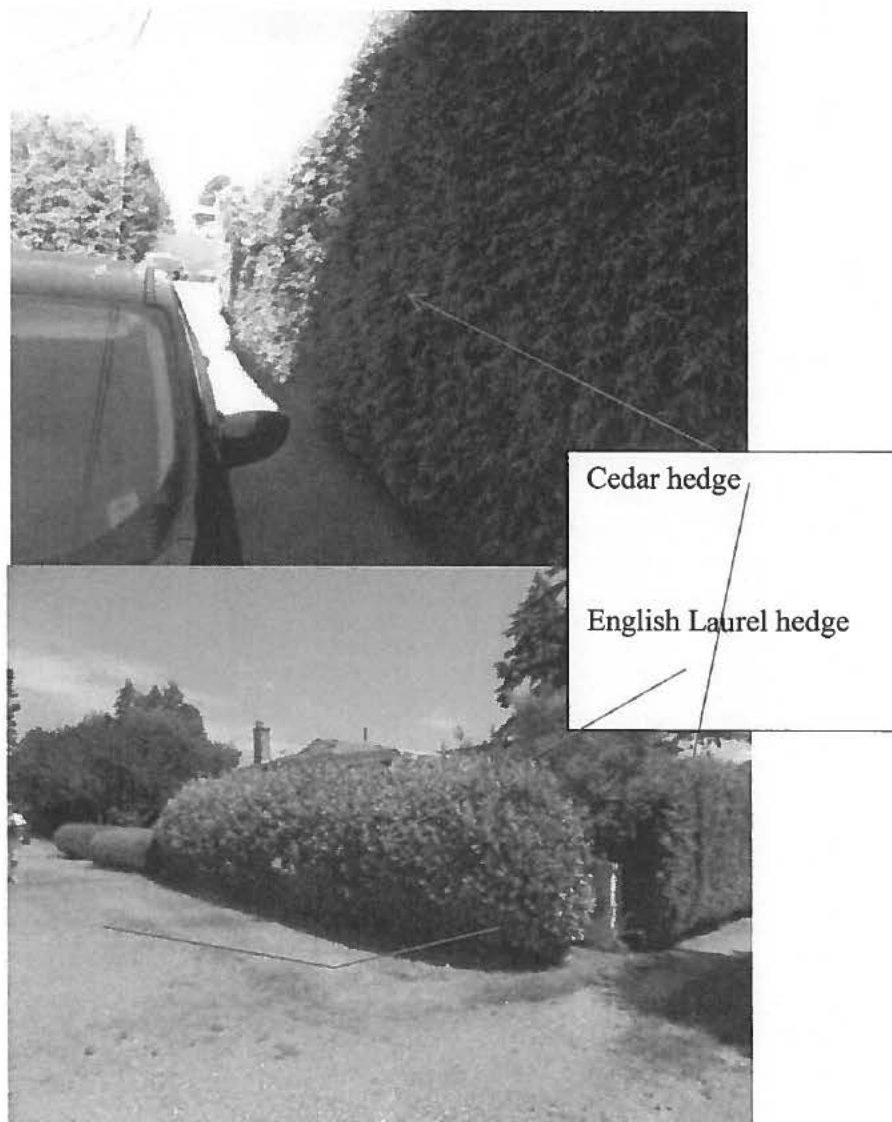
Property Line to the North on 1172A Parker Street

Cedar Hedge

This hedge is three meters tall and 15 meters long. It runs from the back yard fence to the road. The hedge appears to be in good overall condition.

Laurel Hedge

The neighbour to the north has an English laurel hedge on the corner of the property.



Front Yard 1172 Parker Street

Privet Hedge (*Ligustrum vulgare*)

This hedge is four meters tall and 19 meters long. It is located in front of the home along the edge of the property line next to the street.



Privet Hedge

Rhododendrum

This hedge is along the front yard property line on the 1172B Parker Street side. It is two meters in height and eight meters long.

Also on the same side, there is a hazelnut bush and a lilac bush.

On the front corner next to 1162 Parker Street at the property line, there is a European mountain ash, a holly bush and a Hawthorne tree belonging to the neighbour. All of these trees are under-sized and are not protected.

4.0 RECOMMENDATIONS

Tree #313 Acacia (*Robinia pseudoacacia*)

This tree requires a tree protection zone 2.7 meters from the base of the tree.

#001Horse Chestnut (*Aeculus hippocastanum*)

This tree has a diameter at breast height of 57.5 centimeters and will require a tree protection zone 3.6 meters from the base of the tree.

#002Acacia (*Robinia pseudoacacia*)

This tree has three stems with a total diameter at breast height of 202 centimeters (41 + 130 + 31). This tree is very large; however the majority of the canopy is on the west side of the tree

within the owner's property at 15788 Buena Vista Drive. The city requires a TPZ 12 meters from the base of the tree. This would put the TPZ within the building envelope. As this is not practical, a TPZ of six meters from the base of the tree or at the drip-line whichever is greater would be beneficial to the tree.

Front Yard 1172 Parker Street

Privet Hedge(Ligustrum vulgare)

This hedge is four meters tall and 19 meters long. It is located in front of the home along the edge of the property line next to the street. If retention is desired, a protection zone is required at the face of the hedge running the length of the hedge on both sides.

Hedges on the north side of the property

If retention is desired, a protection zone should be established on the face of the hedge running the entire length of the hedge bordering the drive way. The neighbour's Laurel hedge will also require a protection zone 2 meters from the corner of the property to the north.

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Derived from Control Monument 88H3876 located at the SW corner of the intersection of Buena Vista Ave. and Lee St.
Elevation = 78.44m

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Tree diameters are taken at 1.4m above grade and are shown in cm.

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PROPOSED RS-4 ZONING
BUILDING ENVELOPE SETBACKS
FRONT YARD : 7.5m
REAR YARD : 7.5m
SIDE YARD : 1.35m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

AVERAGE NATURAL GRADE ESTIMATION	
PROPOSED LOT A	PROPOSED LOT B
70.31	69.81
70.07	69.57
69.44	69.00
69.68	69.17
AVERAGE = 69.88m	AVERAGE = 69.39m

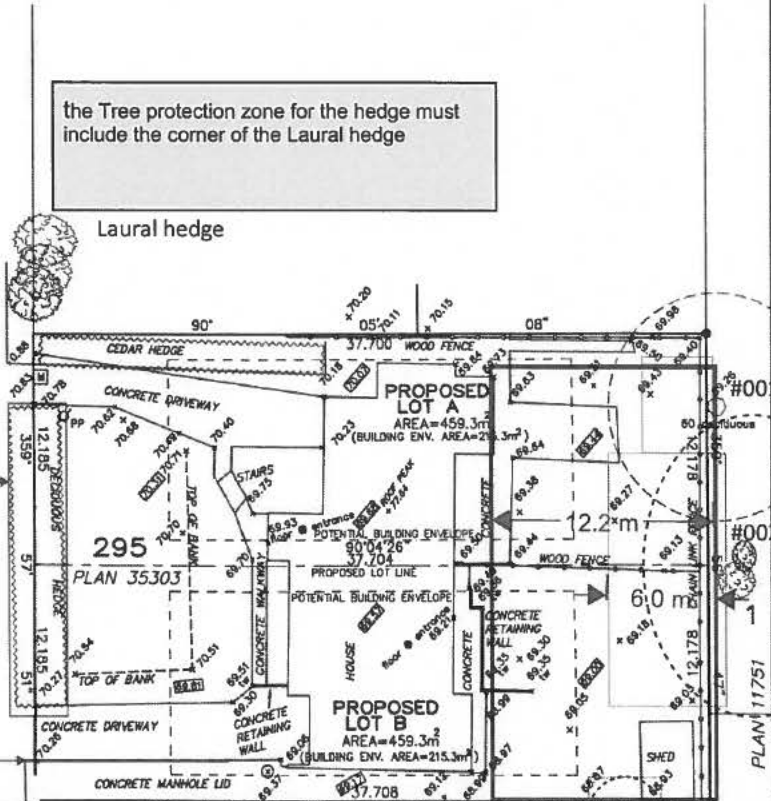
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the Tree protection zone for the hedge must include the corner of the Laurel hedge

PARKER STREET

TPZ

TPZ



The tree protection zone (TPZ) for #313 must be 2.7 meters from the base of the tree.
The TPZ for #001 must be 3.5 meters from the base of the tree

The TPZ for #002 must be a minimum of 12 meters from the base of the tree.

The heavy red line shows the 12 meter TPZ I am recommending a TPZ 6 meters from the base of the tree or at the drip-line whichever is greater

TARGET
LAND SURVEYING
SURREY B.C.
604-583-6161

FILE: 7415-SITE

TARGET LAND SURVEYING 2014

Appendix B

ATTACHMENT 2: COMFORT LETTER FOR ARORIST PRESENCE AT DEMOLITION (Template)

ATTACHMENT 2: COMFORT LETTER FOR ARORIST PRESENCE AT DEMOLITION (Template)

This letter is to confirm that Harji Bisla
Name of company/developer/property owner

has retained PNW Arboristtraining Solutions to supervise demolition
Name of arborist company

near protected trees at:

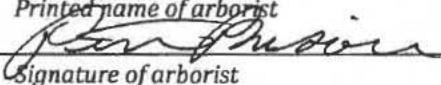
1172 Parker Street V4B 4R9
street address *postal code*

as described in the attached arborist recommendations/report. Pursuant to municipal requirements, the owner is required to have a project arborist undertake monitoring and directing demolition activities that are pending at the above referenced site. Our on-site work will include directing the work in or near the tree protection areas according to the acceptable methods. All work to be confirmed in a follow-up letter/report written by the arborist and submitted to the City within two (2) working days of completion of the monitored work.

Arborist is to do the following:

- Provide guidance and supervise work within or near critical root zone of trees on and offsite.
- Ensure that barriers are installed or re-installed according to City specification after work in the critical root zone is completed, prior to City inspection/re-inspection.
- Perform a site review post demolition to confirm that trees have been properly protected in accordance with Bylaw 1831 and the tree management permit.
- Other: _____

The owner is aware that the arborist must be on site to supervise as specified in the arborist report or as agreed upon with City Staff. **Failure to comply with this signed contract can result in possible penalty fees, stop inspections/stop work orders and project delays.**

<u>Harji Bisla</u>	<u>Peter Brinson</u>	_____
<i>Printed name of owner</i>	<i>Printed name of arborist</i>	<i>Printed name of contractor</i>
_____		_____
<i>Signature of owner</i>	<i>Signature of arborist</i>	<i>Signature of contractor</i>
_____	<u>604 992 3592</u>	_____
<i>Phone number</i>	<i>Phone number</i>	<i>Phone number</i>
_____	<u>7 August 2016</u>	_____
<i>Date</i>	<i>Date</i>	<i>Date</i>

Appendix C Peter Brinson – Qualifications

Tree Risk Assessment Qualification, International Society of Arboriculture, 2014

Climbing Arborist Assessor, #00002-TBR-14, 2013

Certificate of Qualification in the Trade of Climbing Arborist, #00001-TB-13, Industry Training Authority, 2013

Certificate of Qualification in the Trade of Arborist Technician, #00003-TA-10, Industry Training Authority, 2010

International Society of Arboriculture Certified Tree Worker/Climber Specialist, PN0286AT, 2007

Certified Hazard Tree Assessor, ISA, CTRA053, 2006

Davey Institute of Tree Sciences, Kent Ohio, 1999

Certified Arborist, National Arborist Association, 1994

International Society of Arboriculture Certified Arborist, PN-0286A, 1993

Integrated Pest Management, Camosun College, Victoria, 1993

Entomology, University of Victoria, 1991

Forest Pathology, Malaspina College, Nanaimo, 1990

Peter Brinson – Experience

Surrey Parks – Hazard tree assessor - March 2016 to present

Vancouver Island Tree Service – Safety and Training Auditor – Jan 2016 to present

Kwantlen Polytechnical University – Instructor for Arborist Technician Apprenticeship Program; Lead Instructor for Climbing Arborist Apprenticeship Program, Instructor for Horticulture and Landscaping Apprenticeship Program, Instructor for Horticultural Diploma Program – 2012 to present

Camosun College – Instructor for Arborist Technician Apprenticeship Program – 2012, 2013

Electrical Institute Training Institution – Instructor for Utility Arborist Apprenticeship Program

President, Arborist Training Solutions

General Foreman, B.C. Plant Health Care Inc.

Crew Foreman, Riteway Tree Service Ltd.

General Foreman, Davey Tree Services

President, CMDL Tree Surgeons Ltd.

PNW Arborist Training Solutions
(604)992-3592
arboristtraining@telus.net

Appendix D

Limitations of this Assessment

It is Arborist Training Solutions policy to attach the following clause regarding limitation to ensure that developers and/or owners are clearly aware of what is technically and professionally realist in retaining trees.

The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground parts of each tree for structural defects, scars, and external and visible root structures, the degree and direction of lean – if any – the general condition of the tree(s), the surrounding site and the proximity of property and people. Except where specifically noted in the report, none of the trees examined were dissected, cored, probed or climbed and detailed root examinations involving evacuation were not undertaken.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly changes over time. They are not immune to changes in site conditions or seasonal variations in the weather conditions.

While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered or implied, that these tree, or any parts of them, will remain standing. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree or group of trees or their component parts in all circumstances. Inevitably, a standing tree will pose some risk. Most trees have the potential for failure in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

Notwithstanding the recommendations in this report, Arborist Training Solutions and Peter Brinson accept no responsibility for the implementation of all or any part of this plan, unless we have specifically been requested to examine said implementation activities. Approval and implementation of this plan in no way implies any inspection or supervisory role on t part of Arborist Training Solutions or Peter Brinson. In the event that inspection or supervision of all or part of the implantation of the plan is requested, said request shall be In writing and the details agreed to in writing by both parties. Any on-site inspection or supervisory work undertaken by Arborist Training Solutions and/or Peter Brinson shall be recorded in written form and submitted to the client as a matter of record.

The report shall be considered a whole, no sections are severable, and the report shall be considered incomplete if any pages are missed. This report is the sole property of Arborist Training Solutions and Peter Brinson and the client(s) for whom it was prepared. It is not intended for public review without the written authorization of both parties.



Peter Brinson
ISA Certified Arborist #PN0286
Hazard Tree Assessor#CTRA053

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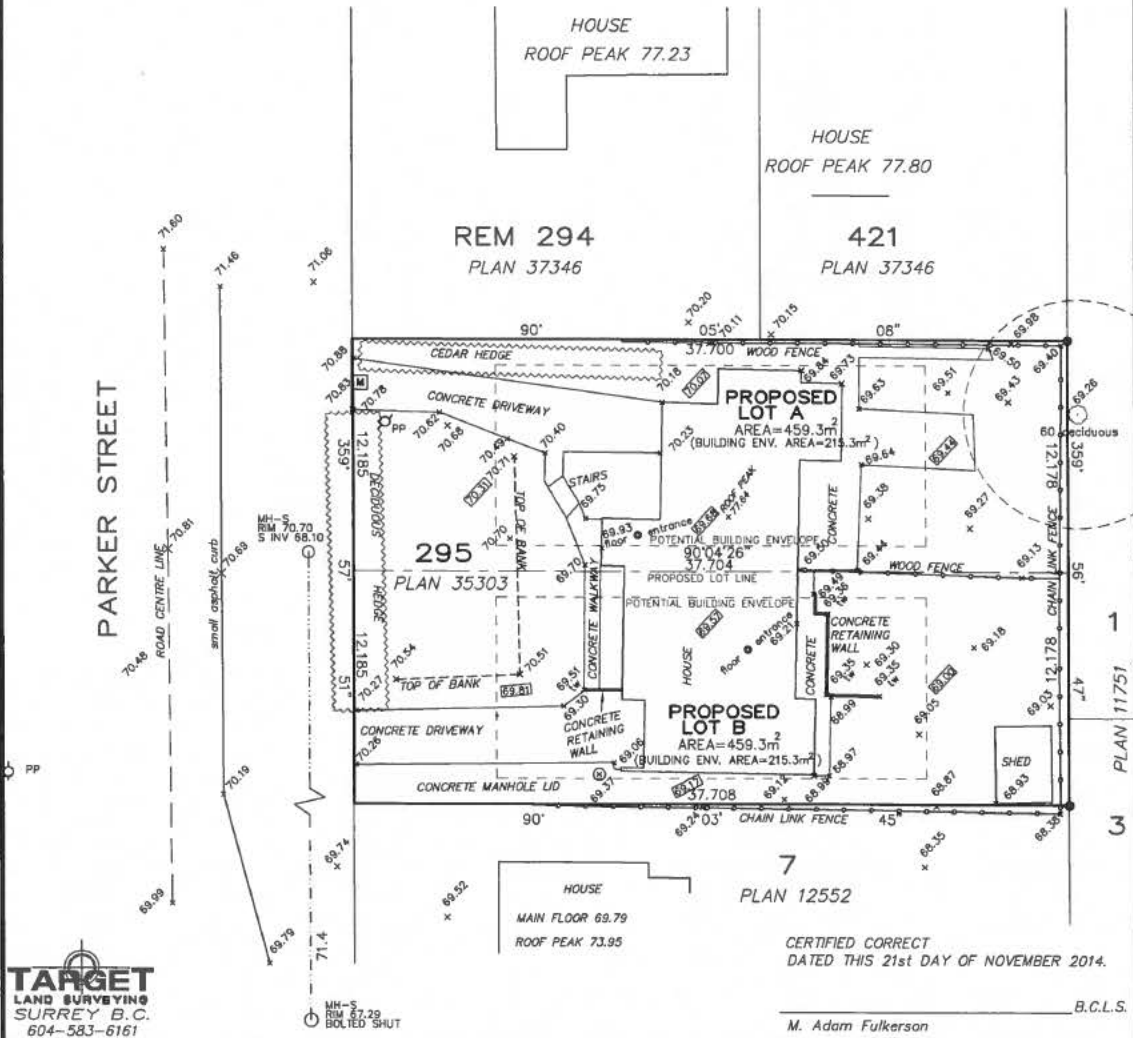
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SUBJECT TO CITY OF WHITE ROCK APPROVAL



CERTIFIED CORRECT
DATED THIS 21st DAY OF NOVEMBER 2014.

M. Adam Fulkerson

B.C.L.S.

TARGET
LAND SURVEYING
SURREY B.C.
604-583-6161

From: [Trees](#)
To: **Redacted S. 22**
Subject: 1172 Parker - Tree Management Permit Requirements
Date: Thursday, September 7, 2017 2:18:00 PM

Hello Harji,

We have reviewed your tree management permit application and require the following to proceed:

1. Notice of Authorization/ articles for 1076030 BC. Ltd
2. An updated CSDP which specifies arborist supervision at demolition and excludes the provisions for work within tree protection zones. It appears from the plans provided that no work is required within the TPZ.
3. A letter of understanding from your neighbours at 15764 Buena Vista and 1162 Parker, a rough template is attached.
4. A letter from your arborist confirming that tree protection barriers have been built to specification.
5. The arborist report provided is more than 1 year old. Please have your arborist update the report or provide confirmation that it is still valid.
6. Schedule C for tree securities for demolition is \$17,000 and may be paid at 877 Kiel.

Amelia Needoba, Ron Myers or Mike Harry

City of White Rock, Municipal Operations

877 Keil Street, White Rock, BC V4B 4V6

Tel: 604.541.2181 | www.whiterockcity.ca

Appendix A Comfort Letter for Arborist Presence at Specified Stages of Construction

This letter is to confirm that Harji Bisla of 1076030 B.C. Ltd. has retained PNW Arborist Solutions to oversee the subdividing of the lot and subsequent construction of two homes at 1172 Parker Street.

Arborist inspections will occur monthly beginning at the demo with a follow-up letter/report submitted to the City within five days of the monitored work. The follow up letter/report must be written by the arborist submitting this comfort letter.

The arborist will provide guidance and supervise work within or near critical root zones of trees to be retained on and offsite. To include but not limited to pruning, root pruning, excavation, etc.

The arborist will ensure that barriers are installed or re-installed according to City specifications before and after work in the critical root zone is completed.

The owner is aware that the arborist must be on site to supervise as specified in the arborist report or as agreed upon with City staff.

Harji Bisla

Printed name of owner



Signature of owner

(604)782-5205

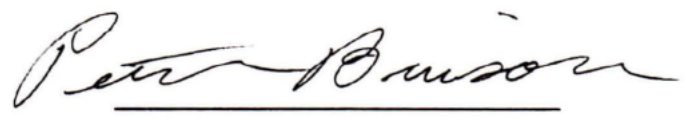
Phone number

November 22, 2017

Date

Peter Brinson

Printed name of arborist



Signature of arborist

(604)992-3592

Phone Number

November 22, 2017

Date

ATTACHMENT 2: COMFORT LETTER FOR ARORIST PRESENCE AT DEMOLITION (Template)

ATTACHMENT 2: COMFORT LETTER FOR ARORIST PRESENCE AT DEMOLITION (Template)

This letter is to confirm that Harji Bisla
Name of company/developer/property owner

has retained PNW Arboristtraining Solutions to supervise demolition
Name of arborist company

near protected trees at:


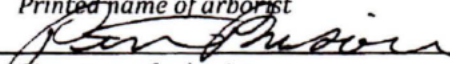
1172 Parker Street V4B 4R9
street address *postal code*

as described in the attached arborist recommendations/report. Pursuant to municipal requirements, the owner is required to have a project arborist undertake monitoring and directing demolition activities that are pending at the above referenced site. Our on-site work will include directing the work in or near the tree protection areas according to the acceptable methods. All work to be confirmed in a follow-up letter/report written by the arborist and submitted to the City within two (2) working days of completion of the monitored work.

Arborist is to do the following:

- Provide guidance and supervise work within or near critical root zone of trees on and offsite.
- Ensure that barriers are installed or re-installed according to City specification after work in the critical root zone is completed, prior to City inspection/re-inspection.
- Perform a site review post demolition to confirm that trees have been properly protected in accordance with Bylaw 1831 and the tree management permit.
- Other: Provide guidance during excavation and provide a post excavation report

The owner is aware that the arborist must be on site to supervise as specified in the arborist report or as agreed upon with City Staff. **Failure to comply with this signed contract can result in possible penalty fees, stop inspections/stop work orders and project delays.**

<u>Harji Bisla</u>	<u>Peter Brinson</u>	
<i>Printed name of owner</i>	<i>Printed name of arborist</i>	<i>Printed name of contractor</i>
		
<i>Signature of owner</i>	<i>Signature of arborist</i>	<i>Signature of contractor</i>
<u>604-782-5205</u>	<u>604 992 3592</u>	
<i>Phone number</i>	<i>Phone number</i>	<i>Phone number</i>
<u>8th Jan 2018</u>	<u>7 August 2016</u>	
<i>Date</i>	<i>Date</i>	<i>Date</i>

From: [Harji Bisla](#)
To: [Trees](#)
Subject: Re: 1172 Parker - Tree Management Permit Requirements
Date: Tuesday, November 28, 2017 9:37:10 PM
Attachments: [1076030 B.C. Ltd Construction Loan Company.pdf](#)
[CSDP 1172 Parker Street-signed.pdf](#)

Good day,

Please find the articles and CSDP report attached. Please let me know if you require anything else.

Regards,
Harji
Ph: 604-782-5205

On Thu, Sep 7, 2017 at 2:18 PM, Trees <trees@whiterockcity.ca> wrote:

Hello Harji,

We have reviewed your tree management permit application and require the following to proceed:

1. Notice of Authorization/ articles for 1076030 BC. Ltd
2. An updated CSDP which specifies arborist supervision at demolition and excludes the provisions for work within tree protection zones. It appears from the plans provided that no work is required within the TPZ.
3. A letter of understanding from your neighbours at 15764 Buena Vista and 1162 Parker, a rough template is attached.
4. A letter from your arborist confirming that tree protection barriers have been built to specification.
5. The arborist report provided is more than 1 year old. Please have your arborist update the report or provide confirmation that it is still valid.
6. Schedule C for tree securities for demolition is \$17,000 and may be paid at 877 Kiel.

Amelia Needoba, Ron Myers or Mike Harrhy

City of White Rock, Municipal Operations

[877 Keil Street, White Rock, BC V4B 4V6](#)

Tel: [604.541.2181](tel:604.541.2181) | www.whiterockcity.ca

Coordinated Site Development Plan (CSDP)

1172 Parker Street, White Rock, B.C. V4B 4R9

Property Owner:

Harji Bisla
1076030 B.C. Ltd.
12227 75 Avenue
Surrey, BC. V3W 2S7
Phone: (604)782-5205
Email: **Redacted S. 22**

Architect:

Satendra Mann
smann106@telus.net
(604)988-6063

Project Engineer:

Westridge Engineering & Consulting Ltd.
#203, 12992 – 76 Avenue, Surrey, B.C. V3W 2V6
Tel: (604)789-9520 Fax: (778)564-6507
www.westridgeengineers.ca

Project Arborist:

Peter Brinson
ISA Board Certified Master Arborist #PN0286BT
PNW Arborist Solutions
(604)992-3592
arboristtraining@telus.net

November 22, 2017

PNW Arborist Training Solutions
(604)992-3592
arboristtraining@telus.net

1.0 Introduction

This report is a consolidation of the engineered drawings including the Subdivision ESC Plan, the Key Plan and the Grading Plan and the arborist report for the property located at 1172 Parker Street. The owner has applied and received rezoning to change the RS-4 designation (duplex, residential) to allow for the subdivision of the property into two lots.

No house plans have been provided as yet.

2.0 Tree Survey & Assessment

Tree #	Common Name	Latin Name	DBH (cms)	Height (m)	Crown Spread (m)	LCR %	Observations & Recommendations
Front Yard 1172 Parker Street							
	Privet Hedge	Ligustrum vulgare		4			Hedge is 19 m long. Located in front of house along edge of property along Parker Street. Good health.
	Rhododendron Hedge	Rhododendron		2			Hedge runs along property line at 1172B Parker Street (south side) along the driveway; 8 meters long. Good health.
OS 1	Hazelnut Tree	Corylus	< 20 cms	4.5	5	70	Shared with the neighbour. Located on the southwest corner of the property. Good health.
	Lilac Bush	Syringa vulgaris	< 20 cms	3	3	60	Belongs to the neighbour. Located on the southwest corner of the property. Good health.
OS 2	Hawthorn Tree	Crataegus	< 20 cms	4.2	4	50	Under-sized. Shared with the neighbour. Located on southwest

							corner of the property.
	Holly	Ilex	< 20 cms	4	3	60	Belongs to the neighbour. Excellent health.
Property Line to North of 1172A Parker Street							
	Cedar Hedge	Arborvitae		3			15 meters long; runs from backyard along fence line to the road; hedge is in good condition; recently pruned.
	Laurel Hedge	Prunus laurocerasus 'Rotundifolia'		1.5			Hedge starts at corner of neighbour's property to the north and runs along the road. Hedge belongs to the neighbour
South Side Back Yard Along Fence Line Bordering 1162 Parker Street							
313	Acacia	Robinia pseudoacacia	46	15	8	75	Three stems (20 + 18 + 8).
OS 3	European Mountain Ash	Sorbus aucuparia	12	5	2	40	Belongs to the neighbour. Under-sized.
Neighbour's Backyard to the East at 15788 Buena Vista							
OS 4	Horse Chestnut	Aeculus hippocastanum	57.5	15	8	70	Leaf colour and annual shoot growth indicates tree is in good health. Growing 60 cms from the fence. May be shared.
OS 5	Acacia	Robinia pseudoacacia	202	18	12	50	Tree has three stems (41 + 130+ 31). Crown spread goes 5.6 m past fence and is asymmetrical. Tree is growing 1.5 m away from the fence line.



Tree #313 – Acacia



OS 4 – Horse Chestnut



OS 5 – Acacia



Cedar hedge



Laurel Hedge

Cedar hedge



Privet Hedge



Tree #OS 5 – Crown spread is 5.6 m from the fence line and 7.1 from the base of the tree.

3.0 Tree Protection

Tree #	Common Name	DBH (cms)	Minimum Tree Protection Size (From the base of the tree)
	Privet Hedge		NA Remove
	Rhododendron Hedge		NA Remove
SHARED	Hazelnut Tree	< 20 cms	TPZ at the drip line.
SHARED	Hawthorn Tree	< 20 cms	TPZ at the drip line.
SHARED	Holly	< 20 cms	TPZ at the drip line.

	Cedar Hedge		TPZ if retention is desired
	Laurel Hedge		TPZ at the drip line.
313	Acacia	46	TPZ 3 m.
OS 3	European Mountain Ash	12	TPZ at the drip line
001	Horse Chestnut	57.5	TPZ 3.8 m or 3.2 m from fence line.
002	Acacia	202	TPZ 7.1 m or 5.6 m from the fence at the drip line.

4.0 Post-Construction Maintenance

The post-construction maintenance plan will be developed once the house plans have been submitted.

TOPOGRAPHIC SITE PLAN OF LOT 295 SEC. 11 TWP. 1 NWD PLAN 35303

CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

SCALE 1 : 250



LEGEND

- DENOTES STANDARD IRON POST FOUND
- ⊙ PP DENOTES UTILITY POLE
- ⊞ DENOTES WATER METER
- MH-S DENOTES SANITARY MANHOLE
- MH-D DENOTES STORM MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- × DENOTES GROUND ELEVATION
- ×_{1m} DENOTES TOP OF WALL ELEVATION
- ⊞ DENOTES BEST ESTIMATION OF NATURAL GRADE



Lot dimensions are derived from field survey

Elevations are Geodetic (CVD28 GVRD-2005 - IN METERS)
Derived from Control Monument 88H3876 located at the SW corner of the intersection of Buena Vista Ave. and Lee St.
Elevation = 78.44m

Invert elevations and offsets of services from property lines are derived from municipal records and field survey. Contractor to verify all service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter

If this plan is used in digital form, Target Land Surveying will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 1.4m above grade and are shown in cm.

This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

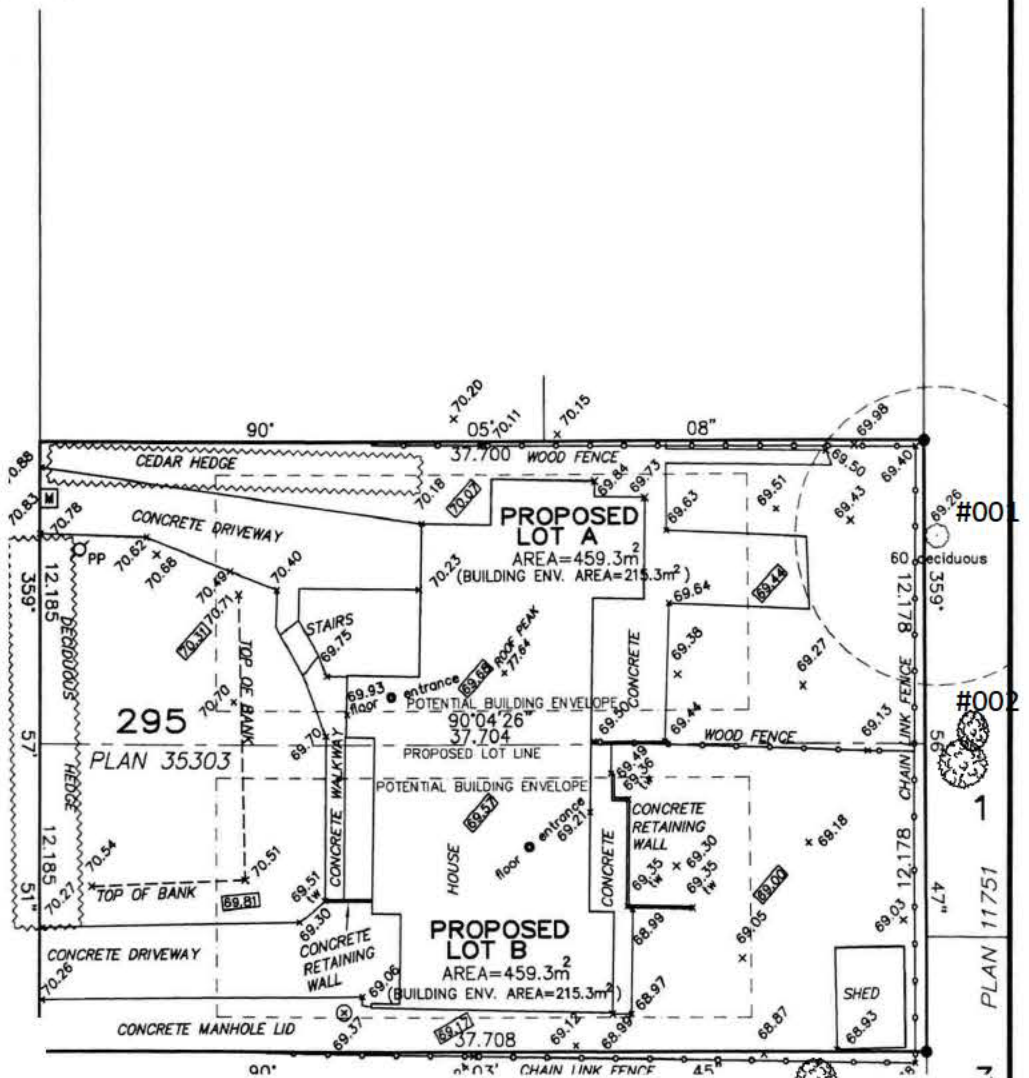
**PROPOSED RS-4 ZONING
BUILDING ENVELOPE SETBACKS**
FRONT YARD : 7.5m
REAR YARD : 7.5m
SIDE YARD : 1.35m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

AVERAGE NATURAL GRADE ESTIMATION	
PROPOSED LOT A	PROPOSED LOT B
70.31	69.81
70.07	69.57
69.44	69.00
69.68	69.17
AVERAGE= 69.88m	AVERAGE= 69.39m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

PARKER STREET



#313



LOT PLAN SHOWING TREE LOCATION AND TREE PROTECTION ZONES



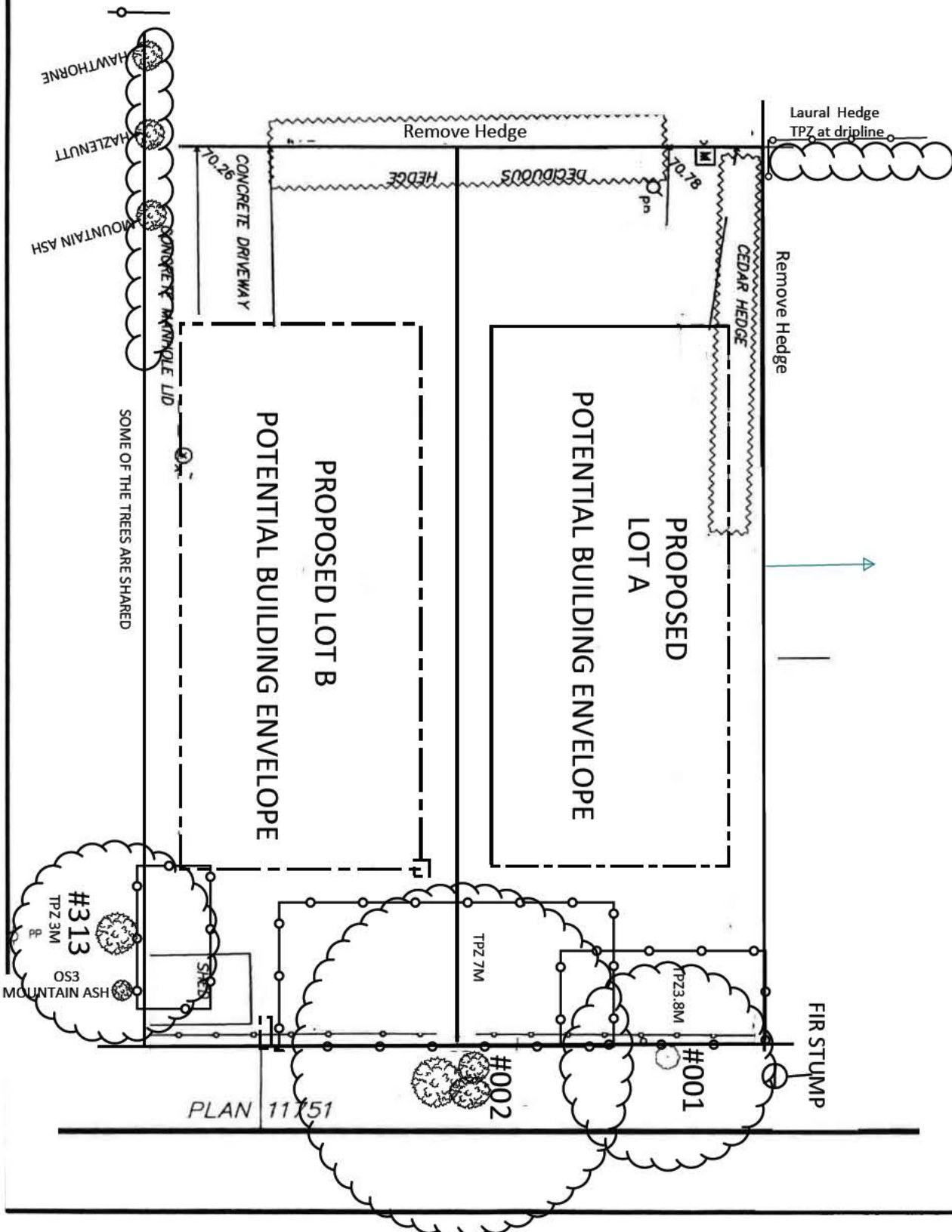
CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

NO PROTECTED TREES ARE BEING REMOVED FOR THIS PROJECT

LEGEND

- DENOTES STANDARD IRON POST FOUND
- PP DENOTES UTILITY POLE
- DENOTES WATER METER
- MH-S DENOTES SANITARY MANHOLE
- MH-D DENOTES STORM MANHOLE
- DENOTES TREE PROTECTION
- DENOTES TREE
- DENOTES HEDGE
- DENOTES CANOPY COVER



6.0 Engineered Drawings

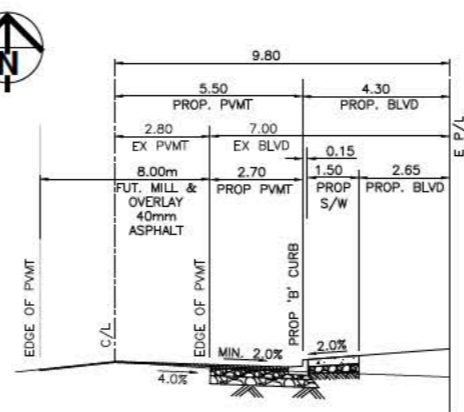
LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE GROUND ELEVATION (M: TO MEET EX EL) CONTOUR
		EDGE OF PAVEMENT
		CURB & GUTTER
		SIDEWALK (ASPHALT)
		SIDEWALK (CONCRETE)
		ROAD SIGN BOARD
		SANITARY SEWER, MANHOLE & CONNECTION INSPECTION CHAMBER
		STORM SEWER, MANHOLE & CONNECTION INSPECTION CHAMBER
		CATCH BASIN-TOP & SIDE INLET
		LAWN DRAIN
		SWALE (BY DEVELOPER)
		SWALE (BY BUILDER)
		DITCH
		DIRECTION OF SURFACE DRAINAGE
		BLOW OFF
		WATER VALVE
		WATERMAIN & CONNECTION SERVICE HYDRANT
		STREET LIGHT U/G DUCT
		ORNAMENTAL STREET LIGHT-DAVIT
		UTILITY POST
		UNDERGROUND ELECTRICAL & MANHOLE
		UNDERGROUND TELEPHONE & MANHOLE
		TREES
		TREES TO REMAIN
		GAS MAIN
		TREES TO BE REMOVED
		SERVICES UNDER GROUND
		CONCRETE SURFACE
		CITY PAVEMENT CUT POLICY TO APPLY



DRAWING NUMBER INDEX

- 1 KEY PLAN
- 2 LOT GRADING PLAN
- 3 ESC PLAN



GENERAL NOTES:

- 1) FOR THE PURPOSE OF CONSTRUCTION AND ACCOUNTABILITY THE DEVELOPER MUST ADVISE THE WHITE ROCK CITY INSPECTOR, IN WRITING, WHICH OF THE CITY NOTES IS GOING TO BE THE RESPONSIBILITY OF THE DEVELOPER'S CONTRACTOR.
- 2) CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF WHITE ROCK AND THE APPLICABLE MUNICIPAL MASTER SPECIFICATIONS AND STANDARD DETAIL DRAWINGS, CITY OF WHITE ROCK STANDARD CONSTRUCTION DOCUMENTS, SUPPLEMENTARY SPECIFICATIONS & STANDARD DRAWINGS AND CITY DESIGN CRITERIA & EPCOR WHITEROCK STANDARDS, WHERE APPLICABLE.
- 3) THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY PERMITS FOR WORKS WITHIN THE CITY ROAD ALLOWANCE.
- 4) WHERE UTILITY OR SERVICE CROSSINGS ARE REQUIRED ACROSS EXISTING PAVEMENTS, AN UNDERGROUND METHOD OF INSTALLATION IS REQUIRED UNLESS SPECIAL APPROVAL IS GIVEN FROM THE CITY FOR AN OPEN CUT OPERATION. ALL EXISTING PAVEMENTS, BOULEVARDS, DRIVEWAYS, ETC., ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION AND IN ACCORDANCE WITH CITY SPECIFICATIONS AND THE PAVEMENT CUT POLICY.
- 5) WHITE ROCK'S MONUMENT(S) ARE TO BE PROTECTED AND SHOULD THEY REQUIRE RAISING OR RELOCATING, THE DEVELOPER WILL NOTIFY WHITE ROCK'S SURVEY DEPARTMENT AT LEAST THREE WORKING DAYS IN ADVANCE OF SCHEDULING WORK AFFECTING THEM. DEVELOPER TO PAY CASH IN LIEU OF DESTROYED/DAMAGED MONUMENT.
- 6) ALL STREET, TRAFFIC AND ADVISORY SIGNS, PAVEMENT MARKINGS AND NO-POST GUARD RAILS REQUIRED BUT NOT NECESSARILY SHOWN ON THE DRAWINGS, SHALL BE INSTALLED BY THE CITY AT THE DEVELOPER'S COST.
- 7) WHERE INFILLING OF EXISTING DITCHES, ETC. IS REQUIRED OR WHERE SERVICES ARE CONSTRUCTED IN A FILL SECTION, FILL MATERIAL IS TO BE IN ACCORDANCE WITH CITY SPECIFICATIONS AND IS TO BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY.
- 8) DRIVEWAY BOULEVARD CROSSINGS TO EACH OF THE PROPOSED LOTS ARE TO BE INSTALLED BY THE DEVELOPER IN ACCORDANCE WITH CITY STANDARD DRAWINGS.
- 9) RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT MUST BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. THE DEVELOPER WILL REQUIRE WRITTEN AUTHORIZATION FROM A PRIVATE PROPERTY OWNER, WITH A COPY TO THE CITY, PRIOR TO ANY ENTRY ONTO PRIVATE PROPERTY AND A WRITTEN RELEASE, FROM THE PROPERTY OWNER, WHEN COMPLETED.
- 10) WHEN NATIVE SITE GRANULAR BACK FILL IS PROPOSED FOR USE IN TRENCHES THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING FOR PERFORMANCE OF IN PLACE DENSITY AND SIEVE TESTING. SELECTION OF THE PROFESSIONAL ENGINEER AND USE OF THE SITE MATERIAL MUST FALL WITHIN ONE OF THE GRANULAR BACK FILL MATERIAL SPECIFICATIONS. RIVER SAND IS NOT ACCEPTABLE AS TRENCH BACK FILL MATERIAL.
- 11) DEVELOPER IS TO VERIFY THE LOCATION AND ELEVATION OF ALL PIPES, OR OTHER UTILITY CROSSINGS, PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS BEFORE START OF CONSTRUCTION.
- 12) PRECONSTRUCTION MEETING REQUIRED & ROW USE PERMIT REQUIRED BY PRIME CONTRACTOR.
- 13) CONTRACTOR TO ENSURE THAT RIM ELEVATION OF ALL RELOCATED AND NEW INSPECTION CHAMBERS ARE ADJUSTED.
- 15) CONTRACTOR TO HIRE HIS/HER OWN SURVEYOR FOR LAYOUT OF ROAD WORKS AND SERVICES AND VERIFY EXISTING SERVICES WITH RESPECT TO PROPOSED WORK. CONTRACTOR TO ENSURE THAT EXISTING SERVICES AND PROPOSED WORK DO NOT INTERFERE AND THE EXISTING SERVICES ARE NOT DAMAGED DURING THE CONSTRUCTION. ANY DAMAGE TO EXISTING SERVICES DURING THE CONSTRUCTION WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 16) CONTRACTOR TO HAVE HIS/HER OWN ENGINEER TO VERIFY MATERIALS TESTING DURING CONSTRUCTION. REPORTS TO BE SUBMITTED FOR ALL TESTING, FIELD INSPECTION REPORTS ARE ALSO A REQUIREMENT AND SHALL BE SUBMITTED WEEKLY.
- 17) WATER SERVICE LINES ON MUNICIPAL RIGHT OF WAY, WATER METERS & FINAL CONNECTIONS TO ONSITE WATER SERVICES WILL BE INSTALLED BY THE CITY STAFF.

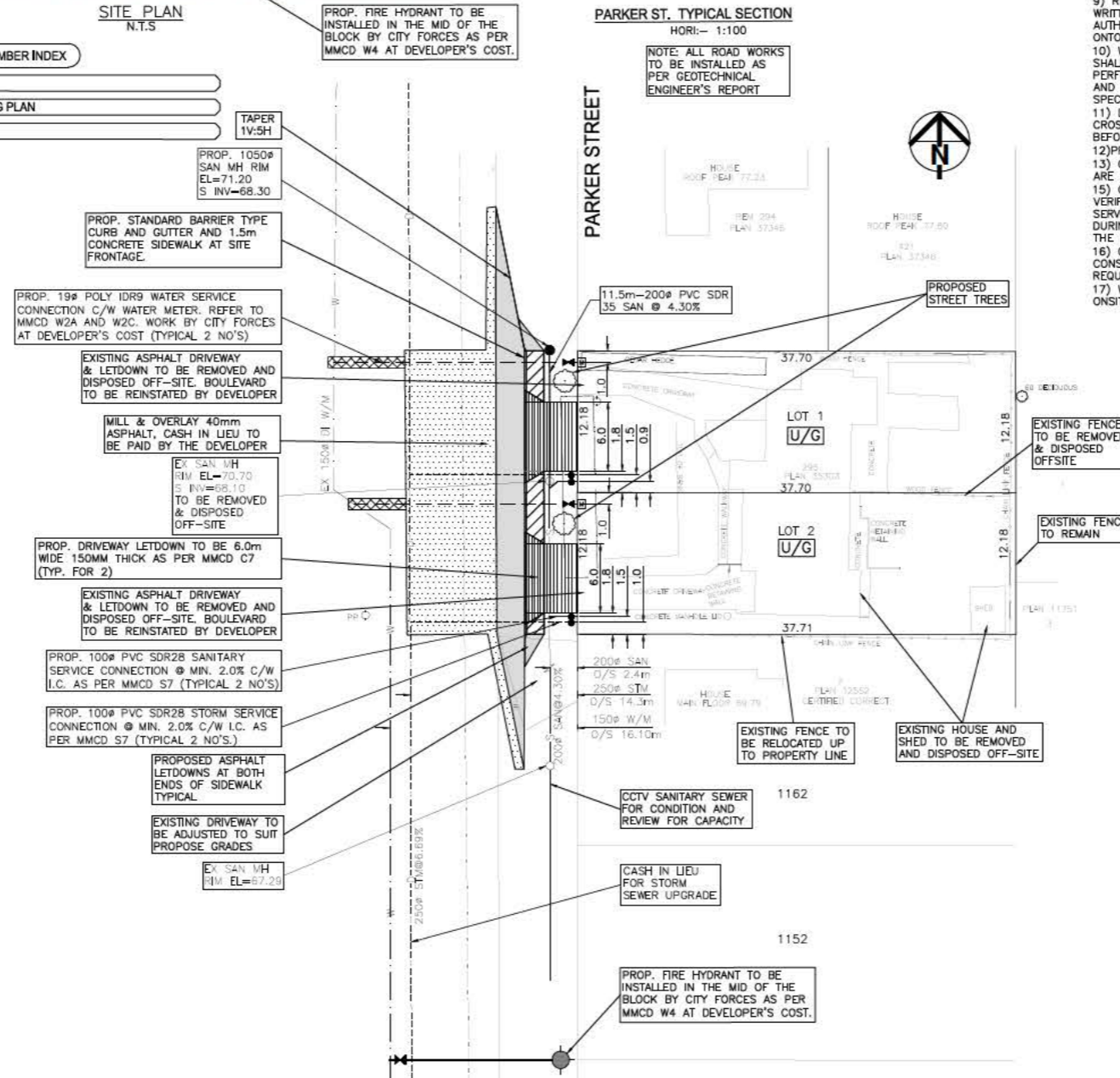
DEVELOPER'S NOTES:

- 1) FOR LOT 1 & 2 100# PVC SDR28 STORM CONNECTION C/W IC @ 2% FROM IC @ P/L TO EXISTING 250# STORM MAIN BY THE DEVELOPER.
- 2) FOR LOT 1 & 2 100# PVC SDR28 SANITARY CONNECTIONS C/W IC @ 2% FROM IC @ P/L TO EXISTING 200# SANITARY MAIN BY THE DEVELOPER.
- 3) FOR LOT 1 & 2 PROPOSED 19MMØ WATER SERVICE CONNECTIONS TO BE INSTALLED BY THE CITY CREWS AT DEVELOPER'S COST.
- 4) CITY PAVEMENT CUT POLICY TO APPLY.

I.C. TABLE

LOT NO.	STM IC INV EL/DEPTH	OFFSET	SANITARY I.C. INV EL/DEPTH	OFFSET
LOT 1	70.45/0.55	1.5m FROM SOUTH P/L	68.32/2.65	0.9m FROM SOUTH P/L
LOT 2	69.77/0.60	1.0m FROM SOUTH P/L	67.85/2.50	1.5m FROM SOUTH P/L

INFORMATION SHOWN ON THIS DRAWING REGARDING EXISTING UTILITIES IS COMPILED FROM DIVERSE SOURCES, AND MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXPOSE AND CONFIRM THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, AND ADVISE THE ENGINEER OF ANY POTENTIAL CONFLICTS.



KEY PLAN NOTES:

1. ALL WORKS ARE TO CONFORM TO THE CITY OF WHITE ROCK CONSTRUCTION STANDARDS. THE CONTRACTOR IS TO PROVIDE VIDEO INSPECTION OF ALL STORM AND SANITARY SEWER MAINS, INCLUDING SERVICE CONNECTIONS, PRIOR TO THE PROJECT BEING PLACED ON MAINTENANCE. VIDEO INSPECTIONS ARE TO BE TO THE CURRENT STANDARDS AND REQUIREMENTS OF THE CITY OF WHITE ROCK INSPECTION DEPARTMENT.
2. THE CONTRACTOR IS TO NOTIFY THE DEVELOPER'S ENGINEER IMMEDIATELY IN WRITING IF THE PROPOSED SERVICE CONNECTIONS ARE INSTALLED ABOVE DESIGN ELEVATION.
3. TIE-INS TO EXISTING SANITARY SEWER MAINS (MANHOLE, SERVICE, MAINLINE, ETC.) ARE TO BE DONE BY THE DEVELOPER'S CONTRACTOR. THE CITY MAINTAINS THE OPTION TO HAVE MUNICIPAL CREWS DO THESE WORKS UNTIL THE PRE-CONSTRUCTION MEETING HAS BEEN HELD.
4. ALL EXISTING STRUCTURES AND ASPHALT/CONCRETE PAVEMENTS AND PADS ON LOT 1 AND 2 SHALL BE REMOVED AND DISPOSED OFF-SITE.
5. ALL EXISTING SERVICE CONNECTIONS SHALL BE CAPPED AND ABANDONED.
6. EXISTING WATER SERVICE CONNECTION TO BE CAPPED AT MAIN, WATER METER ACCOUNT TO BE CLOSED AND WATER METER TO BE RETURNED TO THE CITY YARD.
7. EX. STORM & SANITARY MAINS TO BE VIDEO INSPECTED FOR THEIR CONDITION BEFORE AND AFTER THE INSTALLATION OF PROPOSED SERVICE CONNECTIONS. DEVELOPER TO SUBMIT THE VIDEO INSPECTION REPORT TO THE CITY.
8. DEVELOPER TO REGISTER RESTRICTIVE COVENANT FOR:
 - a) PUMPED STORM AND SANITARY SERVICE CONNECTIONS TO LOT 1 AND 2. COMPLETE WITH BACK FLOW PREVENTOR/CHECK VALVES.
 - b) WATER PROOFING OF THE BUILDINGS ON LOTS 1 AND 2 BELOW AND UP TO 0.30m ABOVE FINISHED GROUND ELEVATIONS TO PROTECT AGAINST GROUNDWATER AND FLOODWATER.
10. DEVELOPER TO PAY CASH IN LIEU FOR FUTURE ROAD WORKS AT SITE FRONTAGE:
 - a) 40mm MILL & OVERLAY ON PARKER ST.
 - b) FUTURE STREET LIGHT.
 - c) STORM SEWER UPGRADE.
11. ALL I.C.'S WITHIN DRIVEWAYS OR PAVEMENT SHALL BE INSTALLED WITH DOBNEY MR 10LL CASTINGS.
12. ALL WATER METER BOXES WITHIN DRIVEWAYS OR PAVEMENT SHALL BE INSTALLED WITH H2O LOADING LID & COVER.

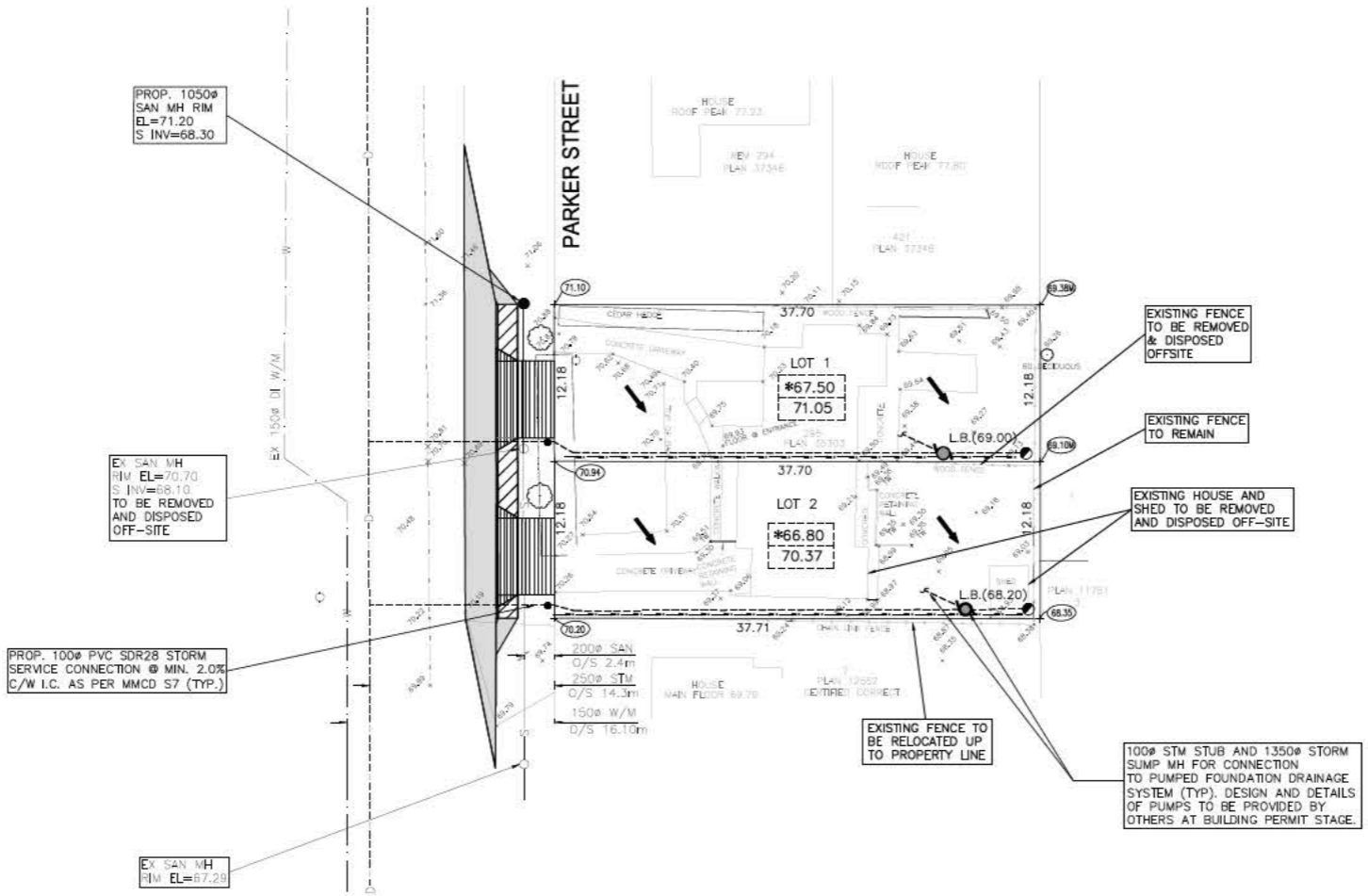
	ALL DIMENSIONS ARE IN METRES ALL PIPE SIZES ARE IN MILLIMETRES	BENCHMARK: CONTROL MONUMENT 88H3676 LOCATED AT THE SW CORNER OF THE INTERSECTION OF BUENA VISTA AVE. AND LEE ST. ELEVATION = 78.44M	Westridge Engineering & Consulting Ltd. SUITE 203, 12992 - 76 Avenue, Surrey, BC V3W 2V6 TEL: (604) 789 - 9520, FAX: (778) 564 - 6507 www.westridgeengineers.ca	DEVELOPER: 1076030 B.C. LTD. PH. 604-782-5205	SCALE 1:250	DATE FEB 09, 2017	MUNICIPAL PROJECT NO.																					
	<table border="1"> <thead> <tr> <th>REVISIONS</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> <th>APPROVED</th> </tr> </thead> <tbody> <tr> <td>3</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>ISSUED FOR FINAL APPROVAL</td> <td>KL</td> <td>19 MAY 2017</td> <td>DK</td> </tr> <tr> <td>1</td> <td>RE-ISSUED FOR APPROVAL</td> <td>KL</td> <td>17 APR 2017</td> <td>DK</td> </tr> <tr> <td>0</td> <td>ISSUED FOR APPROVAL</td> <td>DK</td> <td>08 FEB 2017</td> <td>DK</td> </tr> </tbody> </table>	REVISIONS			DESCRIPTION	BY	DATE	APPROVED	3					2	ISSUED FOR FINAL APPROVAL	KL	19 MAY 2017	DK	1	RE-ISSUED FOR APPROVAL	KL	17 APR 2017	DK	0	ISSUED FOR APPROVAL	DK	08 FEB 2017	DK
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TITLE KEY PLAN				2 LOT SUBDIVISION 1172-PARKER ST, WHITE ROCK		DESIGNED DKAJAL CHECKED	CONTRACT	SHEET 1 OF 3																				
				APPROVED D. KAJAL		DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS	REVISION 2																					

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE GROUND ELEVATION (M: TO MEET EX EL) CONTOUR
		EDGE OF PAVEMENT
		CURB & GUTTER
		SIDEWALK (ASPHALT)
		SIDEWALK (CONCRETE)
		ROAD SIGN BOARD
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		STORM SEWER, MANHOLE & CONNECTION INSPECTION CHAMBER
		CATCH BASIN-TOP & SIDE INLET
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		UNDERGROUND ELECTRICAL & MANHOLE
		UNDERGROUND TELEPHONE & MANHOLE
		TREES
		TREES TO REMAIN
		GAS MAIN
		TREES TO BE REMOVED
		SERVICES UNDER GROUND
		CONCRETE SURFACE
		CITY PAVEMENT CUT POLICY TO APPLY
		MBE WITH GRAVITY CONNECTIONS
		MBE WITH PUMPED SANITARY & STORM CONNECTIONS
		CATCH BASIN FILTER

NOTE:

- 1) ALL EXISTING TREES ONSITE & OFFSITE TO BE RETAINED OR REMOVED AS APPROVED BY THE CITY OF WHITE ROCK.
- 2) STORM & SANITARY MAINS TO BE VIDEO INSPECTED FOR THEIR ADEQUACY AND DEVELOPER TO INFORM CITY IF STORM OR SANITARY MAINS ARE NOT ADEQUATE. DEVELOPER TO SUBMIT THE VIDEO INSPECTION REPORT TO THE CITY.
- 3) BUILDER'S TO INSTALL MIN. 300mm TOPSOIL IN LANDSCAPE AREAS.

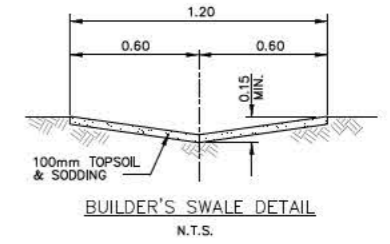


I.C. TABLE

LOT NO.	STM I.C. INV EL/DEPTH	OFFSET	SANITARY I.C. INV EL/DEPTH	OFFSET
LOT 1	70.45/0.55	1.5m FROM SOUTH P/L	68.32/2.65	0.9m FROM SOUTH P/L
LOT 2	69.77/0.60	1.0m FROM SOUTH P/L	67.85/2.50	1.5m FROM SOUTH P/L

- LOT GRADING NOTES:**
- 1) MBE-MINIMUM BUILDING ELEVATION IS DEFINED AS THE TOP OF SLAB ON GRADE OR UNDERSIDE OF FLOOR JOISTS FOR CRAWL SPACE CONSTRUCTION.
 - 2) ALL ROOF LEADERS TO BE DISCHARGE ONTO SPLASH PADS.
 - 3) ROUGH LOT GRADING IS TO BE COMPLETED BY THE DEVELOPER AND THE FINISHED GRADING IS TO BE DONE BY THE HOUSE BUILDER.
 - 4) SODDED SWALES LOCATED IN EASEMENT AND OR ROW ARE TO BE CONSTRUCTED BY THE DEVELOPER.
 - 5) DRIVEWAYS ARE TO BE LOCATED A MINIMUM 1.0 METER FROM STREET LIGHTS, FIRE HYDRANTS, HYDRO/TELEPHONE KIOSKS AND UTILITY BOXES.
 - 6) ALL SWALES ARE TO BE GRADED AT A MIN. 1.0%.
 - 7) SHOULD A DRIVEWAY BE LOCATED OVER A SANITARY I.C. OR WATER CURB STOP, THE BUILDER SHALL BE RESPONSIBLE FOR INSTALLING A CONCRETE PULL BOX AND CAST IRON COVER TO PROTECT THE SERVICES. (SEE MMCD S9)
 - 8) THE DEVELOPER'S ENGINEER IS TO CERTIFY THE ROUGH LOT GRADING PRIOR TO ISSUANCE OF BUILDING PERMIT.

- GENERAL NOTES TO BE RETENTION ON SITE:**
- WHERE TREES ARE TO BE RETAINED ON OR ADJACENT TO A DEVELOPMENT SITE, THE FOLLOWING PROCEDURES MUST BE FOLLOWED TO ADEQUATELY PROTECT THE TREES DURING DEVELOPMENT.
- 1) WHERE ANY EXCAVATION, DEMOLITION OR OTHER WORK IS BEING CARRIED OUT WITHIN 4M OF THE DRIP LINE OF ANY TREE TO BE RETAINED, THE WORK MUST BE DONE BY HAND OR DONE IN A MANNER WHICH WILL NOT DAMAGE THE TRUNK, BRANCHES OR ROOTS OF THE TREE(S) TO BE RETAINED.
 - 2) A PROTECTION BARRIER OR TEMPORARY FENCE AT LEAST 1.2M IN HEIGHT MUST BE INSTALLED AROUND ANY TREE TO BE RETAINED. THIS MUST BE CONSTRUCTED PRIOR TO ANY TREE REMOVAL, EXCAVATION OR CONSTRUCTION AND REMAIN INTACT THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION.
 - 3) PROTECTION BARRIERS MUST BE ERECTED AND INSPECTED BY THE CITY PRIOR TO ANY DEMOLITION OR CONSTRUCTION UNLESS A LETTER OF ASSURANCE BY A CERTIFIED ARBORIST OR A REGISTERED LANDSCAPE ARCHITECT IS SUBMITTED AT THE TIME OF APPLICATION.
 - 4) FAILURE TO PROVIDE EITHER THE PROTECTIVE BARRIER AND/OR THE LETTER OF ASSURANCE MAY RESULT IN A FINE BEING ISSUED AGAINST THE PROPERTY OWNER.
 - 5) THE REQUIRED LOCATION OF TREE PROTECTION BARRIER FENCING IS DETERMINED BY THE SIZE OF THE TREE CANOPY. THE PROTECTIVE BARRIER SHOULD BE NO CLOSER TO THE TRUNK OF A TREE THAN THE DRIPLINE OR DIAMETER OF THE TREE CANOPY AT ITS WIDEST POINT. THIS DISTANCE MAY ONLY BE COMPROMISED ADJACENT TO A BUILDING ENVELOPE, WHERE THE FULL DISTANCE CANNOT BE PROVIDED, UPON ADVICE OF A CERTIFIED ARBORIST, LANDSCAPE ARCHITECT OR PLANNING STAFF.
 - 6) THE PROTECTION BARRIER SHOULD CLEARLY DISPLAY ALL-WEATHER SIGNAGE INDICATING THAT THE AREA WITHIN THE BARRIER IS A PROTECTED ZONE, I.E. STORAGE, DUMPING, PARKING AND MACHINERY OPERATION ARE PROHIBITED IN THIS ZONE.
 - 7) ANY REQUIRED EXCAVATION IN OR AROUND THE PROTECTION ZONE TO ACCOMMODATE UNDERGROUND SERVICES, FOOTING, ETC. IS TO BE DONE BY HAND.
 - 8) TREE INSIDE THE PROTECTION ZONE MUST BE ADEQUATELY CARED FOR THROUGHOUT THE CONSTRUCTION PROCESS, I.E., THEY MUST BE WATERED SUFFICIENTLY, PARTICULARLY IF THE TREES ROOT SYSTEM HAS BEEN DISTURBED BY EXCAVATION.
 - 9) ROOT AND BRANCH PRUNING, WHERE NECESSARY, HAS TO BE DONE IN ACCORDANCE ONLY THE PARKS, "TREE RETENTION, REMOVAL AND REPLACEMENT GUIDELINES". WITH CITY RECREATION & CULTURE DEPARTMENT PERSONNEL OR THE PUBLIC WORKS AND OPERATIONS PERSONNEL ARE AUTHORIZED TO PRUNE TREES ON CITY PROPERTY.



INFORMATION SHOWN ON THIS DRAWING REGARDING EXISTING UTILITIES IS COMPILED FROM DIVERSE SOURCES, AND MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXPOSE AND CONFIRM THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, AND ADVISE THE ENGINEER OF ANY POTENTIAL CONFLICTS.

	ALL DIMENSIONS ARE IN METRES ALL PIPE SIZES ARE IN MILLIMETRES	BENCHMARK: CONTROL MONUMENT 88H3876 LOCATED AT THE SW CORNER OF THE INTERSECTION OF BUENA VISTA AVE. AND LEE ST. ELEVATION = 78.44M	Westridge Engineering & Consulting Ltd. SUITE 203, 12992 - 76 Avenue, Surrey, BC V3W 2V6 TEL: (604) 789 - 9520, FAX: (778) 564 - 6507 www.westridgeengineers.ca	DEVELOPER: 1076030 B.C. LTD. PH. 604-782-5205	SCALE 1:250 DATE FEB 09, 2017	MUNICIPAL PROJECT NO.																								
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					APPROVED D. KAJAL	DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS	REVISION 2																							

LEGEND

EXISTING	PROPOSED	
		STORM SEWER, MANHOLE & CONNECTION INSPECTION CHAMBER
		PROPERTY LINE
		GROUND ELEVATION (M: TO MEET EX EL) CONTOUR
		DIRECTION OF SURFACE FLOW
		CATCH BASIN-TOP & SIDE INLET
		LAWN DRAIN
		CATCH BASIN FILTER
		SWALE CHANNEL ELEVATION
		FENCE
		SILT FENCE AS PER SSD D-6
		GRAVEL ACCESS PAD



GENERAL NOTES :

CLEARING, ROAD STRIPPING, GRAVELING AND ROUGH GRADING (STAGE 1)

- 1) DEVELOPER IS TO NOTIFY THE ENGINEER OF RECORD THAT CLEARING AND GRUBBING HAS COMMENCED.
- 2) PERIMETER ESC MEASURES TO BE INSTALLED AS APPLICABLE PRIOR TO INITIATING ON-SITE CLEARING AND GRUBBING.
- 3) INSTALL PROTECTIVE MEASURES AT OR WITHIN EXISTING CATCH / LAWN BASINS AS APPLICABLE.
- 4) INSTALL SPECIFIED ESC ACCESS FACILITIES / MEASURES AT ENTRY / EXIT POINTS. ALL VEHICLE MOVEMENT TO AND FROM THE IS TO BE RESTRICTED TO CONTROLLED ENTRY / EXIT POINTS.
- 5) ONSITE STORM WATER CONTROL FACILITIES COMPLETE WITH VELOCITY CONTROL MEASURES TO BE INSTALLED AS ROADWAYS ARE STRIPPED.
- 6) ANY STOCKPILED MATERIALS TO BE COVERED WITH POLY SHEET AND ENCLOSED BY SEDIMENT FENCE AS SPECIFIED.
- 7) THE CONTRACTOR / DEVELOPER WILL BE RESPONSIBLE TO ENSURE THAT THE EXISTING ROADS ARE REVIEWED DAILY AND SWEEPED REGULARLY.
- 8) AFTER ROUGH GRADING & TRACK COMPACTING APPROXIMATELY 1000sqm, DEVELOPER TO IMMEDIATELY SPREAD HAY OVER GRADED SECTION AT A MINIMUM 4.5 TONNE/ha (2.0 TONNE/ac).

UTILITY AND ROAD WORKS INSTALLATION (STAGE 2)

- 1) CONTRACTOR TO INSTALL TEMPORARY SEDIMENT CONTAINMENT AND CONTROL MEASURES AS SPECIFIED IN THIS DRAWING OR AS DIRECTED BY THE ENGINEER OF RECORD.
- 2) CONTRACTOR TO INSTALL ADDITIONAL SEDIMENT FENCING AS INDICATED ON THIS PLAN OR AS DIRECTED BY THE ENGINEER OF RECORD.
- 3) ALL ACCESS TO AND FROM SITE TO BE FROM THE RESTRICTED ENTRY-EXIT POINTS.
- 4) CONTRACTOR & DEVELOPER TO ENSURE THAT ESC MEASURES ARE WELL MAINTAINED, CLEARED, REPAIRED/REPLACED EVERY WEEK OR AFTER ANY MAJOR STORM EVENT.
- 5) CATCH/LAWN BASINS COMPLETE WITH PROTECTIVE MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AT THE FIRST OPPORTUNITY.
- 6) CONTRACTOR TO COORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES IF THEY ARE NO LONGER REQUIRED OR TO FACILITATE SITE OPERATIONS WITH THE ENGINEER OF RECORD. ADDITIONAL ESC FACILITIES MAY NEED TO BE INSTALLED AS PER THE DIRECTION OF THE ENGINEER OF RECORD.
- 7) ONSITE STORM WATER CONTROL FACILITIES COMPLETE WITH VELOCITY CONTROL MEASURES TO BE INSTALLED AS ROADWAYS ARE STRIPPED.
- 8) ANY STOCKPILED MATERIALS TO BE COVERED WITH POLY SHEET AND ENCLOSED BY SEDIMENT FENCE.

FINAL GRADING STAGE THROUGH TO SUBSTANTIAL COMPLETION (STAGE 3)

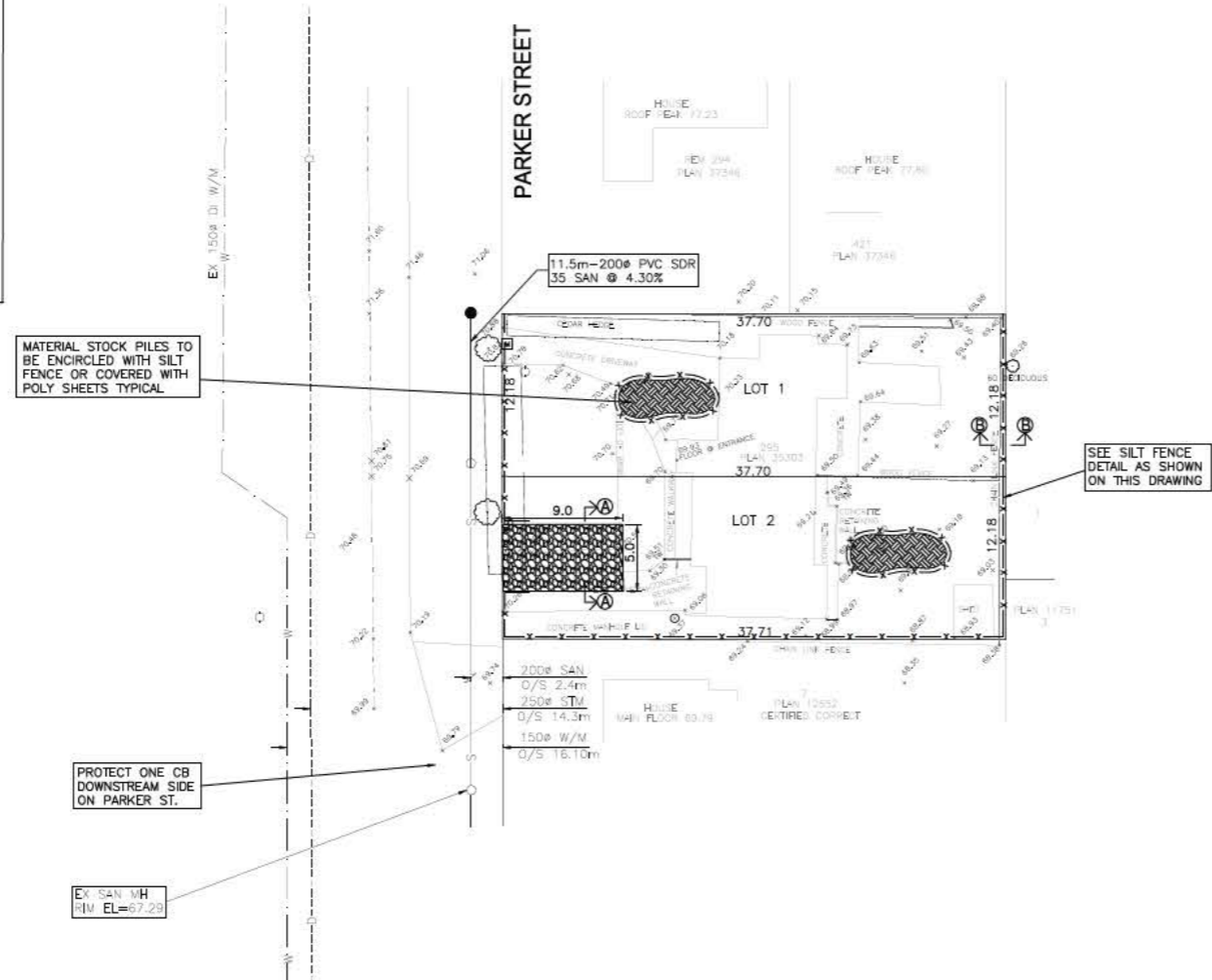
- 1) CONTRACTOR TO ENSURE THAT STORM WATER CONVEYANCE CHANNEL AND DISCHARGE POINTS TO ADJUST STREAMS DITCHES, OR ENTRY POINTS TO PIPED NETWORKS, ARE ADEQUATELY PROTECTED.
- 2) CONTRACTOR TO ENSURE THAT THE ESC FACILITIES SPECIFIED IN THE ESC PLAN OR ANY ADDENDUM'S ARE IMPLEMENTED ACCORDINGLY.
- 3) AFTER FINAL SITE GRADING IS COMPLETED ALL DISTURBED AREAS ARE TO BE PROTECTED AS PER THE ESC PLAN.
- 4) CONTRACTOR TO COORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES AS THEY ARE NO LONGER REQUIRED WITH THE ENGINEER OF RECORD. ADDITIONAL ESC FACILITIES MAY NEED TO BE INSTALLED AS PER THE DIRECTIONS OF THE ENGINEER OF RECORD.
- 5) DEVELOPER TO ENSURE THAT ALL THE ESC FACILITIES SHOWN SHALL REMAIN IN PLACE & IN PROPER WORKING ORDER UNTIL 90% OF THE CONSTRUCTION IS COMPLETED.
- 6) AT FINAL SITE INSPECTION PRIOR TO THE SITE GOING ON MAINTENANCE. E.O.R & DRAINAGE / ENVIRONMENTAL STAFF INSPECT & SIGNOFF ON ESC MEASURES.
- 7) LOT OWNERS/HOUSE BUILDERS ARE NOTIFIED OF EXISTING ESC FACILITIES & THEIR RESPONSIBILITIES TO INSURE THAT INDIVIDUAL PRIVATE ONSITE SEDIMENT CONTROL MEASURES ARE IN PLACE.

DECOMMISSION & BACK FILL:

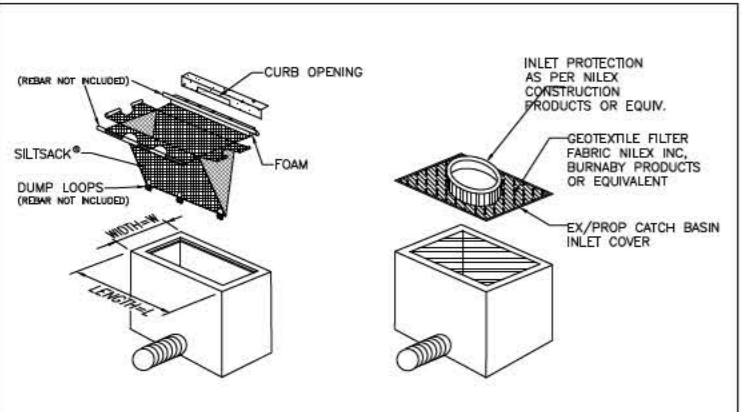
- 1) UPON COMPLETION OF 90% CONSTRUCTION & APPROVAL OF ENGINEER OF RECORD DISMANTLE SILT FENCE, RESTORE BOULEVARD, REMOVE CB & LD FABRIC FILTER COVERS, REMOVE ACCESS PAD BY DEVELOPER'S CONTRACTOR.
- 2) RESTORE DISTURBED AREA AND APPLY FINISHED LANDSCAPE AND PAVEMENT TREATMENT EQUIVALENT TO EXISTING OR BETTER OR AS SPECIFIED BY THE ENGINEER OF RECORD.

MAINTENANCE:

- 1) THE CONTRACTOR / DEVELOPER WILL BE RESPONSIBLE TO ENSURE THAT THE EXISTING ROADS ARE REVIEWED DAILY AND MECHANICALLY SWEEPED MIN ONCE A WEEK. FLUSHING OF ROADWAYS IS PROHIBITED.
- 2) CONTRACTOR TO ENSURE THAT THE SILT FILTER SOCKS & SILT FENCES TO BE INSPECTED WEEKLY, TO BE REPAIRED IF REQUIRED & CLEANED AT 40% CAPACITY, MORE FREQUENTLY DURING MAJOR "ONSITE" BUILDING CONSTRUCTION, AFTER ANY SIGNIFICANT STORM EVENT OR AS DIRECTED BY THE ENGINEER OF RECORD.
- 3) GRAVEL ACCESS PAD TO BE INSPECTED DAILY TO ENSURE FUNCTIONALITY & ADDITIONAL GRAVEL'S TO BE ADDED AS REQUIRED.
- 4) ALL SEDIMENT REMOVED FROM ESC CONTROL FACILITIES TO BE DISPOSED OF IN A MANNER AS NOT TO COMPOUND OR COMPROMISE THE SEDIMENT LOADING CAPACITY OF OTHER CONTROL MEASURES.
- 5) ALL DISTURBED SOIL IS TO BE PROTECTED FROM EROSION BY SPREADING HAY OR BY APPLYING EROSION CONTROL BLANKETS OVER THE EXPOSED AREAS.

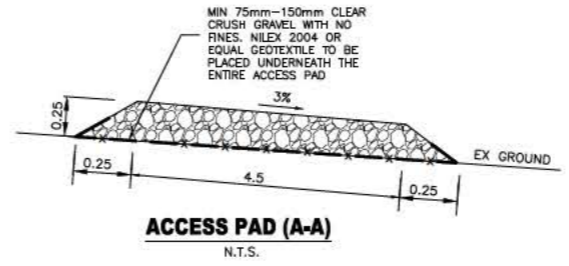


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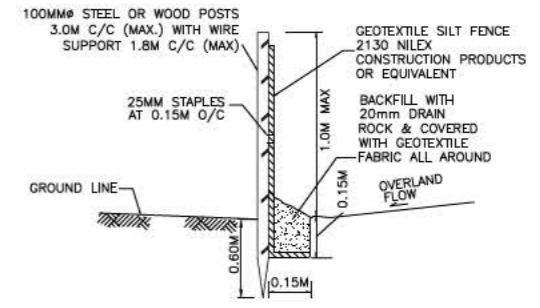


SILT FILTER FOR CATCH BASIN (TYP) DETAIL

- NOTES:
- 1) SILT FILTER TO BE SHAPED TO FIT CITY OF WHITE ROCK STANDARD CATCH/LAWN BASINS AS PER NILEX PRODUCTS MANUFACTURED BY NILEX INC, BURNABY OR APPROVED EQUIVALENT.
 - 2) THE USE OF STANDARD FILTER FABRIC UNDER CB'S IS ONLY ALLOWED ON SITE. CB'S ON CITY PROPERTY ARE TO HAVE A MANUFACTURE PRODUCT INSTALLED THAT HAS AN ACCEPTABLE FLOW THROUGH RATE TO ALLOW FOR THE CONVEYANCE OF STORM FLOWS.



ACCESS PAD (A-A)
N.T.S.



DETAIL SILT FENCE (B-B)

- NOTES
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFFSET AND CAN BE PERMANENTLY STABILIZED.
 4. SWEEPING REQUIRED DAILY AS REQUIRED.

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Appendix A Comfort Letter for Arborist Presence at Specified Stages of Construction

This letter is to confirm that Harji Bisla of 1076030 B.C. Ltd. has retained PNW Arborist Solutions to oversee the subdividing of the lot and subsequent construction of two homes at 1172 Parker Street.

Arborist inspections will occur monthly beginning at the demo with a follow-up letter/report submitted to the City within five days of the monitored work. The follow up letter/report must be written by the arborist submitting this comfort letter.

The arborist will provide guidance and supervise work within or near critical root zones of trees to be retained on and offsite. To include but not limited to pruning, root pruning, excavation, etc.

The arborist will ensure that barriers are installed or re-installed according to City specifications before and after work in the critical root zone is completed.

The owner is aware that the arborist must be on site to supervise as specified in the arborist report or as agreed upon with City staff.

Harji Bisla

Peter Brinson

Printed name of owner

Printed name of arborist



Signature of owner

Signature of arborist

(604)782-5205

(604)992-3592

Phone number

Phone Number

November 22, 2017

November 22, 2017

Date

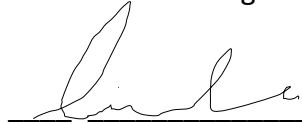
Date

Appendix B Property Owner's Letter of Assurance

I, Harji Bisla, as registered owner or owner appointed agent of the property located at 1172 Parker Street, White Rock, B.C., will make all efforts to preserve all protected trees on this site and adjacent properties and that all pruning, root pruning and excavation within the critical root zone of the protected trees will be conducted under the direction of the project ISA Certified Arborist.

Harji Bisla

Printed name of agent for the owner



Signature of owner

(604)782-5205

Phone number

November 22, 2017

Date

Appendix C

Limitations of this Assessment

It is Arborist Training Solutions policy to attach the following clause regarding limitation to ensure that developers and/or owners are clearly aware of what is technically and professionally realist in retaining trees.

The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground parts of each tree for structural defects, scars, and external and visible root structures, the degree and direction of lean – if any – the general condition of the tree(s), the surrounding site and the proximity of property and people. Except where specifically noted in the report, none of the trees examined were dissected, cored, probed or climbed and detailed root examinations involving evacuation were not undertaken.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly changes over time. They are not immune to changes in site conditions or seasonal variations in the weather conditions.

While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered or implied, that these tree, or any parts of them, will remain standing. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree of group of trees or their component parts in all circumstances. Inevitably, a standing tree will pose some risk. Most trees have the potential for failure in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

Notwithstanding the recommendations in this report, Arborist Training Solutions and Peter Brinson accept no responsibility for the implementation of all or any part of this plan, unless we have specifically been requested to examine said implementation activities. Approval and implementation of this plan in no way implies any inspection or supervisory role on t part of Arborist Training Solutions or Peter Brinson. In the event that inspection or supervision of all or part of the implantation of the plan is requested, said request shall be in writing and the details agreed to in writing by both parties. Any on-site inspection or supervisory work undertaken by Arborist Training Solutions and/or Peter Brinson shall be recorded in written form and submitted to the client as a matter of record.

The report shall be considered a whole, no sections are severable, and the report shall be considered incomplete if any pages are missed. This report is the sole property of Arborist Training Solutions and Peter Brinson and the client(s) for whom it was prepared. It is not intended for public review without the written authorization of both parties.



Peter Brinson
ISA Board Certified Master Arborist #PN0286 BT
Hazard Tree Assessor#CTRA053

From: [Steve Whitton](#)
To: "Harji Bisla"
Cc: "arboristtraining@telus.net"; [Jamieson Pritchard](#)
Subject: RE: 1172 Parker - Tree Management Permit Requirements
Date: Friday, December 1, 2017 12:03:00 PM

Mr. Bisla,

I am the new arboricultural technician for the City of White Rock. I am just reviewing your tree permit for the first time.

I have checked your file and the requirements needed to complete your tree permit process. There seems to be a few issues.

- The hedge at the front of the property is to be removed but does not say so in the arborist report I have on file. If there is an updated arborist report, please send it to me.
- The hedge is apparently shared with the City. Parks needs to make comment for its removal and compensation.
- Tree number 002 has a DBH of 2.02 metres and should have a barrier of 12.12 metres but is listed as only 6 metres with no real reasoning behind the reduction. As this is a multi-stemmed tree, I can see a reduction can happen but there should be compensation for the reduction by increasing the tree protection zone in another area like the width.
- There doesn't seem to be a letter of understanding for the neighbour's trees being protected
- Once the barriers are built there needs to be a barrier letter from the arborist
- Securities will need to be paid – to be determined

If you have questions on this, please contact me.

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: Harji Bisla [mailto:**Redacted S. 22**]
Sent: Tuesday, November 28, 2017 9:36 PM
To: Trees
Subject: Re: 1172 Parker - Tree Management Permit Requirements

Good day,

Please find the articles and CSDP report attached. Please let me know if you require anything else.

Regards,
Harji
Ph: 604-782-5205

On Thu, Sep 7, 2017 at 2:18 PM, Trees <trees@whiterockcity.ca> wrote:
Hello Harji,

We have reviewed your tree management permit application and require the following to proceed:

1. Notice of Authorization/ articles for 1076030 BC. Ltd
2. An updated CSDP which specifies arborist supervision at demolition and excludes the provisions for work within tree protection zones. It appears from the plans provided that no work is required within the TPZ.
3. A letter of understanding from your neighbours at 15764 Buena Vista and 1162 Parker, a rough template is attached.
4. A letter from your arborist confirming that tree protection barriers have been built to specification.
5. The arborist report provided is more than 1 year old. Please have your arborist update the report or provide confirmation that it is still valid.
6. Schedule C for tree securities for demolition is \$17,000 and may be paid at 877 Kiel.

Amelia Needoba, Ron Myers or Mike Harrhy
City of White Rock, Municipal Operations
[877 Keil Street, White Rock, BC V4B 4V6](http://877.Keil.Street.White.Rock.BC.V4B.4V6)
Tel: [604.541.2181](tel:604.541.2181) | www.whiterockcity.ca

Coordinated Site Development Plan (CSDP)

1172 Parker Street, White Rock, B.C. V4B 4R9

Property Owner:

Harji Bisla
1076030 B.C. Ltd.
12227 75 Avenue
Surrey, BC. V3W 2S7
Phone: (604)782-5205
Email: **Redacted S. 22**

Architect:

Satendra Mann
smann106@telus.net
(604)988-6063

Project Engineer:

Westridge Engineering & Consulting Ltd.
#203, 12992 – 76 Avenue, Surrey, B.C. V3W 2V6
Tel: (604)789-9520 Fax: (778)564-6507
www.westridgeengineers.ca

Project Arborist:

Peter Brinson
ISA Board Certified Master Arborist #PN0286BT
PNW Arborist Solutions
(604)992-3592
arboristtraining@telus.net

November 22, 2017

PNW Arborist Training Solutions
(604)992-3592
arboristtraining@telus.net

1.0 Introduction

This report is a consolidation of the engineered drawings including the Subdivision ESC Plan, the Key Plan and the Grading Plan and the arborist report for the property located at 1172 Parker Street. The owner has applied and received rezoning to change the RS-4 designation (duplex, residential) to allow for the subdivision of the property into two lots.

No house plans have been provided as yet.

2.0 Tree Survey & Assessment

Tree #	Common Name	Latin Name	DBH (cms)	Height (m)	Crown Spread (m)	LCR %	Observations & Recommendations
Front Yard 1172 Parker Street							
	Privet Hedge	Ligustrum vulgare		4			Hedge is 19 m long. Located in front of house along edge of property along Parker Street. Good health.
	Rhododendron Hedge	Rhododendron		2			Hedge runs along property line at 1172B Parker Street (south side) along the driveway; 8 meters long. Good health.
OS 1	Hazelnut Tree	Corylus	< 20 cms	4.5	5	70	Shared with the neighbour. Located on the southwest corner of the property. Good health.
	Lilac Bush	Syringa vulgaris	< 20 cms	3	3	60	Belongs to the neighbour. Located on the southwest corner of the property. Good health.
OS 2	Hawthorn Tree	Crataegus	< 20 cms	4.2	4	50	Under-sized. Shared with the neighbour. Located on southwest

							corner of the property.
	Holly	Ilex	< 20 cms	4	3	60	Belongs to the neighbour. Excellent health.
Property Line to North of 1172A Parker Street							
	Cedar Hedge	Arborvitae		3			15 meters long; runs from backyard along fence line to the road; hedge is in good condition; recently pruned.
	Laurel Hedge	Prunus laurocerasus 'Rotundifolia'		1.5			Hedge starts at corner of neighbour's property to the north and runs along the road. Hedge belongs to the neighbour
South Side Back Yard Along Fence Line Bordering 1162 Parker Street							
313	Acacia	Robinia pseudoacacia	46	15	8	75	Three stems (20 + 18 + 8).
OS 3	European Mountain Ash	Sorbus aucuparia	12	5	2	40	Belongs to the neighbour. Under-sized.
Neighbour's Backyard to the East at 15788 Buena Vista							
OS 4	Horse Chestnut	Aeculus hippocastanum	57.5	15	8	70	Leaf colour and annual shoot growth indicates tree is in good health. Growing 60 cms from the fence. May be shared.
OS 5	Acacia	Robinia pseudoacacia	202	18	12	50	Tree has three stems (41 + 130+ 31). Crown spread goes 5.6 m past fence and is asymmetrical. Tree is growing 1.5 m away from the fence line.



Tree #313 – Acacia



OS 4 – Horse Chestnut



OS 5 – Acacia



Cedar hedge



Laurel Hedge

Cedar hedge



Privet Hedge



Tree #OS 5 – Crown spread is 5.6 m from the fence line and 7.1 from the base of the tree.

3.0 Tree Protection

Tree #	Common Name	DBH (cms)	Minimum Tree Protection Size (From the base of the tree)
	Privet Hedge		
	Rhododendron Hedge		
	Hazelnut Tree	< 20 cms	TPZ at the drip line.
	Hawthorn Tree	< 20 cms	TPZ at the drip line.
	Holly	< 20 cms	TPZ at the drip line.

	Cedar Hedge		
	Laurel Hedge		TPZ at the drip line.
313	Acacia	46	TPZ 3 m.
OS 3	European Mountain Ash	12	TPZ at the drip line
	Horse Chestnut	57.5	TPZ 3.8 m or 3.2 m from fence line.
	Acacia	202	TPZ 7.1 m or 5.6 m from the fence at the drip line.

4.0 Post-Construction Maintenance

The post-construction maintenance plan will be developed once the house plans have been submitted.

TOPOGRAPHIC SITE PLAN OF LOT 295 SEC. 11 TWP. 1 NWD PLAN 35303

CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

SCALE 1 : 250



LEGEND

- DENOTES STANDARD IRON POST FOUND
- PP DENOTES UTILITY POLE
- Ⓜ DENOTES WATER METER
- MH-S DENOTES SANITARY MANHOLE
- MH-D DENOTES STORM MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- x DENOTES GROUND ELEVATION
- x_{TW} DENOTES TOP OF WALL ELEVATION
- Ⓜ DENOTES BEST ESTIMATION OF NATURAL GRADE



Lot dimensions are derived from field survey

Elevations are Geodetic (CVD28 GVRD-2005 - IN METERS)
Derived from Control Monument 88H3876 located at the SW corner of the intersection of Buena Vista Ave. and Lee St.
Elevation = 78.44m

Invert elevations and offsets of services from property lines are derived from municipal records and field survey. Contractor to verify all service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter

If this plan is used in digital form, Target Land Surveying will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 1.4m above grade and are shown in cm.

This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

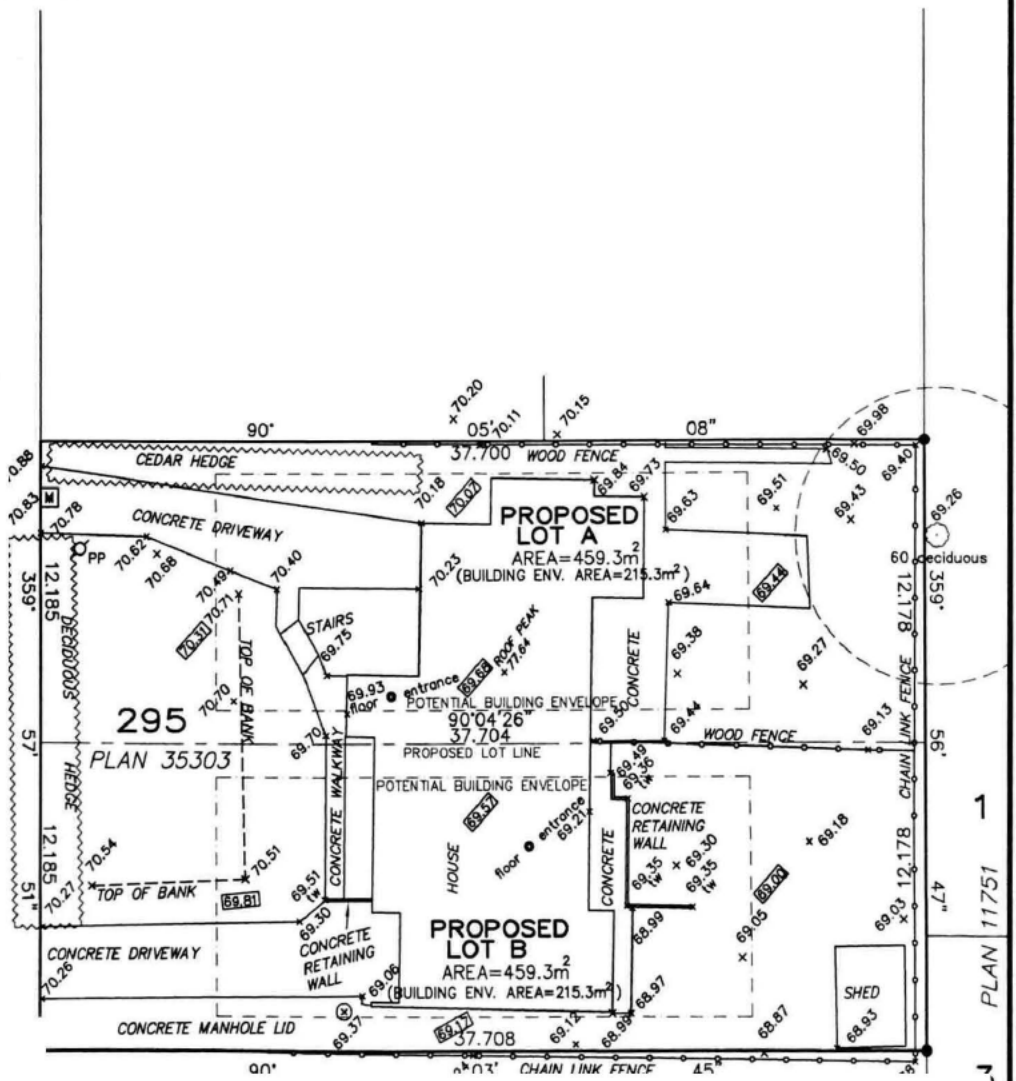
PROPOSED RS-4 ZONING
BUILDING ENVELOPE SETBACKS
FRONT YARD : 7.5m
REAR YARD : 7.5m
SIDE YARD : 1.35m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

AVERAGE NATURAL GRADE ESTIMATION	
PROPOSED LOT A	PROPOSED LOT B
70.31	69.81
70.07	69.57
69.44	69.00
69.68	69.17
AVERAGE= 69.88m	AVERAGE= 69.39m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

PARKER STREET



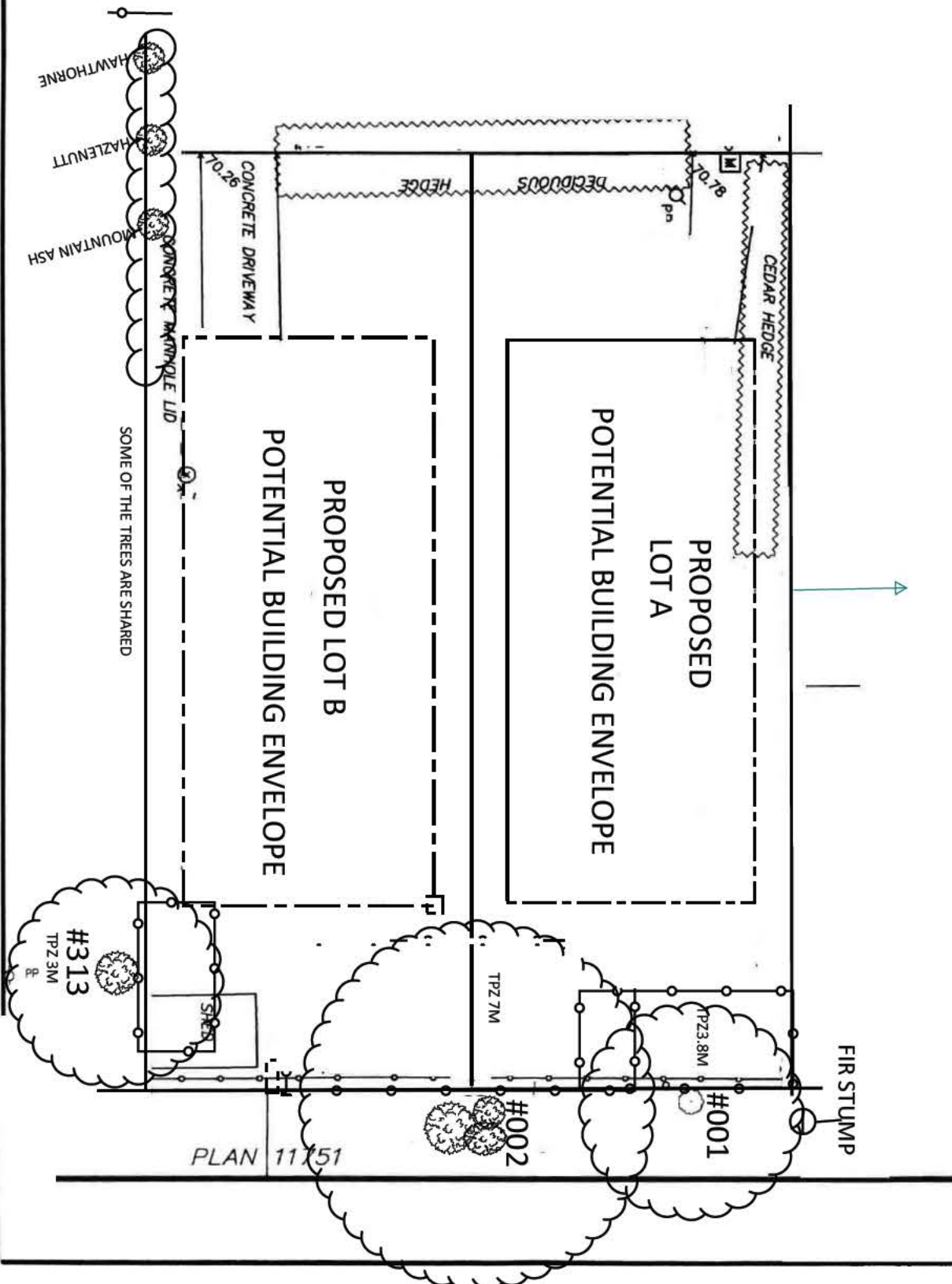


CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

LEGEND

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- PP DENOTES UTILITY POLE
- ⊞ DENOTES WATER METER
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- MH-D DENOTES STORM MANHOLE
- DENOTES TREE PROTECTION
- DENOTES TREE
- DENOTES HEDGE
- ☁ DENOTES CANOPY COVER



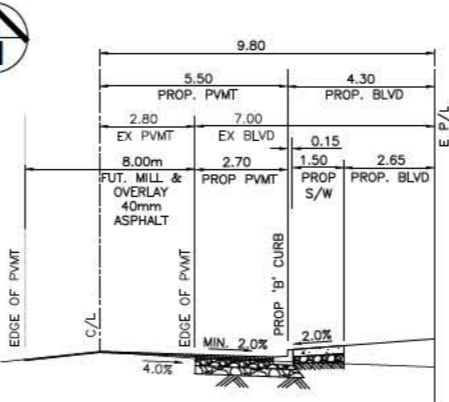
6.0 Engineered Drawings

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE GROUND ELEVATION (M: TO MEET EX EL) CONTOUR
		EDGE OF PAVEMENT
		CURB & GUTTER
		SIDEWALK (ASPHALT)
		SIDEWALK (CONCRETE)
		ROAD SIGN BOARD
		SANITARY SEWER, MANHOLE & CONNECTION INSPECTION CHAMBER
		STORM SEWER, MANHOLE & CONNECTION INSPECTION CHAMBER
		CATCH BASIN-TOP & SIDE INLET
		LAWN DRAIN
		SWALE (BY DEVELOPER)
		SWALE (BY BUILDER)
		DITCH
		DIRECTION OF SURFACE DRAINAGE
		BLOW OFF
		WATER VALVE
		WATERMAIN & CONNECTION SERVICE HYDRANT
		STREET LIGHT U/G DUCT
		ORNAMENTAL STREET LIGHT-DAVIT
		UTILITY POST
		UNDERGROUND ELECTRICAL & MANHOLE
		UNDERGROUND TELEPHONE & MANHOLE
		TREES
		TREES TO REMAIN
		GAS MAIN
		TREES TO BE REMOVED
		SERVICES UNDER GROUND
		CONCRETE SURFACE
		CITY PAVEMENT CUT POLICY TO APPLY



- DRAWING NUMBER INDEX**
- 1 KEY PLAN
 - 2 LOT GRADING PLAN
 - 3 ESC PLAN



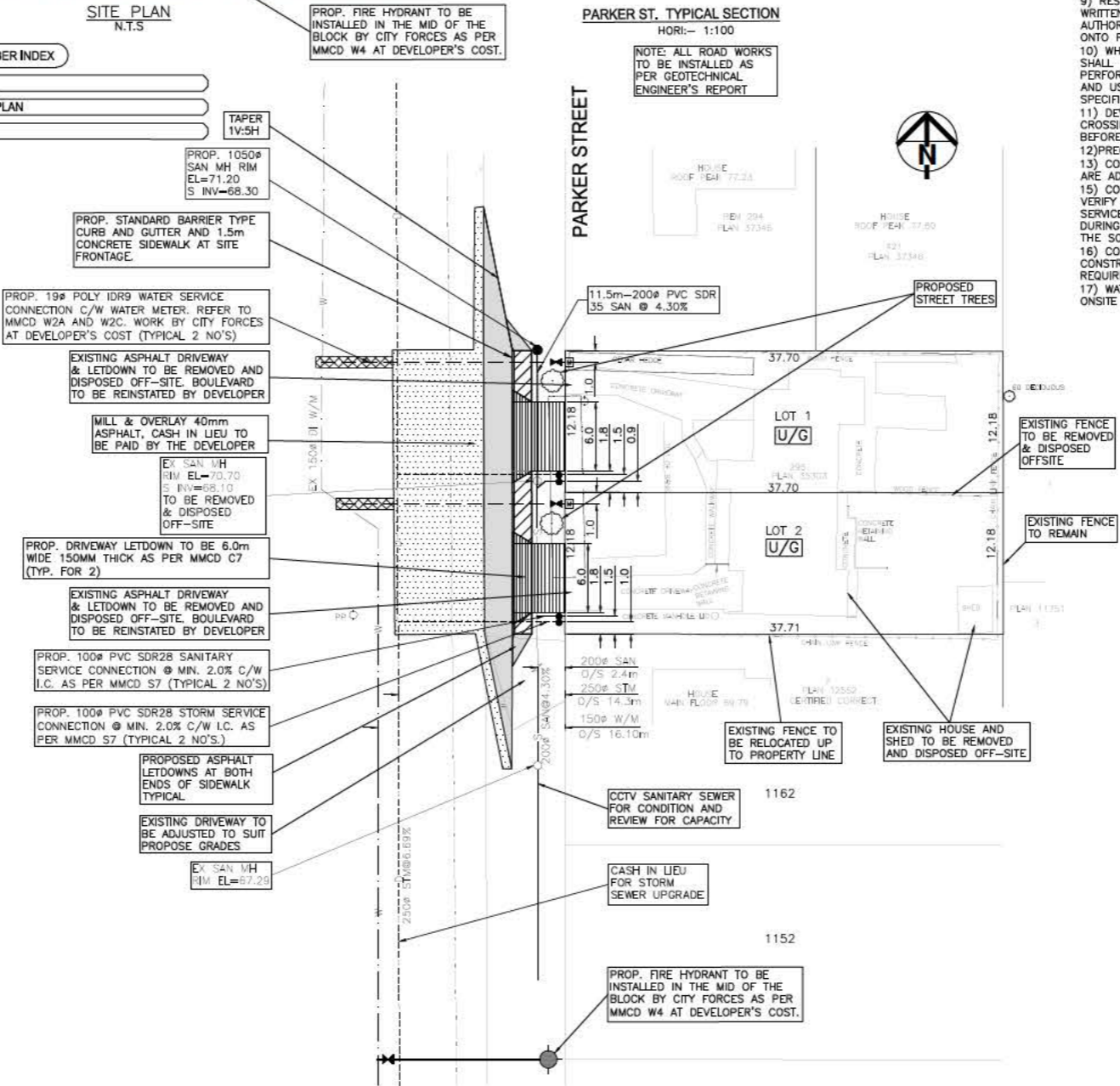
- GENERAL NOTES:**
- FOR THE PURPOSE OF CONSTRUCTION AND ACCOUNTABILITY THE DEVELOPER MUST ADVISE THE WHITE ROCK CITY INSPECTOR, IN WRITING, WHICH OF THE CITY NOTES IS GOING TO BE THE RESPONSIBILITY OF THE DEVELOPER'S CONTRACTOR.
 - CONSTRUCTION TO BE IN ACCORDANCE WITH THE CITY OF WHITE ROCK AND THE APPLICABLE MUNICIPAL MASTER SPECIFICATIONS AND STANDARD DETAIL DRAWINGS, CITY OF WHITE ROCK STANDARD CONSTRUCTION DOCUMENTS, SUPPLEMENTARY SPECIFICATIONS & STANDARD DRAWINGS AND CITY DESIGN CRITERIA & EPCOR WHITEROCK STANDARDS, WHERE APPLICABLE.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY PERMITS FOR WORKS WITHIN THE CITY ROAD ALLOWANCE.
 - WHERE UTILITY OR SERVICE CROSSINGS ARE REQUIRED ACROSS EXISTING PAVEMENTS, AN UNDERGROUND METHOD OF INSTALLATION IS REQUIRED UNLESS SPECIAL APPROVAL IS GIVEN FROM THE CITY FOR AN OPEN CUT OPERATION. ALL EXISTING PAVEMENTS, BOULEVARDS, DRIVEWAYS, ETC., ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION AND IN ACCORDANCE WITH CITY SPECIFICATIONS AND THE PAVEMENT CUT POLICY.
 - WHITE ROCK'S MONUMENT(S) ARE TO BE PROTECTED AND SHOULD THEY REQUIRE RAISING OR RELOCATING, THE DEVELOPER WILL NOTIFY WHITE ROCK'S SURVEY DEPARTMENT AT LEAST THREE WORKING DAYS IN ADVANCE OF SCHEDULING WORK AFFECTING THEM. DEVELOPER TO PAY CASH IN LIEU OF DESTROYED/DAMAGED MONUMENT.
 - ALL STREET, TRAFFIC AND ADVISORY SIGNS, PAVEMENT MARKINGS AND NO-POST GUARD RAILS REQUIRED BUT NOT NECESSARILY SHOWN ON THE DRAWINGS, SHALL BE INSTALLED BY THE CITY AT THE DEVELOPER'S COST.
 - WHERE INFILLING OF EXISTING DITCHES, ETC. IS REQUIRED OR WHERE SERVICES ARE CONSTRUCTED IN A FILL SECTION, FILL MATERIAL IS TO BE IN ACCORDANCE WITH CITY SPECIFICATIONS AND IS TO BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY.
 - DRIVEWAY BOULEVARD CROSSINGS TO EACH OF THE PROPOSED LOTS ARE TO BE INSTALLED BY THE DEVELOPER IN ACCORDANCE WITH CITY STANDARD DRAWINGS.
 - RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT MUST BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION. THE DEVELOPER WILL REQUIRE WRITTEN AUTHORIZATION FROM A PRIVATE PROPERTY OWNER, WITH A COPY TO THE CITY, PRIOR TO ANY ENTRY ONTO PRIVATE PROPERTY AND A WRITTEN RELEASE, FROM THE PROPERTY OWNER, WHEN COMPLETED.
 - WHEN NATIVE SITE GRANULAR BACK FILL IS PROPOSED FOR USE IN TRENCHES THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING FOR PERFORMANCE OF IN PLACE DENSITY AND SIEVE TESTING. SELECTION OF THE PROFESSIONAL ENGINEER AND USE OF THE SITE MATERIAL MUST FALL WITHIN ONE OF THE GRANULAR BACK FILL MATERIAL SPECIFICATIONS. RIVER SAND IS NOT ACCEPTABLE AS TRENCH BACK FILL MATERIAL.
 - DEVELOPER IS TO VERIFY THE LOCATION AND ELEVATION OF ALL PIPES, OR OTHER UTILITY CROSSINGS, PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS BEFORE START OF CONSTRUCTION.
 - PRECONSTRUCTION MEETING REQUIRED & ROW USE PERMIT REQUIRED BY PRIME CONTRACTOR.
 - CONTRACTOR TO ENSURE THAT RIM ELEVATION OF ALL RELOCATED AND NEW INSPECTION CHAMBERS ARE ADJUSTED.
 - CONTRACTOR TO HIRE HIS/HER OWN SURVEYOR FOR LAYOUT OF ROAD WORKS AND SERVICES AND VERIFY EXISTING SERVICES WITH RESPECT TO PROPOSED WORK. CONTRACTOR TO ENSURE THAT EXISTING SERVICES AND PROPOSED WORK DO NOT INTERFERE AND THE EXISTING SERVICES ARE NOT DAMAGED DURING THE CONSTRUCTION. ANY DAMAGE TO EXISTING SERVICES DURING THE CONSTRUCTION WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR TO HAVE HIS/HER OWN ENGINEER TO VERIFY MATERIALS TESTING DURING CONSTRUCTION. REPORTS TO BE SUBMITTED FOR ALL TESTING, FIELD INSPECTION REPORTS ARE ALSO A REQUIREMENT AND SHALL BE SUBMITTED WEEKLY.
 - WATER SERVICE LINES ON MUNICIPAL RIGHT OF WAY, WATER METERS & FINAL CONNECTIONS TO ONSITE WATER SERVICES WILL BE INSTALLED BY THE CITY STAFF.

- DEVELOPER'S NOTES:**
- FOR LOT 1 & 2 100# PVC SDR28 STORM CONNECTION C/W IC @ 2% FROM IC @ P/L TO EXISTING 250# STORM MAIN BY THE DEVELOPER.
 - FOR LOT 1 & 2 100# PVC SDR28 SANITARY CONNECTIONS C/W IC @ 2% FROM IC @ P/L TO EXISTING 200# SANITARY MAIN BY THE DEVELOPER.
 - FOR LOT 1 & 2 PROPOSED 19MMØ WATER SERVICE CONNECTIONS TO BE INSTALLED BY THE CITY CREWS AT DEVELOPER'S COST.
 - CITY PAVEMENT CUT POLICY TO APPLY.

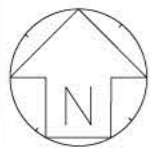
I.C. TABLE

LOT NO.	STM IC INV EL/DEPTH	OFFSET	SANITARY I.C. INV EL/DEPTH	OFFSET
LOT 1	70.45/0.55	1.5m FROM SOUTH P/L	68.32/2.65	0.9m FROM SOUTH P/L
LOT 2	69.77/0.60	1.0m FROM SOUTH P/L	67.85/2.50	1.5m FROM SOUTH P/L

INFORMATION SHOWN ON THIS DRAWING REGARDING EXISTING UTILITIES IS COMPILED FROM DIVERSE SOURCES, AND MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXPOSE AND CONFIRM THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, AND ADVISE THE ENGINEER OF ANY POTENTIAL CONFLICTS.



- KEY PLAN NOTES:**
- ALL WORKS ARE TO CONFORM TO THE CITY OF WHITE ROCK CONSTRUCTION STANDARDS. THE CONTRACTOR IS TO PROVIDE VIDEO INSPECTION OF ALL STORM AND SANITARY SEWER MAINS, INCLUDING SERVICE CONNECTIONS, PRIOR TO THE PROJECT BEING PLACED ON MAINTENANCE. VIDEO INSPECTIONS ARE TO BE TO THE CURRENT STANDARDS AND REQUIREMENTS OF THE CITY OF WHITE ROCK INSPECTION DEPARTMENT.
 - THE CONTRACTOR IS TO NOTIFY THE DEVELOPER'S ENGINEER IMMEDIATELY IN WRITING IF THE PROPOSED SERVICE CONNECTIONS ARE INSTALLED ABOVE DESIGN ELEVATION.
 - TIE-INS TO EXISTING SANITARY SEWER MAINS (MANHOLE, SERVICE, MAINLINE, ETC.) ARE TO BE DONE BY THE DEVELOPER'S CONTRACTOR. THE CITY MAINTAINS THE OPTION TO HAVE MUNICIPAL CREWS DO THESE WORKS UNTIL THE PRE-CONSTRUCTION MEETING HAS BEEN HELD.
 - ALL EXISTING STRUCTURES AND ASPHALT/CONCRETE PAVEMENTS AND PADS ON LOT 1 AND 2 SHALL BE REMOVED AND DISPOSED OFF-SITE.
 - ALL EXISTING SERVICE CONNECTIONS SHALL BE CAPPED AND ABANDONED.
 - EXISTING WATER SERVICE CONNECTION TO BE CAPPED AT MAIN, WATER METER ACCOUNT TO BE CLOSED AND WATER METER TO BE RETURNED TO THE CITY YARD.
 - EX. STORM & SANITARY MAINS TO BE VIDEO INSPECTED FOR THEIR CONDITION BEFORE AND AFTER THE INSTALLATION OF PROPOSED SERVICE CONNECTIONS. DEVELOPER TO SUBMIT THE VIDEO INSPECTION REPORT TO THE CITY.
 - DEVELOPER TO REGISTER RESTRICTIVE COVENANT FOR:
 - PUMPED STORM AND SANITARY SERVICE CONNECTIONS TO LOT 1 AND 2. COMPLETE WITH BACK FLOW PREVENTOR/CHECK VALVES.
 - WATER PROOFING OF THE BUILDINGS ON LOTS 1 AND 2 BELOW AND UP TO 0.30m ABOVE FINISHED GROUND ELEVATIONS TO PROTECT AGAINST GROUNDWATER AND FLOODWATER.
 - DEVELOPER TO PAY CASH IN LIEU FOR FUTURE ROAD WORKS AT SITE FRONTAGE:
 - 40mm MILL & OVERLAY ON PARKER ST.
 - FUTURE STREET LIGHT.
 - STORM SEWER UPGRADE.
 - ALL I.C.'S WITHIN DRIVEWAYS OR PAVEMENT SHALL BE INSTALLED WITH DOBNEY MR 10LL CASTINGS.
 - ALL WATER METER BOXES WITHIN DRIVEWAYS OR PAVEMENT SHALL BE INSTALLED WITH H2O LOADING LID & COVER.



ALL DIMENSIONS ARE IN METRES
ALL PIPE SIZES ARE IN MILLIMETRES

REVISIONS	DESCRIPTION	BY	DATE	APPROVED
3				
2	ISSUED FOR FINAL APPROVAL	KL	19 MAY 2017	DK
1	RE-ISSUED FOR APPROVAL	KL	17 APR 2017	DK
0	ISSUED FOR APPROVAL	DK	08 FEB 2017	DK

BENCHMARK:
CONTROL MONUMENT 88H3676
LOCATED AT THE SW CORNER OF
THE INTERSECTION OF BUENA VISTA AVE.
AND LEE ST. ELEVATION = 78.44M

LEGAL DESCRIPTION:
LOT 295 SEC. 11 TWP. 1
NWD PLAN 35303



Westridge Engineering & Consulting Ltd.
SUITE 203, 12992 - 76 Avenue, Surrey, BC V3W 2V6
TEL: (604) 789 - 9520, FAX: (778) 564 - 6507
www.westridgeengineers.ca

W E L

TITLE: **KEY PLAN**

DEVELOPER:
1076030 B.C. LTD.
PH. 604-782-5205

2 LOT SUBDIVISION
1172-PARKER ST, WHITE ROCK

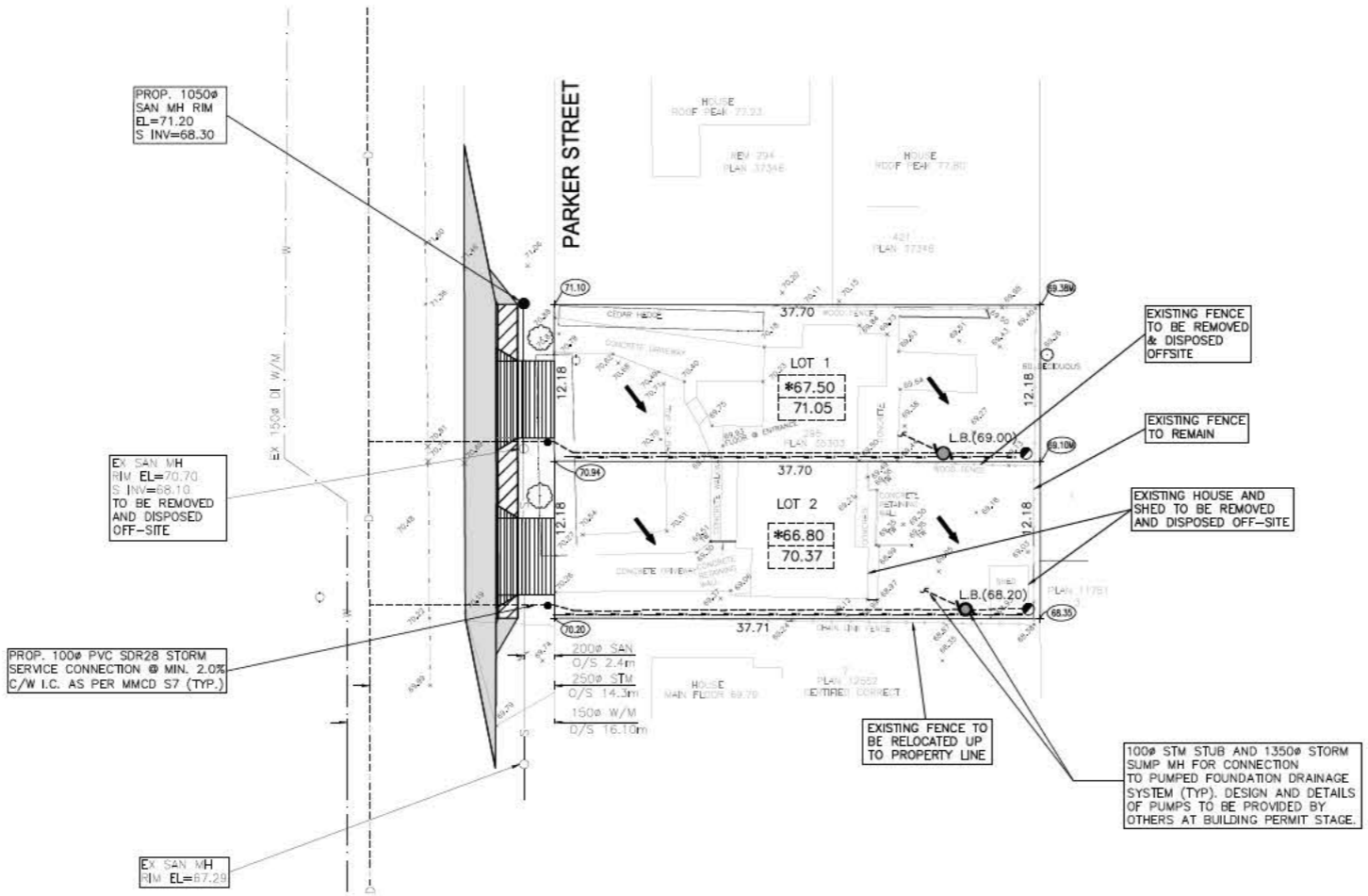
SCALE 1:250	DATE FEB 09, 2017	MUNICIPAL PROJECT NO.
DRAWN LV CHECKED	DK	DRAWING NUMBER WEL-2017-C262
DESIGNED DKAJAL CHECKED	CONTRACT	SHEET 1 OF 3
P.W. P.J.	DESIGN LV	REVISION 2
APPROVED D. KAJAL	DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS	

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE GROUND ELEVATION (M: TO MEET EX EL) CONTOUR
		EDGE OF PAVEMENT
		CURB & GUTTER
		SIDEWALK (ASPHALT)
		SIDEWALK (CONCRETE)
		ROAD SIGN BOARD
		SANITARY SEWER, MANHOLE & CONNECTION INSPECTION CHAMBER
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		CATCH BASIN-TOP & SIDE INLET
		LAWN DRAIN
		SWALE (BY DEVELOPER)
		SWALE (BY BUILDER)
		DITCH
		DIRECTION OF SURFACE DRAINAGE
		BLOW OFF
		WATER VALVE
		WATERMAIN & CONNECTION SERVICE HYDRANT
		STREET LIGHT U/G DUCT
		ORNAMENTAL STREET LIGHT-DAVIT
		UTILITY POST
		UNDERGROUND ELECTRICAL & MANHOLE
		UNDERGROUND TELEPHONE & MANHOLE
		TREES
		TREES TO REMAIN
		GAS MAIN
		TREES TO BE REMOVED
		SERVICES UNDER GROUND
		CONCRETE SURFACE
		CITY PAVEMENT CUT POLICY TO APPLY
		MBE WITH GRAVITY CONNECTIONS
		MBE WITH PUMPED SANITARY & STORM CONNECTIONS
		CATCH BASIN FILTER

NOTE:

- 1) ALL EXISTING TREES ONSITE & OFFSITE TO BE RETAINED OR REMOVED AS APPROVED BY THE CITY OF WHITE ROCK.
- 2) STORM & SANITARY MAINS TO BE VIDEO INSPECTED FOR THEIR ADEQUACY AND DEVELOPER TO INFORM CITY IF STORM OR SANITARY MAINS ARE NOT ADEQUATE. DEVELOPER TO SUBMIT THE VIDEO INSPECTION REPORT TO THE CITY.
- 3) BUILDER'S TO INSTALL MIN. 300mm TOPSOIL IN LANDSCAPE AREAS.

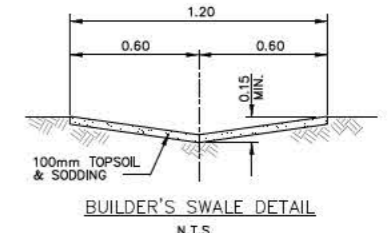


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LOT 2	69.77/0.60	1.0m FROM SOUTH P/L	67.85/2.50	1.5m FROM SOUTH P/L

- LOT GRADING NOTES:**
- 1) MBE-MINIMUM BUILDING ELEVATION IS DEFINED AS THE TOP OF SLAB ON GRADE OR UNDERSIDE OF FLOOR JOISTS FOR CRAWL SPACE CONSTRUCTION.
 - 2) ALL ROOF LEADERS TO BE DISCHARGE ONTO SPLASH PADS.
 - 3) ROUGH LOT GRADING IS TO BE COMPLETED BY THE DEVELOPER AND THE FINISHED GRADING IS TO BE DONE BY THE HOUSE BUILDER.
 - 4) SODDED SWALES LOCATED IN EASEMENT AND OR ROW ARE TO BE CONSTRUCTED BY THE DEVELOPER.
 - 5) DRIVEWAYS ARE TO BE LOCATED A MINIMUM 1.0 METER FROM STREET LIGHTS, FIRE HYDRANTS, HYDRO/TELEPHONE KIOSKS AND UTILITY BOXES.
 - 6) ALL SWALES ARE TO BE GRADED AT A MIN. 1.0%.
 - 7) SHOULD A DRIVEWAY BE LOCATED OVER A SANITARY I.C. OR WATER CURB STOP, THE BUILDER SHALL BE RESPONSIBLE FOR INSTALLING A CONCRETE PULL BOX AND CAST IRON COVER TO PROTECT THE SERVICES. (SEE MMCD S9)
 - 8) THE DEVELOPER'S ENGINEER IS TO CERTIFY THE ROUGH LOT GRADING PRIOR TO ISSUANCE OF BUILDING PERMIT.

- GENERAL NOTES TO BE RETENTION ON SITE:**
- WHERE TREES ARE TO BE RETAINED ON OR ADJACENT TO A DEVELOPMENT SITE, THE FOLLOWING PROCEDURES MUST BE FOLLOWED TO ADEQUATELY PROTECT THE TREES DURING DEVELOPMENT.
- 1) WHERE ANY EXCAVATION, DEMOLITION OR OTHER WORK IS BEING CARRIED OUT WITHIN 4M OF THE DRIP LINE OF ANY TREE TO BE RETAINED, THE WORK MUST BE DONE BY HAND OR DONE IN A MANNER WHICH WILL NOT DAMAGE THE TRUNK, BRANCHES OR ROOTS OF THE TREE(S) TO BE RETAINED.
 - 2) A PROTECTION BARRIER OR TEMPORARY FENCE AT LEAST 1.2M IN HEIGHT MUST BE INSTALLED AROUND ANY TREE TO BE RETAINED. THIS MUST BE CONSTRUCTED PRIOR TO ANY TREE REMOVAL, EXCAVATION OR CONSTRUCTION AND REMAIN INTACT THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION.
 - 3) PROTECTION BARRIERS MUST BE ERECTED AND INSPECTED BY THE CITY PRIOR TO ANY DEMOLITION OR CONSTRUCTION UNLESS A LETTER OF ASSURANCE BY A CERTIFIED ARBORIST OR A REGISTERED LANDSCAPE ARCHITECT IS SUBMITTED AT THE TIME OF APPLICATION.
 - 4) FAILURE TO PROVIDE EITHER THE PROTECTIVE BARRIER AND/OR THE LETTER OF ASSURANCE MAY RESULT IN A FINE BEING ISSUED AGAINST THE PROPERTY OWNER.
 - 5) THE REQUIRED LOCATION OF TREE PROTECTION BARRIER FENCING IS DETERMINED BY THE SIZE OF THE TREE CANOPY. THE PROTECTIVE BARRIER SHOULD BE NO CLOSER TO THE TRUNK OF A TREE THAN THE DRIPLINE OR DIAMETER OF THE TREE CANOPY AT ITS WIDEST POINT. THIS DISTANCE MAY ONLY BE COMPROMISED ADJACENT TO A BUILDING ENVELOPE, WHERE THE FULL DISTANCE CANNOT BE PROVIDED, UPON ADVICE OF A CERTIFIED ARBORIST, LANDSCAPE ARCHITECT OR PLANNING STAFF.
 - 6) THE PROTECTION BARRIER SHOULD CLEARLY DISPLAY ALL-WEATHER SIGNAGE INDICATING THAT THE AREA WITHIN THE BARRIER IS A PROTECTED ZONE, I.E. STORAGE, DUMPING, PARKING AND MACHINERY OPERATION ARE PROHIBITED IN THIS ZONE.
 - 7) ANY REQUIRED EXCAVATION IN OR AROUND THE PROTECTION ZONE TO ACCOMMODATE UNDERGROUND SERVICES, FOOTING, ETC. IS TO BE DONE BY HAND.
 - 8) TREE INSIDE THE PROTECTION ZONE MUST BE ADEQUATELY CARED FOR THROUGHOUT THE CONSTRUCTION PROCESS, I.E., THEY MUST BE WATERED SUFFICIENTLY, PARTICULARLY IF THE TREES ROOT SYSTEM HAS BEEN DISTURBED BY EXCAVATION.
 - 9) ROOT AND BRANCH PRUNING, WHERE NECESSARY, HAS TO BE DONE IN ACCORDANCE ONLY THE PARKS, "TREE RETENTION, REMOVAL AND REPLACEMENT GUIDELINES". WITH CITY RECREATION & CULTURE DEPARTMENT PERSONNEL OR THE PUBLIC WORKS AND OPERATIONS PERSONNEL ARE AUTHORIZED TO PRUNE TREES ON CITY PROPERTY.

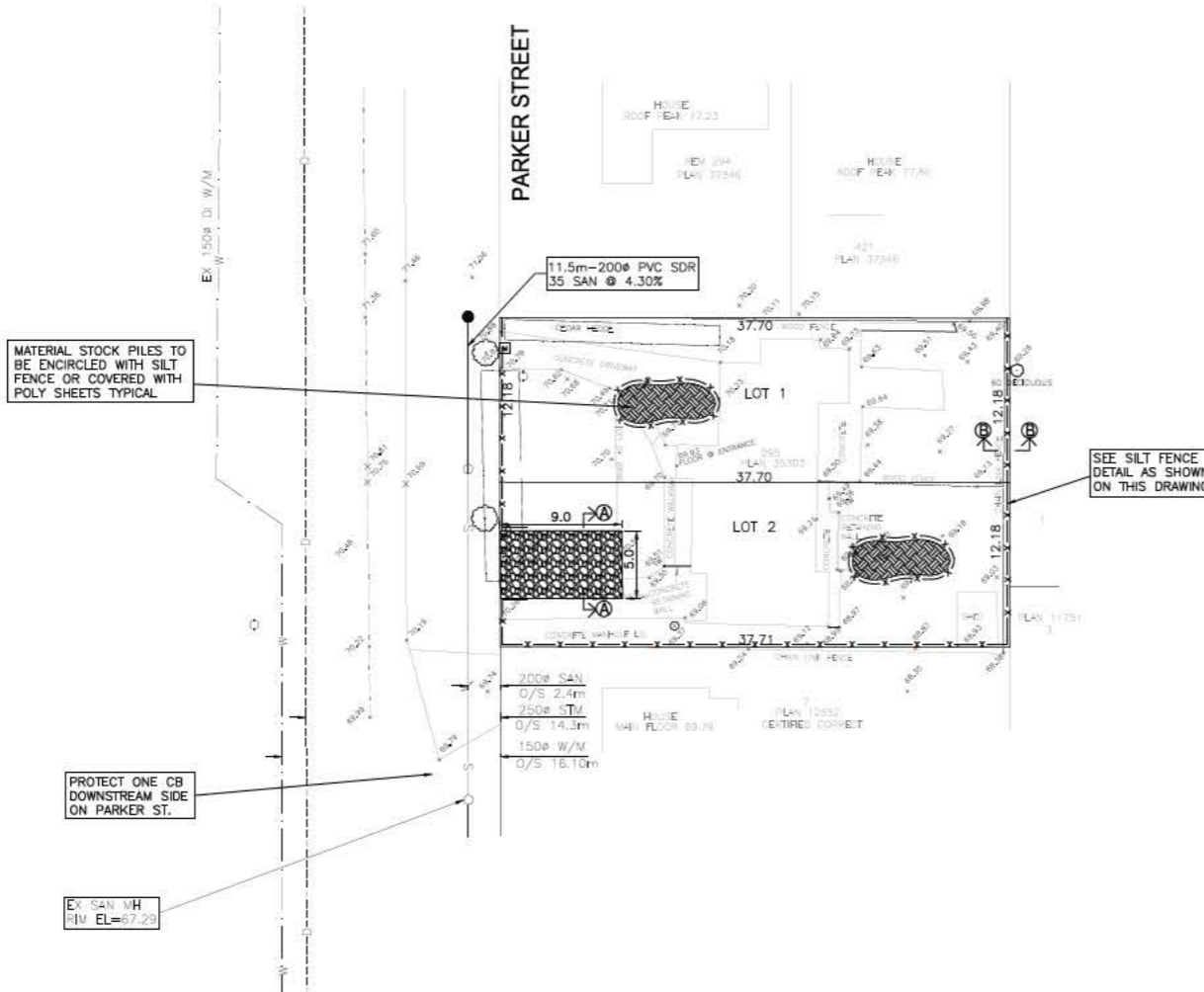


INFORMATION SHOWN ON THIS DRAWING REGARDING EXISTING UTILITIES IS COMPILED FROM DIVERSE SOURCES, AND MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXPOSE AND CONFIRM THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, AND ADVISE THE ENGINEER OF ANY POTENTIAL CONFLICTS.

	ALL DIMENSIONS ARE IN METRES ALL PIPE SIZES ARE IN MILLIMETRES	BENCHMARK: CONTROL MONUMENT 88H3876 LOCATED AT THE SW CORNER OF THE INTERSECTION OF BUENA VISTA AVE. AND LEE ST. ELEVATION = 78.44M	Westridge Engineering & Consulting Ltd. SUITE 203, 12992 - 76 Avenue, Surrey, BC V3W 2V6 TEL: (604) 789 - 9520, FAX: (778) 564 - 6507 www.westridgeengineers.ca	DEVELOPER: 1076030 B.C. LTD. PH. 604-782-5205	SCALE 1:250 DATE FEB 09, 2017	MUNICIPAL PROJECT NO.																								
	<table border="1"> <thead> <tr> <th>REVISIONS</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> <th>APPROVED</th> </tr> </thead> <tbody> <tr> <td>3</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>ISSUED FOR FINAL APPROVAL</td> <td>KL</td> <td>19 MAY 2017</td> <td>DK</td> </tr> <tr> <td>1</td> <td>RE-ISSUED FOR APPROVAL</td> <td>KL</td> <td>17 APR 2017</td> <td>DK</td> </tr> <tr> <td>0</td> <td>ISSUED FOR APPROVAL</td> <td>DK</td> <td>08 FEB 2017</td> <td>DK</td> </tr> </tbody> </table>	REVISIONS			DESCRIPTION	BY	DATE	APPROVED	3					2	ISSUED FOR FINAL APPROVAL	KL	19 MAY 2017	DK	1	RE-ISSUED FOR APPROVAL	KL	17 APR 2017	DK	0	ISSUED FOR APPROVAL	DK	08 FEB 2017	DK	TITLE LOT GRADING PLAN	2 LOT SUBDIVISION 1172-PARKER ST, WHITE ROCK
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LEGEND

		STORM SEWER, MANHOLE & CONNECTION INSPECTION CHAMBER
		PROPERTY LINE GROUND ELEVATION (M: TO MEET EX EL.) CONTOUR
		DIRECTION OF SURFACE FLOW CATCH BASIN-TOP & SIDE INLET
		LAWN DRAIN CATCH BASIN FILTER
		SWALE CHANNEL ELEVATION FENCE
		SILT FENCE AS PER SSD D-6 GRAVEL ACCESS PAD



GENERAL NOTES :

CLEARING, ROAD STRIPPING, GRAVELING AND ROUGH GRADING (STAGE 1)

- 1) DEVELOPER IS TO NOTIFY THE ENGINEER OF RECORD THAT CLEARING AND GRUBBING HAS COMMENCED.
- 2) PERIMETER ESC MEASURES TO BE INSTALLED AS APPLICABLE PRIOR TO INITIATING ON-SITE CLEARING AND GRUBBING.
- 3) INSTALL PROTECTIVE MEASURES AT OR WITHIN EXISTING CATCH / LAWN BASINS AS APPLICABLE.
- 4) INSTALL SPECIFIED ESC ACCESS FACILITIES / MEASURES AT ENTRY / EXIT POINTS. ALL VEHICLE MOVEMENT TO AND FROM THE IS TO BE RESTRICTED TO CONTROLLED ENTRY / EXIT POINTS.
- 5) ONSITE STORM WATER CONTROL FACILITIES COMPLETE WITH VELOCITY CONTROL MEASURES TO BE INSTALLED AS ROADWAYS ARE STRIPPED.
- 6) ANY STOCKPILED MATERIALS TO BE COVERED WITH POLY SHEET AND ENCIrcLED BY SEDIMENT FENCE AS SPECIFIED.
- 7) THE CONTRACTOR / DEVELOPER WILL BE RESPONSIBLE TO ENSURE THAT THE EXISTING ROADS ARE REVIEWED DAILY AND SWEEPED REGULARLY.
- 8) AFTER ROUGH GRADING & TRACK COMPACTING APPROXIMATELY 1000sqm, DEVELOPER TO IMMEDIATELY SPREAD HAY OVER GRADED SECTION AT A MINIMUM 4.5 TONNE/Ha (2.0 TONNE/ac).

UTILITY AND ROAD WORKS INSTALLATION (STAGE 2)

- 1) CONTRACTOR TO INSTALL TEMPORARY SEDIMENT CONTAINMENT AND CONTROL MEASURES AS SPECIFIED IN THIS DRAWING OR AS DIRECTED BY THE ENGINEER OF RECORD.
- 2) CONTRACTOR TO INSTALL ADDITIONAL SEDIMENT FENCING AS INDICATED ON THIS PLAN OR AS DIRECTED BY THE ENGINEER OF RECORD.
- 3) ALL ACCESS TO AND FROM SITE TO BE FROM THE RESTRICTED ENTRY-EXIT POINTS.
- 4) CONTRACTOR & DEVELOPER TO ENSURE THAT ESC MEASURES ARE WELL MAINTAINED, CLEARED, REPAIRED/REPLACED EVERY WEEK OR AFTER ANY MAJOR STORM EVENT.
- 5) CATCH/LAWN BASINS COMPLETE WITH PROTECTIVE MEASURES ARE TO BE INSTALLED BY THE CONTRACTOR AT THE FIRST OPPORTUNITY.
- 6) CONTRACTOR TO COORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES IF THEY ARE NO LONGER REQUIRED OR TO FACILITATE SITE OPERATIONS WITH THE ENGINEER OF RECORD. ADDITIONAL ESC FACILITIES MAY NEED TO BE INSTALLED AS PER THE DIRECTION OF THE ENGINEER OF RECORD.
- 7) ONSITE STORM WATER CONTROL FACILITIES COMPLETE WITH VELOCITY CONTROL MEASURES TO BE INSTALLED AS ROADWAYS ARE STRIPPED.
- 8) ANY STOCKPILED MATERIALS TO BE COVERED WITH POLY SHEET AND ENCIrcLED BY SEDIMENT FENCE.

FINAL GRADING STAGE THROUGH TO SUBSTANTIAL COMPLETION (STAGE 3)

- 1) CONTRACTOR TO ENSURE THAT STORM WATER CONVEYANCE CHANNEL AND DISCHARGE POINTS TO ADJUST STREAMS DITCHES, OR ENTRY POINTS TO PIPED NETWORKS, ARE ADEQUATELY PROTECTED.
- 2) CONTRACTOR TO ENSURE THAT THE ESC FACILITIES SPECIFIED IN THE ESC PLAN OR ANY ADDENDUM'S ARE IMPLEMENTED ACCORDINGLY.
- 3) AFTER FINAL SITE GRADING IS COMPLETED ALL DISTURBED AREAS ARE TO BE PROTECTED AS PER THE ESC PLAN.
- 4) CONTRACTOR TO COORDINATE THE ELIMINATION OF TEMPORARY ESC FACILITIES AS THEY ARE NO LONGER REQUIRED WITH THE ENGINEER OF RECORD. ADDITIONAL ESC FACILITIES MAY NEED TO BE INSTALLED AS PER THE DIRECTIONS OF THE ENGINEER OF RECORD.
- 5) DEVELOPER TO ENSURE THAT ALL THE ESC FACILITIES SHOWN SHALL REMAIN IN PLACE & IN PROPER WORKING ORDER UNTIL 90% OF THE CONSTRUCTION IS COMPLETED.
- 6) AT FINAL SITE INSPECTION PRIOR TO THE SITE GOING ON MAINTENANCE. E.O.R & DRAINAGE / ENVIRONMENTAL STAFF INSPECT & SIGNOFF ON ESC MEASURES.
- 7) LOT OWNERS/HOUSE BUILDERS ARE NOTIFIED OF EXISTING ESC FACILITIES & THEIR RESPONSIBILITIES TO INSURE THAT INDIVIDUAL PRIVATE ONSITE SEDIMENT CONTROL MEASURES ARE IN PLACE.

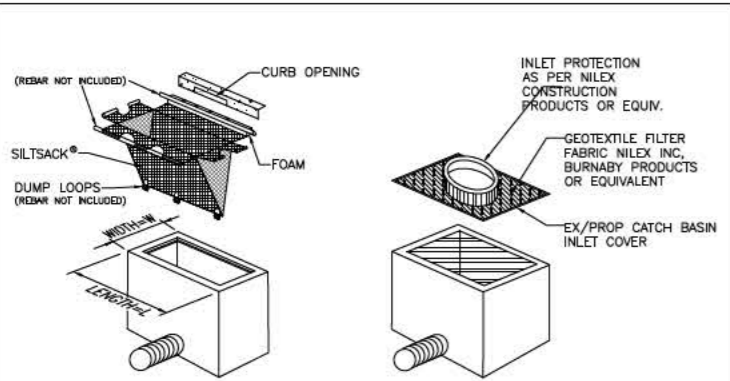
DECOMMISSION & BACK FILL:

- 1) UPON COMPLETION OF 90% CONSTRUCTION & APPROVAL OF ENGINEER OF RECORD DISMANTLE SILT FENCE, RESTORE BOULEVARD, REMOVE CB & LD FABRIC FILTER COVERS, REMOVE ACCESS PAD BY DEVELOPER'S CONTRACTOR.
- 2) RESTORE DISTURBED AREA AND APPLY FINISHED LANDSCAPE AND PAVEMENT TREATMENT EQUIVALENT TO EXISTING OR BETTER OR AS SPECIFIED BY THE ENGINEER OF RECORD.

MAINTENANCE:

- 1) THE CONTRACTOR / DEVELOPER WILL BE RESPONSIBLE TO ENSURE THAT THE EXISTING ROADS ARE REVIEWED DAILY AND MECHANICALLY SWEEPED MIN ONCE A WEEK. FLUSHING OF ROADWAYS IS PROHIBITED.
- 2) CONTRACTOR TO ENSURE THAT THE SILT FILTER SOCKS & SILT FENCES TO BE INSPECTED WEEKLY, TO BE REPAIRED IF REQUIRED & CLEANED AT 40% CAPACITY, MORE FREQUENTLY DURING MAJOR "ONSITE" BUILDING CONSTRUCTION, AFTER ANY SIGNIFICANT STORM EVENT OR AS DIRECTED BY THE ENGINEER OF RECORD.
- 3) GRAVEL ACCESS PAD TO BE INSPECTED DAILY TO ENSURE FUNCTIONALITY & ADDITIONAL GRAVEL'S TO BE ADDED AS REQUIRED.
- 4) ALL SEDIMENT REMOVED FROM ESC CONTROL FACILITIES TO BE DISPOSED OF IN A MANNER AS NOT TO COMPOUND OR COMPROMISE THE SEDIMENT LOADING CAPACITY OF OTHER CONTROL MEASURES.
- 5) ALL DISTURBED SOIL IS TO BE PROTECTED FROM EROSION BY SPREADING HAY OR BY APPLYING EROSION CONTROL BLANKETS OVER THE EXPOSED AREAS.

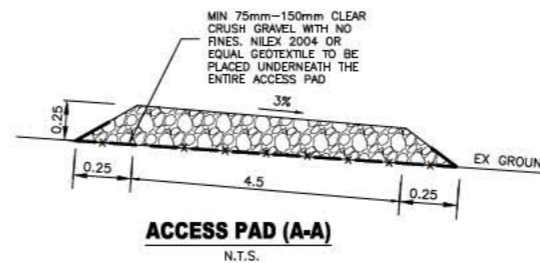
INFORMATION SHOWN ON THIS DRAWING REGARDING EXISTING UTILITIES IS COMPILED FROM DIVERSE SOURCES, AND MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXPOSE AND CONFIRM THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, AND ADVISE THE ENGINEER OF ANY POTENTIAL CONFLICTS.



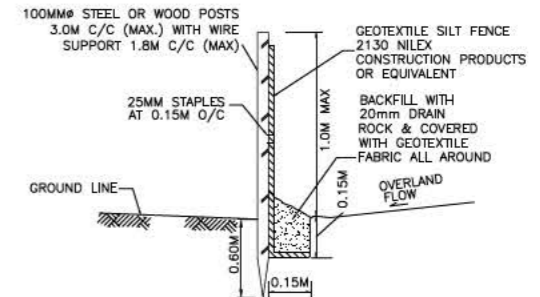
SILT FILTER FOR CATCH BASIN (TYP) DETAIL

N.T.S.

- NOTES:
- 1) SILT FILTER TO BE SHAPED TO FIT CITY OF WHITE ROCK STANDARD CATCH/LAWN BASINS AS PER NILEX PRODUCTS MANUFACTURED BY NILEX INC, BURNABY OR APPROVED EQUIVALENT.
 - 2) THE USE OF STANDARD FILTER FABRIC UNDER CB'S IS ONLY ALLOWED ON SITE. CB'S ON CITY PROPERTY ARE TO HAVE A MANUFACTURE PRODUCT INSTALLED THAT HAS AN ACCEPTABLE FLOW THROUGH RATE TO ALLOW FOR THE CONVEYANCE OF STORM FLOWS.



ACCESS PAD (A-A)
N.T.S.



DETAIL SILT FENCE (B-B)

NOTES

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFFSET AND CAN BE PERMANENTLY STABILIZED
4. SWEEPING REQUIRED DAILY AS REQUIRED.

	ALL DIMENSIONS ARE IN METRES ALL PIPE SIZES ARE IN MILLIMETRES	BENCHMARK: CONTROL MONUMENT 88H3876 LOCATED AT THE SW CORNER OF THE INTERSECTION OF BUENA VISTA AVE. AND LEE ST. ELEVATION = 78.44M	Westridge Engineering & Consulting Ltd. SUITE 203, 12992 - 76 Avenue, Surrey, BC V3W 2V6 TEL: (604) 789 - 9520, FAX: (778) 564 - 6507 www.westridgeengineers.ca	DEVELOPER: 1076030 B.C. LTD. PH. 604-782-5205	SCALE 1:250 DATE FEB 09, 2017	MUNICIPAL PROJECT NO.																									
	<table border="1"> <thead> <tr> <th>REVISIONS</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> <th>APPROVED</th> </tr> </thead> <tbody> <tr> <td>3</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>ISSUED FOR FINAL APPROVAL</td> <td>KL</td> <td>19 MAY 2017</td> <td>DK</td> </tr> <tr> <td>1</td> <td>RE-ISSUED FOR APPROVAL</td> <td>KL</td> <td>17 APR 2017</td> <td>DK</td> </tr> <tr> <td>0</td> <td>ISSUED FOR APPROVAL</td> <td>DK</td> <td>08 FEB 2017</td> <td>DK</td> </tr> </tbody> </table>	REVISIONS	DESCRIPTION	BY	DATE	APPROVED	3					2	ISSUED FOR FINAL APPROVAL	KL	19 MAY 2017	DK	1	RE-ISSUED FOR APPROVAL	KL	17 APR 2017	DK	0	ISSUED FOR APPROVAL	DK	08 FEB 2017	DK	LEGAL DESCRIPTION: LOT 295 SEC. 11 TWP. 1 NWD PLAN 35303	TITLE: ESC PLAN	2 LOT SUBDIVISION 1172-PARKER ST, WHITE ROCK	DRAIN LV CHECKED DESIGNED DKAJAL CHECKED P.W. P.J. APPROVED D. KAJAL	DK CONTRACT DESIGN LV
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Appendix A Comfort Letter for Arborist Presence at Specified Stages of Construction

This letter is to confirm that Harji Bisla of 1076030 B.C. Ltd. has retained PNW Arborist Solutions to oversee the subdividing of the lot and subsequent construction of two homes at 1172 Parker Street.

Arborist inspections will occur monthly beginning at the demo with a follow-up letter/report submitted to the City within five days of the monitored work. The follow up letter/report must be written by the arborist submitting this comfort letter.

The arborist will provide guidance and supervise work within or near critical root zones of trees to be retained on and offsite. To include but not limited to pruning, root pruning, excavation, etc.

The arborist will ensure that barriers are installed or re-installed according to City specifications before and after work in the critical root zone is completed.

The owner is aware that the arborist must be on site to supervise as specified in the arborist report or as agreed upon with City staff.

Harji Bisla

Peter Brinson

Printed name of owner

Printed name of arborist

Signature of owner

Signature of arborist

(604)782-5205

(604)992-3592

Phone number

Phone Number

November 22, 2017

November 22, 2017

Date

Date

Appendix B Property Owner's Letter of Assurance

I, Harji Bisla, as registered owner or owner appointed agent of the property located at 1172 Parker Street, White Rock, B.C., will make all efforts to preserve all protected trees on this site and adjacent properties and that all pruning, root pruning and excavation within the critical root zone of the protected trees will be conducted under the direction of the project ISA Certified Arborist.

Harji Bisla

Printed name of agent for the owner

Signature of owner

(604)782-5205

Phone number

November 22, 2017

Date

Appendix C

Limitations of this Assessment

It is Arborist Training Solutions policy to attach the following clause regarding limitation to ensure that developers and/or owners are clearly aware of what is technically and professionally realist in retaining trees.

The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground parts of each tree for structural defects, scars, and external and visible root structures, the degree and direction of lean – if any – the general condition of the tree(s), the surrounding site and the proximity of property and people. Except where specifically noted in the report, none of the trees examined were dissected, cored, probed or climbed and detailed root examinations involving evacuation were not undertaken.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly changes over time. They are not immune to changes in site conditions or seasonal variations in the weather conditions.

While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered or implied, that these tree, or any parts of them, will remain standing. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree of group of trees or their component parts in all circumstances. Inevitably, a standing tree will pose some risk. Most trees have the potential for failure in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

Notwithstanding the recommendations in this report, Arborist Training Solutions and Peter Brinson accept no responsibility for the implementation of all or any part of this plan, unless we have specifically been requested to examine said implementation activities. Approval and implementation of this plan in no way implies any inspection or supervisory role on t part of Arborist Training Solutions or Peter Brinson. In the event that inspection or supervision of all or part of the implantation of the plan is requested, said request shall be in writing and the details agreed to in writing by both parties. Any on-site inspection or supervisory work undertaken by Arborist Training Solutions and/or Peter Brinson shall be recorded in written form and submitted to the client as a matter of record.

The report shall be considered a whole, no sections are severable, and the report shall be considered incomplete if any pages are missed. This report is the sole property of Arborist Training Solutions and Peter Brinson and the client(s) for whom it was prepared. It is not intended for public review without the written authorization of both parties.

Peter Brinson
ISA Board Certified Master Arborist #PN0286 BT
Hazard Tree Assessor#CTRA053

PNW Arborist Training Solutions
(604)992-3592
arboristtraining@telus.net

From: [Scott Watson](#)
To: [Steve Whitton](#)
Subject: RE: 1172 Parker
Date: Wednesday, December 13, 2017 2:37:12 PM
Attachments: [image002.jpg](#)
[image003.jpg](#)

The overall CSDP contradicts photos and written information, as required they need to provide a updated arborist report not a CSDP. They should also provide a footprint of the new house layout to justify why the hedge requires removal.

SCOTT WATSON, L. Arch. MBCSLA, ISA (Certified Arborist)

Manager, Parks, City of White Rock

877 Keil Street, White Rock, BC V4B 4V6

Tel: 604.541.2210 | www.whiterockcity.ca



The information transmitted, including attachments, is intended only for the individual(s) or entity(ies) to which it is addressed and may contain information that is confidential and/or privileged or exempt from disclosure under applicable law. Any copying, review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by individual(s) or entities other than the intended recipient is strictly prohibited. If you have received this information in error, please notify the City of White Rock and destroy any copies of this information. Thank you.

From: Steve Whitton
Sent: Wednesday, December 13, 2017 2:30 PM
To: Scott Watson
Subject: RE: 1172 Parker

Here is the latest CSDP where they are now asking to remove the hedge.

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: Scott Watson
Sent: Wednesday, December 13, 2017 2:26 PM
To: Steve Whitton
Subject: RE: 1172 Parker

I do not see anything that states that they want to remove it. They will require an updated arborist report if they want to remove it now. Once you have this I will provide comment.

SCOTT WATSON, L. Arch. MBCSLA, ISA (Certified Arborist)

Manager, Parks, City of White Rock

877 Keil Street, White Rock, BC V4B 4V6

Tel: 604.541.2210 | www.whiterockcity.ca



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From: Steve Whitton
Sent: Wednesday, December 13, 2017 10:39 AM
To: Scott Watson
Subject: FW: 1172 Parker

Hi Scott,

This one may have slipped through all your emails and vacation. Can you comment on the hedge and compensation, please? They want to remove it now.

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: Steve Whitton
Sent: Tuesday, December 05, 2017 9:53 AM
To: Scott Watson
Subject: 1172 Parker

Hi Scott,

I don't see any comments from Parks for the removal of the hedge shared on City land. In the arborist report they are saying they are going to keep it but I don't see that happening over the long run.

If they want to remove it, are you ok with that? If so what would you like for compensation?

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: [Peter Brinson](#)
To: [Steve Whitton](#)
Cc: ["Harji Bisla"](#)
Subject: RE: 1172 Parker - Tree Management Permit Requirements
Date: Monday, January 1, 2018 4:05:24 PM
Attachments: [1172_parker_from_above.pdf](#)
[1172_parker_december_20_17_revised.pdf](#)
[Psaltriparus.docx](#)
[1172_parker_letter.pdf](#)

Hello Steve

Here is the updated report and 2 letters of reply from the neighbours.

I have forwarded the letter from Psaltriparus@telus.net <barry343@telus.net>

Peter Brinson,PID

ISA Board Certified Master Arborist# PN0286BT

ISA certified Hazard tree assessor # CTRA 054

Wildlife danger tree assessor # 7194

BC. Certified Climbing Arborist # 0001

From: Steve Whitton [mailto:SWhitton@whiterockcity.ca]
Sent: December 13, 2017 2:39 PM
To: Peter Brinson <arboristtraining@telus.net>
Subject: RE: 1172 Parker - Tree Management Permit Requirements

Hi Peter,

Comments from Parks about the Hedge removal.

“The overall CSDP contradicts photos and written information, as required they need to provide a updated arborist report not a CSDP. They should also provide a footprint of the new house layout to justify why the hedge requires removal.”

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: Peter Brinson [mailto:arboristtraining@telus.net]
Sent: Wednesday, December 13, 2017 10:19 AM
To: Steve Whitton
Subject: RE: 1172 Parker - Tree Management Permit Requirements

Steve

Here is an updated CSDP addressing

1. the privet hedge in front
2. Tree protection for tree #2
3. What are the securities ?
4. I have instructed the owner to build the tree protection

Letters of understanding have been dropped off at all the homes affected. The neighbour to the rear (tree #002) will not sign a letter of understanding. Another neighbour is a rental and they have passed on the letter to them. The third was dropped into their mailbox as no one answered the door. Their mailbox was jammed full of paper so it is likely there is no one there. What happens if I can't get any response from the neighbours?

Thanks,

Peter Brinson, PID
ISA Board Certified Master Arborist# PNO286BT
ISA certified Hazard tree assessor # CTRA 054
Wildlife danger tree assessor # 7194
BC. Certified Climbing Arborist # 0001

From: Steve Whitton [<mailto:SWhitton@whiterockcity.ca>]
Sent: December 1, 2017 12:03 PM
To: Harji Bisla **Redacted S. 22**
Cc: arboristtraining@telus.net; Jamieson Pritchard <JPritchard@whiterockcity.ca>
Subject: RE: 1172 Parker - Tree Management Permit Requirements

Mr. Bisla,

I am the new arboricultural technician for the City of White Rock. I am just reviewing your tree permit for the first time.

I have checked your file and the requirements needed to complete your tree permit process. There seems to be a few issues.

- The hedge at the front of the property is to be removed but does not say so in the arborist report I have on file. If there is an updated arborist report, please send it to me.
- The hedge is apparently shared with the City. Parks needs to make comment for its removal and compensation.
- Tree number 002 has a DBH of 2.02 metres and should have a barrier of 12.12 metres but is listed as only 6 metres with no real reasoning behind the reduction. As this is a multi-stemmed tree, I can see a reduction can happen but there should be compensation for the

reduction by increasing the tree protection zone in another area like the width.

- There doesn't seem to be a letter of understanding for the neighbour's trees being protected
- Once the barriers are built there needs to be a barrier letter from the arborist
- Securities will need to be paid – to be determined

If you have questions on this, please contact me.

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: Harji Bisla [<mailto:Redacted S. 22>]

Sent: Tuesday, November 28, 2017 9:36 PM

To: Trees

Subject: Re: 1172 Parker - Tree Management Permit Requirements

Good day,

Please find the articles and CSDP report attached. Please let me know if you require anything else.

Regards,

Harji

Ph: 604-782-5205



On Thu, Sep 7, 2017 at 2:18 PM, Trees <trees@whiterockcity.ca> wrote:
Hello Harji,

We have reviewed your tree management permit application and require the following to proceed:

1. Notice of Authorization/ articles for 1076030 BC. Ltd
2. An updated CSDP which specifies arborist supervision at demolition and excludes the provisions for work within tree protection zones. It appears from the plans provided that no work is required within the TPZ.
3. A letter of understanding from your neighbours at 15764 Buena Vista and 1162 Parker, a rough template is attached.
4. A letter from your arborist confirming that tree protection barriers have been built to specification.
5. The arborist report provided is more than 1 year old. Please have your arborist update the report or provide confirmation that it is still valid.
6. Schedule C for tree securities for demolition is \$17,000 and may be paid at 877 Kiel.

Amelia Needoba, Ron Myers or Mike Harry
City of White Rock, Municipal Operations
[877 Keil Street, White Rock, BC V4B 4V6](#)
Tel: [604.541.2181](tel:604.541.2181) | www.whiterockcity.ca

Untitled Map
Write a description for your map.

- Legend**
-  15764 Buena Vista Ave
 -  EB Buena Vista Av FS Parker St



15764 Buena Vista Ave

Buena Vista Ave

Parker St

Google Earth

©2017 Google

30 m



Site Assessment

1172 Parker Street, White Rock, B.C.

Prepared for:

Harji Bisla

(604)782-5205

Redacted S. 22

July 31, 2016

Revised December 15 2017

PNW Arborist Training Solutions

#5, 19250 – 65th Avenue, Surrey, B.C. V4N 5R7

(604)992-3592

Email: arboristtraining@telus.net
www.arboristtrainingsolutions.com

Peter Brinson

ISA Board Certified Master Arborist PN0286BT
Hazard Tree Assessor#CTRA053

City of Surrey Business Licence #152021

Inter-Municipal Business Licence #152141

District of North Vancouver Business Licence #0016536

WCB #667143

Commercial Liability #WG1012343

“I never saw a discontented tree. They grip the ground as though they liked it, and though fast rooted they travel about as far as we do. They go wandering forth in all directions with every wind, going and coming like ourselves, traveling with us around the sun two million miles a day, and through space heaven knows how fast and far!” – John Muir

PNW Arborist Training Solutions
(604)992-3592
arboristtraining@telus.net

1.0 Introduction

On July 18, 2016, a site visit was conducted to assess the trees at 1172 Parker Street and the neighbouring properties for the redevelopment of the property. There is an existing duplex built on the property, and the owner wishes to demolish the duplex, subdivide the lot into two and build two single family homes.

The property is in a well-established neighbourhood with mature landscapes. The existing house was built approximately 58 years ago. Although there are no trees on the property, there are a number of hedges on the property and the neighbouring properties have trees and hedges bordering 1172 Parker Street.

2.0 Executive Summary

Tree # or Location	Common Name	DBH	Recommendations
South Side Back Yard 1172B Parker Along Fence Line Bordering 1162 Parker Street			
313	Acacia	46	TPZ of 2.7 m
Neighbour to the East Backyard at 15788 Buena Vista			
001	Horse Chestnut	57.5	TPZ of 3.6 m
002	Acacia	202	TPZ of m
Property Line to the North on 1172A Parker Street			
	Cedar Hedge		REMOVE
	Laurel Hedge		TPZ at drip line
Front Yard 1172 Parker Street			
	Privet Hedge		Remove
	Rhododendrum		Remove
Front yard 1162 Parker Street			
	Assorted Shrubs		Under-sized and not protected. If the shrubs belong to the neighbour, TPZ required at drip line.

3.0 Observations

South Side Back Yard 1172B Parker Along Fence Line Bordering 1162 Parker Street

Tree #313 Acacia (*Robinia pseudoacacia*)

This tree has three stems (20 cms + 18 cms + 8 cms) for a combined diameter at breast height of 46 centimeters. It is 15 meters tall with a crown spread of eight meters. It has a live crown ratio of 75 percent.



Neighbour to the East Backyard at 15788 Buena Vista

The homeowner at this address gave access to his yard to measure the trees but would not allow the trees to be tagged.

001Horse Chestnut (*Aeculus hippocastanum*)

This tree has a diameter at breast height of 57.5 centimeters. The leaf colour and the annual shoot growth indicate the tree is in good health.



#002Acacia (Robinia pseudoacacia)

This tree has three stems with a total diameter at breast height of 202 centimeters (41 + 130 +31).



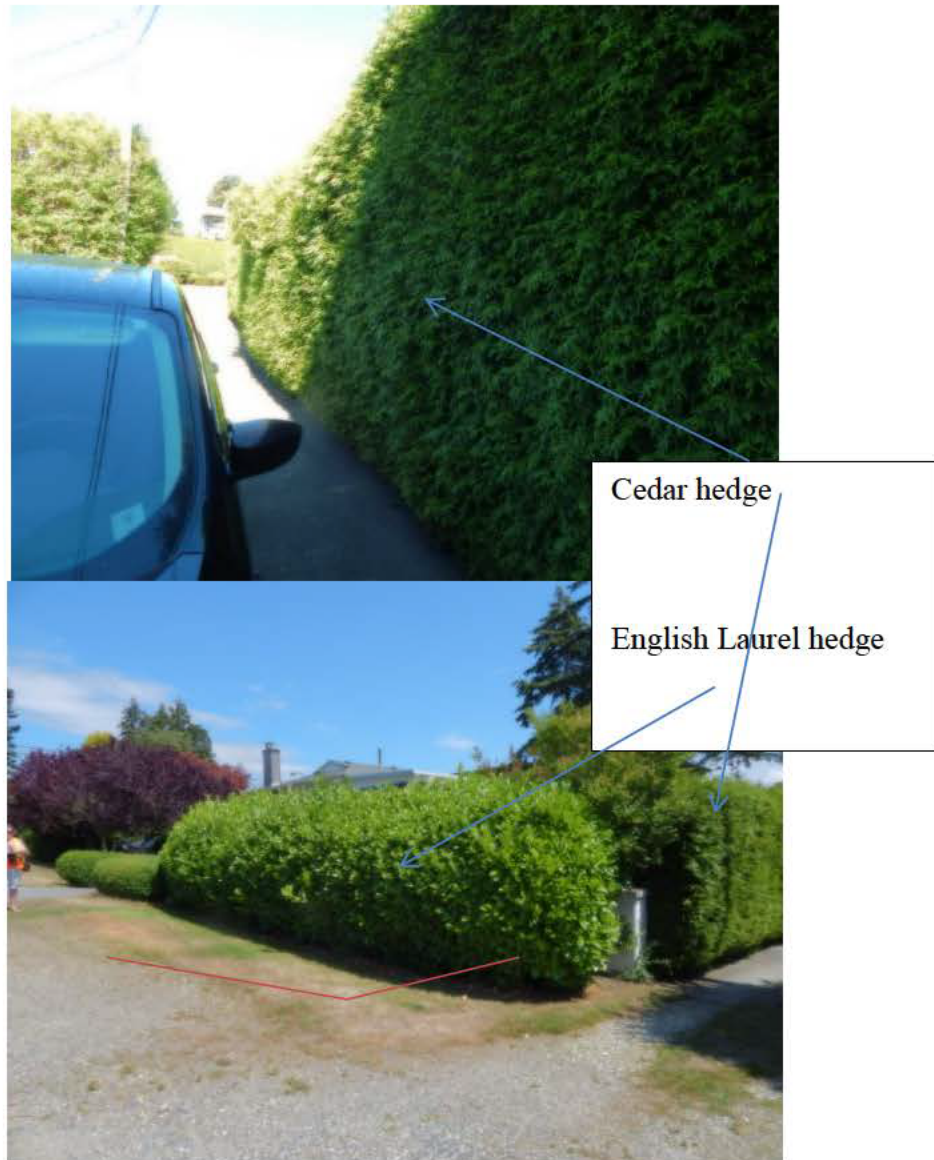
Property Line to the North on 1172A Parker Street

Cedar Hedge

This hedge is three meters tall and 15 meters long. It runs from the back yard fence to the road. The hedge appears to be in good overall condition.

Laurel Hedge

The neighbour to the north has an English laurel hedge on the corner of the property.



Front Yard 1172 Parker Street

Privet Hedge (*Ligustrum vulgare*)

This hedge is four meters tall and 19 meters long. It is located in front of the home along the edge of the property line next to the street. This hedge is shared with the city



Privet Hedge

Rhododendrum

This hedge is along the front yard property line on the 1172B Parker Street side. It is two meters in height and eight meters long.

Also on the same side, there is a hazelnut bush and a lilac bush.

On the front corner next to 1162 Parker Street at the property line, there is a European mountain ash, a holly bush and a Hawthorne tree belonging to the neighbour. All of these trees are under-sized and are not protected.

4.0 RECOMMENDATIONS

Tree #313 Acacia (*Robinia pseudoacacia*)

This tree requires a tree protection zone 2.7 meters from the base of the tree.

#001Horse Chestnut (*Aeculus hippocastanum*)

This tree has a diameter at breast height of 57.5 centimeters and will require a tree protection zone 3.6 meters from the base of the tree.

#002Acacia (*Robinia pseudoacacia*)

This tree has three stems with a total diameter at breast height of 202 centimeters (41 + 130 + 31). This tree is very large; however the majority of the canopy is on the west side of the tree

within the owner's property at 15788 Buena Vista Drive. The city requires a TPZ 12 meters from the base of the tree. This would put the TPZ within the building envelope. As this is not practical, a TPZ of 7 meters from the base of the tree or at the drip-line whichever is greater would be beneficial to the tree.

Front Yard 1172 Parker Street

Privet Hedge(Ligustrum vulgare)

This hedge is four meters tall and 19 meters long. It is located in front of the home along the edge of the property line next to the street. The hedge is in conflict with the proposed driveway.

Removal will be required.

Hedges on the north side of the property

The neighbor's laurel hedge will require will require a TPZ at the drip-line on the corner of the hedge.

TOPOGRAPHIC SITE PLAN OF LOT 295 SEC. 11 TWP. 1 NWD PLAN 35303

CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

SCALE 1 : 250



LEGEND

- DENOTES STANDARD IRON POST FOUND
- ⊕ PP DENOTES UTILITY POLE
- ⊞ DENOTES WATER METER
- MH-S DENOTES SANITARY MANHOLE
- MH-D DENOTES STORM MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- × DENOTES GROUND ELEVATION
- ×_{1.4m} DENOTES TOP OF WALL ELEVATION
- ⊞ DENOTES BEST ESTIMATION OF NATURAL GRADE



Lot dimensions are derived from field survey

Elevations are Geodetic (CVD28 GVRD-2005 - IN METERS)
Derived from Control Monument 88H3876 located at the SW corner of the intersection of Buena Vista Ave. and Lee St.
Elevation = 78.44m

Invert elevations and offsets of services from property lines are derived from municipal records and field survey. Contractor to verify all service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter

If this plan is used in digital form, Target Land Surveying will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 1.4m above grade and are shown in cm.

This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

**PROPOSED RS-4 ZONING
BUILDING ENVELOPE SETBACKS**
FRONT YARD : 7.5m
REAR YARD : 7.5m
SIDE YARD : 1.35m

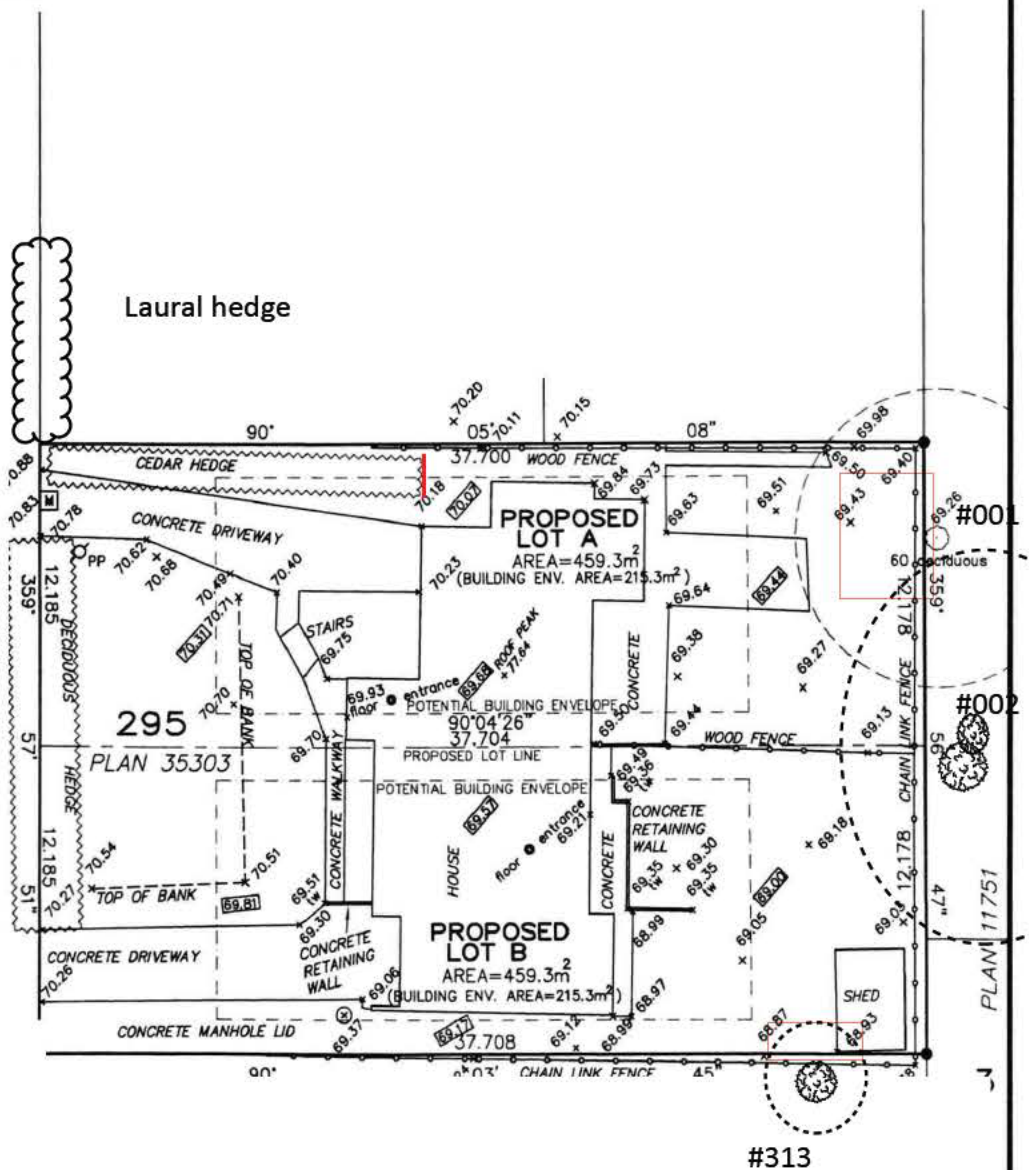
SUBJECT TO CITY OF WHITE ROCK APPROVAL

AVERAGE NATURAL GRADE ESTIMATION	
PROPOSED LOT A	PROPOSED LOT B
70.31	69.81
70.07	69.57
69.44	69.00
69.68	69.17
AVERAGE= 69.88m	AVERAGE= 69.39m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

PARKER STREET

Laural hedge



1172 Parker Street Proposed New home

Legend

Tree protection

Canopy area

Laurel hedge TPZ at the drip line

Cedar hedge remove

Tree protection fence
7 meters from the base
of tree #02 extending across
the property covering the maximum
root area

existing hedge remove

ROAD CENTRE LINE

small asphalt curb

S INV 68.10

57'

HEDGE

12'

CONCRETE MANHOLE LID

DRIVE

PARKWAY

69.70

90°04'26"
37.704
PROPOSED LOT LINE

37.700

WOOD FENCE

WOOD FENCE

CHAIN LINK FENCE

45'

#01

60' deciduous

359'

81.178

CHAIN LINK FENCE

12.178

56'

#02

47"

TPZ

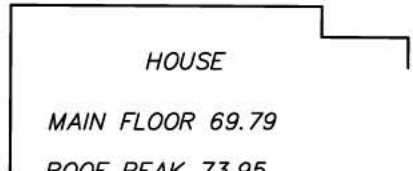
SHED

#313

SCALE 1 : 250

2.5 0 5 10

ALL DISTANCES ARE IN METRES



HOUSE

MAIN FLOOR 69.79

ROOF PEAK 73.95

7

PLAN 12552

CERTIFIED CORRECT

ATTACHMENT 2: COMFORT LETTER FOR ARORIST PRESENCE AT DEMOLITION (Template)

This letter is to confirm that Harji Bisla
Name of company/developer/property owner

has retained PNW Arboristtraining Solutions to supervise demolition
Name of arborist company

near protected trees at:

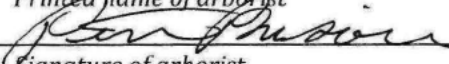
1172 Parker Street V4B 4R9
street address *postal code*

as described in the attached arborist recommendations/report. Pursuant to municipal requirements, the owner is required to have a project arborist undertake monitoring and directing demolition activities that are pending at the above referenced site. Our on-site work will include directing the work in or near the tree protection areas according to the acceptable methods. All work to be confirmed in a follow-up letter/report written by the arborist and submitted to the City within two (2) working days of completion of the monitored work.

Arborist is to do the following:

- Provide guidance and supervise work within or near critical root zone of trees on and offsite.
- Ensure that barriers are installed or re-installed according to City specification after work in the critical root zone is completed, prior to City inspection/re-inspection.
- Perform a site review post demolition to confirm that trees have been properly protected in accordance with Bylaw 1831 and the tree management permit.
- Other: _____

The owner is aware that the arborist must be on site to supervise as specified in the arborist report or as agreed upon with City Staff. **Failure to comply with this signed contract can result in possible penalty fees, stop inspections/stop work orders and project delays.**

<u>Harji Bisla</u>	<u>Peter Brinson</u>	_____
<i>Printed name of owner</i>	<i>Printed name of arborist</i>	<i>Printed name of contractor</i>
_____		_____
<i>Signature of owner</i>	<i>Signature of arborist</i>	<i>Signature of contractor</i>
_____	<u>604 992 3592</u>	_____
<i>Phone number</i>	<i>Phone number</i>	<i>Phone number</i>
_____	<u>7 August 2016</u>	_____
<i>Date</i>	<i>Date</i>	<i>Date</i>

Appendix D

Limitations of this Assessment

It is Arborist Training Solutions policy to attach the following clause regarding limitation to ensure that developers and/or owners are clearly aware of what is technically and professionally realist in retaining trees.

The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground parts of each tree for structural defects, scars, and external and visible root structures, the degree and direction of lean – if any – the general condition of the tree(s), the surrounding site and the proximity of property and people. Except where specifically noted in the report, none of the trees examined were dissected, cored, probed or climbed and detailed root examinations involving evacuation were not undertaken.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly changes over time. They are not immune to changes in site conditions or seasonal variations in the weather conditions.

While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered or implied, that these tree, or any parts of them, will remain standing. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree of group of trees or their component parts in all circumstances. Inevitably, a standing tree will pose some risk. Most trees have the potential for failure in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

Notwithstanding the recommendations in this report, Arborist Training Solutions and Peter Brinson accept no responsibility for the implementation of all or any part of this plan, unless we have specifically been requested to examine said implementation activities. Approval and implementation of this plan in no way implies any inspection or supervisory role on t part of Arborist Training Solutions or Peter Brinson. In the event that inspection or supervision of all or part of the implantation of the plan is requested, said request shall be in writing and the details agreed to in writing by both parties. Any on-site inspection or supervisory work undertaken by Arborist Training Solutions and/or Peter Brinson shall be recorded in written form and submitted to the client as a matter of record.

The report shall be considered a whole, no sections are severable, and the report shall be considered incomplete if any pages are missed. This report is the sole property of Arborist Training Solutions and Peter Brinson and the client(s) for whom it was prepared. It is not intended for public review without the written authorization of both parties.



Peter Brinson
ISA Certified Arborist #PN0286
Hazard Tree Assessor#CTRA053

Redacted S. 22

Regarding development at 1172 Parker street Fri 12-29

12 KB

Peter,

Thank you for the curtesy of your letter regarding the inference of that development on my trees; Robinia pseudoacacia and Aescylus hippocastanum, of which you took dbh measurements some two years ago. Please submit your measurements from that time so that more recent andf accurate measurements are updated. Please also inform me as to what you have recorded for the tree canopy measurements as i am aware that that also factors in when the barriers are composed. I am aware that most barriers are not appropriately installed and wish to be consulted prior to their installation so that i am satisfied that, as you say, every effort has been taken to protect these Trees. I will not sign off on this matter until my trees have been responsibly and honestly dealt with according to current bylaw standards.

Please inform Steve Witten as to this matter , he can reach me any time at **s. 22** Additionally, I will require The City to sign a document that will be given to my lawyer, That should contain the work that has been done and a specific outline of the treatment of any exposed roots. There will be a surveillance camera in place to work in progress. I will not tolerate a repeat of what I have already experienced at the hands of the City or Developers.

Sincerely

Redacted S. 22

December 8, 2017

City of White Rock

Re: 1172 Parker Street, White Rock

I am aware that the property noted above at 1172 Parker Street will be redeveloped and that every effort will be made to protect my trees from any damage from construction.

I have been contacted by the project arborist, Peter Brinson from PNW Arborist Solutions who has answered any questions I may have regarding tree protection on my property.

If you have any questions, please feel free to give me a call.

Sincerely,

Redacted S. 22

Name (Please print)

Redacted S. 22

Signature

DEC 22, 2017

Date

15764 Buena Vista Ave. WR.

Address

From: [Scott Watson](#)
To: [Steve Whitton](#)
Subject: RE: 1172 Parker - Tree Management Permit Requirements
Date: Tuesday, January 2, 2018 10:25:50 AM
Attachments: [image001.jpg](#)
[image002.jpg](#)
[image003.png](#)

Hi Steve, and Happy New Year to you too.

The hedge can be removed, I would like to see two trees per lot provided as compensation, suggestion would be to locate street trees on either side of each drive way.

SCOTT WATSON, L. Arch. MBCSLA, ISA (Certified Arborist)

Manager, Parks, City of White Rock
877 Keil Street, White Rock, BC V4B 4V6
Tel: 604 541.2210 | www.whiterockcity.ca



The information transmitted, including attachments, is intended only for the individual(s) or entity(ies) to which it is addressed and may contain information that is confidential and/or privileged or exempt from disclosure under applicable law. Any copying, review, retransmission, dissemination or other use of, or taking of any action in reliance upon this information by individual(s) or entities other than the intended recipient is strictly prohibited. If you have received this information in error, please notify the City of White Rock and destroy any copies of this information. Thank you.

From: Steve Whitton
Sent: Tuesday, January 02, 2018 9:57 AM
To: Scott Watson
Subject: FW: 1172 Parker - Tree Management Permit Requirements

Hi Scott, welcome back and happy new year.

Here is an excerpt from the revised arborist report stating the privet hedge shared with the City needs to be removed for the subdivision of the lots and two new driveways. Actually the information is in the CSDP and this report. I have added the engineer drawings for the driveways as well. They are 6 metres in diameter each.

Let me know if you want to keep/remove the hedge and if remove what compensation would you be seeking.





Steve Whitton

Arboricultural Technician
City of White Rock
Ph: 604-541-2143
Email: whitton@whiterockcity.ca

From: Peter Brinson [<mailto:arboristtraining@telus.net>]
Sent: Monday, January 01, 2018 4:05 PM
To: Steve Whitton
Cc: 'Harji Bisla'
Subject: RE: 1172 Parker - Tree Management Permit Requirements

Hello Steve
Here is the updated report and 2 letters of reply from the neighbours.
I have forwarded the letter from **Redacted S. 22**

Peter Brinson, PID
ISA Board Certified Master Arborist# PN0286BT
ISA certified Hazard tree assessor # CTRA 054
Wildlife danger tree assessor # 7194
BC. Certified Climbing Arborist # 0001

From: Steve Whitton [<mailto:SWhitton@whiterockcity.ca>]
Sent: December 13, 2017 2:39 PM
To: Peter Brinson <arboristtraining@telus.net>
Subject: RE: 1172 Parker - Tree Management Permit Requirements

Hi Peter,

Comments from Parks about the Hedge removal.

“The overall CSDP contradicts photos and written information, as required they need to provide a updated arborist report not a CSDP. They should also provide a footprint of the new house layout to justify why the hedge requires removal.”

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: Peter Brinson [<mailto:arboristtraining@telus.net>]
Sent: Wednesday, December 13, 2017 10:19 AM
To: Steve Whitton
Subject: RE: 1172 Parker - Tree Management Permit Requirements

Steve

Here is an updated CSDP addressing

1. the privet hedge in front
2. Tree protection for tree #2
3. What are the securities ?
4. I have instructed the owner to build the tree protection

Letters of understanding have been dropped off at all the homes affected. The neighbour to the rear (tree #002) will not sign a letter of understanding. Another neighbour is a rental and they have passed on the letter to them. The third was dropped into their mailbox as no one answered the door. Their mailbox was jammed full of paper so it is likely there is no one there. What happens if I can't get any response from the neighbours?

Thanks,

Peter Brinson, PID

ISA Board Certified Master Arborist# PN0286BT

ISA certified Hazard tree assessor # CTRA 054

Wildlife danger tree assessor # 7194

BC. Certified Climbing Arborist # 0001

From: Steve Whitton [<mailto:SWhitton@whiterockcity.ca>]
Sent: December 1, 2017 12:03 PM
To: Harji Bisla **Redacted S. 22**
Cc: arboristtraining@telus.net; Jamieson Pritchard <JPritchard@whiterockcity.ca>
Subject: RE: 1172 Parker - Tree Management Permit Requirements

Mr. Bisla,

I am the new arboricultural technician for the City of White Rock. I am just reviewing your tree permit for the first time.

I have checked your file and the requirements needed to complete your tree permit process. There seems to be a few issues.

- The hedge at the front of the property is to be removed but does not say so in the arborist report I have on file. If there is an updated arborist report, please send it to me.
- The hedge is apparently shared with the City. Parks needs to make comment for its removal and compensation.
- Tree number 002 has a DBH of 2.02 metres and should have a barrier of 12.12 metres but is listed as only 6 metres with no real reasoning behind the reduction. As this is a multi-stemmed tree, I can see a reduction can happen but there should be compensation for the reduction by increasing the tree protection zone in another area like the width.
- There doesn't seem to be a letter of understanding for the neighbour's trees being protected
- Once the barriers are built there needs to be a barrier letter from the arborist

- Securities will need to be paid – to be determined

If you have questions on this, please contact me.

Steve Whitton

Arboricultural Technician
City of White Rock
Ph: 604-541-2143
Email: switton@whiterockcity.ca

From: Harji Bisla [<mailto:Redacted S. 22>]
Sent: Tuesday, November 28, 2017 9:36 PM
To: Trees
Subject: Re: 1172 Parker - Tree Management Permit Requirements

Good day,

Please find the articles and CSDP report attached. Please let me know if you require anything else.

Regards,
Harji
Ph: 604-782-5205

On Thu, Sep 7, 2017 at 2:18 PM, Trees <trees@whiterockcity.ca> wrote:
Hello Harji,

We have reviewed your tree management permit application and require the following to proceed:

1. Notice of Authorization/ articles for 1076030 BC. Ltd
2. An updated CSDP which specifies arborist supervision at demolition and excludes the provisions for work within tree protection zones. It appears from the plans provided that no work is required within the TPZ.
3. A letter of understanding from your neighbours at 15764 Buena Vista and 1162 Parker, a rough template is attached.
4. A letter from your arborist confirming that tree protection barriers have been built to specification.
5. The arborist report provided is more than 1 year old. Please have your arborist update the report or provide confirmation that it is still valid.
6. Schedule C for tree securities for demolition is \$17,000 and may be paid at 877 Kiel.

Amelia Needoba, Ron Myers or Mike Harray
City of White Rock, Municipal Operations
[877 Keil Street, White Rock, BC V4B 4V6](http://877.Keil.Street.White.Rock.BC.V4B.4V6)
Tel: [604.541.2181](tel:604.541.2181) | www.whiterockcity.ca

From: [Steve Whitton](#)
To: "Peter Brinson"
Cc: "Harji Bisla"; [Jamieson Pritchard](#); [Scott Watson](#)
Subject: FW: 1172 Parker - Tree Management Permit Requirements
Date: Tuesday, January 2, 2018 10:48:00 AM
Attachments: [2018 01 02 TMP TREE SECURITIES SCHEDULE C final.xlsx](#)

Peter,

I misunderstood Parks direction for the replacement tree requirements for the City hedge. Please revise my previous email.

Parks is requiring compensation of 4 replacement trees (2 per each new lot) with one on each side of the 2 driveways. There is an additional \$3000 requirement for tree replacement.

The new total is now \$23,000 for tree securities, please see attached. Any questions, please contact me.

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: Steve Whitton
Sent: Tuesday, January 02, 2018 10:39 AM
To: 'Peter Brinson'
Cc: 'Harji Bisla'; [Jamieson Pritchard](#); [Scott Watson](#)
Subject: RE: 1172 Parker - Tree Management Permit Requirements

Hi Peter, all the best for 2018.

For comments for the latest email:

- I cannot accept the letter from the owner at 15778 Buena Vista Ave. It is a word document and unsigned. Please have the owner sign it.
- The offsite acacia that is 202cm DBH requires a barrier of 12 metres. That means if you as the arborist believe it can be reduced then you have explain that a smaller tree protection zone (TPZ) can be used for this tree. I would recommend that the tree is protected under arborist supervision during demolition of the house.
The barriers will have to be built to City standards for the building permit or to the limit of the house excavation. Once the building permit is issued the arborist can be on site during excavation, remove the barriers and work with the excavator to dig inside the 12 metre TPZ. The arborist will prune the roots to the minimum amount of incursion into the TPZ. Once the excavation is completed in the TPZ the barriers will need to be replaced at the edge of

the excavation and a report sent to the City detailing the work done inside the TPZ. With any recommendations for the future health of the tree.

- If the barriers are built to 7 metres as indicated in the report then the owner will be violating the Tree Bylaw by working in the TPZ without arborist supervision.
- A new CSPD will need to be written. The one that the City has on file is not signed by the owner regardless.
- Parks will allow the removal of the privet hedge with two replacement trees as compensation. Hedge can be removed at time of demolition. These replacement trees need to be planted on either side of each drive way. Replacement tree species need to be approved by Parks before planting.
- The tree replacement and protection securities will be \$20,000, please see attached.

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: Peter Brinson [<mailto:arboristtraining@telus.net>]
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Cc: 'Harji Bisla'
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Hello Steve

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Peter Brinson, PID
ISA Board Certified Master Arborist# PN0286BT
ISA certified Hazard tree assessor # CTRA 054
Wildlife danger tree assessor # 7194
BC. Certified Climbing Arborist # 0001

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Arboricultural Technician

City of White Rock

Ph: 604-541-2143

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To: Trees

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Amelia Needoba, Ron Myers or Mike Harry
City of White Rock, Municipal Operations
[877 Keil Street, White Rock, BC V4B 4V6](#)
Tel: [604.541.2181](tel:604.541.2181) | www.whiterockcity.ca

SCHEDULE C

TREE PROTECTION AND REPLACEMENT SECURITY

TMP 17-090, 1172 Parker Street

Tree #	Tree Type with (dbh)*			Demolition Stage		Building Stage		
	Species	DBH	Retain/Remove	Protection	Security	Protection Security	Replacement Security	Replacements
313	Arcacia	46	Retain	2500		2500	0	0
1	Horse chestnut	57.5	Retain	4500		4500	0	0
2	Arcacia	202	Retain	10000		10000	0	0
City Hedge	Privet hedge	20	Remove	2500		0	6000	4
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
				0		0	0	0
TOTAL PROTECTION SECURITY FOR DEMO				19500				
TOTAL SECURITY FOR BUILDING STAGE						17000		
TOTAL REPLACEMENT REQUIREMENTS							6000	4 x 6 cm deciduous OR 3 m coniferous
TOTAL SECURITY					\$			23,000.00

From: [Peter Brinson](#)
To: [Steve Whitton](#)
Subject: 1172 parker street
Date: Monday, January 8, 2018 11:26:33 PM
Attachments: [1172 parker JAN 8 2018 complete.pdf](#)

Steve here is the revised CSDP showing 12meters TPZ

Peter Brinson, PID

ISA Board Certified Master Arborist# PN0286BT

ISA certified Hazard tree assessor # CTRA 054

Wildlife danger tree assessor # 7194

BC. Certified Climbing Arborist # 0001

Site Assessment

1172 Parker Street, White Rock, B.C.

Prepared for:

Harji Bisla

(604)782-5205

Redacted S. 22

July 31, 2016

1.0 Introduction

On July 18, 2016, a site visit was conducted to assess the trees at 1172 Parker Street and the neighbouring properties for the redevelopment of the property. There is an existing duplex built on the property, and the owner wishes to demolish the duplex, subdivide the lot into two and build two single family homes.

The property is in a well-established neighbourhood with mature landscapes. The existing house was built approximately 58 years ago. Although there are no trees on the property, there are a number of hedges on the property and the neighbouring properties have trees and hedges bordering 1172 Parker Street.

2.0 Executive Summary

Tree # or Location	Common Name	DBH	Recommendations
South Side Back Yard 1172B Parker Along Fence Line Bordering 1162 Parker Street			
313	Acacia	46	TPZ of 2.7 m
Neighbour to the East Backyard at 15788 Buena Vista			
001	Horse Chestnut	57.5	TPZ of 3.6 m
002	Acacia	202	TPZ of 6 m
Property Line to the North on 1172A Parker Street			
	Cedar Hedge		
	Laurel Hedge		TPZ at drip line
Front Yard 1172 Parker Street			
	Privet Hedge		
	Rhododendrum		
Front yard 1162 Parker Street			
	Assorted Shrubs		Under-sized and not protected. If the shrubs belong to the neighbour, TPZ required at drip line.

3.0 Observations

South Side Back Yard 1172B Parker Along Fence Line Bordering 1162 Parker Street

Tree #313 Acacia (*Robinia pseudoacacia*)

This tree has three stems (20 cms + 18 cms + 8 cms) for a combined diameter at breast height of 46 centimeters. It is 15 meters tall with a crown spread of eight meters. It has a live crown ratio of 75 percent.



Neighbour to the East Backyard at 15788 Buena Vista

The homeowner at this address gave access to his yard to measure the trees but would not allow the trees to be tagged.

001Horse Chestnut (*Aeculus hippocastanum*)

This tree has a diameter at breast height of 57.5 centimeters. The leaf colour and the annual shoot growth indicate the tree is in good health.



#002Acacia (Robinia pseudoacacia)

This tree has three stems with a total diameter at breast height of 202 centimeters (41 + 130 +31).



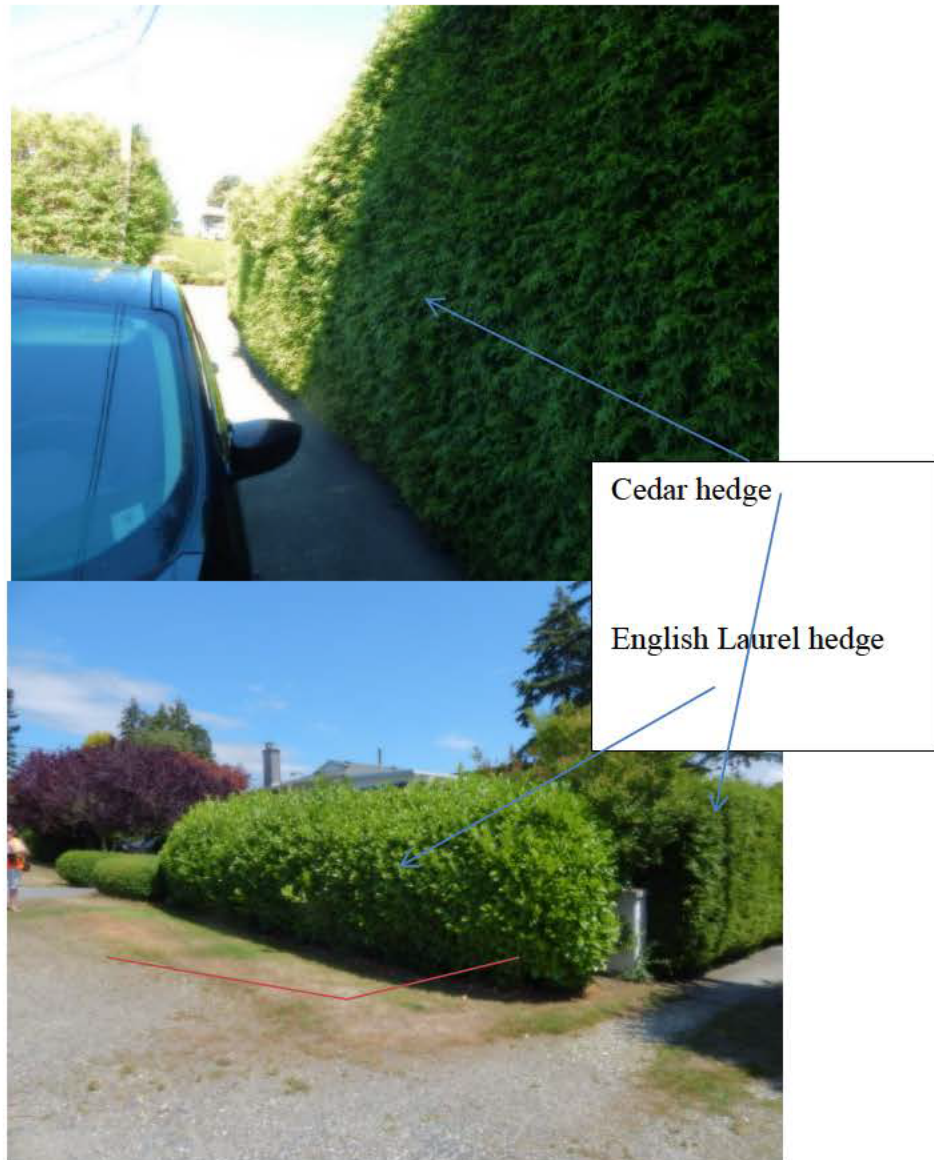
Property Line to the North on 1172A Parker Street

Cedar Hedge

This hedge is three meters tall and 15 meters long. It runs from the back yard fence to the road. The hedge appears to be in good overall condition.

Laurel Hedge

The neighbour to the north has an English laurel hedge on the corner of the property.



Front Yard 1172 Parker Street

Privet Hedge (*Ligustrum vulgare*)

This hedge is four meters tall and 19 meters long. It is located in front of the home along the edge of the property line next to the street.



Privet Hedge

Rhododendrum

This hedge is along the front yard property line on the 1172B Parker Street side. It is two meters in height and eight meters long.

Also on the same side, there is a hazelnut bush and a lilac bush.

On the front corner next to 1162 Parker Street at the property line, there is a European mountain ash, a holly bush and a Hawthorne tree belonging to the neighbour. All of these trees are under-sized and are not protected.

4.0 RECOMMENDATIONS

Tree #313 Acacia (*Robinia pseudoacacia*)

This tree requires a tree protection zone 2.7 meters from the base of the tree.

#001Horse Chestnut (*Aeculus hippocastanum*)

This tree has a diameter at breast height of 57.5 centimeters and will require a tree protection zone 3.6 meters from the base of the tree.

#002Acacia (*Robinia pseudoacacia*)

This tree has three stems with a total diameter at breast height of 202 centimeters (41 + 130 + 31). This tree is very large; however the majority of the canopy is on the west side of the tree

within the owner's property at 15788 Buena Vista Drive. The city requires a TPZ 12 meters from the base of the tree. This would put the TPZ within the building envelope. As this is not practical, a TPZ of meters from the base of the tree or at the drip-line whichever is greater would be beneficial to the tree.

Front Yard 1172 Parker Street

Privet Hedge(Ligustrum vulgare)

This hedge is four meters tall and 19 meters long. It is located in front of the home along the edge of the property line next to the street. If retention is desired, a protection zone is required at the face of the hedge running the length of the hedge on both sides.

Hedges on the north side of the property

If retention is desired, a protection zone should be established on the face of the hedge running the entire length of the hedge bordering the drive way. The neighbour's Laurel hedge will also require a protection zone 2 meters from the corner of the property to the north.

TOPOGRAPHIC SITE PLAN OF LOT 295 SEC. 11 TWP. 1 NWD PLAN 35303

CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

SCALE 1 : 250



LEGEND

- DENOTES STANDARD IRON POST FOUND
- PP DENOTES UTILITY POLE
- Ⓜ DENOTES WATER METER
- MH-S DENOTES SANITARY MANHOLE
- MH-D DENOTES STORM MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- × DENOTES GROUND ELEVATION
- ×_{TM} DENOTES TOP OF WALL ELEVATION
- Ⓜ DENOTES BEST ESTIMATION OF NATURAL GRADE



Lot dimensions are derived from field survey

Elevations are Geodetic (CVD28 GVRD-2005 - IN METERS)
Derived from Control Monument 88H3876 located at the SW corner of the intersection of Buena Vista Ave. and Lee St.
Elevation = 78.44m

Invert elevations and offsets of services from property lines are derived from municipal records and field survey. Contractor to verify all service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter

If this plan is used in digital form, Target Land Surveying will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 1.4m above grade and are shown in cm.

This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

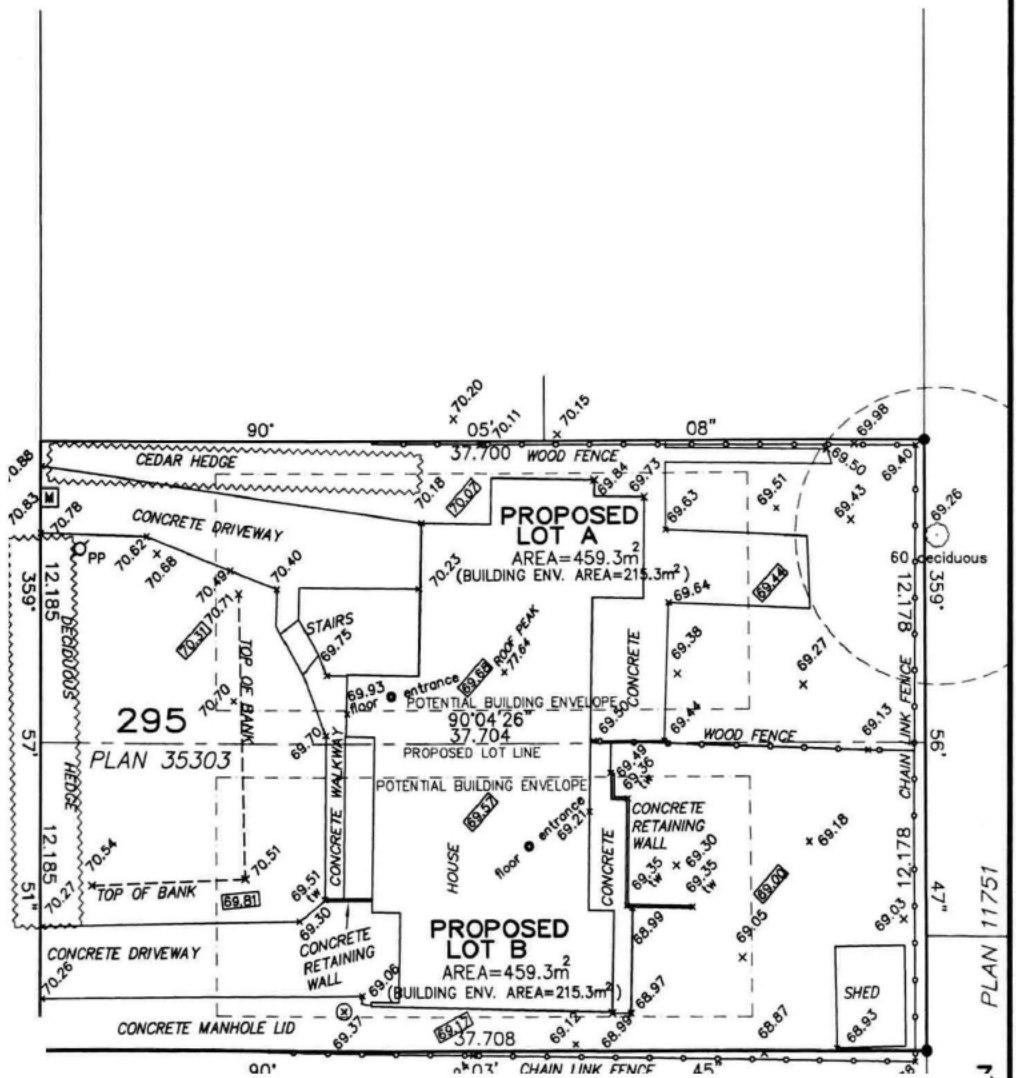
PROPOSED RS-4 ZONING
BUILDING ENVELOPE SETBACKS
FRONT YARD : 7.5m
REAR YARD : 7.5m
SIDE YARD : 1.35m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

AVERAGE NATURAL GRADE ESTIMATION	
PROPOSED LOT A	PROPOSED LOT B
70.31	69.81
70.07	69.57
69.44	69.00
69.68	69.17
AVERAGE= 69.88m	AVERAGE= 69.39m

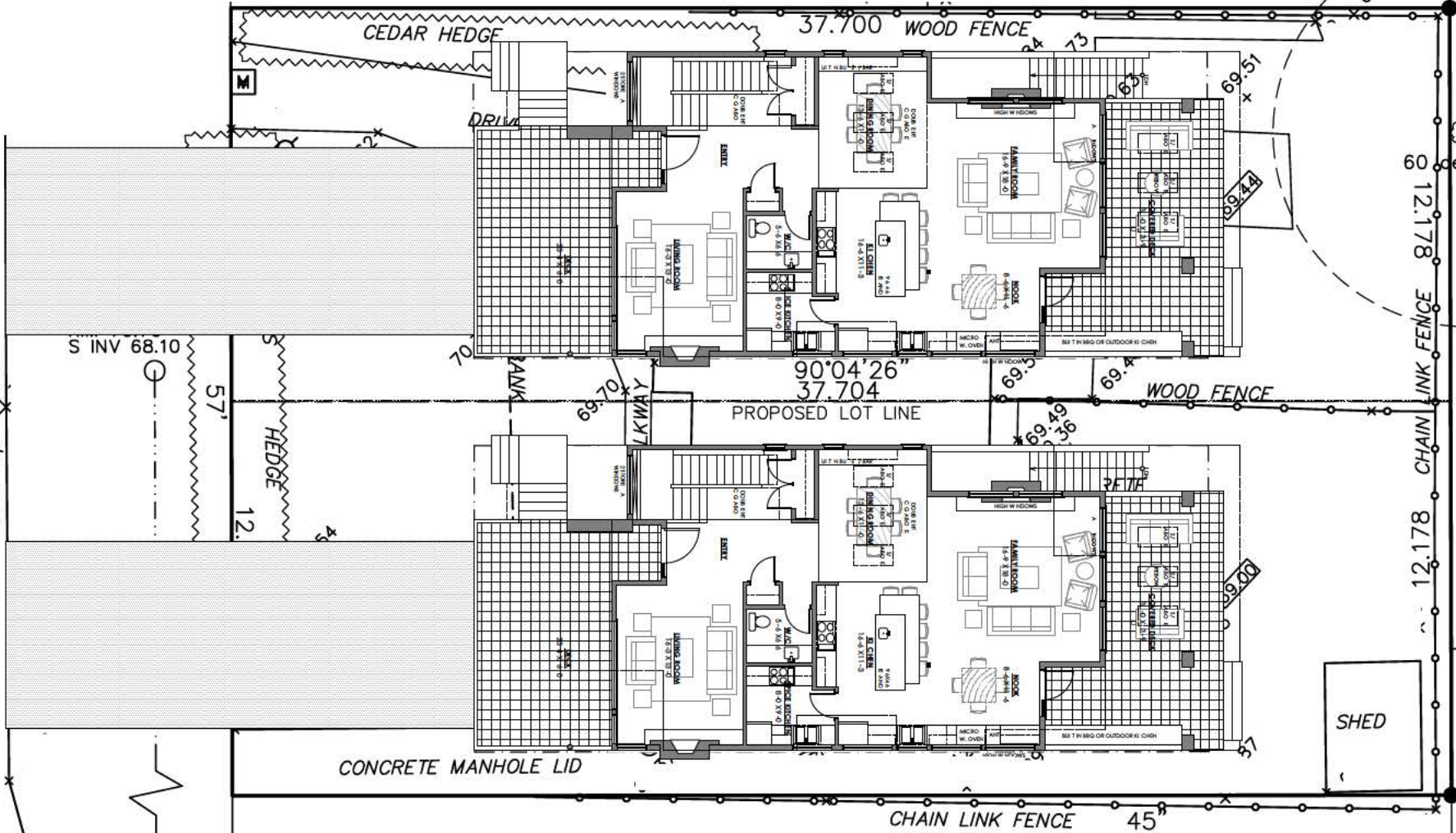
SUBJECT TO CITY OF WHITE ROCK APPROVAL

PARKER STREET



ROAD CENTRE LINE

small asphalt curb



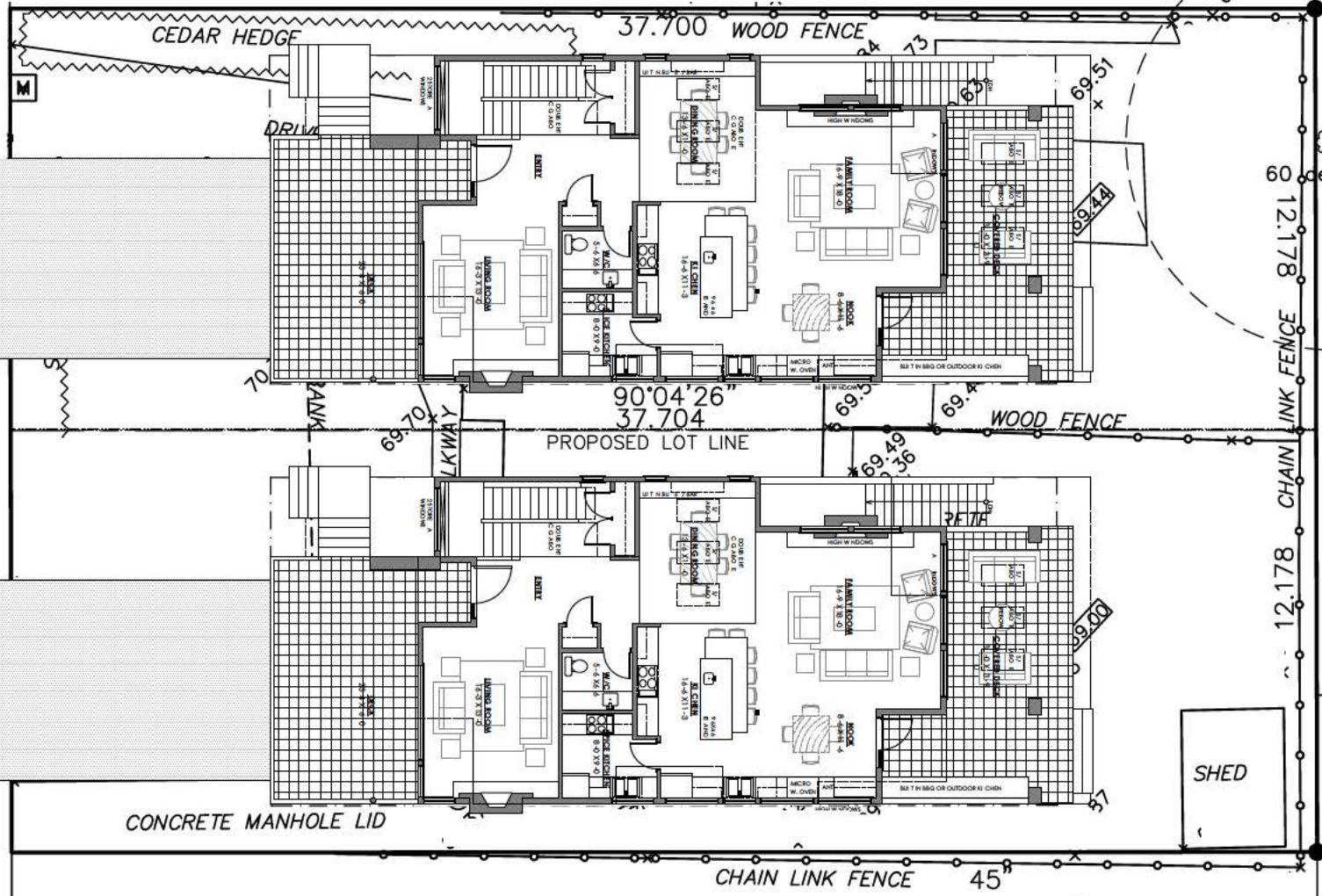
HOUSE
 MAIN FLOOR 69.79
 ROOF PEAK 73.95

7
 PLAN 12552

CERTIFIED CORRECT

ROAD CENTRE LINE

small asphalt curb



HOUSE
 MAIN FLOOR 69.79
 ROOF PEAK 73.95

7
 PLAN 12552

CERTIFIED CORRECT

deciduous
 359°
 12.178
 81.78
 56'
 47'

Common name	Botanical name	Height	Width
Trident maple	<i>Acer buergeranum</i>	8m	6m
Queen Elizabeth Maple	<i>Acer campestre "Queen Elizabeth"</i>	10m	6m
Red shine maple	<i>Acer campestre "Red Shine"</i>	9m	3m
Snake barke Maple	<i>Acer davidi</i>	9m	8m
Amur Maple	<i>Acer ginnala</i>	6m	6m
Paper Bark maple	<i>Acer griseum</i>	8m	6m
Japanese hornbeam	<i>Carpinus japonica</i>	6m	6m
Satomi dogwood	<i>Cornus kousa</i>	6m	6m
Pacific flowering dogwood	<i>Cornus nuttalli</i>	9m	7m
Stellar pink dogwood	<i>Cornus rutgan "Stellar Pink"</i>	6	5m
Cockspur hawthorn	<i>Crataegus crus-calli</i>	10m	8m
Lavalle hawthorne	<i>Crataegus x lavallei</i>	8m	6m
Peters flowering ash	<i>Fraxinus ornus "Arie Peters"</i>	8m	8m
Leprechaun ash	<i>Fraxinus pennsylvania" leprechaun"</i>	8m	6m
Galaxy Magnolia	<i>Magnolia" galaxy"</i>	7m	4m
Kobus Magnolia	<i>Magnolia Kobus</i>	9m	6m
Oyama Magnolia	<i>Magnolia sieboldii</i>	9m	6m
Persian ironwood	<i>Parrotia persica</i>	10m	6m
Chanticleer Pierre	<i>Pyrus calleryana" Chanticleer"</i>	10m	4m
Mountain ash	<i>Sorbus spp. But</i>	10m	8m
Japanese stewartia	<i>Stewartia pseudocamellia</i>	8m	6m
Japanese snowbell	<i>Styrax japonica</i>	7m	7m
Fragrant snowbell	<i>Styrax obassia</i>	7m	4m
Ivory silk tree	<i>Syringa reticulate</i>	7m	6m
Medium	<i>To large trees</i>		
Common horse chestnut	<i>Aesculus hippocastanum</i>	30m	20m
Red horsechestnut	<i>Aesculus X carnea</i>	20m	10m
Ruby red horsechestnut	<i>Aesculus X carnea" Barotti"</i>	20m	10m
Maidenhair tree	<i>Ginkgo biloba</i>	40m	18m
Sweet chestnut	<i>Castanea sativa</i>	30m	18m
Hinoki Cypress	<i>Chamaecyparis obtusa</i>	40m	18m
Nootka Cypress	<i>Chamaecyparis nootkatensis</i>	40m	18m
Drooping Nootka Cypress	<i>Chamaecyparis nootkatensis" Pendula"</i>	20m	15m
Sawara false cypress	<i>Chamaecyparis pisifera</i>	50m	30m
Dove tree	<i>Davidia involucrata</i>	20m	15m
Chinese elm	<i>Ulmus parvifolia</i>	15m	13m
Scotch elm	<i>Ulmus glabra</i>	40m	18m
Siberian elm	<i>Ulmus pumila</i>	20m	15m
Empress tree	<i>Paulownia tomentosa</i>	15m	10m
Alpine fir	<i>Abies lasiocarpa</i>	30m	8m
Noble fir	<i>Abies procera</i>	50m	8m

Appendix D

Limitations of this Assessment

It is Arborist Training Solutions policy to attach the following clause regarding limitation to ensure that developers and/or owners are clearly aware of what is technically and professionally realist in retaining trees.

The assessment of the tree(s) presented in this report has been made using accepted arboricultural techniques. These include a visual examination of the above-ground parts of each tree for structural defects, scars, and external and visible root structures, the degree and direction of lean – if any – the general condition of the tree(s), the surrounding site and the proximity of property and people. Except where specifically noted in the report, none of the trees examined were dissected, cored, probed or climbed and detailed root examinations involving evacuation were not undertaken.

Notwithstanding the recommendations and conclusions made in this report, it must be realized that trees are living organisms, and their health and vigour constantly changes over time. They are not immune to changes in site conditions or seasonal variations in the weather conditions.

While reasonable efforts have been made to ensure that the trees recommended for retention are healthy, no guarantees are offered or implied, that these tree, or any parts of them, will remain standing. It is both professionally and practically impossible to predict with absolute certainty the behaviour of any single tree of group of trees or their component parts in all circumstances. Inevitably, a standing tree will pose some risk. Most trees have the potential for failure in the event of adverse weather conditions, and this risk can only be eliminated if the tree is removed.

Although every effort has been made to ensure that this assessment is reasonably accurate, the trees should be re-assessed periodically. The assessment presented in this report is valid at the time of inspection.

Notwithstanding the recommendations in this report, Arborist Training Solutions and Peter Brinson accept no responsibility for the implementation of all or any part of this plan, unless we have specifically been requested to examine said implementation activities. Approval and implementation of this plan in no way implies any inspection or supervisory role on t part of Arborist Training Solutions or Peter Brinson. In the event that inspection or supervision of all or part of the implantation of the plan is requested, said request shall be in writing and the details agreed to in writing by both parties. Any on-site inspection or supervisory work undertaken by Arborist Training Solutions and/or Peter Brinson shall be recorded in written form and submitted to the client as a matter of record.

The report shall be considered a whole, no sections are severable, and the report shall be considered incomplete if any pages are missed. This report is the sole property of Arborist Training Solutions and Peter Brinson and the client(s) for whom it was prepared. It is not intended for public review without the written authorization of both parties.



Peter Brinson
ISA Certified Arborist #PN0286
Hazard Tree Assessor#CTRA053

From: [Peter Brinson](#)
To: [Steve Whitton](#)
Subject: RE: 1172 parker street
Date: Sunday, January 14, 2018 10:44:21 PM

Hello Steve

My apologies for dragging this out.

This note is to confirm arborist presence during indicated times as construction progresses

On site for demolition. Written report to follow.

On site to confirm TPZ fencing is constructed as per city guidelines.

On site for any intrusion in to TPZ with complete documentation IE digging basement and putting in footings.

As per comfort letters any roots encountered will be pruned to ISA standards.

On site for patio construction written report.

Notification of neighbours.

All the neighbours have been given written notice 2 have not replied.

The person at 15778 Buena Vista has sent me emails but refuses to sign the letter acknowledging notification.

1162 Parker St. is a rental I have spoken to the renters and asked them to get the owner to call but no answer.

Peter Brinson, PID

ISA Board Certified Master Arborist# PN0286BT

ISA certified Hazard tree assessor # CTRA 054

Wildlife danger tree assessor # 7194

BC. Certified Climbing Arborist # 0001

.

From: Steve Whitton [mailto:SWhitton@whiterockcity.ca]

Sent: January 9, 2018 11:04 AM

To: Peter Brinson <arboristtraining@telus.net>

Subject: RE: 1172 parker street

Thanks Peter.

Steve Whitton

Arboricultural Technician

City of White Rock

Ph: 604-541-2143

Email: swhitton@whiterockcity.ca

From: Peter Brinson [<mailto:arboristtraining@telus.net>]

Sent: Monday, January 08, 2018 11:31 PM

To: Steve Whitton

Subject: 1172 parker street

Steve here are the signed comfort letters for the above address

Peter Brinson,PID

ISA Board Certified Master Arborist# PN0286BT

ISA certified Hazard tree assessor # CTRA 054

Wildlife danger tree assessor # 7194

BC. Certified Climbing Arborist # 0001

From: [Steve Whitton](#)
To: ["Harji Bisla"](#)
Cc: ["Peter Brinson"](#); [Jason Birkland](#)
Subject: Demolition Permit
Date: Monday, January 15, 2018 11:00:00 AM
Attachments: [image001.jpg](#)

Hi Harji,

I was just finishing up the final issues to finish up the Tree Permit (TMP) for Demolition.

However in talking with Jason Birkland (P&D Assistant), he confirmed there is no Demolition or Building permit that has been applied for this property, on file. I cannot issue the TMP for demo if there is no demo permit.

Please contact Jason (cc'ed) on this email to apply for a Demolition permit.

Steve Whitton - Certified Arborist

Arboricultural Technician, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2143 | Fax: 604.541.2153 | www.whiterockcity.ca



Tree Management Permit

Type 3 Permit

TMP 17-090

Address: 1172 Parker Street

Issued To: 1076030 BC LTD

1. This Tree Management Permit is issued to 1076030 BC LTD as the owners and shall apply only to ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of White Rock, in the Province of British Columbia, and more particularly known and described as:

Legal Description: LOT 295 SECTION 11 NEW WESTMINSTER DISTRICT PLAN NWP35303 TOWNSHIP 1 PART E 1/2.

PID: 001-565-184

Civic Address: 1172 Parker Street

2. This Tree Management Permit is issued pursuant to the authority of *Sections 8(3)(c) and 50 to 52 of the Community Charter*, and in conformity with the procedure prescribed by *City of White Rock Planning Procedures Bylaw, 2009, No. 1869*, and amendments thereto.
3. The terms, conditions and guidelines as set out in the *White Rock Tree Management Bylaw No. 2017 No. 1831* and amendments thereto shall apply to the area of land and premises hereinbefore described and which are covered by this Tree Management Permit.
4. This Tree Management Permit is issued in accordance with the information provided in the Arborist Report prepared by PNW Arborist Training Solutions who has been reviewed and approved by the City Arborist. No works shall be performed upon the lands covered by this Tree Management Permit, nor shall any tree be damaged or removed, building or structure be erected, constructed, repaired, renovated or sited, or any use permitted, that is not in accordance with all terms and conditions of this Permit.
5. This permit is issued in conjunction with Demolition Permit DP ##### and applies to tree protection for the demolition stage. Any trees removed or damaged contrary to the terms of this permit will result in the forfeit of securities for those trees, in addition to any penalties the City may impose in accordance with *White Rock Tree Management Bylaw, 2017 No. 1831* and *Ticketing for Bylaw Offences Bylaw, 2011, No. 1929*.

6. Works and development on the property shall conform to the Arborist Report, attached hereto as Schedule A, as well as the Coordinated Site Development Plan attached hereto as Schedule B, when required. **Should the scope of works/development change** so that they no longer conform to Schedule A or Schedule B, this permit must be amended. Damage to or removal of trees as a result of works/development contrary to Schedules A or B will result in the forfeit of securities for those trees, in addition to any penalties the City may impose in accordance with *White Rock Tree Management Bylaw, 2008 No. 1831* and *Ticketing for Bylaw Offences Bylaw, 2011, No. 1929*.

7. **All trees are to be protected through the demolition phase.**

8. The City requires securities for tree protection and replacement in the amount of \$ 23,000 to be submitted prior to the issuance of the Demolition Permit, as indicated in Schedule C. Tree removals during demolition, unless previously authorized by the City, are a violation of this tree management permit and will result in the confiscation of the tree protection or replacement security.

9. The applicant shall provide tree replacement in substantial compliance with the tree replacement requirements outlined in Schedule C, to the acceptance of the Director of Planning and Development Services.

10. Tree protection barriers must remain in place throughout the demolition and building stages, and may only be moved if approved by and under the supervision of the project arborist. Disturbance within tree protection zones is prohibited including, but not limited to, regrading, deposition or storage of soil or any other material, access by any vehicle or heavy equipment, or use of tree trunks as a winch support, anchorage, or temporary power.

11. **The owner shall erect a notice at the property line**, in a location visible to the public and facing the street, prior to the cutting or removal of any protected trees and shall remain posted until all work related to the removal of protected trees has been completed. The notice shall include a copy of this tree management permit, a list of the trees on site to be either retained or removed, as well as contact numbers for the owner and the City. Trees to be removed shall be painted with a large, red 'X'.

12. **Securities deposited for tree protection**, in accordance with Schedule C, will be held by the City pending a one (1) year warranty period after final building permit approval and receipt of reports from a qualified arborist outlining the health and protection measures of the trees during construction and the health of the trees at the end of the warranty period in accordance with the *White Rock Tree Management Bylaw No. 2017 No. 1831* and this Permit.

13. **Securities deposited for tree replacement**, in accordance with Schedule C, will be held by the City pending a one (1) year warranty period after final building permit approval and receipt of reports from a qualified arborist outlining the health and protection measures of the trees during construction and the health of the trees at the end of the warranty period in accordance with the *White Rock Tree Management Bylaw No. 2017 No. 1831* and this Permit.

14. In the interpretation of the Tree Management Permit all definitions of words and phrases contained in the *White Rock Tree Management Bylaw No. 2017 No. 1831*, as amended, shall apply to this Tree Management Permit and to the attachments thereto.
15. The City may revoke this tree management permit if the terms and conditions have been breached or the information supplied by the owner in support of the permit is found by the City to be inaccurate, incomplete, or erroneous.
16. If at any time the owner fails to comply with the tree retention or replacement requirements of this permit, the City may by its employees or others under its direction, enter upon these lands, at all reasonable times and after notification to the owner, to plant replacement trees or maintain protected trees and for such purposes may draw upon the securities provided and expend the funds to cover all costs and expenses of doing so.
17. Where the holder of this Permit does not substantially commence the works as outlined in this Tree Management Permit within two years after the date this Permit was authorized the Director of Planning and Development Services, the Permit shall lapse.
18. This permit does not constitute a development permit, a subdivision approval, or a building permit. Nothing herein contained shall be construed to authorize the owner of the said lands to develop the same other than in accordance with the provisions of this Permit.

APPROVED ON THIS 15th DAY OF JANUARY , 2018.

Steve Whitton, Arboricultural Technician,
City of White Rock

Scott Watson, L. Arch. MBCSLA, ISA (Certified Arborist)
Manager, Parks, City of White Rock

1298933 B.C. Ltd.

7650 151A Street
Surrey, BC V3S 5P1
Tel: (604) 505-5417

July 20, 2021

City of White Rock
15322 Buena Vista
White Rock, BC
V4B 1Y6

Re: 1172 Parker Street, White Rock, BC

To: PDS Department Permit Clerk

Please find attached:

- 1) A cheque for \$1,000 for application fee for Tree Management Permit.
- 2) Title Search

A Legal Survey has been requested and will be forwarded to you as soon as it is available. If you have any questions, or require further information, please feel free to contact me at anytime.

Kind regards,



Arun Gupta
Director

To be filled out COMPLETELY by applicant.

Date: July 26, 2021

File# (office use):

I/We hereby make application for a Tree Management Permit to permit the removal, preservation, protection and replacement of protected trees as described below on the following parcel:

Civic Address(s): 1172 Parker Street, White Rock, BC

Registered Owner of the property (ies):

Name (please print)* 1298933 B.C. Ltd. (Arun Gupta)		E-mail Redacted S. 22	
Address 7650 151A Street	City Surrey	Postal Code V3S 5P1	
Phone 604-505-5417	Cell 604-505-5417	Fax	

*If the owner is a a) company or b) a strata, please provide a) Notice of Articles of Director Register or b) approved Council minutes supporting the application.

Applicant: *To be completed ONLY if applicant is not the owner*

Name (please print)*		E-mail	
Address	City	Postal Code	
Phone	Cell	Fax	

* Agent authorization form must be completed and signed by the owner and applicant.

Reason for application (please choose ONE only):

- | | |
|--|---|
| <input type="checkbox"/> DEMO ONLY (Type 3 Permit – \$1,000)
<input checked="" type="checkbox"/> DEMO + SUBDIVISION/BUILDING/ DEVELOPMENT (Type 3 Permit – \$1,000) <ul style="list-style-type: none"> ▪ Title search ▪ Legal survey with trees and existing building ▪ Arborist report with tree protection plan including trees located per survey, showing proposed works and annotations ▪ Letter of understanding signed by neighbour(s) (if required) | <input type="checkbox"/> FOR DEVELOPMENT OR CONSTRUCTION –
No trees on site and no trees/shrubs on adjacent City land. No trees within 4 metres on neighbour's property. Legal survey showing no trees. (No fee) |
|--|---|

Note: All trees are protected during demolition. If a conflict exists, the applicant may provide a rationale for removal with demolition for consideration by the City.

- | | |
|---|--|
| <input type="checkbox"/> DEAD OR HIGH RISK TREE (Type 1 Permit – No fee) <ul style="list-style-type: none"> ▪ Title search ▪ Provide colour photos and reason for removal(s) OR Arborist report ▪ Include type of tree species and size in diameter at breast height (DBH) at 1.4m from the ground ▪ Letter of understanding signed by neighbour(s) (if required) | <input type="checkbox"/> UNWANTED TREE (Type 2 Permit – \$500) <ul style="list-style-type: none"> ▪ Title search ▪ Legal survey (if required) ▪ Justification for removal OR Arborist report ▪ Provide colour photos ▪ Include type of tree and size of DBH at 1.4m ▪ Letter of understanding signed by neighbour(s) (if required) or Neighbour survey |
|---|--|

Note: Geotechnical report may be required for steeply sloped lots.

Consent:

Applicant:

In consideration of the issuance of a Tree Management Permit as a result of this application, the applicant agrees to indemnify and save harmless the City, its elected and appointed officials, officers, employees, servants and agents from and against all claims, losses damages, costs, expenses, including investigatory and legal expenses and other actions caused by or attributable to any willful or negligent act, omission, delay, or allegations thereof on the part of the applicant or owner and their employees, sub-contractors or agents related in any way to the Tree Management Permit. The applicant also agrees that this provision shall survive the termination of the Tree Management Permit. As the applicant, I am aware of, understand and intend to comply with all the regulations and requirements of the "White Rock Tree Management Bylaw, 2008, No. 1831" and certify that all information provided with this application is correct and true. I further understand that a non-refundable application fee is payable at time of application.

July 26, 2021

Arun Gupta



(Date)

(Name: Please Print)

(Applicant Signature)

Registered Owner(s) of property (ies): To be completed ONLY if applicant is not the owner

As the registered owner(s) of the subject site(s), I/we certify that the information in this application is correct and true and acknowledge that although I/we are not the applicant, I/we are also responsible for compliance with all provisions of the "White Rock Tree Management Bylaw, 2008, No. 1831".

(Date)

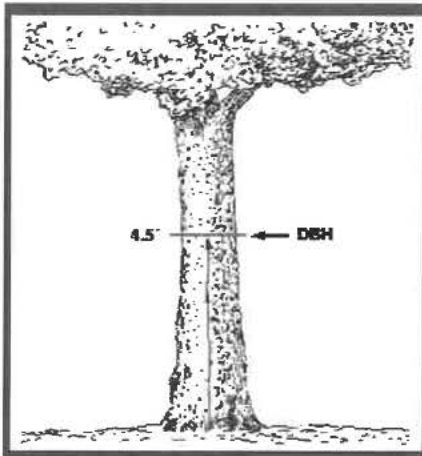
(Name: Please Print)

(Registered Owner Signature)

(Date)

(Name: Please Print)

(Registered Owner Signature)



How to Measure your tree(s):

1. Measure diameter at 1.4 m (4'5") above grade*
2. With a multi-stem tree, measure diameter of the three largest stems then add them together.

*If you do not have a diameter tape, you can determine the diameter of a tree by measuring the circumference of a tree trunk, at 1.4m above ground level, with a regular measuring tape (like measuring your waist size).

The circumference can then be divided by 3.1416 to obtain the diameter.

TREE PRESERVATION AND REPLACEMENT PLANTING

Maintenance of Retained Protected Trees:

All protected trees to be retained will have a designated tree protection zone and must be protected with tree protection barrier fencing during site development and building / demolition, as recommended by the project Arborist and in accordance with Schedule A of the “White Rock Tree Management Bylaw, 2008, No. 1831”. Additionally, the City will require the posting of securities for the maintenance of preserved protected trees in accordance with the “White Rock Tree Management Bylaw, 2008, No. 1831” as follows:

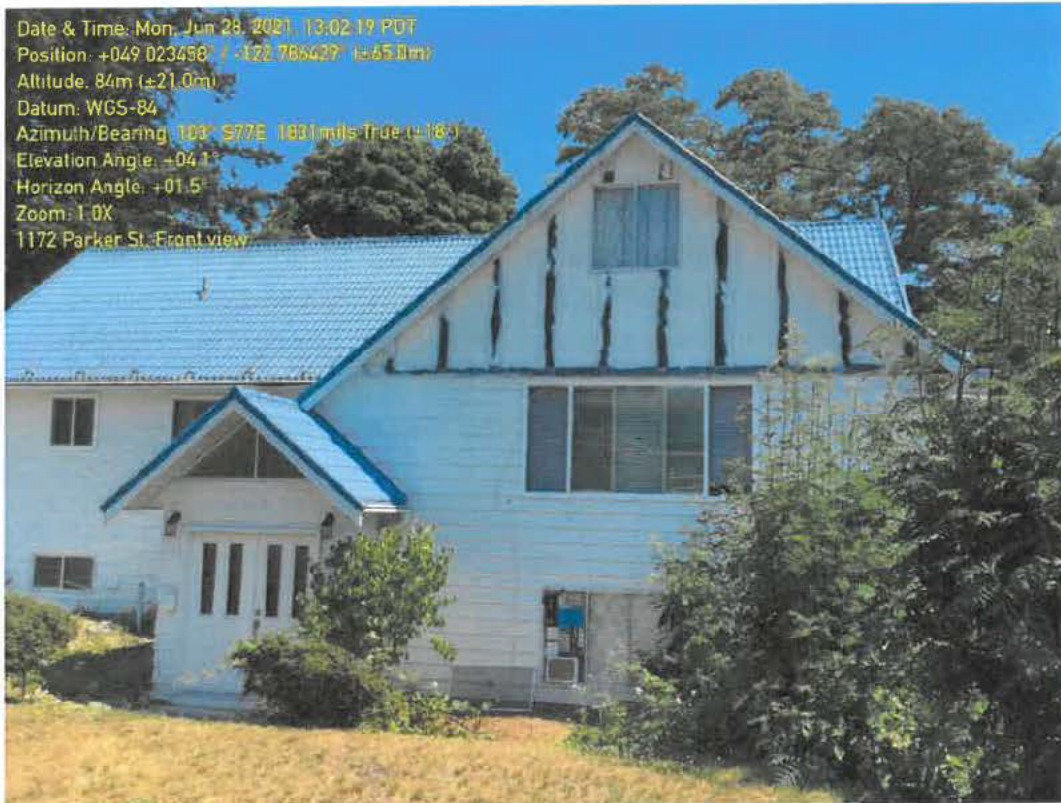
Size of Tree Retained	Securities
Dbh ≤ 50cm	\$2,500.00 per retained tree
Dbh of 51-65cm	\$4,500.00 per retained tree
Dbh > 65cm	\$10,000 per retained tree

Replacement Tree Requirements:

Except for dead or hazardous trees, the City will require the provision of replacement trees. The posting of securities will be required prior to the issue of any permits, and prior to any tree cutting or removal. If replacement trees are not planted within one year of the issuance of a Type 2 tree management permit, or within three years of the issuance of a Type 3 tree management permit, the applicant will forfeit the tree protection securities to the City to be used to plant and maintain trees on City-owned properties. Deciduous replacement trees must have a minimum caliper of 6cm, and coniferous replacement trees must be at least 3 metres in height. Hedges will not be considered as replacement trees. The number of replacement trees, as well as required securities or proposed cash-in-lieu will be calculated in accordance with the “White Rock Tree Management Bylaw, 2008, No. 1831” as follows:

Size of Tree Removed	Replacement Ratio	Securities / Cash-in-lieu (\$1,500 per replacement tree)
≤ 50cm dbh	2:1	\$3,000
51-65cm dbh	3:1	\$4,500
66-75cm dbh	4:1	\$6,000
76-85cm dbh	5:1	\$7,500
>85cm dbh	6:1	\$9,000

**Arborist Report Review
performed for; Mr. Arun Gupta
C/O 1172 Parker Street,
White Rock, V4B 4R9**



Prepared by: *Outlook Arborist Services*

John Monk

ISA Arborist PN0401

Qualified Tree Risk Assessor

ITA Practical Horticulturalist

ITA Red Seal Utility Arborist

jmonktrees@gmail.com

604-816-2592

June 28th, 2021

Introduction;

Mr. Gupta has purchased this property in White Rock to subdivide the large lot into two separate lots from west to east.

The surrounding neighborhood are all older homes with established landscapes primarily built in roughly the 1950's and 1960's judging by the style of homes.

Mr. Gupta requires an Arborist Report for this subdivision to provide information on the tree protection of primarily, trees off this property.

No trees on this property meet White Rock's requirements for protection. This report is to meet one of the requirements of the White Rock Coordinated Site development plan for subdividing an existing lot. Given the information supplied lot survey drawing and a site visit, the report has this information. New home construction was not provided at this time.

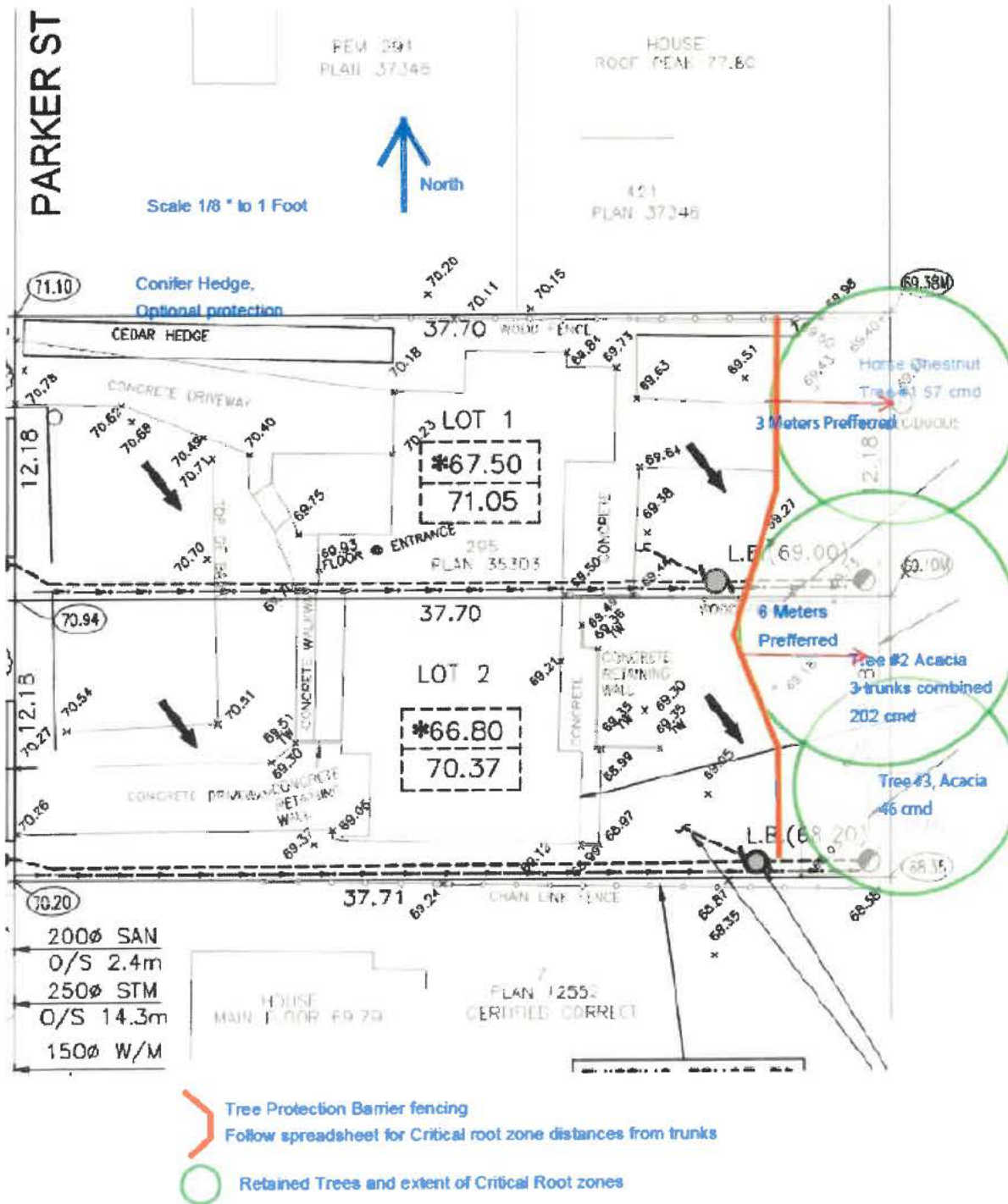
The following are my on-site observations and recommendations including replacement tree suggestions.

Observations;

An inventory of trees beside the Gupta property that require protection before any work proceeds. Protection by barrier fencing is mandatory.

Outlook Arborist Services							
1172 Parker Street, White Rock							
Arborist John Monk							
Tree from north to South	Species & Location	DBH (cm)	Structure, poor, fair	Observations, defects, risks, etc	Retain	Remove	Tree Protection Radius M, Barrier fencing
#01	Horse Chestnut, Aesculus hippocastenum in rear of 15778 Beuna Vista Avenue	58 cmd	Fair	.5 meters east of rear fence	Yes		minimum 3.5 meters or outside dripline of limbs
#02	Acacia, Robinia pseudoacacia in rear of Beuna Vista Avenue	202 cmd	Fair	Three trunks combined 41cm, 130cm, & 31 cmd total 202 cm diameter	Yes		Minimum 6 meters or outside dripline of limbs
#03	Acacia, Robinia pseudoacacia in rear and north side of 1162 Parker Street.	46 cmd	Fair	Three trunks combined 20cm, 18cm, & 8cm total 46 cm diameter	Yes		Minimum 3 meters from trunk

Map survey of the Gupta property on Parker Street. The three trees are shown on the properties to the east and south sides. Extent of limbs and roots into 1172 Parker require protection to minimize impact to these off-site trees.



Tree #1. The Horse Chestnut is 58 cmd one meter east of the property line. Tree protection barrier needs to be 3.2 meters from the fence or outside the limb dripline.

Much of the fenceline is hidden by invasive Bamboo.



The invasive species Bamboo extends well into 1172 Parker Street property and is not protected. This is difficult to remove but may be cut to the ground to provide some control. Digging or the unauthorized use of herbicides is not permitted that could affect the health of the adjacent trees.

Checking into the use and permit of herbicides acceptable for control in White Rock is recommended by a qualified licenced applicator.

Tree #2. Because of the three trunks on the large Acacia, the combined trunk formula of 202 cm diameter for critical root zone distance is impractical. However, this tree will be adequately protected with the recommended barrier protection at 6 meters inside 1172 Parker property. This is essentially dripline, given the trunk is .5 meters east of the property line and a very hardy tree.



Tree #2 Large Acacia directly east of 1172 Parker in the rear of 15778 Beuna Vista Avenue.

Tree #3.

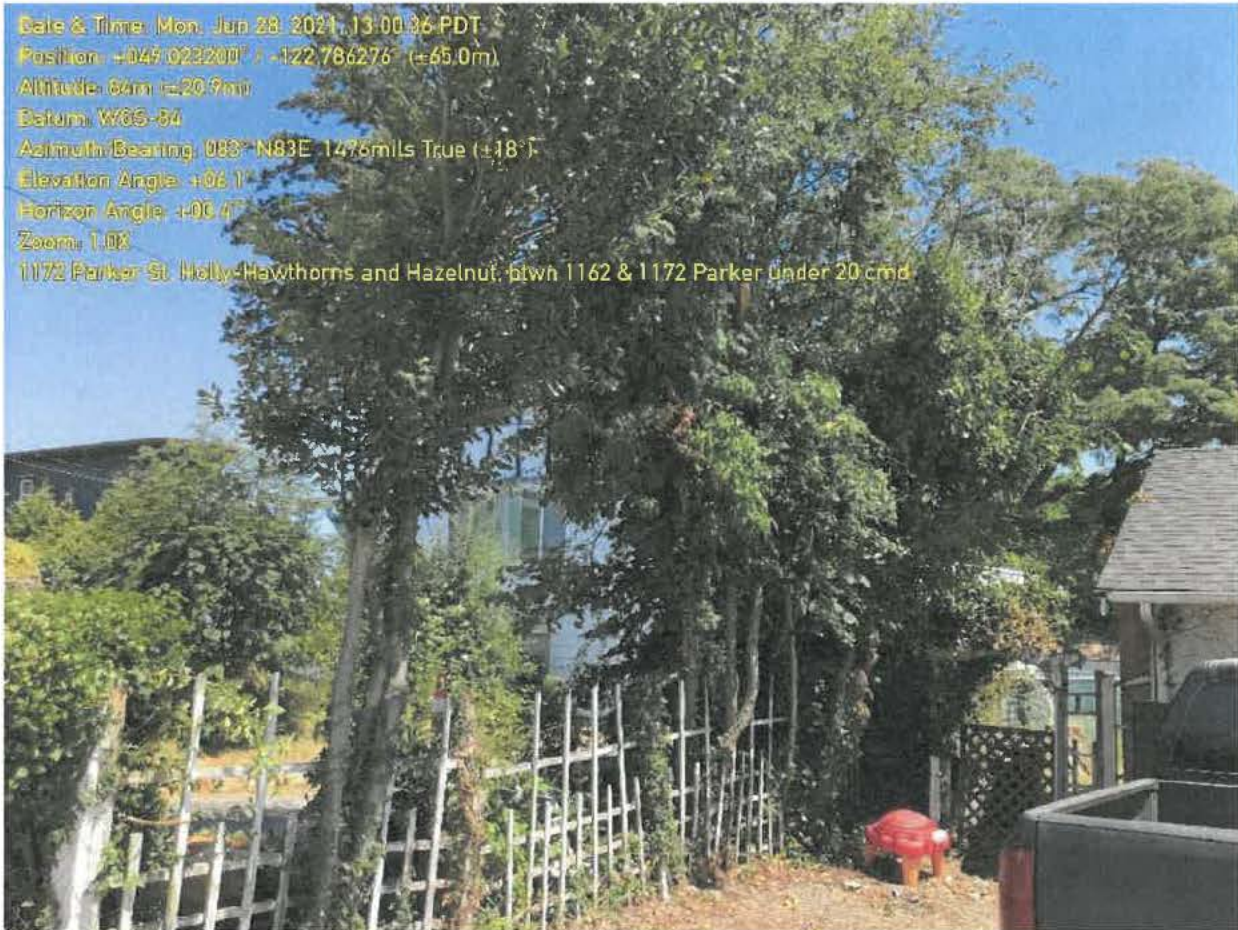
The third Acacia south is 46 cm diameter and .5 meters inside the fence on 15778 Beuna Vista Ave. Therefore, a tree protection barrier of 3 meters inside the fence on 1172 Parker or extended outside the dripline will be required.

Front Yard Trees.

The small trees in the front and along the south boundary are a Holly, Hawthorn and Hazelnut. Badly pruned, these are all under protected size and better

Outlook Arborist Services

removed and a suitable replacement tree provided for each new property in the front yards. Determine the exact ownership of these trees before removing. The owners of 1162 Parker may be shared owners if trees are on the property line. Approval from them is required if this is determined with a survey.



Frontage on the south p-line Holly, Hawthorn and Hazelnut.

The front hedge Privet is very old and has declined in various sections and will be in the way for service disconnects and new services. This should be entirely removed.

The Cedar hedge on the north side front yard is in fair condition and suitable for retention. This hedge has been sheared for many years and provides a good natural break between properties.

This hedge appears to be off City boulevard property and therefore removal or retention is the owners discretion unless this is found to be on the property line

and are “shared” trees with the north side property owners. Permission will be required from them for removal.

Tree Barrier protection and construction;

Tree barrier fencing must be constructed to last the duration of first, house demolition and secondly, new home excavations and construction.

At this time, new home construction plans have not been provided to me to comment.

The following is from the city of White Rock Schedule “A” for barrier fence construction for tree and root protection. Fence construction is placed at a minimum of six times the trunk diameter. Ideally, more helps and is recommended 1 meter outside the dripline extent of limbs. Demolition of this old home will not require invasive root disturbance and the greater distance from trees is recommended where possible.

Fencing prevents soil stockpiling, excavator access soil compaction and material stockpiling for construction.

Damaged fencing must be immediately re-constructed to be strong and to prevent any access around trees.

White Rock’s Coordinated Site Development requires an Arborist on site during any work that could impact trees. Fencing built outside the dripline and approved can be adequate to not require an Arborist on site to document and report work.

Utilities;

Existing House services such as electrical, water, sanitary sewer, storm and natural gas will be disconnected typically by cit and utility suppliers at the property line.

For a new two lot subdivision, a new sanitary, storm, water and natural gas will be installed to the property line.

Fronting Parker Street here are no trees that could be impacted by service installation and trenches required.

Overhead electrical and communication services may require a power pole to keep new service conductors above the road at an approved level. BC Hydro will provide advise on this requirement and where on private property this must be placed if deemed necessary.

SCHEDULE "A"

Specifications for Tree Protection Barriers

TRUNK DIAMETER (CM)	MINIMUM PROTECTION DISTANCE (IN FEET INCHES)
X	6X
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3.0
55	3.3
60	3.6
75	4.5
90	5.0
100	6.0

minimum 1200 height above grade

max. spacing 2m apart, use additional posts, as required to protect trees

NOTES

- Install tree protection barrier before construction begins and keep in place until landscape installation is complete.
- Storage of building materials & litter within or against protection barrier is prohibited. Developer/Owner responsible for maintenance within Tree Protection Barrier.
- Damaged trees will be replaced at Developer/Owner's cost.
- Maintain existing grades at protection barrier for all protected retained and existing trees.
- Regrading outside of protection barrier should not adversely compromise protected retained and existing trees.

Replacement Trees;

This large property is planned to be subdivided into two new properties. Completely void of any trees in the front, these lots and new homes will be ideal frontages for one new tree each.

Although this is not a mandatory requirement, good landscaping is required and a medium size quality tree will enhance the new homes and benefit the neighborhood.

Various trees that do not become too large and low care will be ideal.

Conifer species such as Weeping Yellow Cupressus or Upright Arizona Cypress are ideal size trees, both colorful and attractive year round.

Numerous deciduous species are also very suitable choosing medium size trees that require only structural pruning when young and have attractive foliage and possibly blooms.

Until utilities, sidewalks and new construction drawings are available for each lot, locations cannot be precise. However, adequate room will be available for one tree fronting each property.

Sincerely,



John Monk
ISA Arborist PN0401
Tree Risk Assessor # 10685
ITA Practical Horticulturalist
ITA Utility Arborist

COORDINATED SITE DEVELOPMENT PLAN (CSDP) REQUIREMENTS

A CSDP is a coordinated plan for a given project that addresses tree protection, removal, replacement, and maintenance, and is a key component of a Tree Management Permit. The *White Rock Tree Management Bylaw, 2008, No. 1831* outlines the information that must be included in a CSDP. Please explain how the following information has been included/addressed in the CSDP as submitted:

Site works within the critical root zones of protected trees

Single Lot subdivision into two lots. Trees are all off-site in the property to the west.

Critical root zones are all within an across the property of 1172 Parker Street.

Methods for tree protection

Protective barrier fencing at six times the trunk diameter or preferred, to the limb driplines.

Fence 1 meter outside the limb driplines if possible for old house Demo.

Post-construction tree maintenance

Provide irrigation to the drip lines of critical root zones during demolition and new home excavations.

Provide irrigation during dryer periods of the year.

Recommendations for tree replacement and securities

New trees included in the report. No trees to be removed, however, one fronting each new home should be included.

Results of the tree survey and the tree assessment report

No trees on 1172 Parker Street. Large protected trees east of property to protect.

Tree Protection Plan

Protective Barrier fencing discussed in the Arborist Report

- Information from civil engineering and geotechnical reports**

- Landscape Plan and architectural conceptual designs**

- Location, size, species, health, and general characteristics of protected trees**

Off-Site trees are in fair condition at this time.

- Site grading before and after development**

- Approximate finished floor elevations, conceptual building footprints and projections/overhangs**

- Alignment, depth, method of installation of site services (sewer, water, storm, electrical, hydro/telephone/cable)**

- Location of any service kiosks, sumps, poles and utility rooms, driveways, sidewalks and retaining systems, as well as any temporary and permanent on-site storm water drainage, detention, and siltation control systems**

- Statement that every effort has been made to preserve all protected trees , and that all tree removals are the result of geotechnical/civil/building restrictions, zoning provisions/restrictions, or other City or utility company requirements**

- Statement/confirmation that all approved pruning, root cutting, tree removal, and excavation with the critical root zones will be conducted under the supervision of the project arborist**

- Statement that the project arborist shall monitor construction activities in the vicinity of protected trees during critical phases of development, and inspect the site and tree barriers on a regular basis, and that the arborist will provide a progress report to the City once a month**

- Statement that the CSDP is an accurate and complete representation of existing, site development and construction phase, and post development project and site conditions as they relate to tree preservation, protection, replacement, and maintenance**

- Signatures from the owner/agent, architect, landscape architect, arborist, builder, and anyone else completing any work outlined in the CSDP**

From: [Arun Gupta](#)
To: [Alanna Claffey](#)
Cc: [Greg Newman](#)
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension
Date: Thursday, August 5, 2021 12:46:47 PM
Attachments: [image001.jpg](#)
[7415-SITE-2021.pdf](#)
[1172 Parker Arborist Report.pdf](#)
[Map with Trees Aug 2021.pdf](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Alanna,

I now have the legal survey, please see attached. A few trees were identified on the neighboring property, therefore I also had the Arborist report updated to reflect those (also attached).

Kind regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Arun Gupta
Sent: Tuesday, July 20, 2021 9:36 PM
To: Alanna Claffey <AClaffey@whiterockcity.ca>
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hi Alanna,

Thanks for your email. I have requested a legal survey to be done, and I will forward that to you as soon as it is prepared. The cheque and legal title will be dropped off Wednesday morning (July 21st).

I would like to replace the security deposit on file as it was paid by the previous owners. Please let me know the amount to pay as security for the Tree Management Permit, so the former can be refunded to them.

Kind regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Alanna Claffey <AClaffey@whiterockcity.ca>
Sent: Friday, July 16, 2021 3:17 PM
To: Arun Gupta **Redacted S. 22**
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hello Mr. Gupta,

Please drop off the following items in a sealed envelope to City Hall in our secure lock box fronting the building to complete your application. You may address the envelope to PDS Department Permit Clerk.

1. Application fee \$1000.00
2. Legal Title
3. Legal survey within 6 months

Thank you,

Alanna Claffey, C of Q 200142782, ISA 1669A, TRAQ
Arboricultural Technician, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2143 | Fax: 604.541.2153 | www.whiterockcity.ca



BIRD NESTING SEASON begins March 15th. Tree Removal Permits may be subject to the Migratory Birds Convention Act and BC Wildlife Act.

From: Arun Gupta **Redacted S. 22**
Sent: Thursday, July 15, 2021 12:02 PM
To: Alanna Claffey <AClaffey@whiterockcity.ca>
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

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Hi Alanna,

Further to your email, the Arborist has now completed a full report. Hopefully this acceptable for

your requirements. Happy to discuss if you need more information.

Please let me know the new security requirements after your review.

Kind regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Arun Gupta **Redacted S. 22**
Sent: Monday, July 12, 2021 1:33 PM
To: Alanna Claffey <AClaffey@whiterockcity.ca>
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: Re: 1172 Parker Street - Transfer of File & PLA Extension

Hi Alanna,

My apologies for the inconvenience, I will forward your comments to the arborist to reissue a new report.

Kind regards,
Arun

From: Alanna Claffey <AClaffey@whiterockcity.ca>
Sent: Monday, July 12, 2021 1:31:10 PM
To: Arun Gupta **Redacted S. 22**
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hello Mr. Gupta,

Unfortunately, this arborist report is not acceptable. It offers no information or update on the scope of work, size of trees and cannot be used in any application at the City.

Alanna Claffey, C of Q 200142782, ISA 1669A, TRAQ
Arboricultural Technician, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2143 | Fax: 604.541.2153 | www.whiterockcity.ca



BIRD NESTING SEASON begins March 15th. Tree Removal Permits may be subject to the Migratory Birds Convention Act and BC Wildlife Act.

From: Arun Gupta **Redacted S. 22**
Sent: Tuesday, July 06, 2021 3:16 PM
To: Alanna Claffey <AClaffey@whiterockcity.ca>
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

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Hi Alanna,

Further to Greg's email below, I am attaching an updated Arborist report for 1172 Parker Street. I am also attaching the old report from 2016 as reference.

Please let me know if you have any comments on the new report, and if you could let me know the new security requirements.

Kind regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Greg Newman <GNewman@whiterockcity.ca>
Sent: Wednesday, June 2, 2021 8:59 AM
To: Arun Gupta **Redacted S. 22**
Cc: Alanna Claffey <AClaffey@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hi Arun,

Please find attached the extended Preliminary Layout Approval (PLA) letter for the subdivision of 1172 Parker Street.

Per the correspondence below, I wanted to clarify that the securities tied to the Tree Management Permit will need to be replaced as the current securities were posted by the previous owner. As noted in the PLA letter, you will need to complete an updated Arborist Report given the length of time that has elapsed since the last report was completed (July 31, 2016). I would suggest having the Arborist Report prepared and then connecting with my colleague Alanna Claffey (Arboricultural Technician)(copied) to confirm the security requirements.

If you have any questions let me know. Note that you have one year from the date of the PLA letter to satisfy the conditions noted therein.

Regards,

Greg

Greg Newman, MCIP, RPP

Manager of Planning, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2142 | www.whiterockcity.ca

Email signature logo



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From: Arun Gupta **Redacted S. 22**

Sent: May 14, 2021 2:49 PM

To: Greg Newman <GNewman@whiterockcity.ca>

Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Greg,

I hope you are doing well. Regarding the securities and funds deposited by the previous owners, mainly:

Deposit for WSA	61,866.50	
Security deposit for WSA	68,700.15	
Admin Fees	2,748.00	
Payment of DCCs	21,925.76	
Tree Management Permit	23,000.00	
Demolition Permit	14,153.00	
Total	192,393.41	

Ideally, if possible, can these funds be transferred over, rather than having to replace and refund these amounts? If not possible, then, please let me know the process to replace these, and in the cases where there are fee increases, how much the new amounts are?

Kindest regards,

Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Greg Newman <GNewman@whiterockcity.ca>
Sent: Monday, May 3, 2021 11:35 AM
To: Arun Gupta **Redacted S. 22**
Cc: Harji Bisla **Redacted S. 22** Seema Shridhar <info@seemayourfamilyrealtor.com>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hi Arun,

Further to our chat last week, please see response below.

Regards,

Greg

Greg Newman, MCIP, RPP
Manager of Planning, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2142 | www.whiterockcity.ca

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From: Arun Gupta **Redacted S. 22**
Sent: April 23, 2021 1:50 PM
To: Greg Newman <GNewman@whiterockcity.ca>
Cc: Harji Bisla **Redacted S. 22** Seema Shridhar <info@seemayourfamilyrealtor.com>
Subject: FW: 1172 Parker Street - Transfer of File & PLA Extension

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Greg,

I hope you are doing well. Further to our introductory call a few weeks ago, I will be the new owner of 1172 Parker St. as of Wednesday April 28th. With respect to your email below:

- Please find attached a letter of authorization from the current owner.
- The title search can be provided by Thursday morning, as the property is closing on Wednesday April 28. – **please send when available**
- Please let me know how to pay the Assignment of Application fee? – **the assignment of application fee is \$500 and can be paid by cheque made payable to the City of White Rock. You can drop off the cheque in the mailbox in front of City Hall. Note the Preliminary Layout Approval (PLA) on the subdivision lapses on May 20, 2021. If you wanted to apply for an extension (\$510), you may want to provide a cheque for that as well – please provide a simple cover letter outlining your intention to finalize the subdivision in an expeditious manner. The subdivision at 1172 Parker Street has been extended a number of times and we would like to see the work completed.**
- I will complete the Application form from the link you provided.
- Please let me know the process to replace all the securities on account? I would like to make payment by Monday if possible. – **please confirm which securities you are proposing to replace and we can process that upon receive of the replacement monies.**

Many thanks for your ongoing support and cooperation.

Kindest regards,
Arun Gupta
1298933 B.C. Ltd.

----- Forwarded message -----

From: **Greg Newman** <GNewman@whiterockcity.ca>

Date: Mon, Mar 1, 2021 at 2:42 PM

Subject: 1172 Parker Street - Transfer of File & PLA Extension

To: info@seemayourfamilyrealtor.com <info@seemayourfamilyrealtor.com>

Hi Seema,

Generally speaking, the process for transferring an application runs according to section 15 of our [Planning Procedures Bylaw](#), involving the following documents being submitted to the City:

- A letter from the current Owner and Applicant authorizing the change in applicant and ownership and give permission for the new owner/applicant to make use of any supporting reports, architectural and landscape drawings, documents, and paid application fees that have been submitted to the City.
- Updated Title Search for the new ownership.
- \$500 “Assignment of Application” Fee.

- A new [Application Form](#) (see link).
- New [Agent Authorization Forms](#) signed by the owner for any agent.

If there are other deposits or bonds associated with the application that have already been submitted to the City (e.g. for Servicing Agreement or Tree protection/replacement, etc.) these will need to be replaced by new securities from the new property owner, at which time would could release the existing securities.

Once the file has been transferred the new owner could apply to extend the timeframe of the Preliminary Layout Approval (PLA) by identifying such within the above-noted Application Form. The fee to extend the PLA is \$510.

Regards,

Greg

Greg Newman, MCIP, RPP

Manager of Planning, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2142 | www.whiterockcity.ca

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TOPOGRAPHIC SITE PLAN OF LOT 295 SEC. 11 TP. 1 NWD PLAN 35303

CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

SCALE 1 : 250



LEGEND

- DENOTES STANDARD IRON POST FOUND
- ^{PP} DENOTES UTILITY POLE
- Ⓜ DENOTES WATER METER
- ^{MH-S} DENOTES SANITARY MANHOLE
- ^{MH-D} DENOTES STORM MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- × DENOTES GROUND ELEVATION
- ×^{T.W.} DENOTES TOP OF WALL ELEVATION
- ▭^{70.18} DENOTES BEST ESTIMATION OF NATURAL GRADE



Lot dimensions are derived from field survey

Elevations are Geodetic (CVD28 GVRD-2005 - IN METERS)
Derived from Control Monument 88H3876 located at the SW corner of the intersection of Buena Vista Ave. and Lee St.
Elevation = 78.44m

Invert elevations and offsets of services from property lines are derived from municipal records and field survey.
Contractor to verify all service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter

If this plan is used in digital form, Target Land Surveying will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 1.4m above grade and are shown in cm.

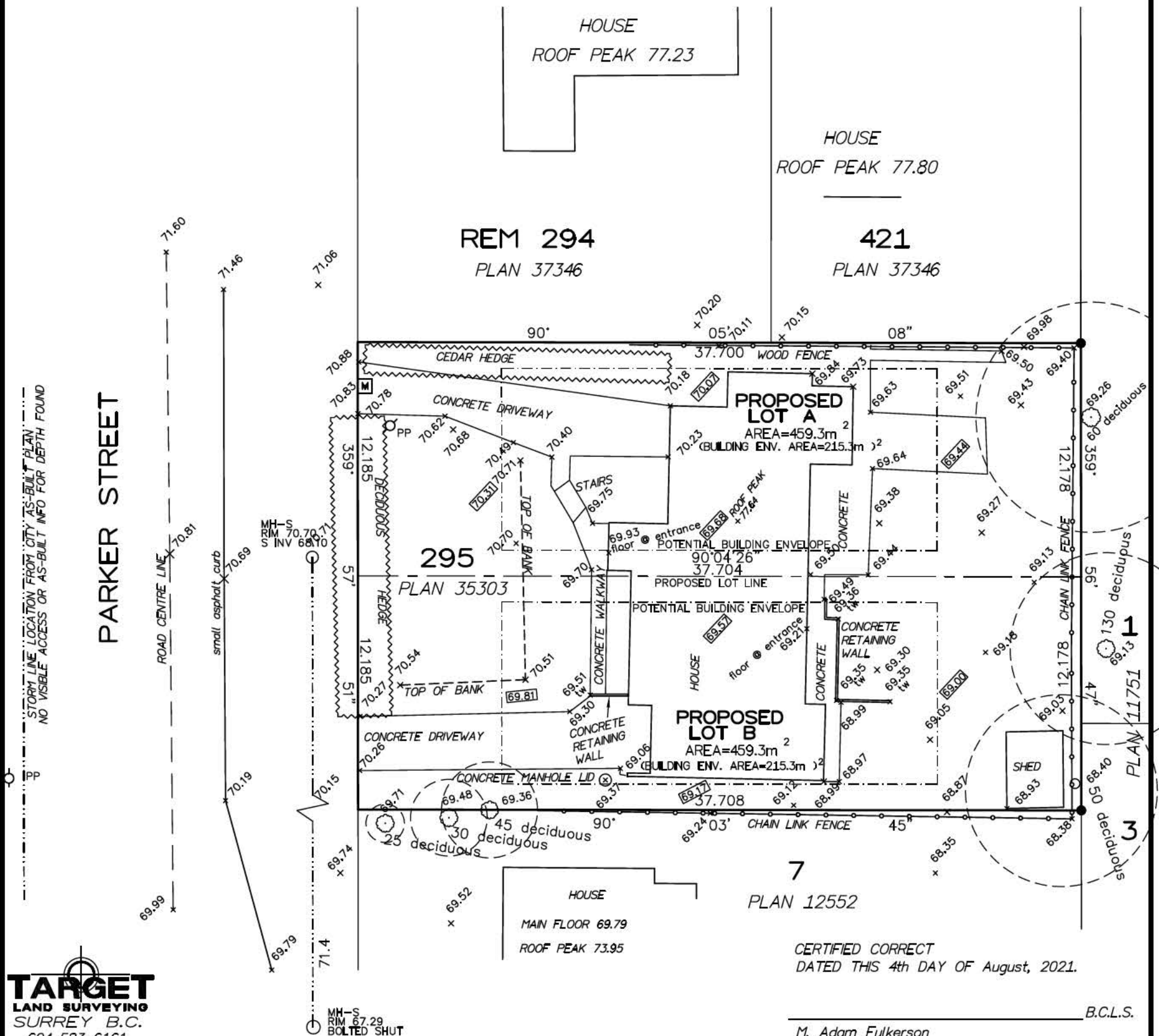
This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

PROPOSED RS-4 ZONING
BUILDING ENVELOPE SETBACKS
FRONT YARD : 7.5m
REAR YARD : 7.5m
SIDE YARD : 1.35m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

AVERAGE NATURAL GRADE ESTIMATION	
PROPOSED LOT A	PROPOSED LOT B
70.31	69.81
70.07	69.57
69.44	69.00
69.68	69.17
AVERAGE= 69.88m	AVERAGE= 69.39m

SUBJECT TO CITY OF WHITE ROCK APPROVAL



TARGET
LAND SURVEYING
SURREY B.C.
604-583-6161

CERTIFIED CORRECT
DATED THIS 4th DAY OF August, 2021.

M. Adam Fulkerson

B.C.L.S.

Arborist Report Review
performed for; Mr. Arun Gupta
C/O 1172 Parker Street,
White Rock, V4B 4R9



Prepared by: Outlook Arborist Services

John Monk

ISA Arborist PN0401

Qualified Tree Risk Assessor

ITA Practical Horticulturalist

ITA Red Seal Utility Arborist

jmonktrees@gmail.com

604-816-2592

August 4th, 2021

Introduction;

Mr. Gupta has purchased this property in White Rock to subdivide the large lot into two separate lots from west to east.

The surrounding neighborhood are all older homes with established landscapes primarily built in roughly the 1950's and 1960's judging by the style of homes.

Mr. Gupta requires an Arborist Report for this subdivision to provide information on the tree protection of primarily, trees off this property.

No trees on this property meet White Rock's requirements for protection.

This report is to meet one of the requirements of the White Rock Coordinated Site development plan for subdividing an existing lot. Given the information supplied lot survey drawing and a site visit, the report has this information.

New home construction was not provided at this time.

The following are my on-site observations and recommendations including replacement tree suggestions.

Observations;

An inventory of trees beside the Gupta property that require protection before any work proceeds has been done by both the survey company Target and myself. To determine accurate tree diameters I have used a diameter tape specifically for trees on 1162 Parker Street and 1172 Parker Street.

According to the Target Survey, one small tree at the east side of this property was listed as 50 cm diameter. This Labunum measured is 10 centimeters.

This area is difficult to determine trees as the entire ground is bamboo.

However, I believe the overhanging limbs from Acacia #2 may have appeared to be a third tree which does not exist here.

All Off-Site trees require protection by barrier fencing is mandatory.

Three trees in the front south property line are identified on the survey but inaccurate diameter measurements.

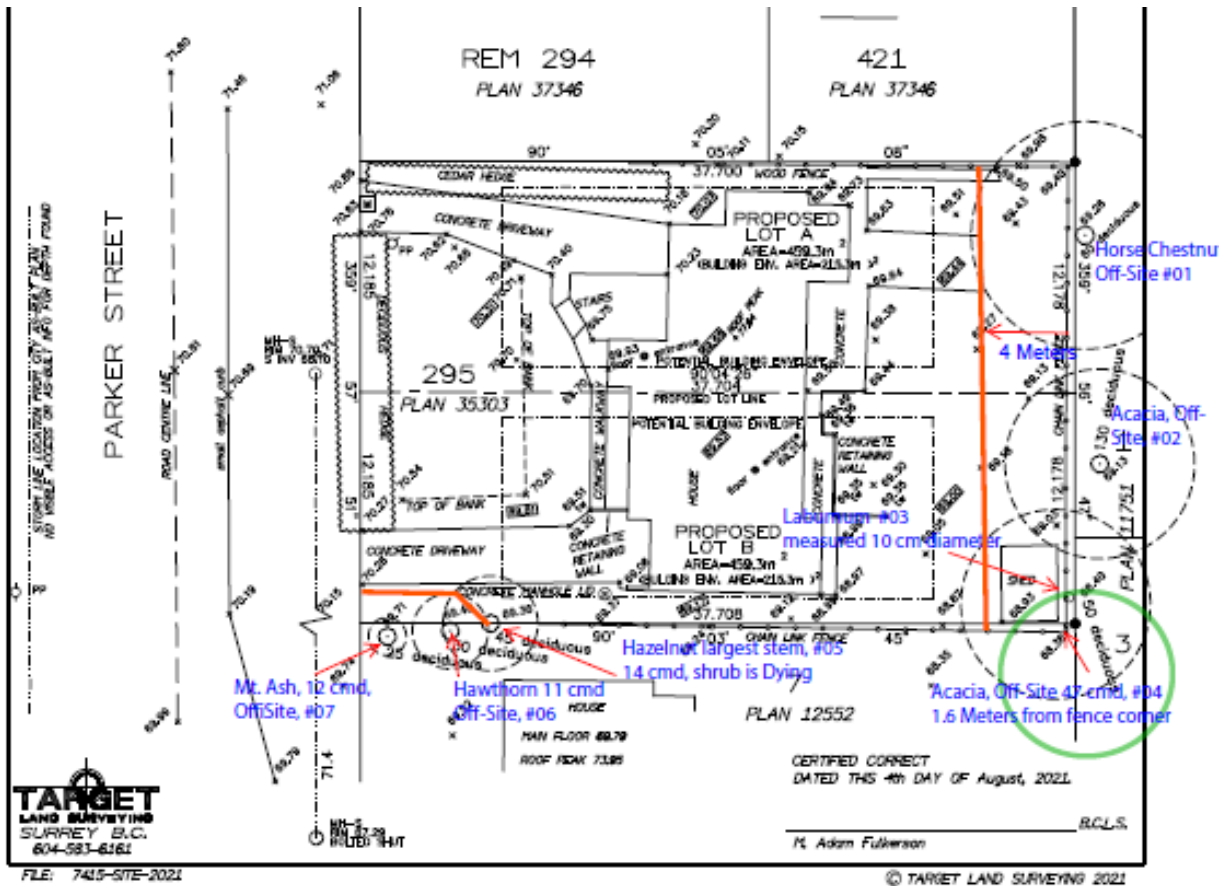
One, the dying Hazelnut is on the line and therefore a shared tree. All of these trees are below the minimum size for protection in White Rock.

Their removals require the written permission of the owner of 1162 Parker Street.

Outlook Arborist Services

Outlook Arborist Services							
1172 Parker Street, White Rock							
Arborist John Monk							
Tree from north to South	Species & Location, On or Off-Site (As per Survey)	DBH (cm) Diameter tape measured	Structure , poor, fair	Observations, defects, risks, etc	Retain	Remove	Tree Protection Radius M, Barrier fencing
#01	Off-Site, Horse Chestnut, Aesculus hippocastenum in rear of 15778 Beuna Vista Avenue	58 cmd	Fair	.5 meters east of rear fence	Yes		4 meters or outside dripline of limbs
#02	Off-Site, Acacia, Robinia pseudoacacia in rear of Beuna Vista Avenue	130 cmd	Fair	Three trunks	Yes		4 meters or outside dripline of limbs
#03	Laburnum across fence but inside 1172 Parker	10 cmd	Poor	Saddle on trunk against fence, Over fence but inside 1172 Parker	Yes		Minimum 3 meters from trunk
#04	Acacia	47 cmd	Fair	1.6 Meters from south-east corner of 1172 Parker in 1162 Parker	Yes		Minimum 3 meters from trunk
#05	Hazelnut	14 cmd	Poor	Dead from Hazelnut Blight		Yes	
#06	Off-Site, Hawthorn	11 cmd	Poor	Protective fencing required, 1 M into 1172 Parker	Yes		
#07	Off-Site, Mt. Ash	12 cmd	Fair	Protective fencing required, 1 M into 1172 Parker	Yes		

Map survey of the Gupta property on Parker Street. Trees are shown on the properties to the east and south sides. Extent of limbs and roots into 1172 Parker from off-site trees require protection to minimize impact.



Protective Fence Barriers
Constructed before demolition

Tree #1. The Horse Chestnut is 58 cmd one meter east of the property line. Tree protection barrier needs to be 3.2 meters from the fence or outside the limb dripline. Hence the 4 meters is shown across the back yard and will not limit construction.

Much of the fence line is hidden by invasive Bamboo.



The invasive species Bamboo extends well into 1172 Parker Street property and is not protected. This is difficult to remove but may be cut to the ground to provide some control. Digging or the unauthorized use of herbicides is not permitted that could affect the health of the adjacent trees.

Checking into the use and permit of herbicides acceptable for control in White Rock is recommended by a qualified licenced applicator.

Tree #2. Because of the three trunks on the large Acacia, the combined trunk formula of 202 cm diameter for critical root zone distance is impractical. However, this tree will be adequately protected with the recommended barrier protection at 6 meters inside 1172 Parker property. This is essentially dripline, given the trunk is .5 meters east of the property line and a very hardy tree.



Tree #2 Large Acacia directly east of 1172 Parker in the rear of 15778 Beuna Vista Avenue.

Tree #3.

A small Laburnum has grown against the fence top rail from the east side. This tree is small and protected by the provided barrier.

Tree #4.

The third Acacia south is 47 cm diameter and 1.6 meters inside the fence on 1162 Parker Street. Therefore, a tree protection barrier of 3 meters inside the fence on 1172 Parker or extended outside the dripline will be required.

Front Yard Trees #5, #6 and #7.

The small trees in the front and along the south boundary are a Mt Ash, Hawthorn and Hazelnut.

Outlook Arborist Services

These are all under protected size and better removed and a suitable replacement tree provided for each new property in the front yards. As the Target Survey shows two of these three trees to be off-site, get approval from the owners of 1162 Parker for consent to remove.

The owners of 1162 Parker may be shared owners if trees are on the property line. Approval from them is required as determined by the survey.



Frontage on the south p-line Mt. Ash, Hawthorn and Hazelnut.

The front hedge Privet is very old and has declined in various sections and will be in the way for service disconnects and new services. This should be entirely removed.

The Cedar hedge on the north side front yard is in fair condition and suitable for retention. This hedge has been sheared for many years and provides a good natural break between properties.

Outlook Arborist Services

This hedge appears to be off City boulevard property and therefore removal or retention is the owners discretion unless this is found to be on the property line and are “shared” trees with the north side property owners. Permission will be required from them for removal.

Tree Barrier protection and construction;

Tree barrier fencing must be constructed to last the duration of first, house demolition and secondly, new home excavations and construction.

At this time, new home construction plans have not been provided to me to comment.

The following is from the city of White Rock Schedule “A” for barrier fence construction for tree and root protection. Fence construction is placed at a minimum of six times the trunk diameter. Ideally, more helps and is recommended 1 meter outside the dripline extent of limbs. Demolition of this old home will not require invasive root disturbance and the greater distance from trees is recommended where possible.

Fencing prevents soil stockpiling, excavator access soil compaction and material stockpiling for construction.

Damaged fencing must be immediately re-constructed to be strong and to prevent any access around trees.

White Rock’s Coordinated Site Development requires an Arborist on site during any work that could impact trees. Fencing built outside the dripline and approved can be adequate to not require an Arborist on site to document and report work.

.

Utilities;

Existing House services such as electrical, water, sanitary sewer, storm and natural gas will be disconnected typically by cit and utility suppliers at the property line.

For a new two lot subdivision, a new sanitary, storm, water and natural gas will be installed to the property line.

Fronting Parker Street here are no trees that could be impacted by service installation and trenches required.

Overhead electrical and communication services may require a power pole to keep new service conductors above the road at an approved level. BC Hydro will

provide advise on this requirement and where on private property this must be placed if deemed necessary.

SCHEDULE "A"

Specifications for Tree Protection Barriers

TRUNK DIAMETER (CM)	MINIMUM PROTECTION DISTANCE (M FROM TRUNK)
X	6X
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3.0
55	3.3
60	3.6
75	4.5
90	5.0
100	6.0

NOTES

- Install tree protection barrier before construction begins and keep in place until landscape installation is complete.
- Storage of building materials & litter within or against protection barrier is prohibited. Developer/Owner responsible for maintenance within Tree Protection Barrier.
- Damaged trees will be replaced at Developer/Owner's cost.
- Maintain existing grades at protection barrier for all protected retained and existing trees.
- Regrading outside of protection barrier should not adversely compromise protected retained and existing trees.

Replacement Trees;

This large property is planned to be subdivided into two new properties. Completely void of any trees in the front, these lots and new homes will be ideal frontages for one new tree each.

Although this is not a mandatory requirement, good landscaping is required and a medium size quality tree will enhance the new homes and benefit the neighborhood.

Various trees that do not become too large and low care will be ideal.

Conifer species such as Weeping Yellow Cupressus or Upright Arizona Cypress are ideal size trees, both colorful and attractive year round.

Numerous deciduous species are also very suitable choosing medium size trees that require only structural pruning when young and have attractive foliage and possibly blooms.

Until utilities, sidewalks and new construction drawings are available for each lot, locations cannot be precise. However, adequate room will be available for one tree fronting each property.

Sincerely,



John Monk
ISA Arborist PN0401
Tree Risk Assessor # 10685
ITA Practical Horticulturalist

Outlook Arborist Services

ITA Utility Arborist

TOPOGRAPHIC SITE PLAN OF LOT 295 SEC. 11 TP. 1 NWD PLAN 35303

CIVIC ADDRESS:

1172 Parker Street, White Rock, BC
P.I.D. 001-565-184

SCALE 1 : 250



LEGEND

- DENOTES STANDARD IRON POST FOUND
- ^{PP} DENOTES UTILITY POLE
- Ⓜ DENOTES WATER METER
- ^{MH-S} DENOTES SANITARY MANHOLE
- ^{MH-D} DENOTES STORM MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- × DENOTES GROUND ELEVATION
- ×^{T.W.} DENOTES TOP OF WALL ELEVATION
- ▭^{70.18} DENOTES BEST ESTIMATION OF NATURAL GRADE



Lot dimensions are derived from field survey

Elevations are Geodetic (CVD28 GVRD-2005 - IN METERS)
Derived from Control Monument 88H3876 located at the SW corner of the intersection of Buena Vista Ave. and Lee St.
Elevation = 78.44m

Invert elevations and offsets of services from property lines are derived from municipal records and field survey.
Contractor to verify all service locations and inverts prior to construction.

Spot elevations along curb are taken in gutter

If this plan is used in digital form, Target Land Surveying will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 1.4m above grade and are shown in cm.

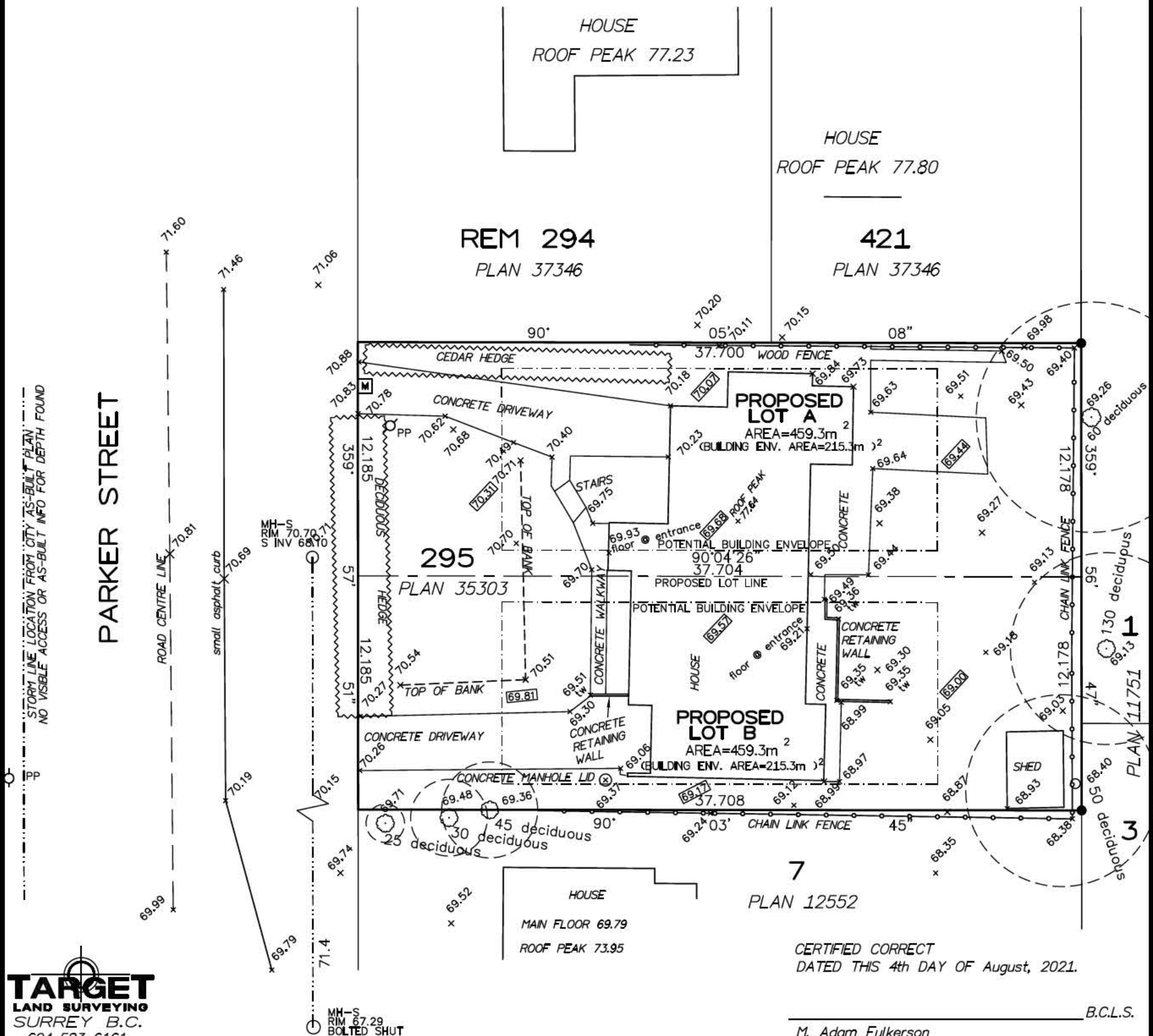
This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.

PROPOSED RS-4 ZONING
BUILDING ENVELOPE SETBACKS
FRONT YARD : 7.5m
REAR YARD : 7.5m
SIDE YARD : 1.35m

SUBJECT TO CITY OF WHITE ROCK APPROVAL

AVERAGE NATURAL GRADE ESTIMATION	
PROPOSED LOT A	PROPOSED LOT B
70.31	69.81
70.07	69.57
69.44	69.00
69.68	69.17
AVERAGE= 69.88m	AVERAGE= 69.39m

SUBJECT TO CITY OF WHITE ROCK APPROVAL



TARGET
LAND SURVEYING
SURREY B.C.
604-583-6161

CERTIFIED CORRECT
DATED THIS 4th DAY OF August, 2021.

M. Adam Fulkerson

B.C.L.S.

From: [Alanna Claffey](#)
To: [Arun Gupta](#)
Cc: [Greg Newman](#)
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension
Date: Thursday, August 5, 2021 3:54:00 PM
Attachments: [image001.jpg](#)

Hello Arun,

Please drop off one set of the revised and stamped legal surveys in order to complete your application package.

Thank you kindly,

Alanna Claffey, C of Q 200142782, ISA 1669A, TRAQ

Arboricultural Technician, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2143 | Fax: 604.541.2153 | www.whiterockcity.ca



BIRD NESTING SEASON begins March 15th. Tree Removal Permits may be subject to the Migratory Birds Convention Act and BC Wildlife Act.

From: Arun Gupta **Redacted S. 22**
Sent: Thursday, August 05, 2021 12:47 PM
To: Alanna Claffey <AClaffey@whiterockcity.ca>
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Alanna,

I now have the legal survey, please see attached. A few trees were identified on the neighboring property, therefore I also had the Arborist report updated to reflect those (also attached).

Kind regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Arun Gupta
Sent: Tuesday, July 20, 2021 9:36 PM
To: Alanna Claffey <AClaffey@whiterockcity.ca>
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hi Alanna,

Thanks for your email. I have requested a legal survey to be done, and I will forward that to you as soon as it is prepared. The cheque and legal title will be dropped off Wednesday morning (July 21st).

I would like to replace the security deposit on file as it was paid by the previous owners. Please let me know the amount to pay as security for the Tree Management Permit, so the former can be refunded to them.

Kind regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Alanna Claffey <AClaffey@whiterockcity.ca>
Sent: Friday, July 16, 2021 3:17 PM
To: Arun Gupta **Redacted S. 22**
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hello Mr. Gupta,

Please drop off the following items in a sealed envelope to City Hall in our secure lock box fronting the building to complete your application. You may address the envelope to PDS Department Permit Clerk.

1. Application fee \$1000.00
2. Legal Title
3. Legal survey within 6 months

Thank you,

Alanna Claffey, C of Q 200142782, ISA 1669A, TRAQ

Arboricultural Technician, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2143 | Fax: 604.541.2153 | www.whiterockcity.ca



BIRD NESTING SEASON begins March 15th. Tree Removal Permits may be subject to the Migratory Birds Convention Act and BC Wildlife Act.

From: Arun Gupta **Redacted S. 22**
Sent: Thursday, July 15, 2021 12:02 PM
To: Alanna Claffey <AClaffey@whiterockcity.ca>
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

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Hi Alanna,

Further to your email, the Arborist has now completed a full report. Hopefully this acceptable for your requirements. Happy to discuss if you need more information.

Please let me know the new security requirements after your review.

Kind regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Arun Gupta **Redacted S. 22**
Sent: Monday, July 12, 2021 1:33 PM
To: Alanna Claffey <AClaffey@whiterockcity.ca>
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: Re: 1172 Parker Street - Transfer of File & PLA Extension

Hi Alanna,

My apologies for the inconvenience, I will forward your comments to the arborist to reissue a new report.

Kind regards,
Arun

From: Alanna Claffey <AClaffey@whiterockcity.ca>
Sent: Monday, July 12, 2021 1:31:10 PM
To: Arun Gupta **Redacted S. 22**
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hello Mr. Gupta,

Unfortunately, this arborist report is not acceptable. It offers no information or update on the scope of work, size of trees and cannot be used in any application at the City.

Alanna Claffey, C of Q 200142782, ISA 1669A, TRAQ

Arboricultural Technician, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2143 | Fax: 604.541.2153 | www.whiterockcity.ca



BIRD NESTING SEASON begins March 15th. Tree Removal Permits may be subject to the Migratory Birds Convention Act and BC Wildlife Act.

From: Arun Gupta **Redacted S. 22**
Sent: Tuesday, July 06, 2021 3:16 PM
To: Alanna Claffey <AClaffey@whiterockcity.ca>
Cc: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

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Hi Alanna,

Further to Greg's email below, I am attaching an updated Arborist report for 1172 Parker Street. I am also attaching the old report from 2016 as reference.

Please let me know if you have any comments on the new report, and if you could let me know the new security requirements.

Kind regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Greg Newman <GNewman@whiterockcity.ca>
Sent: Wednesday, June 2, 2021 8:59 AM
To: Arun Gupta **Redacted S. 22**
Cc: Alanna Claffey <AClaffey@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hi Arun,

Please find attached the extended Preliminary Layout Approval (PLA) letter for the subdivision of 1172 Parker Street.

Per the correspondence below, I wanted to clarify that the securities tied to the Tree Management Permit will need to be replaced as the current securities were posted by the previous owner. As noted in the PLA letter, you will need to complete an updated Arborist Report given the length of time that has elapsed since the last report was completed (July 31, 2016). I would suggest having the Arborist Report prepared and then connecting with my colleague Alanna Claffey (Arboricultural Technician)(copied) to confirm the security requirements.

If you have any questions let me know. Note that you have one year from the date of the PLA letter to satisfy the conditions noted therein.

Regards,

Greg

Greg Newman, MCIP, RPP
Manager of Planning, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6
Tel: 604.541.2142 | www.whiterockcity.ca

Email signature logo



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From: Arun Gupta **Redacted S. 22**
Sent: May 14, 2021 2:49 PM
To: Greg Newman <GNewman@whiterockcity.ca>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Greg,

I hope you are doing well. Regarding the securities and funds deposited by the previous owners, mainly:

Deposit for WSA	61,866.50	
Security deposit for WSA	68,700.15	
Admin Fees	2,748.00	
Payment of DCCs	21,925.76	
Tree Management Permit	23,000.00	
Demolition Permit	14,153.00	
Total	192,393.41	

Ideally, if possible, can these funds be transferred over, rather than having to replace and refund these amounts? If not possible, then, please let me know the process to replace these, and in the cases where there are fee increases, how much the new amounts are?

Kindest regards,
Arun

Arun Gupta
1298933 B.C. Ltd.
T: 604.505.5417

From: Greg Newman <GNewman@whiterockcity.ca>
Sent: Monday, May 3, 2021 11:35 AM
To: Arun Gupta **Redacted S. 22**
Cc: Harji Bisla **Redacted S. 22** Seema Shridhar <info@seemayourfamilyrealtor.com>
Subject: RE: 1172 Parker Street - Transfer of File & PLA Extension

Hi Arun,

Further to our chat last week, please see response below.

Regards,

Greg

Greg Newman, MCIP, RPP
Manager of Planning, City of White Rock
15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2142 | www.whiterockcity.ca

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From: Arun Gupta **Redacted S. 22**
Sent: April 23, 2021 1:50 PM
To: Greg Newman <GNewman@whiterockcity.ca>
Cc: Harji Bisla **Redacted S. 22** Seema Shridhar <info@seemayourfamilyrealtor.com>
Subject: FW: 1172 Parker Street - Transfer of File & PLA Extension

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Greg,

I hope you are doing well. Further to our introductory call a few weeks ago, I will be the new owner of 1172 Parker St. as of Wednesday April 28th. With respect to your email below:

- Please find attached a letter of authorization from the current owner.
- The title search can be provided by Thursday morning, as the property is closing on Wednesday April 28. – **please send when available**
- Please let me know how to pay the Assignment of Application fee? – **the assignment of application fee is \$500 and can be paid by cheque made payable to the City of White Rock. You can drop off the cheque in the mailbox in front of City Hall. Note the Preliminary Layout Approval (PLA) on the subdivision lapses on May 20, 2021. If you wanted to apply for an extension (\$510), you may want to provide a cheque for that as well – please provide a simple cover letter outlining your intention to finalize the subdivision in an expeditious manner. The subdivision at 1172 Parker Street has been extended a number of times and we would like to see the work completed.**
- I will complete the Application form from the link you provided.
- Please let me know the process to replace all the securities on account? I would like to make payment by Monday if possible. – **please confirm which securities you are proposing to replace and we can process that upon receive of the replacement monies.**

Many thanks for your ongoing support and cooperation.

Kindest regards,
Arun Gupta
1298933 B.C. Ltd.

----- Forwarded message -----

From: **Greg Newman** <GNewman@whiterockcity.ca>

Date: Mon, Mar 1, 2021 at 2:42 PM

Subject: 1172 Parker Street - Transfer of File & PLA Extension

To: info@seemayourfamilyrealtor.com <info@seemayourfamilyrealtor.com>

Hi Seema,

Generally speaking, the process for transferring an application runs according to section 15 of our [Planning Procedures Bylaw](#), involving the following documents being submitted to the City:

- A letter from the current Owner and Applicant authorizing the change in applicant and ownership and give permission for the new owner/applicant to make use of any supporting reports, architectural and landscape drawings, documents, and paid application fees that have been submitted to the City.
- Updated Title Search for the new ownership.
- \$500 “Assignment of Application” Fee.
- A new [Application Form](#) (see link).
- New [Agent Authorization Forms](#) signed by the owner for any agent.

If there are other deposits or bonds associated with the application that have already been submitted to the City (e.g. for Servicing Agreement or Tree protection/replacement, etc.) these will need to be replaced by new securities from the new property owner, at which time would could release the existing securities.

Once the file has been transferred the new owner could apply to extend the timeframe of the Preliminary Layout Approval (PLA) by identifying such within the above-noted Application Form. The fee to extend the PLA is \$510.

Regards,

Greg

Greg Newman, MCIP, RPP

Manager of Planning, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2142 | www.whiterockcity.ca

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From: [Alanna Claffey](#)
To: [Arun Gupta](#)
Subject: 1172 Parker Street - Tree Management Permit Requirements
Date: Thursday, September 2, 2021 2:44:00 PM
Attachments: [TMP00365 Fee Slip.pdf](#)
[TMP TREE SECURITIES SCHEDULE C draft.XLSX](#)
[image001.jpg](#)

Hello Arun,

I am writing in response to your Tree Management Permit (TMP) application for the above property address. You do not have any approvals to remove trees until a building permit(s) have been approved. I will outline the corresponding steps and outstanding requirements in order to approve your permit.

There are two separate permits that will be issued by TMP, one is for demolition and one for building permit. If and when the subdivision is approved, a second TMP application will be required for the newly divided lot. I will provide the steps for demolition stage only. These permits are non-transferrable. If you sell your lot, you cannot sell or transfer a Tree Management Permit or related tree bonds.

Please complete all of the items to keep your file moving ahead and avoid delays.

This is your Checklist

For Demo TMP:

- Pay tree security deposit \$20,000 – see attached copy of Schedule C.
- Build tree protection barriers (TPB) and submit the arborist inspection letter to confirm barriers have been constructed to City standards. Trees do not get approval or removal permits until the Building Permit has been approved /issued.
- Satisfy demolition permit requirements.

Please include this **slip** with your cheque and deposit to the secure lock box fronting City Hall or you may drop it off inside at Development Services. You may email me the barrier confirmation report.

Address envelope to: **Attn: Bonnie Hardeo**

Address your cheque to: The City of White Rock

Memo: Permit Address and TMP00365 Securities

Thank you and have a great day,

Alanna Claffey, C of Q 200142782, ISA 1669A, TRAQ

Arboricultural Technician, City of White Rock

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2143 | Fax: 604.541.2153 | www.whiterockcity.ca



FEE SLIP



Folder: TMP00365
 PLANNING
 TREE MANAGEMENT PERMIT - TYPE 3

Address: 1172 PARKER ST

Description	Quantity	Amount	Description	Quantity	Amount
Tmp Type 3 Fee	1.00	1,000.00	Dep Tree Sec	1.00	20,000.00
Summary	Amount	Received	Outstanding		
Fees	1,000.00	1,000.00	0.00		
Deposit	20,000.00	0.00	20,000.00		
TOTAL	\$21,000.00	\$1,000.00	\$20,000.00		

CITY OF WHITE ROCK - FEE SLIP

15322 Buena Vista Ave
 White Rock, BC V4B 1Y6



Folder: TMP00365
 PLANNING
 TREE MANAGEMENT PERMIT - TYPE 3

Summary	Outstanding
Fees	0.00
Deposits	20,000.00
TOTAL	\$20,000.00

Credit Card Payments

The City accepts credit card payments for folder fees only. Credit cards are not accepted for deposits or DCC payments. Credit card payments are subject to a 2% fee. Payments can be made online at www.whiterockcity.ca/online. Alternately, payments may also be made by cheque or debit.

SCHEDULE C

TREE PROTECTION AND REPLACEMENT SECURITY

TMP 00365 - 1172 Parker Street

Tree #	Tree Type with (dbh)*			Demolition Stage	Building Stage		
	Species	DBH	Retain/Remove	Protection Security	Protection Security	Replacement Security	Replacements
OS1	Chestnut	60	Retain	4500	4500	0	0
OS2	Robina pseudoacacia	200	Retain	10000	10000	0	0
OS3	Robina pseudoacacia	50	Retain	2500	2500	0	0
H1	City privet hedge	30	Remove	2500	0	3000	2
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
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				0	0	0	0
				0	0	0	0
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				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
				0	0	0	0
TOTAL PROTECTION SECURITY FOR DEMO				19500			
TOTAL SECURITY FOR BUILDING STAGE						17000	
TOTAL REPLACEMENT REQUIREMENTS							3000 2 x 6 cm deciduous OR 3 m coniferous
TOTAL SECURITY				\$	20,000.00		