

December 20, 2021

FOI No: 2021-48

VIA E-MAIL – Redacted

**Redacted**

Dear Redacted

Re: Request for Records  
Freedom of Information and Protection of Privacy Act

---

The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *All permits, licences and correspondence regarding the property at 15292 Columbia Avenue from 1990 to 2021.*

Access to these records is available. Please find copies attached.

Please contact our office if you have any questions or concerns.

Sincerely,



Ken Overton  
Manager, Property, Risk Management, and FOI  
604-541-2104

Att.

Corporate Administration  
P: 604.541.2212 | F: 604.541.9348

City of White Rock  
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

**WHITE ROCK**  
*City by the Sea!*

[www.whiterockcity.ca](http://www.whiterockcity.ca)

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner  
3rd Floor, 756 Fort Street  
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

# THE CITY OF WHITE ROCK

## PERMIT TO BUILD

Date MAR 6 19 86 Roll # 3805 Dev. Permit No. \_\_\_\_\_ Permit No. #34

Owner Earl Cunningham  
 Address C21, 3545 E. 43rd Ave., Van.  
 Architect \_\_\_\_\_  
 Contractor OWNER  
 Contractor's Address \_\_\_\_\_

Location 15292 Columbia Ave.  
 Legal Lt. 14 33 SW 11 T. 1 Pl. 488  
 Dev. Permit Area: \_\_\_\_\_ Zone: \_\_\_\_\_  
 Occupancy S.F.D.  
 Name of Project S.F.D.

Description of Construction AS PER CODE Lot Size 00' x 113'  
 Truss Plan Req'd. AS PER CODE Survey Plan Req'd. AS PER CODE Max. Height: AS PER CODE  
 Size AS PER CODE Stores \_\_\_\_\_ Min. Yards: Front AS PER CODE R. Side \_\_\_\_\_ L. Side \_\_\_\_\_ Rear \_\_\_\_\_

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns		<b>AS PER CODE</b>		
Beams				
Stairways				

Int. Partitions Heating Ventilation Insulation Plans Filed	The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.	Value ..... \$ <b>80,000.00</b>
		Permit Fee ..... \$ <b>438.00</b>
		..... \$
		..... \$
		Total Fees ..... \$ <b>438.00</b>

Owner or Authorized Agent \_\_\_\_\_ Building Inspector [Signature] (OVER)

DATE OF INSPECTION	TYPE OF INSPECTION	REMARKS:
MAR. 10/86	EXCAVATION	O.K. TO PROCEED WITH MIN 18" COVER TO BE PROVIDED @ SOUTH @JA
MAR 18/86	FORMS	O.K. SUBJECT TO SMING NEED THREE LEVELING STRIPS @ N.E. FIRST STEP EAST @JA
MAR. 25/86 May 86	DRAIN TILE & DRAINAGE FRAME	PASSED @JA yellow sheet R.
MAY 13/86	FRAME	O.K. TO WEATHER PROOF @ SID @JA
MAY 26/86	INSULATION	PASSED @JA
JUNE 18/86	ROOF VENTS & STAIRING	INCLAW SPACE O.K. @JA
JUNE 30/86	COPPER	passed in house R.
SURVEY PLAN REC'D: TRUSS PLAN REC'D:	NA	* CHECK CRAWL SPACE INSUL & STRAPPING @JA
PROVISIONAL OCCUPANCY BUILDING COMPLETE FINAL OCCUPANCY GRANTED	JULY 28/86 Sept 3/86 @JA	NEIGHBOURS VERY CONCERNED DOUBLE CHECK. * MAX HEIGHT 142.7' TOP OF LEVELING N.G. 127.48 DIFF 20.22 ACTUAL MAR 11/86 20' 1 3/4" @JA

BUSINESS	NAME	CLASS	LIC SUM	LIC WIN
Gen. Con.	OWNER			60.00
Excav.	HALLIDAY			N.S.
Forms	URBAN DIM	2560	8008 60.00	
Conc. Pum	GASTALDO	2285	52.50	810240 N.S.
Conc. Pl	URBAN			
Dr. Tl	URBAN			
Dam. Pr	UNDEVELOPER			
Sewer				
Plbg.	L.V.	2615		800052 60.00
Elect.*	VICS ELECT			N.S.
Htng				
Gas Fit				
Frame	URBAN			
Roof	SOUTH SADDLE	2640		810353 45.00
Masonry				
Insul.	INSUL TWIN	2620		800386 5/86
Siding	DAVID BANKS*			
Gutters				
Drywall	J.V.E. CONT *			
Paint.	WESTWORLD PT.	23/9 NS		
Ceramic	WEST RIM <small>GRAHAM HUNT</small>			
Cabinets	CITATION <small>W.R. 531-5976</small>	2800		820041/86
Fin. Carp	ARNIE ANDERSEN			
Flr. Pl	BRIDGE PORT	23/9 NS		
Carp.				
Handrail	LAB IND. *			
Dec. Cov.	OWNER			
Landsc.	OWNER			

ADDRESS 15292 COLUMBIA OWNER CUNNINGHAM PERMIT # 34-86 0.5

THE CORPORATION OF THE CITY OF WHITE ROCK  
APPLICATION FOR PROVISIONAL OCCUPANCY PERMIT  
PERMIT FEE - \$25.00

I, E. CUNNINGHAM hereby apply for a Provisional Occupancy Permit for my building located at

15292 COLUMBIA

(street address)

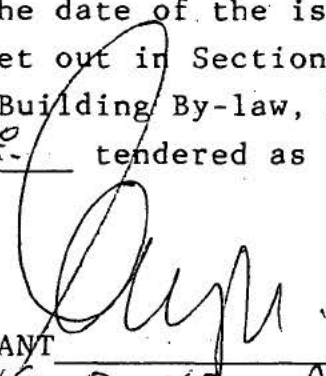
which is more particularly known and described as:

# 14 33 S.W. 11 T.1 488

(legal description)

I hereby tender the application fee of \$25.00 for a Provisional Occupancy Permit on the condition that such application fee will be refunded to me if the Permit herein applied for is refused.

I understand that the Provisional Occupancy permit herein applied for is issued on condition that the building covered by such Permit shall, within ninety (90) days of the issuance of the Permit, be made to comply with the condition of Section 21(b) of The Corporation of the City of White Rock "Building By-law, No. 877" and amendments thereto, and I hereby tender to the Corporation of the City of White Rock the sum of FIVE hundred (\$ 500<sup>00</sup>) dollars as security for the compliance with such condition of the building to be covered by the Permit herein applied for. I understand that should the building not comply with the provisions of Section 21(b) of the Corporation of the City of White Rock "Building By-law, No. 877" and amendments thereto within ninety (90) days of the issuance of such Permit that the \$ 500<sup>00</sup> tendered as security shall be forfeited to the Corporation of the City of White Rock as liquidated damages, but if such building does, within 90 days of the date of the issuance of such Permit, comply with the conditions as set out in Section 21(b) of the Corporation of the City of White Rock "Building By-law, No. 877" and amendments thereto, then the \$ 500<sup>00</sup> tendered as security shall be returned to me.

  
SIGNATURE OF APPLICANT

ADDRESS C21 - 3545 E 43 AVE

VANCO. BC

DATE: JULY 28/86

V5R 5X5



BUILDING DEPARTMENT

Inspection Report

City Hall, White Rock, B.C. Tel. No.: 531-9111

NAME: URBAN DIMENSIONS PERMIT No. ADDRESS: 15292 COLUMBIA SHEET No. TYPE OF INSPECTION: FINAL DATE: July 25/86 AREA OF INSPECTION:

- 1. COVER PLATE OVER ELECTRIC METER BASE
2. EXTERIOR ENTRY INCOMPLETE
3. Secure guard @ ensuite deck
4. Final Plumbing req'd 1 TAP SET MISSING Mon. AM
5. Final Electrical req'd
6. Handrail on all stairs
7. Handrail to deck to be complete
8. Fireplace not in WATCH CLEARANCES

O.K. FOR PROVISIONAL OCCUPANCY WITH # 3 TO 7 complete.

PERMIT 25
PERMIT 25.00
BOND \$1000.00 FOR 90 DAYS

COMPLETE SEPT. 3/86 [Signature]

SIGNATURE: INSPECTOR: [Signature] DATE:

WINDOW CALCULATIONALLOWABLE - 7% @ 1.2 m.

a) TOTAL SQUARE FEET (W. ELEVATION)

$$\begin{array}{r}
 16 \times 20 = 320 \\
 16 \times 22 = 352 \\
 24 \times 24 = 576 \\
 12 \times 16 = 192 \\
 \hline
 1440
 \end{array}$$

$$b) \text{ ALLOWABLE} = 1440 \text{ sq ft} \times .07 = 100.8 \text{ sq ft}$$

c) ACTUAL WINDOW AREA

$$\begin{array}{r}
 i) 4' \times 2' = 8 \text{ sq ft} \\
 ii) 3' \times 2' \times 2 = 12 \text{ sq ft} \\
 iii) 3' \times 3' \times 3 = 27 \text{ sq ft} \\
 iv) 6' \times 2' = 12 \text{ sq ft} \\
 v) 5' \times 6' = 30 \text{ sq ft} \\
 \hline
 89 \text{ sq ft}
 \end{array}$$

d) ACTUAL %

$$\frac{89 \text{ sq ft window}}{1440 \text{ sq ft total}} = 6.18 \%$$

15292 COLUMBIA





THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES

# Inspection Report

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111

NAME: E. Cunningham PERMIT No. ....  
 ADDRESS: 15292 Columbia SHEET No. 1  
 TYPE OF INSPECTION: Frame DATE: APRIL 30/81  
 AREA OF INSPECTION: .....

1. Min. 3 nails per support for sheathing, ship lap
2. Strip underside of joists in ~~for~~ crawl space. <sup>MAX 7'</sup>
3. Support header to beam on cantilevered deck with metal hangers
4. Reveal plywood sheathing edges max 6" O.C
5. Support sheathing under window (den)
6. Support beam in den 3x2x4.
7. Support truss joints from skylight over stairs.
8. Ventilation to be allowed for 1/150  $\Delta'$  15 = 144  $\Delta''$
9. Support headers master bedroom additional 2x10's  
noted into studs.
10. Support beam below plate, 3-2x4
11. Pick up posts in joint, awitags
12. Drop out in bathroom

SIGNATURE: ..... INSPECTOR: Phil Lewis  
 DATE: .....

Please sign this form when the work is completed and return to the above department.

	TO <u>BRUCE</u>	FROM <u>COLIN</u>
		DEPT. <u>PER &amp; LIC.</u>
		DATE <u>APRIL 9 196</u>

RE 15292 COLUMBIA RE HEIGHT  
MESSAGE

FOLD

I HAVE RECEIVED CALLS RE HEIGHT  
PEOPLE ARE SURE IT IS ABOVE BY-LAW.  
I HAVE CHECKED AND IT DOES NOT EXCEED  
MIN AT THIS TIME. WITH CONFIRM  
AGAIN AT FRAME INSPECTION. OWNER  
ASSURES ME HE RIGHT ON. NEIGHBOURS TALKING  
PETITION



REPLY

DATE \_\_\_\_\_ 19\_\_\_\_

FOLD

SCHEDULE "A"

APPLICATION FOR STORM SEWER CONNECTION  
THE CORPORATION OF THE CITY OF WHITE ROCK

RN  
RECEIVED  
MAR 6 1986

I/WE E. CUNNINGHAM  
being the owner(s) of certain premises situated at \_\_\_\_\_  
\_\_\_\_\_ in the City of White  
Rock, and being:

LOT 14 BLOCK 33 QUARTER SW  
SECTION 11 TOWNSHIP 1 MAP 488

hereby apply for a storm sewer connection to the said premises, pursuant to  
the following particulars:

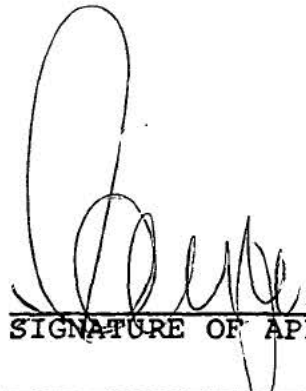
Property Address 15297 COLUMBIA  
Type of Building SFR

I HEREWITH TENDER THE SUM OF \$ 510.<sup>00</sup> TO COVER THE COST OF SUCH  
CONNECTION.

+ \$ 4000.<sup>00</sup> MAN EXTENSIO  
\$ 4510.<sup>00</sup>

DATED AT WHITE ROCK, B. C.

THIS \_\_\_\_\_ DAY OF  
\_\_\_\_\_, 19 \_\_\_\_\_.



SIGNATURE OF APPLICANT

ADDRESS OF APPLICANT

FOR OFFICE USE ONLY

Date connected May 1/86 RN Tax roll No. 3805  
Legal Description checked \_\_\_\_\_ No. of units \_\_\_\_\_  
Sewer Roll card \_\_\_\_\_ Yearly charge \_\_\_\_\_  
\$ \_\_\_\_\_ added to roll number \_\_\_\_\_

Date \_\_\_\_\_ Tax roll no. 3805

Name \_\_\_\_\_

Address \_\_\_\_\_

Lot 14 BLK 33 Plan 488 Amount Paid 510.<sup>00</sup> (6/3/86)

SUBMIT ONE COPY OF COMPLETED FORM TO TREASURY DEPT. WHEN PAYING FEES  
AND DEPOSIT.

THE CORPORATION OF THE CITY OF WHITE ROCK

PUBLIC WORKS DEPARTMENT

ADDRESS 15292 COLUMBIA BUILDING PERMIT # 34/86

HOUSE CONNECTION/APARTMENT CONNECTION COST FOR THE CUNNINGHAMS

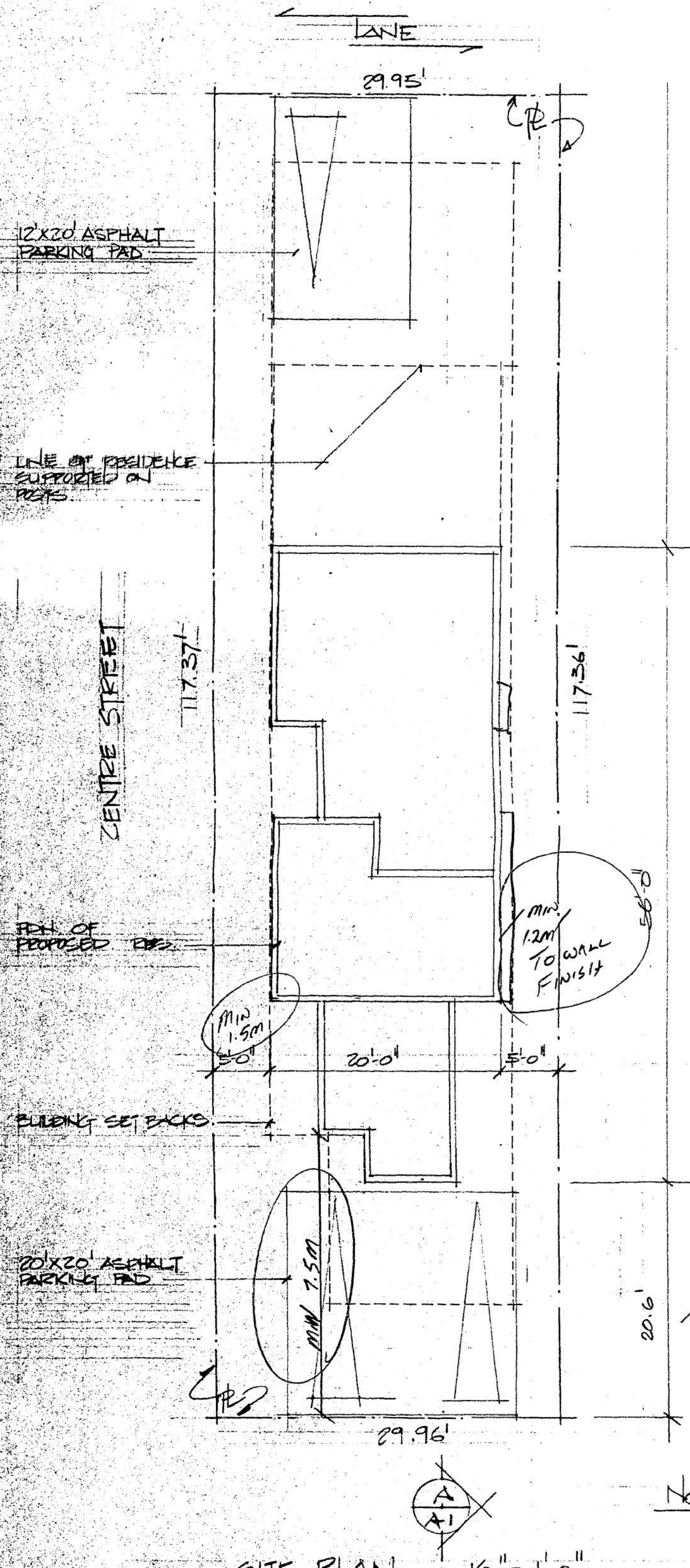
LOT 14 BLOCK 33 QUARTER SW SECTION 11 TWP. 1 PLAN 488

ITEM	SIZE	LOCATION	DESCRIPTION	COSTS
SANITARY SEWER	INSTALL 4" PVC SERVICE @ 3 FT ±	CONNECTION		\$500.00
	EAST OF SOUTHWEST CORNER. DEPTH @ 12" = 5 FT ±	INSPECTION		\$10.00
SANITARY MAIN LINE EXTENSION COSTS	NIL			
				COST \$510.00
STORM SEWER	INSTALL 6" PVC SERVICE @ 3 FT ±	WEST CONNECTION		\$500.00
	OF SOUTHEAST CORNER. DEPTH @ 12" = 3 FT ±	INSPECTION		\$10.00
STORM MAIN LINE EXTENSION COSTS :	STORM MAIN LINE EXTENSION			
	NEEDED FROM VICTORIA AVENUE TO VICTORIA LANE ON CENTRE STREET. CONSULT PUBLIC WORKS DEPT. COST FOR THE			
	EXTENSION IS \$4000.00			
				COST \$4510.00
				TOTALS \$5020.00

GENERAL REQUIREMENTS AND/OR REMARKS ALL WORK MUST CONFORM WITH THE CITY OF WHITE ROCK STANDARDS & SPECIFICATIONS. APPROVAL FROM THE PUBLIC WORKS DEPT MUST BE OBTAINED PRIOR TO CONSTRUCTION. INSPECTIONS TO BE CARRIED OUT BY THE CITY OF WHITE ROCK BUILDING DEPT.

DATE FEB 20/86 SIGNATURE Ken Low  
DATE FEB 20/86 CHECKED BY Shay Wahl

SEE NOTES ATTACHED



LEGAL DESCRIPTION

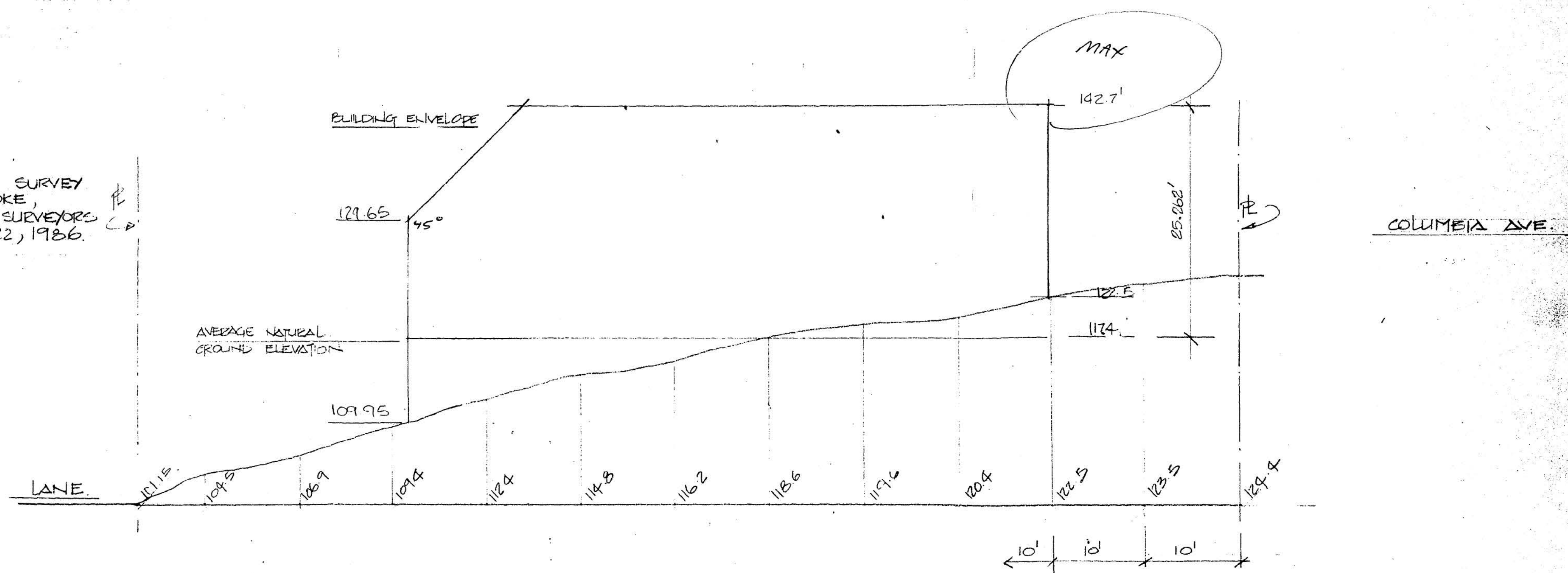
LOT 14, BLOCK 33, S.W. 1/4 OF SEC. 11, T.P. 1, PLAN 483, GROUP 1 NEW WESTMINSTER DISTRICT.

SITE COVERAGE

1264 SF = 35.94%

FLOOR AREA =

SITE INFORMATION FROM SURVEY BY HERMAN, BUNBURY & OKE, DOMINION AND B.C. LAND SURVEYORS VANCOUVER, B.C. - JAN 22, 1986.



SITE PLAN 1/8" = 1'-0"

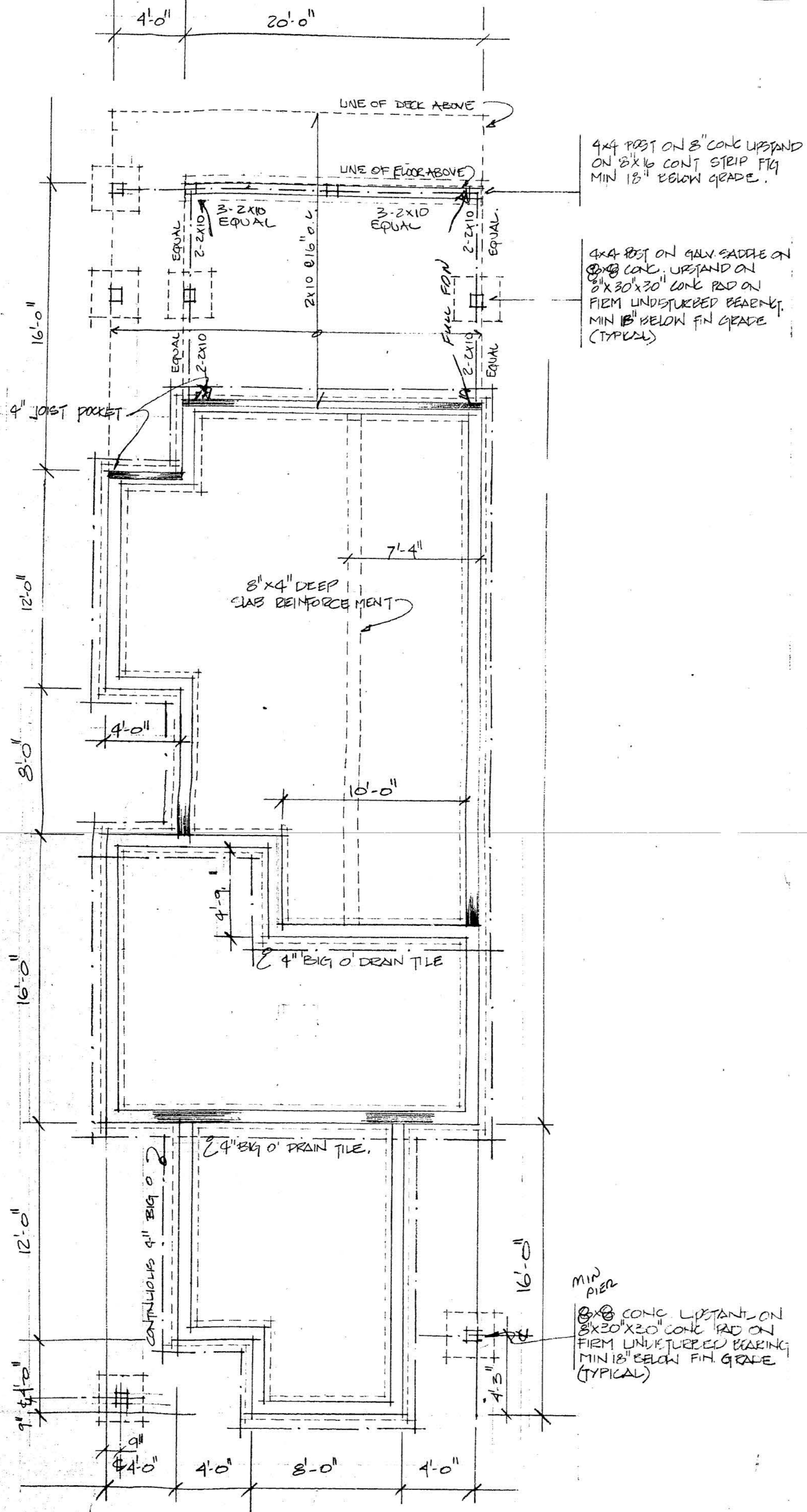
SITE SECTION 1/8" = 1'-0"

#34-1986 15292 COLUMBIA

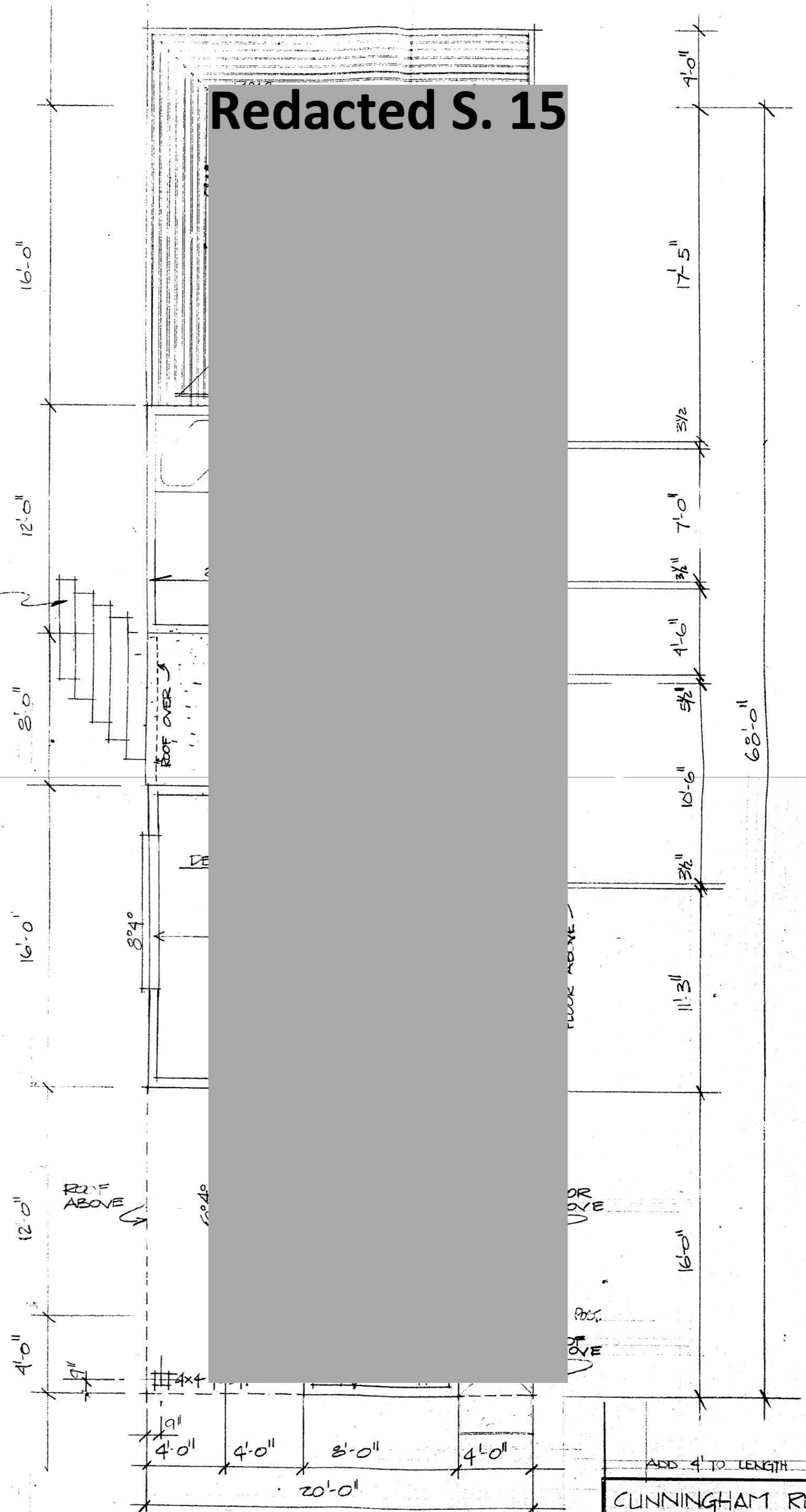
ADD 4' TO LENGTH BUILDING PERMIT FEB 21/86

CUNNINGHAM RESIDENCE

SCALE NOTED	APPROVED BY:	DRAWN BY:
DATE FEB 86		REVISED
COLUMBIA ST. WHITEROCK, B.C.		
DRAWING NUMBER		A-1



**FOUNDATION PLAN**  $\frac{1}{4}'' = 1'-0''$



**MAIN FLOOR PLAN**  $\frac{1}{4}'' = 1'-0''$

4x4 POST ON 8" CONC UPSTAND ON 2'x16 CONT STRIP FIG MIN 18" BELOW GRADE.

4x4 POST ON GALV SADDLE ON 8" CONC UPSTAND ON 2'x20'x30" CONC PAD ON FIRM UNDISTURBED BEARING. MIN 18" BELOW FIN GRADE (TYPICAL)

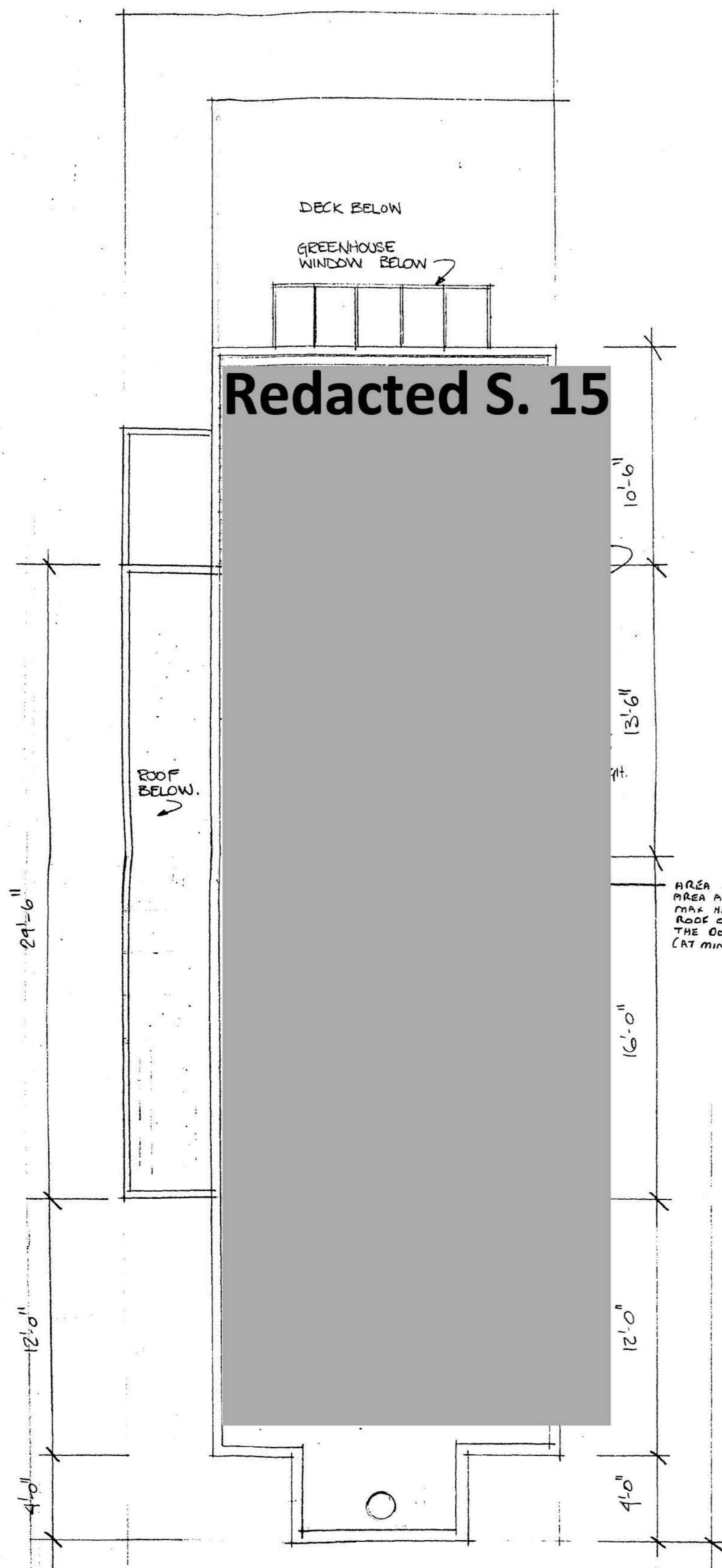
MIN PIER  
8" CONC UPSTAND ON 2'x20'x30" CONC PAD ON FIRM UNDISTURBED BEARING. MIN 18" BELOW FIN GRADE (TYPICAL)

**Redacted S. 15**

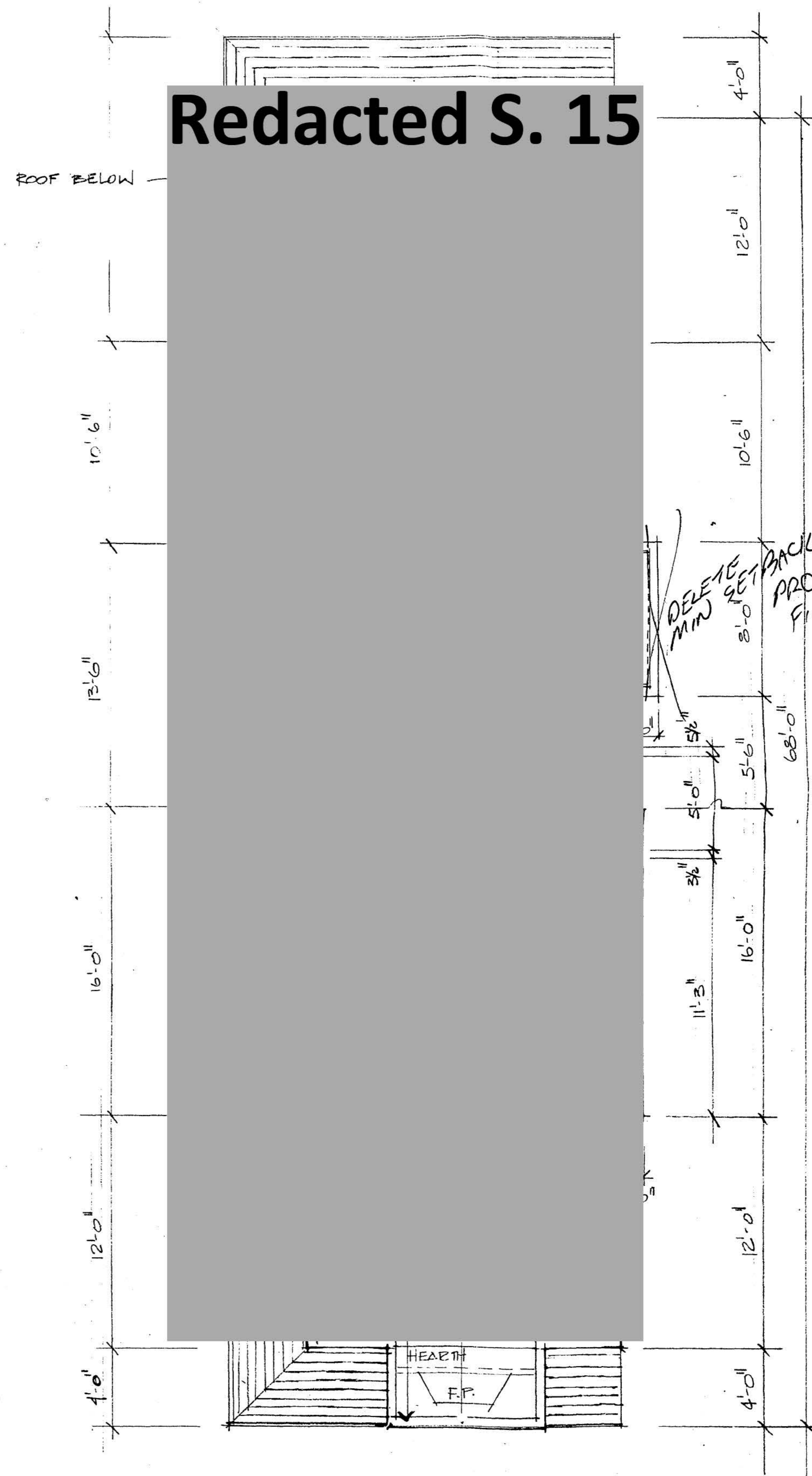
992 sq ft  
144 SOL.

ADD 4" TO LENGTH FEB 24/06

<b>CUNNINGHAM RESIDENCE</b>		
SCALE: NOTED	APPROVED BY:	DRAWN BY:
DATE: FEB 26		REVISED:
DRAWING NUMBER		A-2



ROOF DECK & STAIR TOWER.  $\frac{1}{4}'' = 1'-0''$



UPPER FLOOR.  $\frac{1}{4}'' = 1'-0''$

CUNNINGHAM RESIDENCE		
SCALE: NOTED	APPROVED BY:	DRAWN BY:
DATE: FEB 26		REVISED:
		DRAWING NUMBER
		A-3

Get Storm Main  
for Storm Main  
CUNNINGHAM RESIDENCE  
15292 COLUMBIA AVE

\$4000.00  
for Storm extension  
from Victoria Ave  
to Victoria Lane  
on Center St.  
right of Way

12'x20' ASPHALT  
PARKING PAD

LINE OF RESIDENCE  
SUPPORTED ON  
POSTS

TREE

117.37'

117.36'

LINE

29.95'

7'

STORM  
SEWER

SANITARY  
SEWER

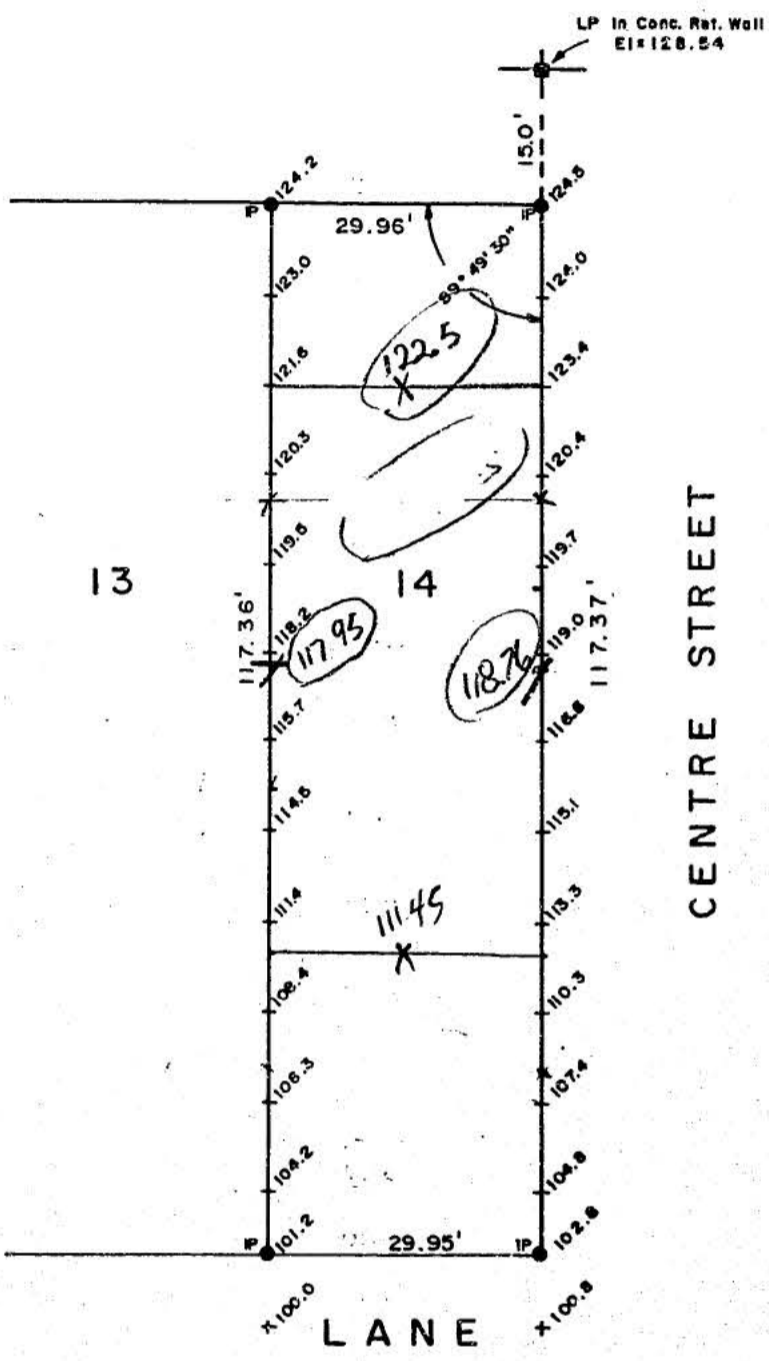
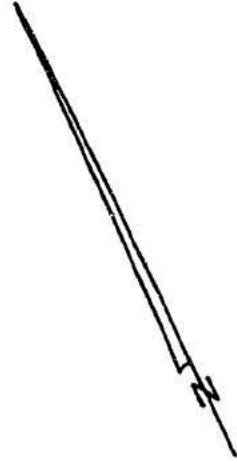




Iron Posts shown thus: ● I.P.  
Lead Plugs....."....."..... ■ L.P.

SCALE 1: (METRIC)

COLUMBIA AVENUE



CENTRE STREET

470.66  
- 4  
-----  
117.665  
25.262  
-----  
142.987

NOTE:  
Elevations are to an

CERTIFIED CORRECT  
HERMON, BUNBURY & OKE

*[Signature]*

B.C.L.S.

January 22nd, 19 86

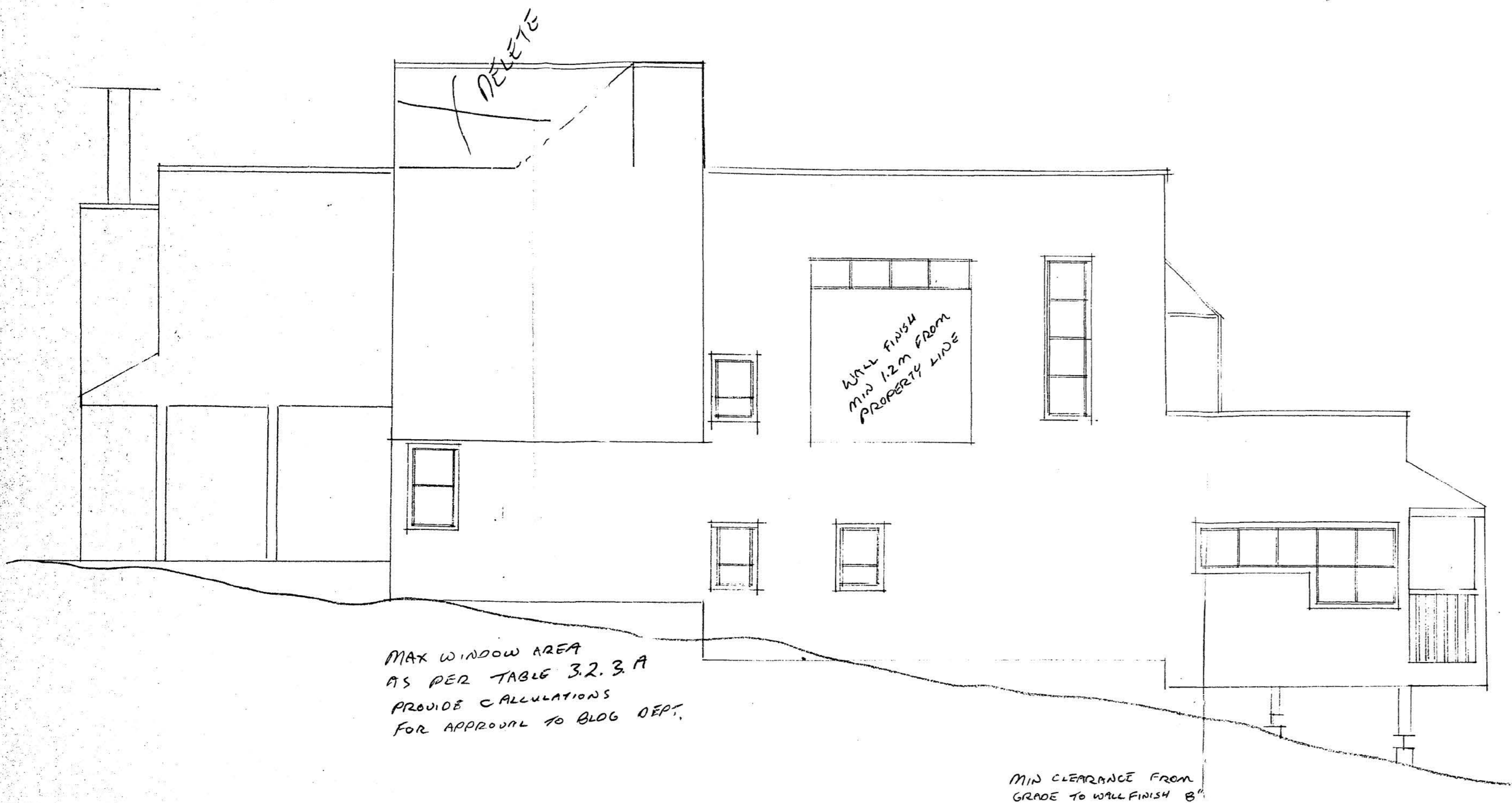
HERMON, BUNBURY  
DOMINION & B.C. LAND S  
VANCOUVER & WHISTL

SK. 4958

FB. 1433 P. 18-20

(J- 8 500

GC-10552

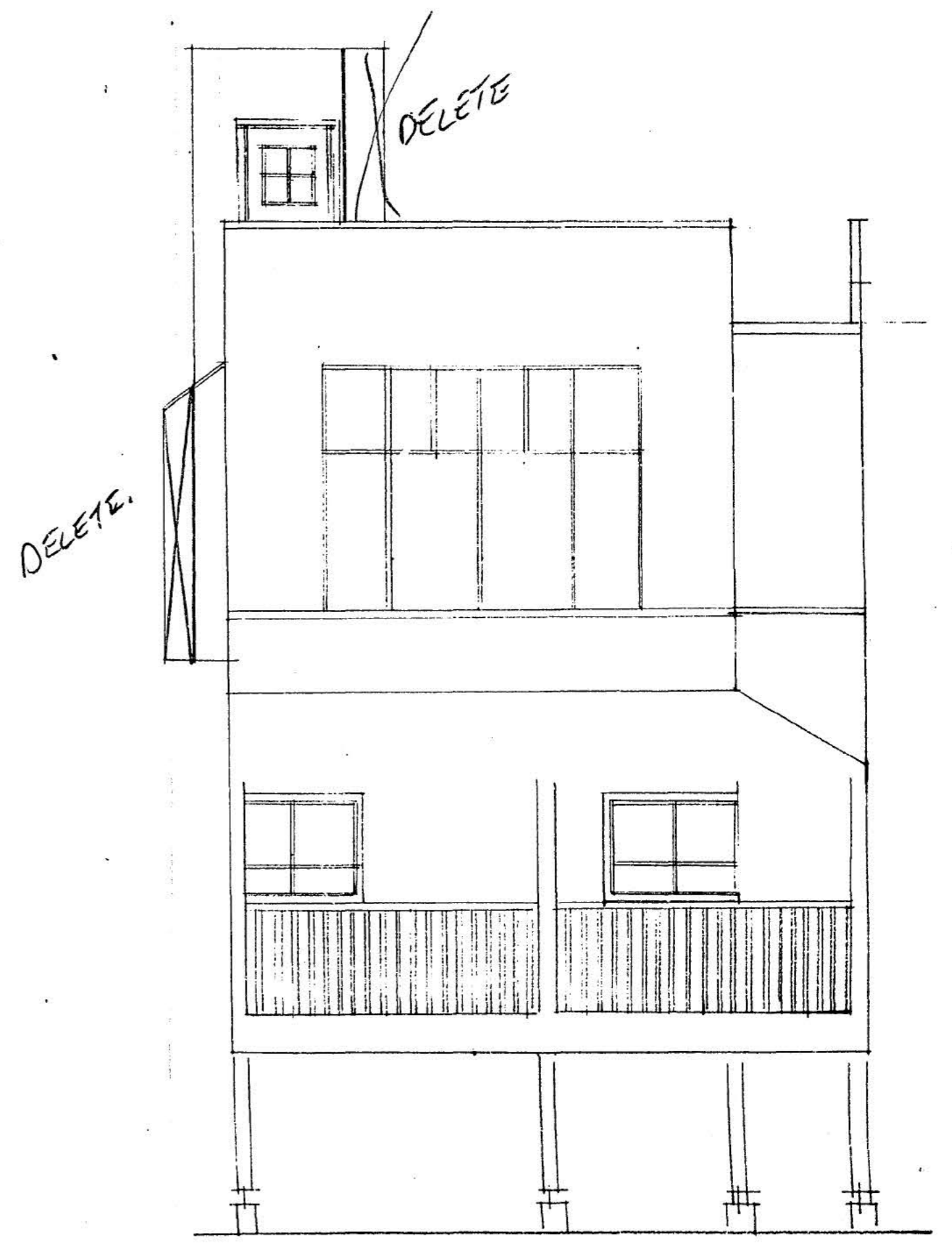


MAX WINDOW AREA  
AS PER TABLE 3.2.3.A  
PROVIDE CALCULATIONS  
FOR APPROVAL TO BLOC DEPT.

MIN CLEARANCE FROM  
GRADE TO WALL FINISH 8"

WEST ELEVATION

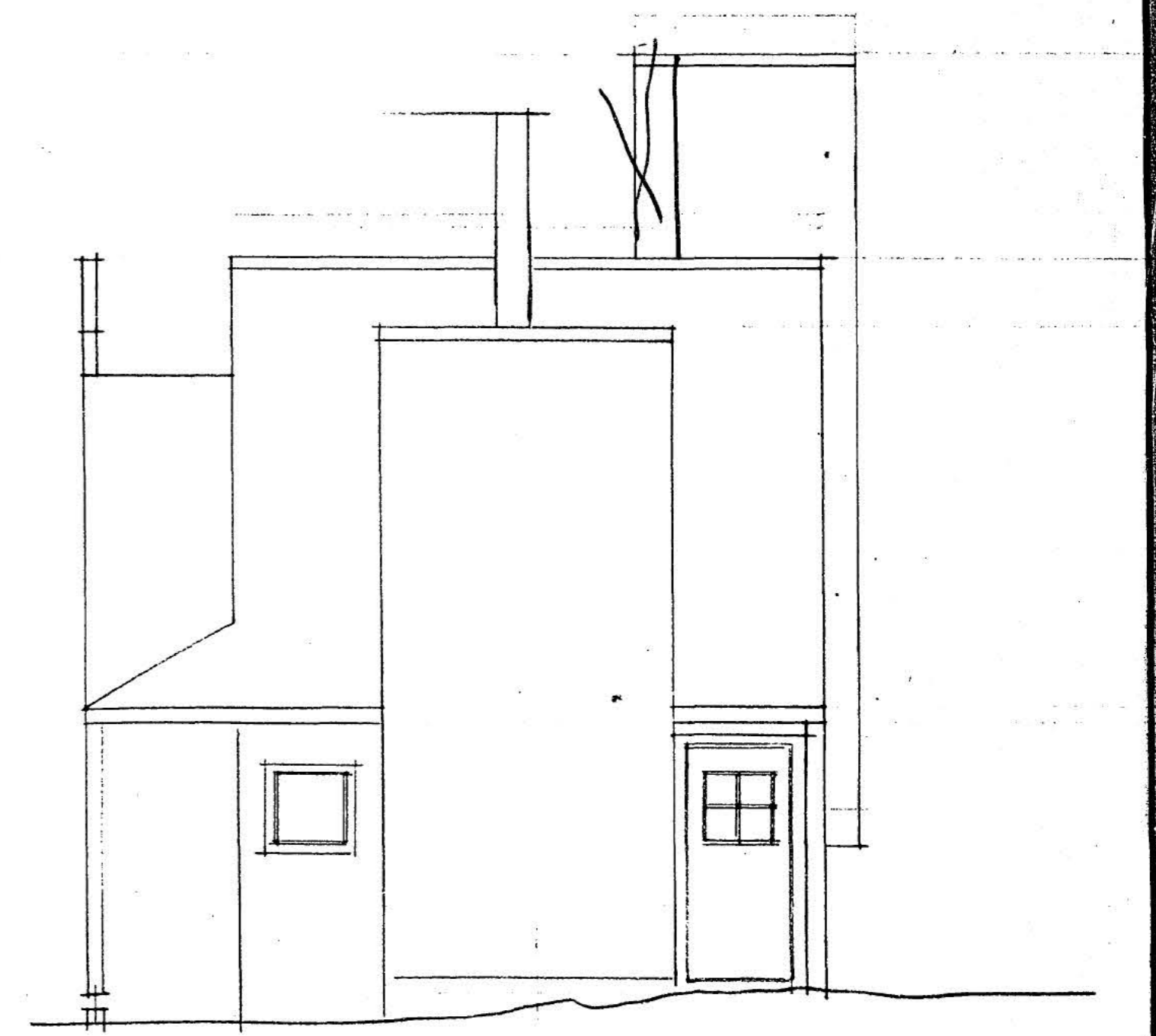
FLASH OVER ALL WINDOWS



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

CUNNINGHAM RESIDENCE		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY:
DATE: FEB 86		REVISED:
		DRAWING NUMBER A-4

# CONSTRUCTION NOTES

FLAT ROOF - EPDM ON 5/8" T&G PLYWOOD SHEATHING ON 2X12 @ 16" O.C. UNDER DECKS, @ 24" O.C. UNDER ROOF. R-20 BATT INSULATION, 2ML POLY V.B. 1/2" G.W.B.

SLOPED ROOF - PRESSURE TREATED CEDAR SHINGLES WITH 5" WEATHER ON BREATHABLE B.V. ON 1X4 STRAPPING ON 2X12 @ 24" O.C. R-20 BATT INSULATION 2ML POLY V.B. 1/2" G.W.B.

SLOPED ROOF ABOVE DECKS AND WALKWAYS - PRESSURE TREATED CEDAR SHINGLES WITH 5" WEATHER ON 1X4 STRAPPING ON 2X6 STUD FRAMING AT 24" O.C. 4" CEDAR SOFFIT.

EXTERIOR WALLS - CEDAR SIDING ON BUILDING PAPER ON 3/8" PLY SHEATHING ON 2X6 @ 24" O.C. R-20 BATT INSULATION 2ML POLY V.B. 1/2" G.W.B.

FLOOR - SLAB ON GRADE - FINISH FLOORING ON 3/8" PLY ON 2X4 @ 24" O.C. R-12 BATT INSULATION 4" CONC. FLOOR ON 6M POLY V.B. ON 5" GRANULAR FILL

FLOOR - FINISH FLOORING ON 3/8" PLY SHEATHING ON FLOOR JOISTS AS INDICATED. CROSS BRIDGING AT 7'0" O.C. MAX. R-20 INS. IN MASTER BEDROOM AND DINING ROOM FLOOR WHERE OVER EXTERIOR SPACE (2ML POLY V.B. ON WARM SIDE OF INS.) 3/8" T&G PLY UNDER MASTER BEDROOM & D.R. - 4" CEDAR UNDER D.R.

FOUNDATIONS - 2X6 PLATE ON DAMPROOF COLIASE C.W. APP ANCHORS AT 7'0" O.C. 8" CONC. FDN. WALL C.W. 2 LAYERS ASPHALTIC EMULSION TO EXT. SURFACE ON 8" X 16" CONT. STRIP FOOTING ON FIRM BEARING.

INTERIOR STAIRS - ALL RISES 7 1/2", TREADS 9 1/2" PLUS 1/2" nosing

INTERIOR PARTITIONS 1/2" G.W.B. EACH SIDE OF 2X4 STUDS AT 16" O.C. (EXCEPT WHERE NOTED)

FOOTING DRAINS 4" DIA. IN 6" TOP & SIDE COVER OF COARSE GRANULAR FILL MIN. SLOPE 1%

# GENERAL NOTES

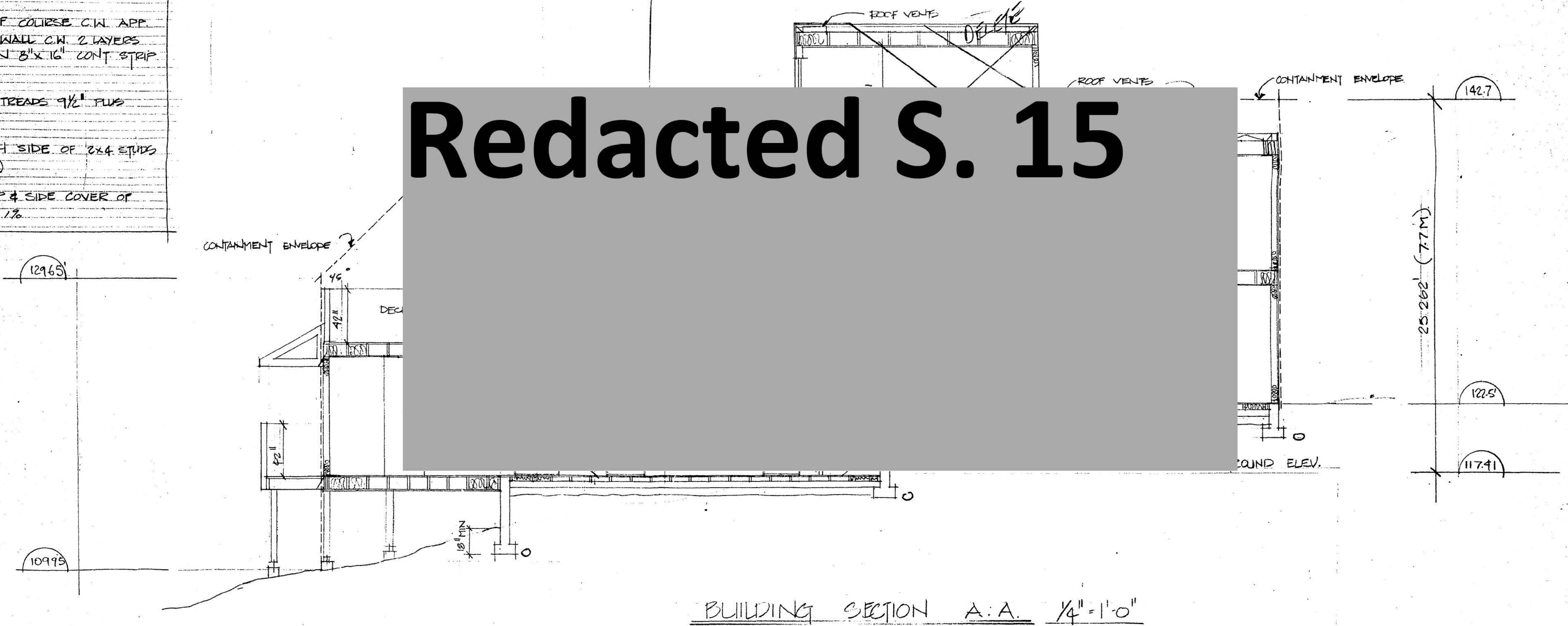
- DOUBLE ALL JOISTS UNDER PARALLEL PART.
- ALL LUMBER #2 HEM FIR OR BETTER
- FLASH OVER ALL UNPROTECTED OPENINGS.
- SOFFIT VENTS TO HAVE CONT. INSECT SCREENS
- ALL LINTELS 2-2X10 U.O.N.
- ALL DIMENSIONS TO FACE OF STUDS OR OUTSIDE OF SHEATHING.
- FIREPLACE TO CONFORM TO N.B.C. 1930 34 I
- CHIMNEY TO BE CLASS A FLUE.
- ALL WINDOWS, SKYLITES & DOOR LITES TO BE DOUBLE GLAZED.
- HANDRAILS 42" ABOVE NOSELINE. SEE BLDG DEPT PRIOR TO BLDG BALCONY GUARDS AND HANDRAILS ON STAIRS
- BALUSTE 3" O.C.
- ALL FLAT ROOFS TO SLOPE 2% TO DRAINS.
- PROVIDE OVERFLOW SCUPPERS FOR ALL FLAT ROOFS.

MIN 2x4 CASES PARALLEL TO 2x4 STUDS  
PROVIDE MIN 1/2" VENT  
NOO VENTILATION

DAMP PROOF BETWEEN CONCRETE AND 2X4 SLEEPER

MIN. SLOPE OF ROOFS & DECKS 2%

Redacted S. 15



CUNNINGHAM RESIDENCE		
SCALE NOTED	APPROVED BY:	DRAWN BY
DATE FEB 86.		REVISED
		DRAWING NUMBER
		A-5

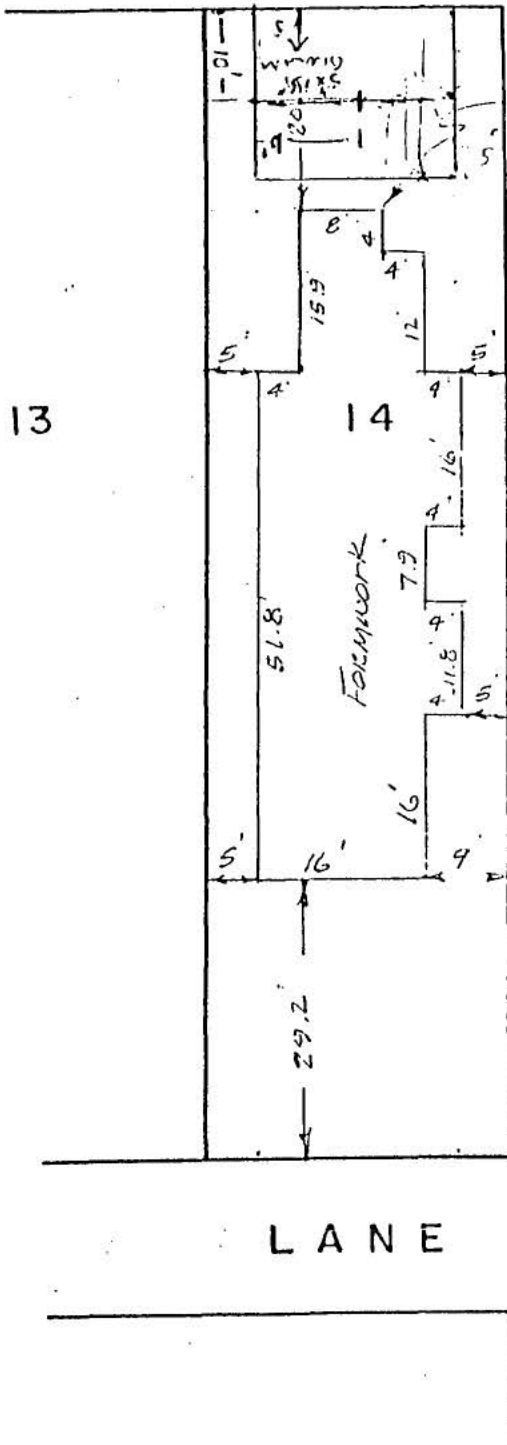
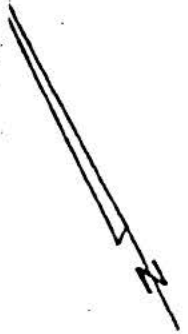
PLAN OF SURVEY OF  
LOT 14, BLK. 33, S.W. 1/4 OF SEC. 11, TP. 1, PLAN 488

GROUP 1, NEW WESTMINSTER DISTRICT

WHITE ROCK, B. C.

SCALE 1 INCH = 20 FEET  
1: (METRIC)

COLUMBIA AVENUE



Top leveling strip  
El. 122.48

*Handwritten signature*

CENTRE STREET

LANE

& OKE

*Handwritten initials* B.C.L.S.  
th, 19 86

HERMON, BUNBURY & OKE  
DOMINION & B.C. LAND SURVEYORS  
VANCOUVER & WHISTLER, B.C.

M - 46726 - T

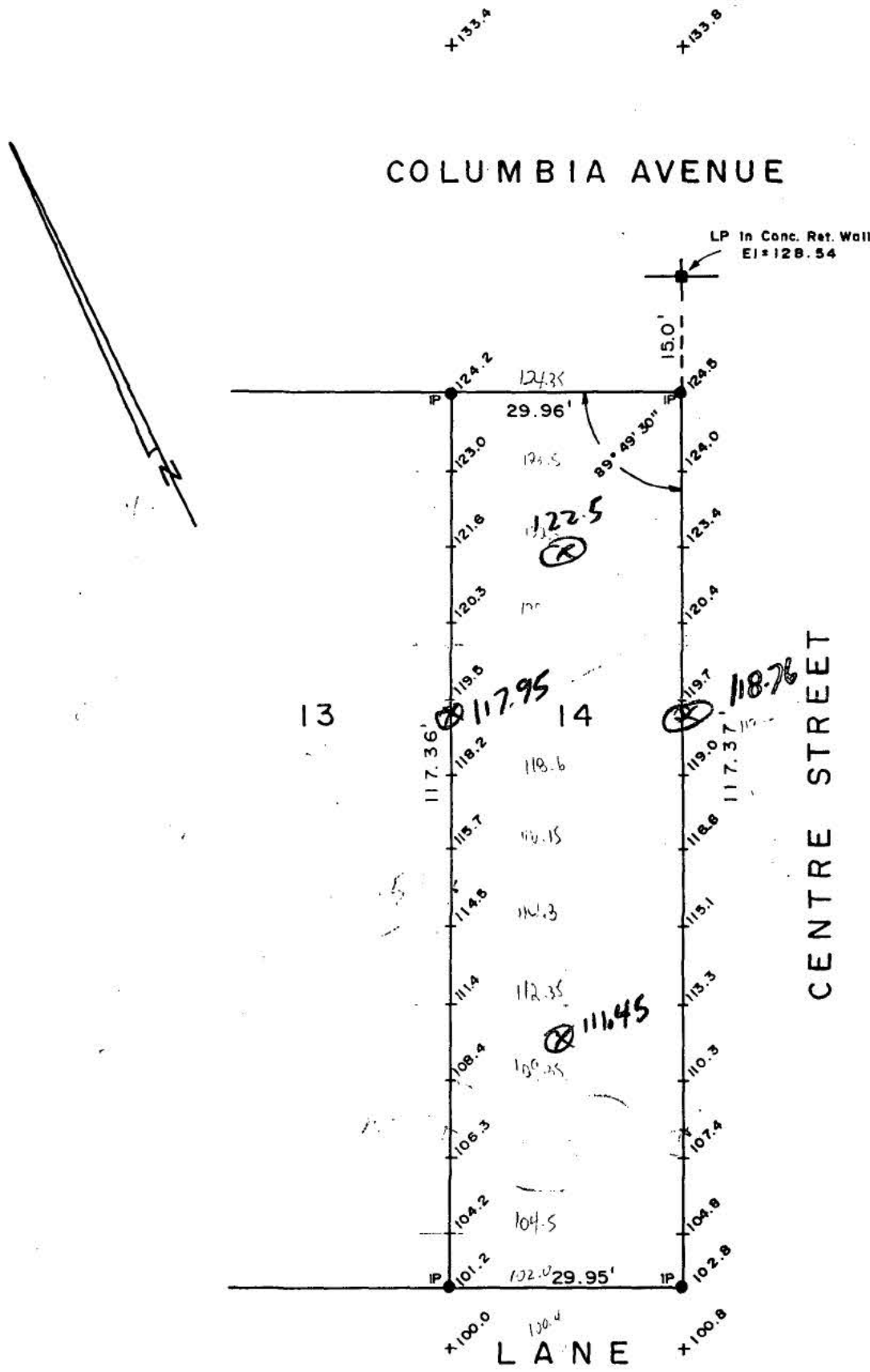
PLAN OF SURVEY OF  
 LOT 14, BLK. 33, S.W. 1/4 OF SEC. 11, TP. 1, PLAN 488

GROUP 1, NEW WESTMINSTER DISTRICT

WHITE ROCK, B. C.

SCALE 1 INCH = 20 FEET  
 1: (METRIC)

Iron Posts shown thus: ● I.P.  
 Lead Plugs....."....." ■ L.P.



NOTE:  
 Elevations are to an Assumed Datum.

CERTIFIED CORRECT  
 HERMON, BUNBURY & OKE

*[Signature]*

B.C.L.S.

January 22nd, 19 86

HERMON, BUNBURY & OKE  
 DOMINION & B.C. LAND SURVEYORS  
 VANCOUVER & WHISTLER, B.C.

SK. 4958

GC-10552

# THE CITY OF WHITE ROCK

## PERMIT TO BUILD

Date July 22 1980 Roll # 3805 Dev. Permit No. NH Permit No. 183

Owner URBAN DIMENSIONS INC  
 Address C 21 3545 E 43AVE VAN.  
 Architect \_\_\_\_\_  
 Contractor OWNER  
 Contractor's Address \_\_\_\_\_

Location 15292 COLVA-BID  
 Legal 14 13 S.W. 11 T. 1 48E  
 Dev. Permit Area: N/A Zone: R53  
 Occupancy SFD  
 Name of Project CADPCA

Description of Construction CONC. FRAME Lot Size \_\_\_\_\_  
 Truss Plan Req'd. \_\_\_\_\_ Survey Plan Req'd. \_\_\_\_\_ Max. Height: \_\_\_\_\_  
 Size 12x20 Storeys \_\_\_\_\_ Min. Yards: Front 3m R. Side 1.2m L. Side 3m for 7.5m Rear NA

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				
Ext. Walls				
Floors, Joists				
Live Loads				

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ <u>3000<sup>00</sup></u>
Permit Fee	\$ <u>39<sup>50</sup></u>
	\$ _____
	\$ _____
Total Fees	\$ <u>59<sup>00</sup></u>

Owner or Authorized Agent \_\_\_\_\_ Building Inspector B. W. Hall (OVER) [Signature]

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED

# THE CITY OF WHITE ROCK PERMIT TO BUILD

D.F

Date MAR 1 19 91 Roll # 3806 Dev. Permit No. \_\_\_\_\_ Permit No. 23

**Redacted S. 22**

Address 15297 COLUMBIA Location 15297 COLUMBIA  
 Architect \_\_\_\_\_ Legal 14 33 S.W. 11 T. 1 488  
 Contractor OWNER Dev. Permit Area: \_\_\_\_\_ Zone: R53  
 Contractor's Address \_\_\_\_\_ Occupancy SFD  
 Name of Project EXPOSE CANOPY

Description of Construction CCIX 4 FRAME Lot Size \_\_\_\_\_  
 Truss Plan Req'd: \_\_\_\_\_ Survey Plan Req'd: \_\_\_\_\_ Max. Height: \_\_\_\_\_  
 Size \_\_\_\_\_ Storeys \_\_\_\_\_ Min. Yards: Front B.V. R. Side 1.2m L. Side 3.8V Rear N.A.

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				

COPY

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ <u>4000.00</u>
Permit Fee	\$ <u>46.00</u>
	\$ _____
	\$ _____
<b>Total Fees</b>	<b>\$ <u>46.00</u></b>

**Redacted S. 22**

Owner or Authorized Agent \_\_\_\_\_ B. W. Hall Building Inspector per [Signature] (OVER)



DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

July 10/91

Erone

yellow sheet R.

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, P.O. Box 188, White Rock, B.C. V4B 5C6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: ..... PERMIT No. ....  
ADDRESS: ..... 15292 Courbin Ave ..... SHEET No. 1  
TYPE OF INSPECTION: ..... FINALE ..... DATE: FEB 17/92  
AREA OF INSPECTION: ..... GARAGE ADDITION .....

GARAGE ADDITION FINALE INSPECTION PASSED  
5351675

SIGNATURE: ..... INSPECTOR: 

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, P.O. Box 188, White Rock, B.C. V4B 5C6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

Redacted S. 22

NAME: ..... PERMIT No. ....  
 ADDRESS: 15292 Courbin Ave ..... SHEET No. 1 .....  
 TYPE OF INSPECTION: Final ..... DATE: Dec 21/91 .....  
 AREA OF INSPECTION: .....

1. Nail <sup>(3)</sup> post TO METAL SADDLE
2. Tie blue lam to post (METAL TIEBACK)

SIGNATURE: ..... INSPECTOR: *Peter Bered* .....

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, P.O. Box 188, White Rock, B.C. V4B 5C6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

**Redacted S. 22**

NAME: ..... PERMIT No. ....  
 ADDRESS: ..... 15292 Columbia Ave ..... SHEET No. 1  
 TYPE OF INSPECTION: ..... FRAME ..... DATE: July 8 / 91  
 AREA OF INSPECTION: .....

- sig 12/91*
- ✓ 1 Support East End of glulam.
  - ✓ 2 Provide 2 blocks between 2x10's @ south side of carport.
  - 3 Tie Above Posts to Beams with Plywood or Metal Strap Ties.

SIGNATURE: ..... INSPECTOR: *[Signature]* .....  
 DATE: .....

Please sign this form when the work is completed and return to the above department.



# APPLICATION FOR BUILDING PERMIT

## FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. .... MAR 1, 1991

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to ADD TO the building as follows:

ENCLOSE CARPORT TO GARAGE

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: RS3 Development Permit # N/A

Correct description of property 14 33 S.W. 11 T.1 488

Street 15292 COLUMBIA Size of land 29.95 x 117.36

Survey Plan required No  Yes  REC'D

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for? SFD

How heated? 00

Entire value, when completed \$ 4000.00

Name and mail address of owner Redacted S. 22

15292 COLUMBIA

Name and mail address of builder OWNER Phone:

Name and address of architect (if any)

Name and address of person or persons to whom permit is to be issued:

Name OWNER Address

Do you require to use street for placing material? NO

How long? Days

And I agree to conform to all requirements of said By-Law.

Roll No. 3005 Signature of Applicant:

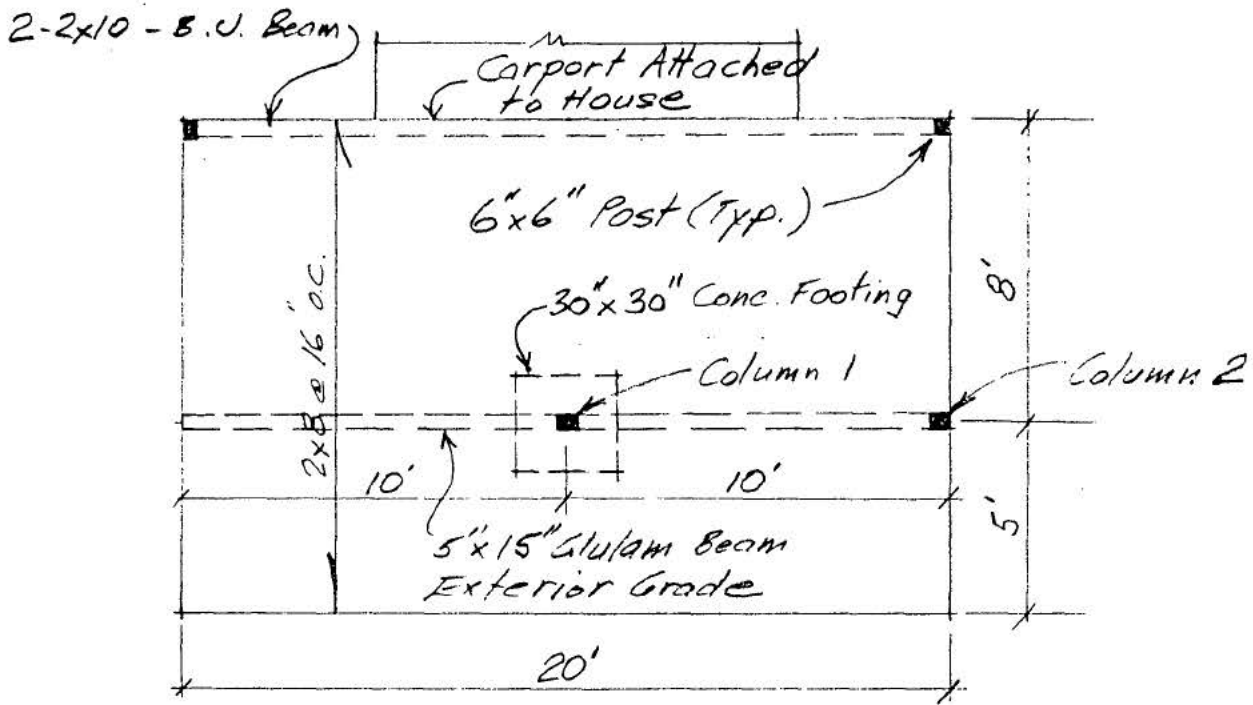
Building Permit Fee: 46.00

Plan Checking Fee:

Permit No. 23

Redacted S. 22

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

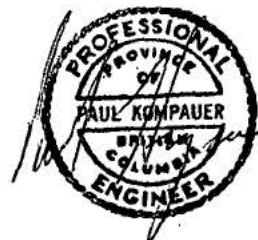


### PLAN - CARPORT

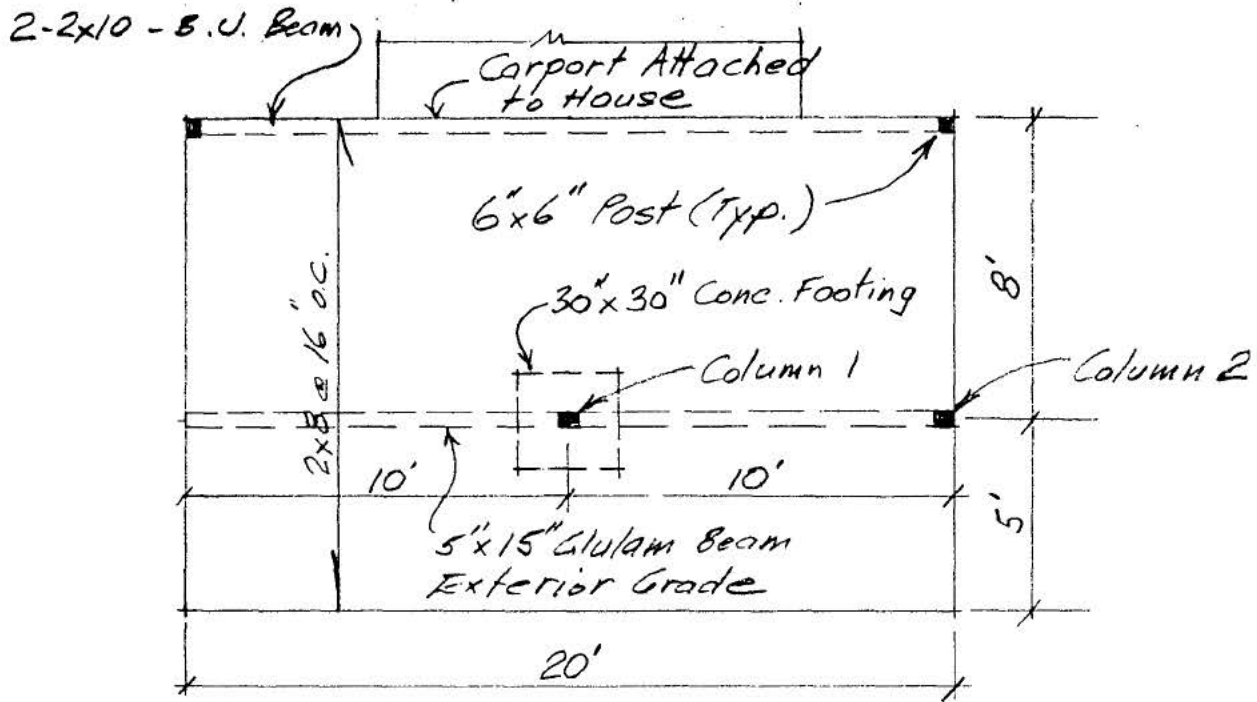
(15292 Columbia Ave. W.R.)

#### Notes:

1. Glulam beam shall be 24f, exterior, stress grade.
2. Metal clips shall be used to fasten down 2x8 roof joints on the house side for uplift.
3. Metal plate shall be used to connect column 2 to Glulam beam for uplift.
4. Optional knee braces can be used at Column 1 and Glulam beam.



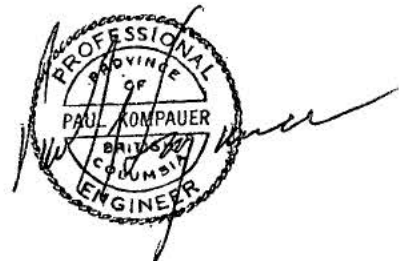
21 July 1986



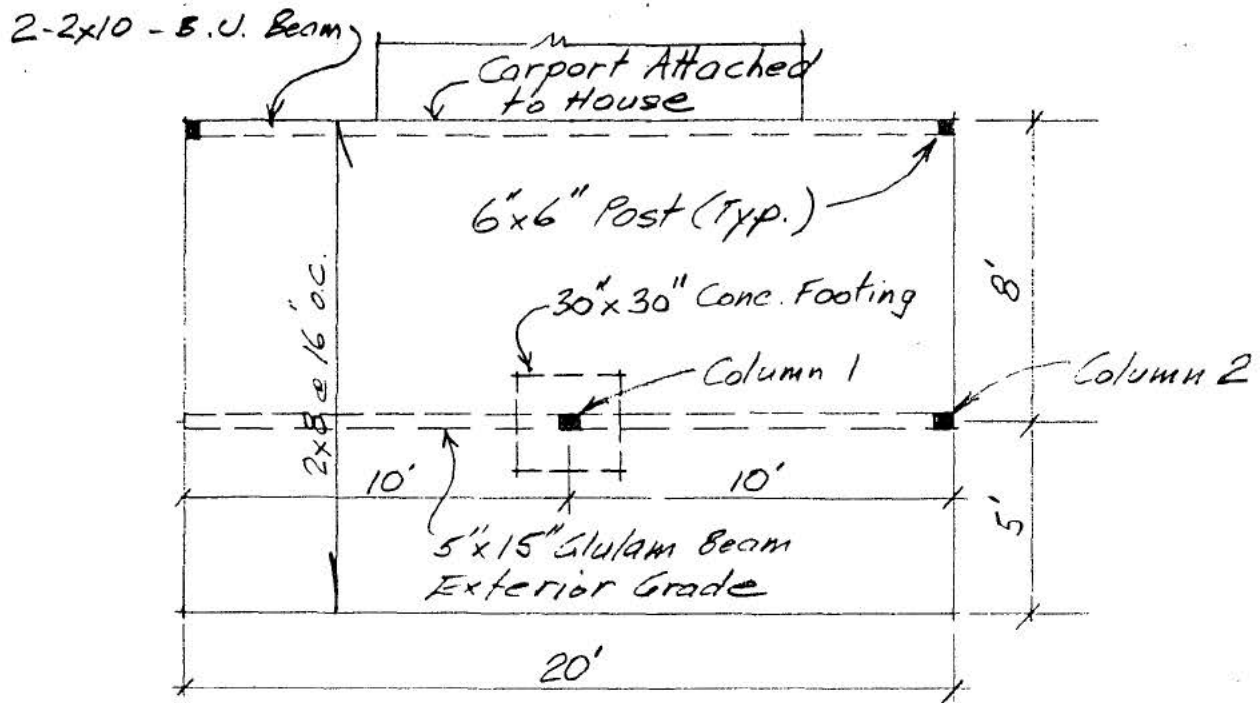
PLAN - CARPORT  
(15292 Columbia Ave. W.R.)

Notes:

1. Glulam beam shall be 24f, exterior, stress grade.
2. Metal clips shall be used to fasten down 2x8 roof joists on the house side for uplift.
3. Metal plate shall be used to connect column 2 to Glulam beam for uplift.
4. Optional knee braces can be used at Column 1 and Glulam beam.



21 July 1986



### PLAN - CARPORT

(15292 Columbia Ave. W.R.)

#### Notes:

1. Glulam beam shall be 24f, exterior, stress grade.
2. Metal clips shall be used to fasten down 2x8 roof joints on the house side for uplift.
3. Metal plate shall be used to connect column 2 to Glulam beam for uplift.
4. Optional knee braces can be used at Column 1 and Glulam beam.



26 July 1986



CONFIRMATION OF  
PROFESSIONAL ASSURANCE

ASSURANCE OF "STRUCTURAL DESIGN" AND "FIELD REVIEW"

The Director of Permits & Licences,  
City of White Rock,  
15322 Buena Vista Ave., P. O. Box 188,  
White Rock, B. C.  
V4B 5C6

Dear Sir:

RE: Carport beam @ 15292 Columbia Ave., White Rock, B.C.  
(Address of Project)

The undersigned hereby gives assurance that the design of this building conforms to all of the structural requirements of Part 4 (or Part 9 as applicable) of the current White Rock Building By-law. Further that the undersigned will be responsible for structural "field review" of the above mentioned building/structure.

As used herein, "field review" shall mean such reviews at the project site and at fabrication locations as the Engineer, in his professional discretion, considers to be necessary in order to ascertain that the work substantially conforms to the plans and supporting documents prepared by the Engineer for the project which have been "accepted" by the City of White Rock. This will include keeping records of all site visits and any corrective actions taken as a result thereof.

The undersigned also undertakes to notify the Director of Permits and Licences as soon as practical if the contract with the owner for field review is cancelled at any time during construction.

If Engineer is a company

Company Name (Print) KDR Engineering Consultants Ltd.

Address #209-15225 Thrift Ave. White Rock Phone 536-1551

Engineer's Name (Print) Paul Kompauer

Signed *Paul Kompauer* P. Eng.

Date July 21, 1986

OR



If Engineer is an individual:

Name (Print) \_\_\_\_\_

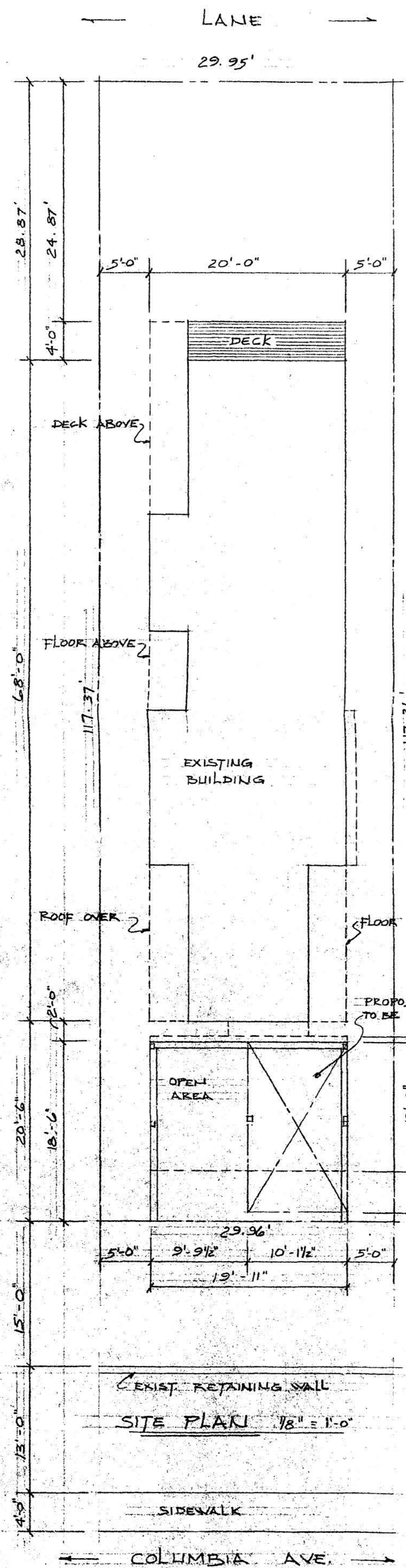
Signed \_\_\_\_\_, P. Eng.

Date \_\_\_\_\_

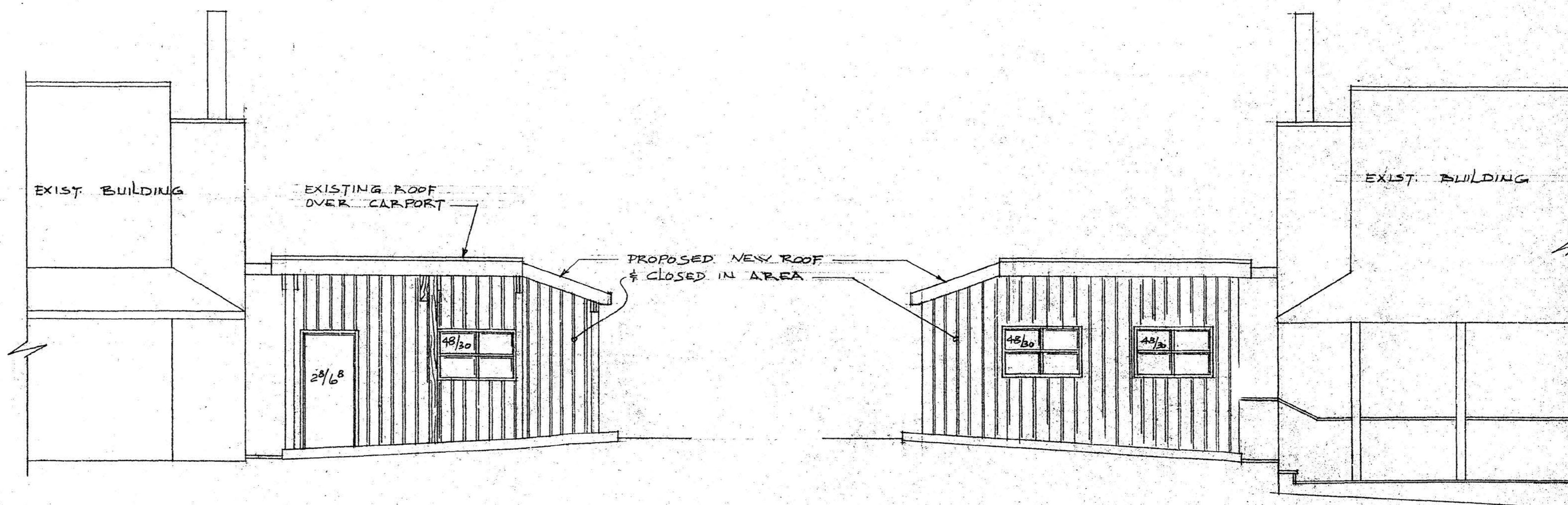
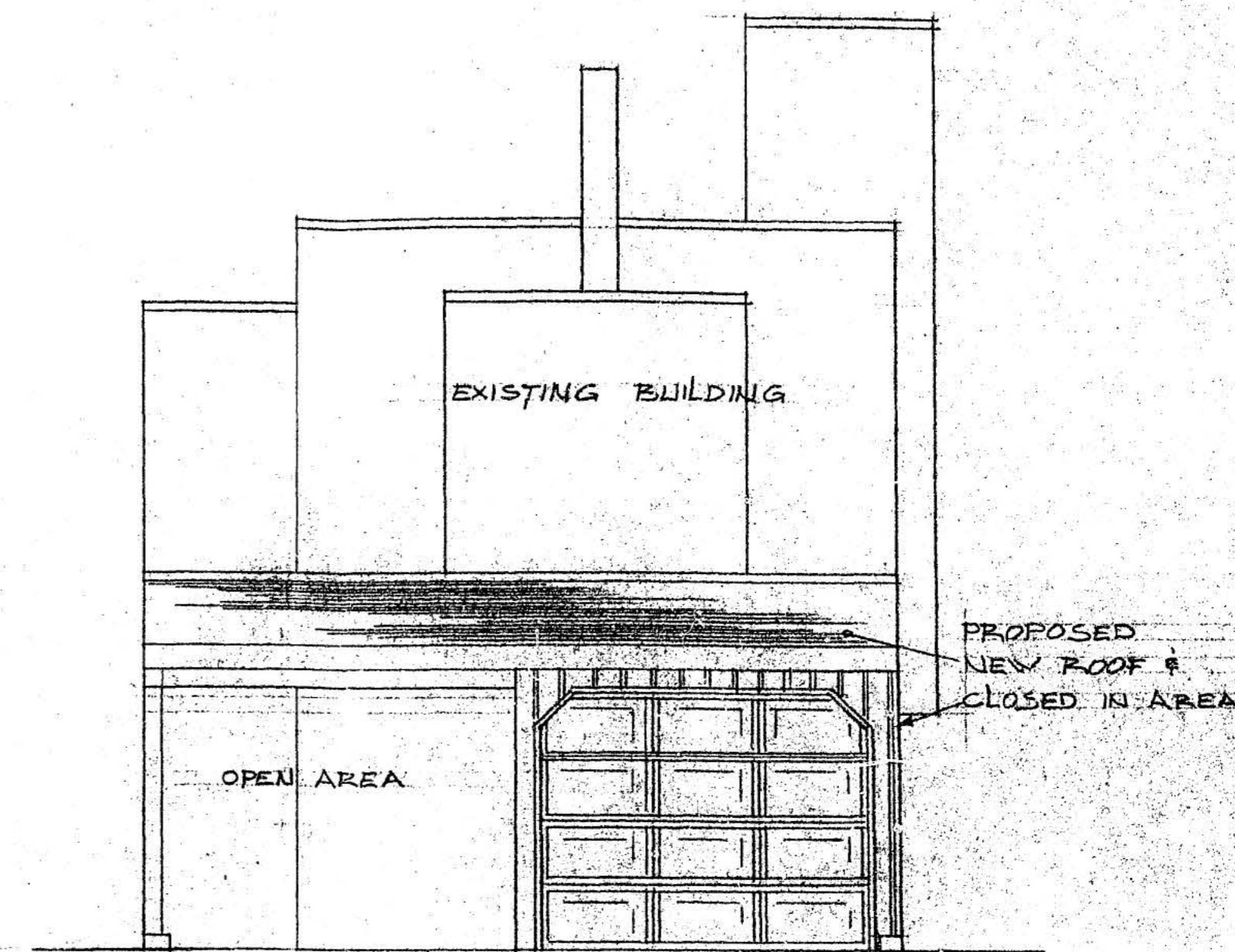
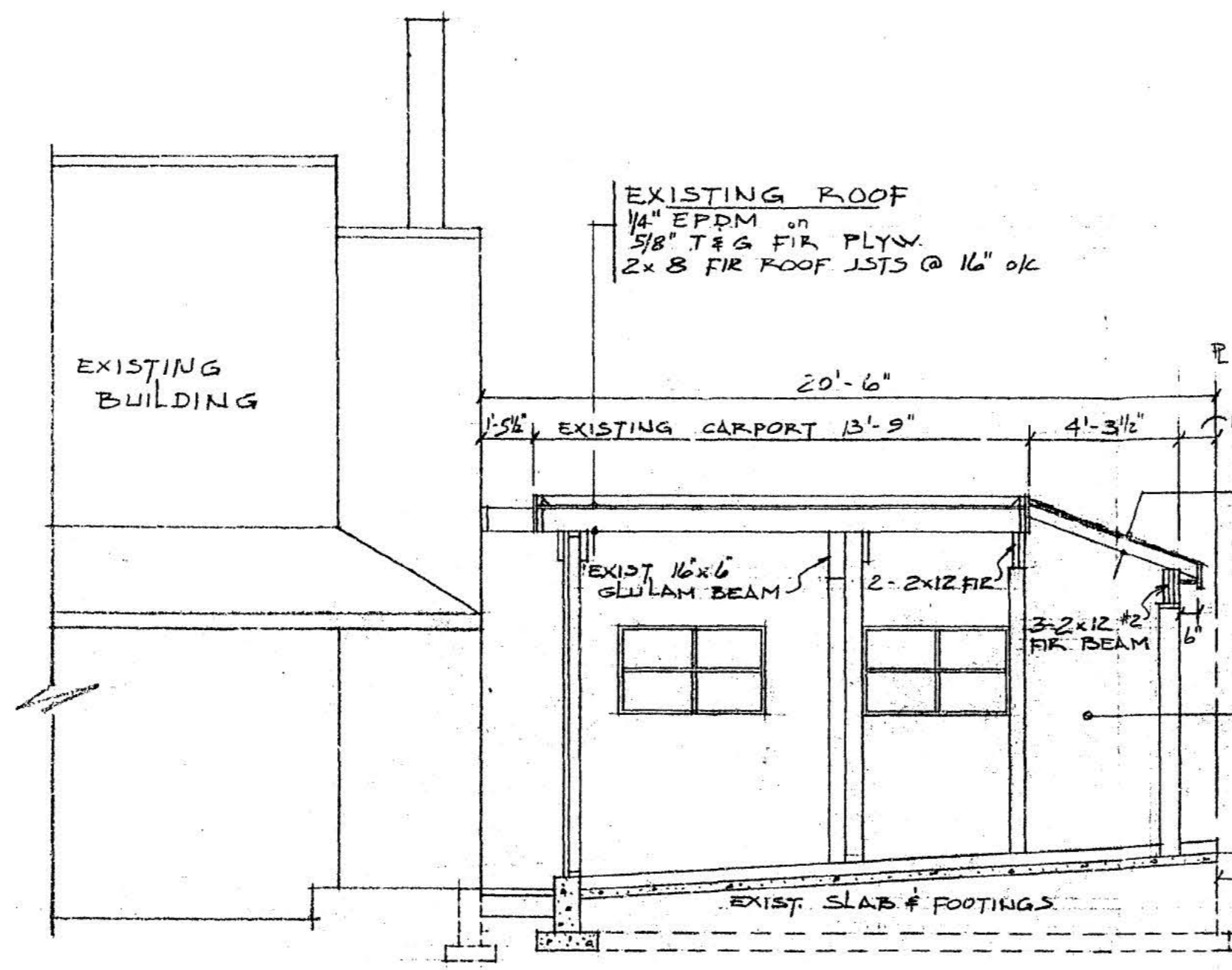
Address (Print) \_\_\_\_\_ Phone \_\_\_\_\_

**NOTE:** The above letter must be signed by a Professional Engineer registered in the Province of British Columbia as a member in good standing in the Association of Professional Engineers.

# #23191 15292 COLUMBIA



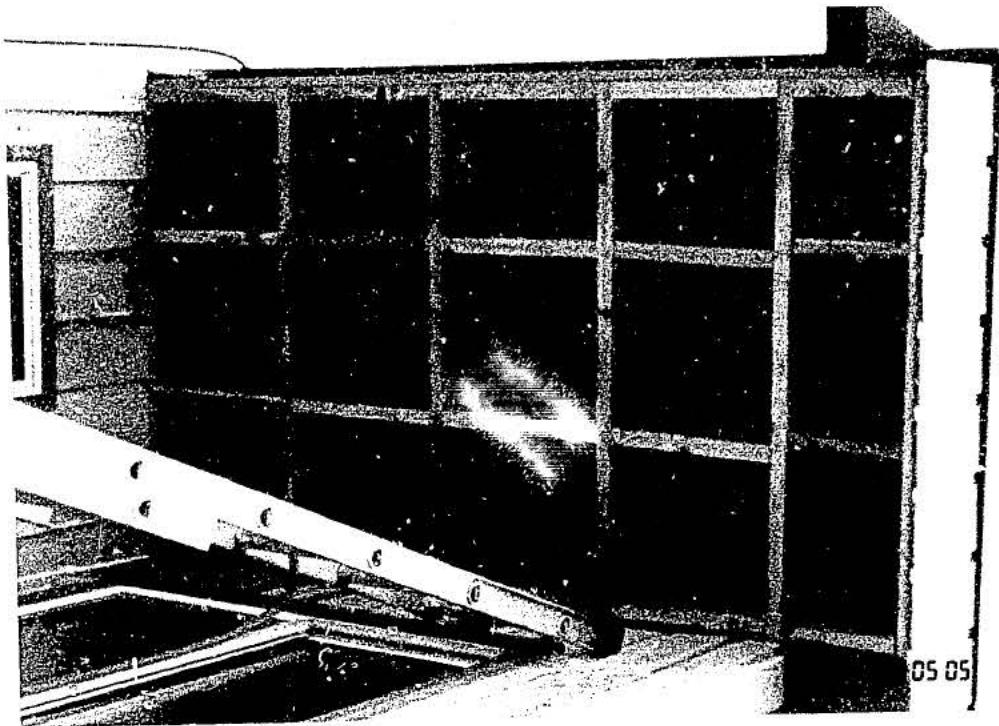
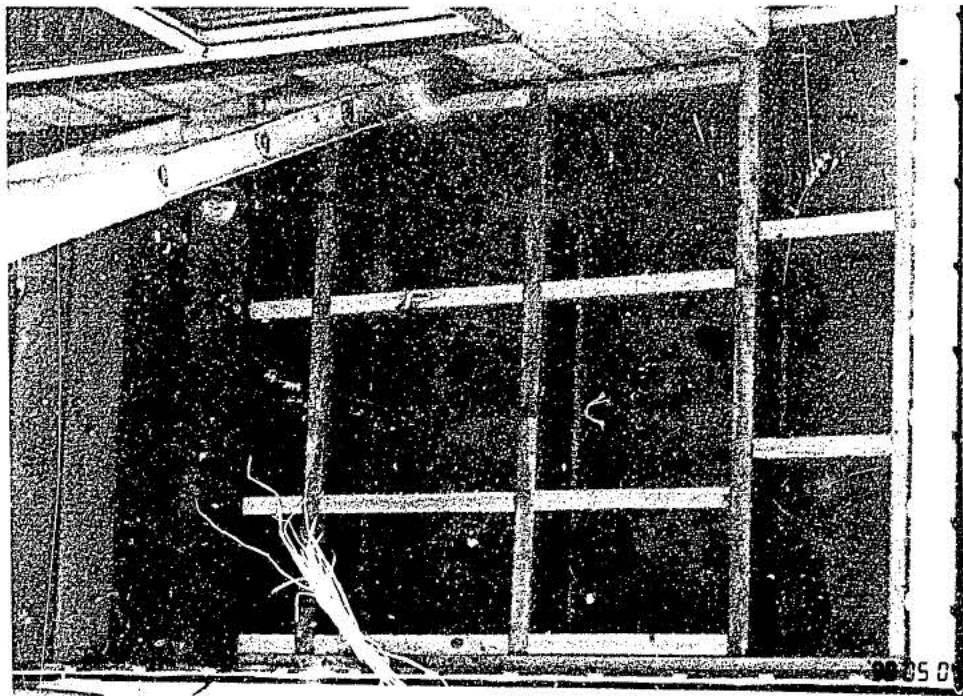
LEGAL DESCRIPTION  
 LOT 14, BLOCK 33, SW 1/4 of  
 SEC. 11, T.P. 1, PLAN 488, GROUP 1  
 NEW WESTMINSTER DISTRICT  
 CIVIC ADDRESS  
 15292 COLUMBIA AVE



SITE COVERAGE  
 HOUSE 1187 sf  
 DECK 64 sf  
 TOTAL 1248 sf = 35.49 %  
 LOT 3576 sf  
 PROPOSED GARAGE 177 sf  
 GARAGE + HOUSE + DECK 1475 sf = 40.52 %  
 TOTAL HOUSE - MAIN 1120 sf UPPER 1020 sf = 2150 sf

Redacted S. 22 RESIDENCE

SCALE NOTED	APPROVED BY	DRAWN BY AD
DATE FEB 13/91	REVISED	
PROPOSED GARAGE ADDITION		
DRAWING NUMBER		1 of 1



**THE CITY OF WHITE ROCK  
PERMIT TO BUILD**

D.F.

Acc 9/98

40-98

Date: 19... Roll #: ... Dev. Permit No. ... Permit No. 40-98

Owner: **Redacted S. 22**  
 Address: .....  
 Architect: P.C. Hoagenson  
 Contractor: .....  
 Contractor's Address: .....

Location: 15292 Col Ave.  
 Legal: .....  
 Dev. Permit Area: ..... Zone: R-3  
 Occupancy: SFD  
 Name of Project: extend existing deck

Description of Construction: ..... Lot Size: .....  
 Truss Plan Req'd: 25 per code Survey Plan Req'd: ..... Max. Height: .....  
 Size: ..... Storeys: ..... Min. Yards: Front: ..... R. Side: ..... L. Side: ..... Rear: .....

	Basement	1st	2nd	Roof
Ext. Walls				
Floors, Joists		25 per code		
Live Loads				

Basement .....  
 Footings .....  
 Columns .....  
 Beams 25 per code  
 Stairways .....  
 Int. Partitions code  
 Heating .....  
 Ventilation .....  
 Insulation .....  
 Plans Filed .....

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ 3000
Permit Fee	\$ 55
Ticks	\$ 10
Total Fees	\$ 65

**Redacted S. 22**

Owner or Authorized Agent

Building Inspector

*Furbush*

(OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED

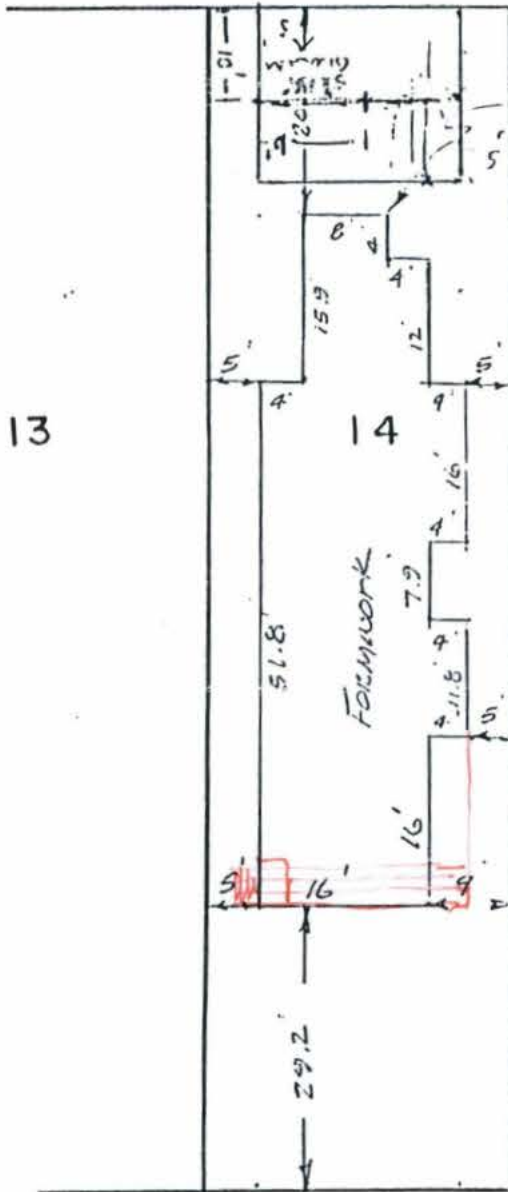
PLAN OF SURVEY OF  
 LOT 14, BLK. 33, S.W. 1/4 OF SEC. 11, TP. 1, PLAN 488

GROUP 1, NEW WESTMINSTER DISTRICT

WHITE ROCK, B. C.

SCALE 1 INCH = 20 FEET  
 1: (METRIC)

COLUMBIA AVENUE



13

14

CENTRE STREET

RS-3

LANE

& OKE

*[Signature]* B.C.L.S.  
 th 19 86

HERMON, BUNBURY & OKE  
 DOMINION & B.C. LAND SURVEYORS  
 VANCOUVER & WHISTLER, B.C.

M - 46726 - T

**THE CITY OF WHITE ROCK  
PERMIT TO BUILD**

D.F.

40-90

Date: Apr 2/10 19   Roll #    Dev. Permit No.    Permit No.   

Owner: **Redacted S. 22** Location: 15016 1st St N

Address:    Legal:   

Architect: PC Hampton Dev. Permit Area:    Zone:   

Contractor:    Occupancy:   

Contractor's Address:    Name of Project:   

Description of Construction:    Lot Size:   

Truss Plan Req'd:    Survey Plan Req'd:    Max. Height:   

Size:    Storeys:    Min. Yards: Front    R. Side    L. Side    Rear   

	Basement	1st	2nd	Roof
Ext. Walls				
Floors, Joists				
Live Loads				

Basement   

Footings   

Columns   

Beams   

Stairways   

Int. Partitions   

Heating   

Ventilation   

Insulation   

Plans Filed   

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ 5000
Permit Fee	\$ 55
<u>  </u>	\$ 10
<u>  </u>	\$
<b>Total Fees</b>	<b>\$ 65</b>

**Redacted S. 22** Building Inspector F. Williams (OVER)







THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

Redacted S. 22

PERMIT No. 40-90  
 ADDRESS: 15296 Col. ave SHEET No. 1  
 TYPE OF INSPECTION: final DATE: May 27/98  
 AREA OF INSPECTION: deck extension

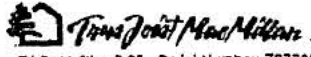
deck extension - approved

*[Handwritten signature]*

SIGNATURE: \_\_\_\_\_ INSPECTOR: *Frank Wilson*  
 DATE: \_\_\_\_\_

Please sign this form when the work is completed and return to the above department.

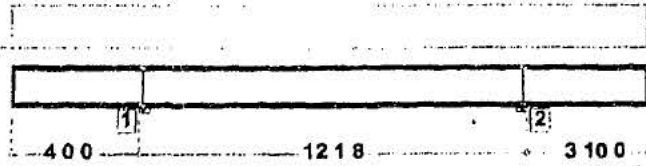
98-0895



9.5" TJI®/Pro™-150 JOIST @ 19.2" o/c

TJ-Beam™ v5.03 Serial Number: 707200064  
 BEAMCND 1001 14/04/98 2:15:40 PM  
 Page 1 of 1 Build Code: 054

THIS PRODUCT MEETS OR EXCEEDS THE SET DESIGN CONTROLS FOR THE APPLICATION AND LOADS LISTED



Product Diagram is Conceptual.

**LOADS:**

Analysis for JOIST MEMBER Supporting FLOOR - RES. Application. Loads(psf): 50 Live at 100% duration, 15 Dead, 0 Partition

**SUPPORTS:**

	INPUT	BEARING	JUSTIFICATION	REACTIONS(lbs.)	DETAIL	OTHER
	WIDTH	LENGTH		LIVE/DEAD/TOTAL		
1	2x4 plate	3.50"	3.5"	Left Face	863 / 243 / 1108	Detail E1 TJI® Blocking Panel
2	2x4 plate	3.50"	3.5"	Right Face	845 / 236 / 1081	Detail E1 TJI® Blocking Panel

- See TJM SPECIFIER'S / BUILDER'S GUIDES for detail(s): E1.

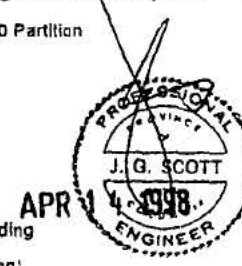
**DESIGN CONTROLS:**

	MAXIMUM	DESIGN	ALLOW.	CONTROL	LOCATION
Shear(lb)	675	605	1232	Passed(49%)	LT. end Span 1 under Floor ADJACENT span loading
Reaction(lb)	1106	1106	1895	Passed(58%)	Bearing 1 under Floor ADJACENT span loading
Moment(R-lb)	1622	1622	2839	Passed(57%)	MID Span 1 under Floor ALTERNATE span loading
Live Defl.(in)		0.163	0.207	Passed(2L/610)	LT. Overhang under Floor ALTERNATE span loading
Total Defl.(in)		0.231	0.592	Passed(L/615)	MID Span 1 under Floor ALTERNATE span loading

- Allowable moment was increased for repetitive member usage.
- Deflection Criteria: STANDARD(LL:L/480, TL:L/240). Additional checks follow.  
 Right overhang(LL:0.2", TL:2L/240).
- Deflection analysis is based on composite action with single layer of the appropriate span-rated, GLUED & NAILED wood sheathing.
- The load conditions considered in this design include alternate and adjacent member skip loading.

**ADDITIONAL NOTES:**

- **IMPORTANT!** The analysis presented is output from software developed by Trus Joist MacMillan(TJM). TJM warrants the sizing of its products by this software will be accomplished in accordance with TJM product design criteria and code accepted design values. The specific product application, input design loads, and stated dimensions have been provided by the software user. This output has not been reviewed by a TJM Associate.
- Not all products are readily available. Check with your supplier or TJM technical representative for product availability.
- THIS ANALYSIS FOR TRUS JOIST MacMILLAN PRODUCTS ONLY! PRODUCT SUBSTITUTION VOIDS THIS ANALYSIS.
- Allowable Stress Design methodology was used for Building Code NBCC analyzing the TJM Distribution product listed above.
- Bracing(Lu): All compression edges (top and bottom) must be braced at 2 6' o/c unless detailed otherwise. Proper attachment and positioning of lateral bracing is required to achieve member stability.
- Both overhangs may require bottom chord bracing.



**PROJECT INFORMATION**

PHIL HAAGENSON  
 15292 COLUMBIA AVE  
 WHITE ROCK

**OPERATOR INFORMATION:**

Cloverdale Truss Co. Ltd.  
 FRANK ZULJ  
 17474 58th Avenue  
 Surrey, BC V3S 1C3  
 (604) 576-9171  
 (604) 576-2476



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

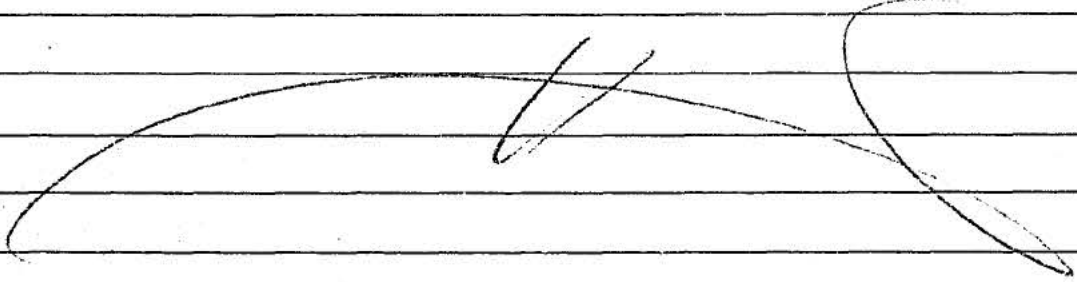
# Inspection Report

Redacted S. 22

ADDRESS: 15292 Col. Ave. PERMIT No. 40-90  
 TYPE OF INSPECTION: framing SHEET No. 1  
 DATE: May 4/90  
 AREA OF INSPECTION:

1) engineers seal required on drawing  
 and address of jobsite.

framing - approved subject to the  
 above.



SIGNATURE: INSPECTOR: *[Signature]*

DATE:

Please sign this form when the work is completed and return to the above department.

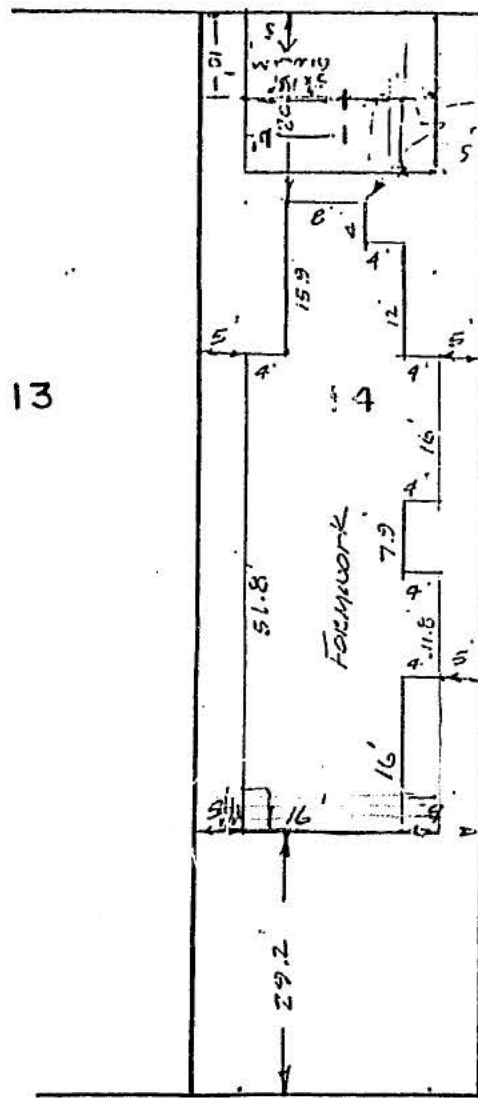
PLAN OF SURVEY OF  
LOT 14, BLK. 33, S.W. 1/4 OF SEC. 11, TP. 1, PLAN 488

GROUP 1, NEW WESTMINSTER DISTRICT

WHITE ROCK, B. C.

SCALE 1 INCH = 20 FEET  
1: (METRIC)

COLUMBIA AVENUE



Top leveling strip  
El. 122.48

*Handwritten signature*

13

CENTRE STREET

RS-3

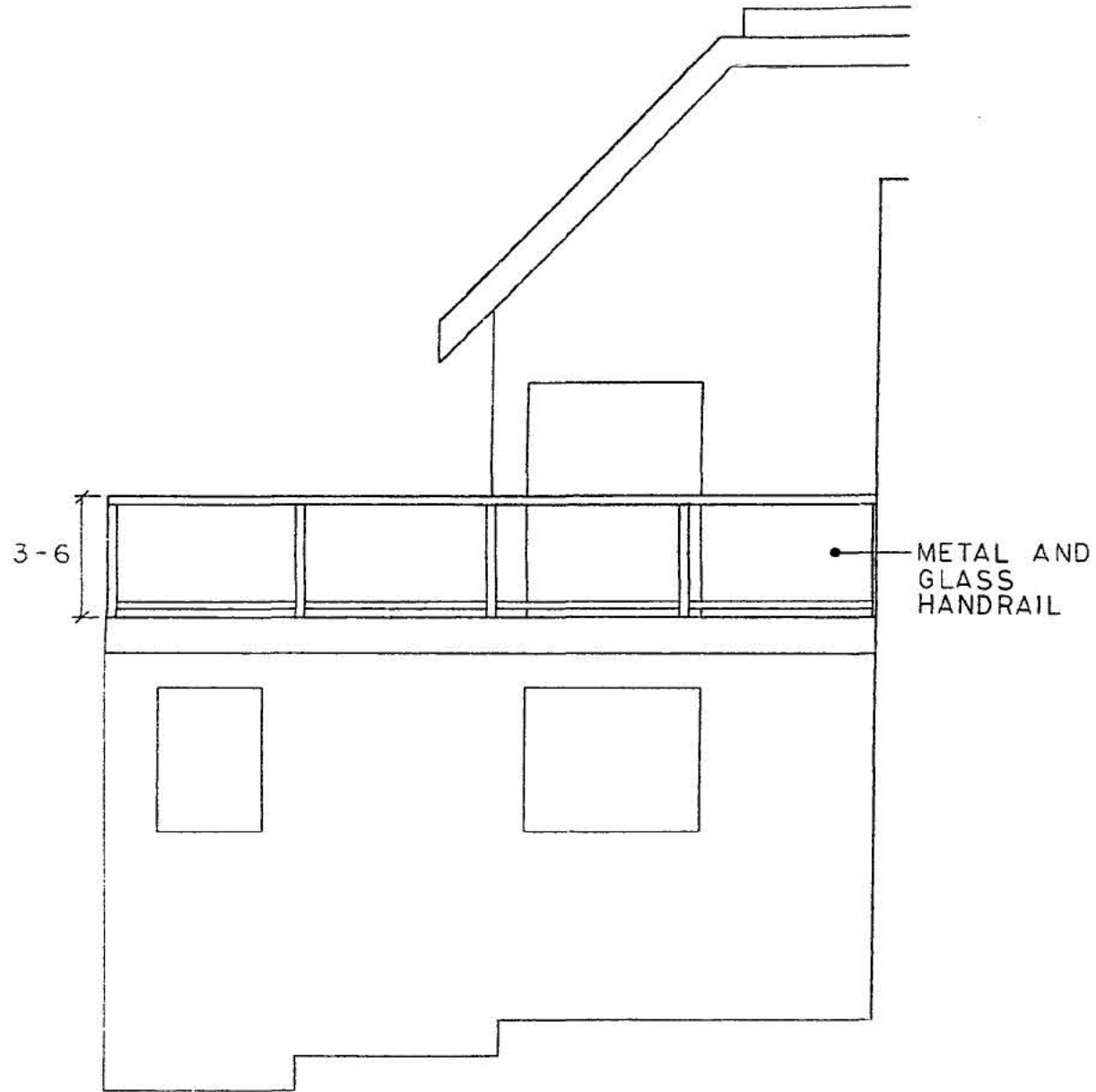
LANE

& OKE

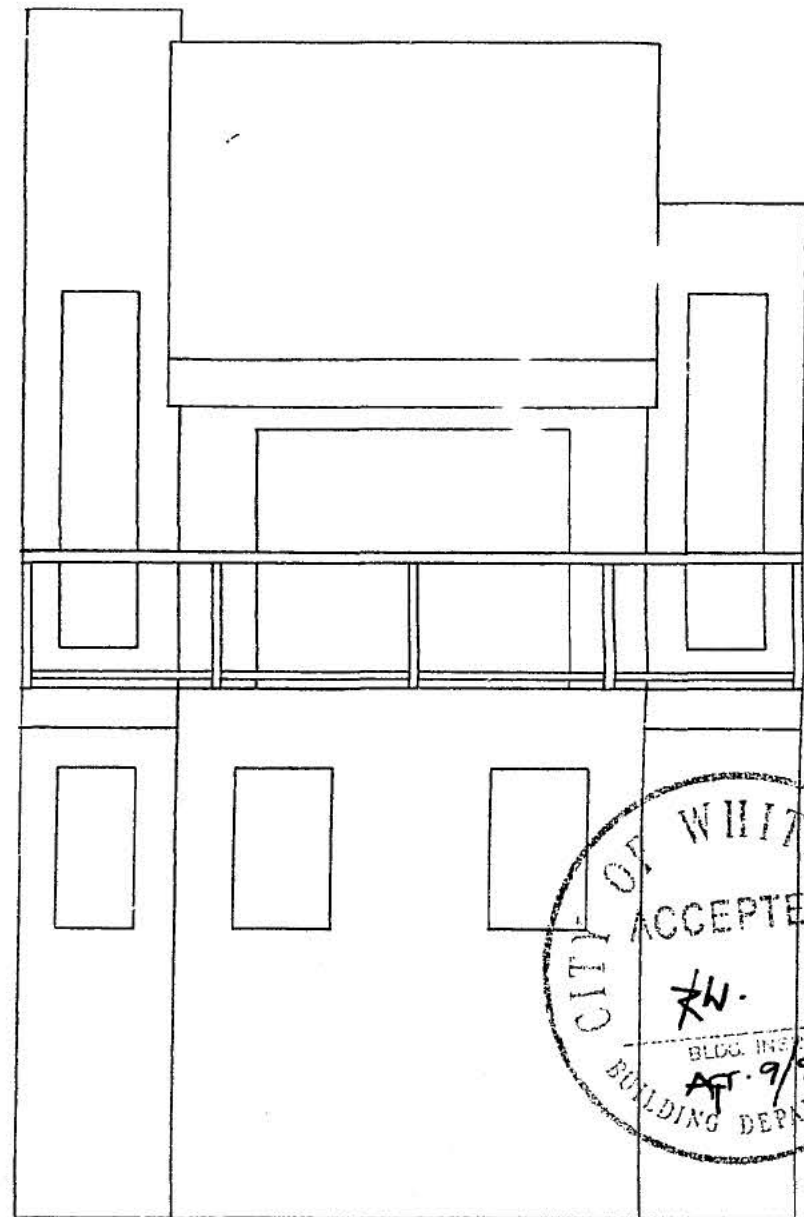
*Signature* B.C.L.S.  
th, 19 86

HERMON, BUNBURY & OKE  
DOMINION & B.C. LAND SURVEYORS  
VANCOUVER & WHISTLER, B.C.

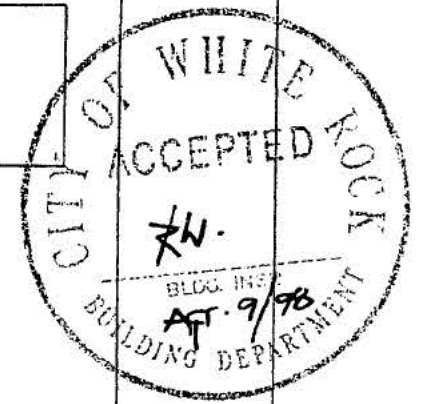
M - 46726 - T



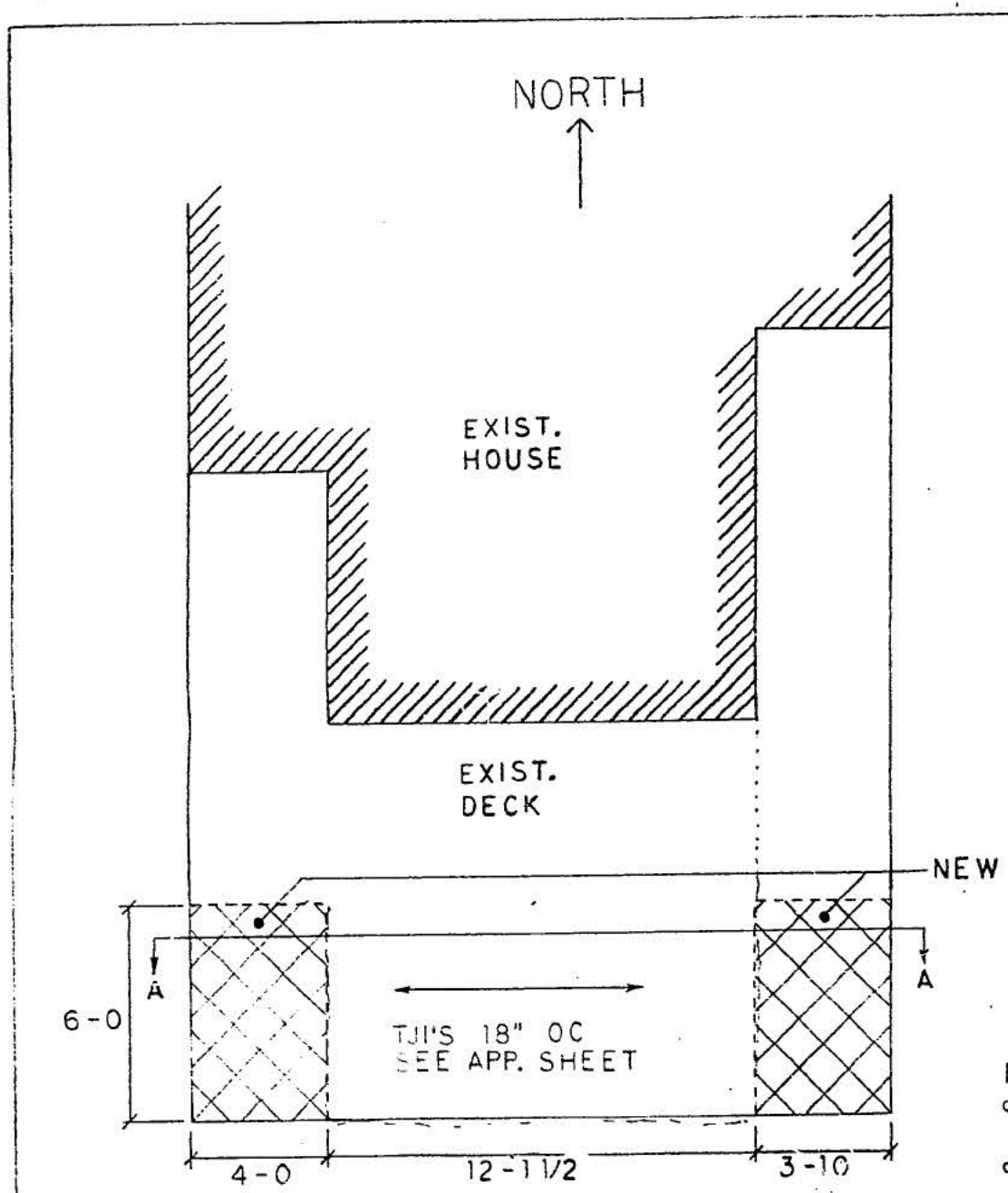
EAST ELEVATION



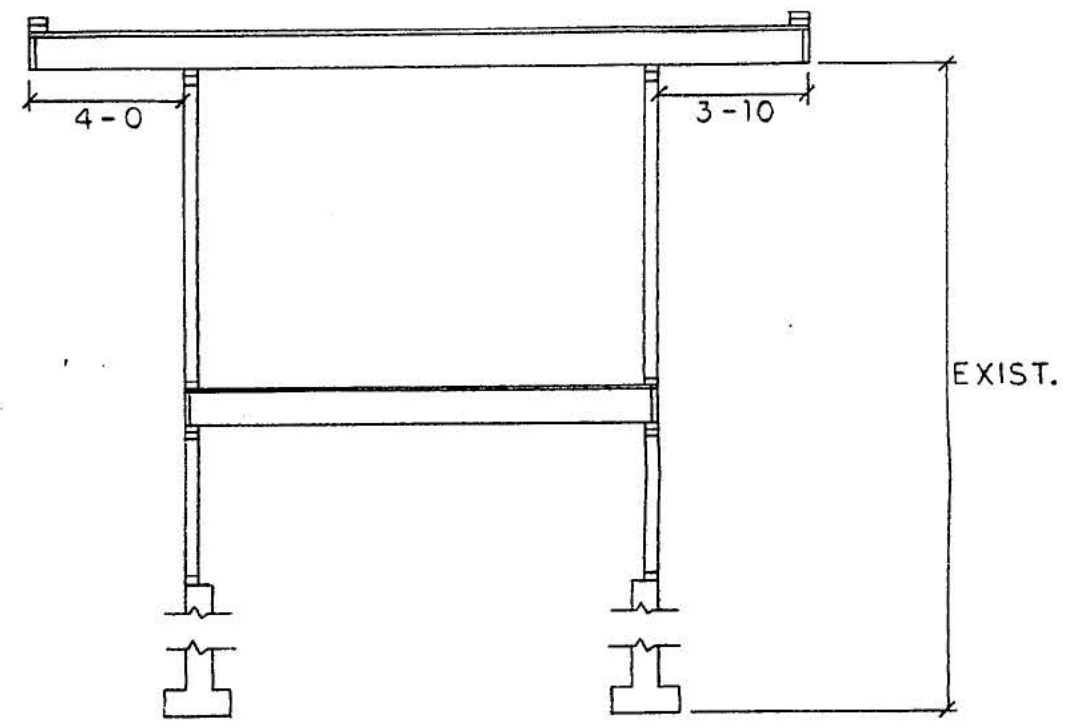
SOUTH ELEVATION



This review of plans does not in any way constitute an endorsement or liability for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.



PLAN



SECTION AA

- NOTES
- EXIST. HANDRAIL TO BE RECONFIGURED TO NEW DECK
  - DECK MEMBRANE AND CEDAR SUBDECK TO BE EXTENDED OVER NEW DECK
  - FINISHING DETAILS TO CONFORM TO EXIST. HOUSE
  - ALL WORK TO CONFORM TO CODE

The review of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

DECK ADDITION FOR		
<b>Redacted S. 22</b>		
15292 COLUMBIA AVE WHITE ROCK		
DRAWN BY P.C. HAAGENSON		
04APL98	1/4" = 1'	9801



THE CORPORATION OF THE CITY OF WHITE ROCK  
DEPARTMENT OF PERMITS & LICENCES

TEL: 541-2136  
FAX: 541-2153  
15322 Buena Vista Ave.

# APPLICATION FOR BUILDING PERMIT

## FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. .... Apr 9 ....., 1998

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to .....

..... the building as follows:  
extend exist deck

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: RS-3 ..... Development Permit # .....

Correct description of property .....

Street 15292 Cd. ave ..... Size of land .....

Survey Plan required No  Yes

Are there any buildings already occupying any portion of said land? ..... yes

What are they, and what are they being used for? ..... SFD

How heated? ..... -

Entire value, when completed \$ ..... 3000

Name and mail address of owner ..... **Redacted S. 22**

same

Name and mail address of builder ..... P.C. Hoagenson Phone: 541-1566

Name and address of architect (if any) ..... same

Name and address of person or persons to whom permit is to be issued:

Name ..... Address .....

Do you require to use street for placing material? .....

How long? ..... Days .....

And I agree to conform to all requirements of said By-Law.

Roll No. .... Signature of Applicant: P.C. Hoagenson

Building Permit Fee: ..... 55

Plan Checking Fee: ..... 10. fiche

Permit No. ..... 98040 65

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.