

December 23, 2021

FOI No: 2021-50

VIA EMAIL – Redacted

# Redacted

Dear Redacted

Re: Request for Records  
Freedom of Information and Protection of Privacy Act

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The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *Any and all permits issued by the City of White Rock for the following real property:  
PID: 011-206-713  
Legal description: Lot 21 Section 10 Township 1 New Westminster District Plan 6761  
Where "permits" include, but is not limited to, permits for: building, occupancy, construction, renovation, excavation, framing, and electrical.*

Access to these records is available. However, some of the information in the records is excepted from the disclosure requirements of the Act. I have severed the excepted information so that I could disclose to you the remaining information as attached.

The severed information is excepted from disclosure under Sections 22 and 15 of the Act. Severing under Section 22 is necessary to avoid disclosing any third-party personal information without permission. Severing under Section 15 is necessary to avoid potential harm to the security of a building. As a policy, the City will only release interior building plans with authorization from the property owner.

**Corporate Administration**  
P: 604.541.2212 | F: 604.541.9348

**City of White Rock**  
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

**WHITE ROCK**  
*City by the Sea!*

[www.whiterockcity.ca](http://www.whiterockcity.ca)

Please contact our office if you have any questions or concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ken Overton", with a long, sweeping horizontal line extending to the right.

Ken Overton  
Manager, Property, Risk Management, and FOI  
604-541-2104

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner  
3rd Floor, 756 Fort Street  
Victoria BC V8W 1H2

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address, and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.



# Application for Building Permit

Planning and Development Services  
15322 Buena Vista Ave., White Rock, B.C. V4B 1Y6  
Phone: 604 541 2135 Fax: 604 541 2153  
Website: [www.whiterockcity.ca](http://www.whiterockcity.ca)

Date: March 12, 2019 Folder # BFO20435  
Access Code # \_\_\_\_\_

Landslide Area:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Development Permit Area:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Board of Variance:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Floodplain:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Pumping Required	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Demolition Permit:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

I hereby apply under the provisions of "White Rock Building By-Law" and amendments thereto, for permission to build/alter the following address. Copy of Plans for the Proposed Building or Alteration to Accompany this Application.

### PROPERTY INFORMATION

Civic Address: 14500 Sunset Lane White Rock, BC V4B 5K4

Zoning: RS-1 Usage of Property: SFD  Multi  LUC: Yes  No

Legal Description: LT 21 / SEC 10 / NWD / PL NWP 6761 / TRP 1 Roll number: 000827.000

Description of Work: Balcony Repairs Project Value: \$ 191700

### OWNER INFORMATION

Name on Title: **Redacted S. 22**

Address of Owner: **Redacted S. 22**

Owner's Phone: **Redacted S. 22** Owner's Email: **Redacted S. 22**

### BUILDER INFORMATION

Name and address of builder or agent: AUM Building Science & Engineering

Phone: 604 593 5502 Email: info@aumbuildingscience.com

Business Licence #: \_\_\_\_\_

I agree to conform to all requirements of The City of White Rock Bylaws

Print Applicant Name: Conrad Desrosiers

Signature of Applicant:

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Building Permit Fees	
Building Permit	3025.10
Secondary Suite	
Microfiche	277 x 140.00
Total	3165.10

Plans Examiner Information

**Maximum Building Height:** \_\_\_\_\_

**Angle of Containment:** \_\_\_\_\_

**Comments:** \_\_\_\_\_

Thank You for Your Payment

Receipt: 12472/3  
 Dated: Mar 12, 2019  
 Stations: CASH 4/ANETA  
 Mar 12, 2019 09:30:39 AM  
 3,165.10 CDPMT #P020435  
 3,165.10 Total  
 -3,025.10 CHEQUE  
 -140.00 DEBIT CARD DESROSIERS, CONRAD  
 3,165.10

Redacted S. 22

**RECEIVED**

MAR 12 2019

CITY OF WHITE ROCK  
October 2016  
 DEVELOPMENT SERVICES


City of White Rock  
 15322 Buena Vista Ave  
 White Rock BC V4B 1Y5

# DETAILS

**RECEIVED**

MAR 12 2019

CITY OF WHITE ROCK  
DEVELOPMENT SERVICES

 <b>AUM Building Science &amp; Engineering Ltd.</b>  AUM Building Science & Engineering Ltd. # 217 - 12899 80 Avenue, Surrey, BC, V3W 0E6 Ph: 604-593-5502, Fax: 604-593-5503 Email: info@aubuildingscience.com www.aubuildingscience.com	<b>PROJECT</b>  <b>Balcony Repairs</b> 14500 Sunset Lane, White Rock, BC	<b>DATE</b> March 04/19	<b>SEAL</b>		
	<b>TITLE</b>  Details	<b>SCALE</b> NTS			
		<b>DWN.</b> BS			
		<b>CH'D.</b> HK			
		<b>PROJ. #</b> 1244			


## DETAILS

### GENERAL

- 0.1 Details
- 0.2 Index
- 0.3 Construction Assemblies

### WALLS, TRANSITIONS & BALCONIES

- 1.1 Balcony at Building Wall
- 1.2 Balcony Edge
- 1.3 Balcony at Column/Post
- 1.4 Drain at Balcony
- 1.5 Soffit at Balcony Overhang

 <b>AUM Building Science &amp; Engineering Ltd.</b>  AUM Building Science & Engineering Ltd. # 217 - 12899 80 Avenue, Surrey, BC, V3W 0E6 Ph: 604-593-5502, Fax: 604-593-5503 Email: info@aumbuildingscience.com www.aumbuildingscience.com	PROJECT	DATE March 04/19	SEAL
	<b>Balcony Repairs</b> 14500 Sunset Lane, White Rock, BC	SCALE NTS	
	TITLE	DWN. BS	
	Index	CHD. HK	DWG. #
		PROJ. # 1244	<b>0.2</b>

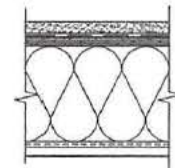
**WALL TYPE**

**DESCRIPTION**

**W1**

**EXTERIOR WALL - EXIST. STUCCO CLADDING**

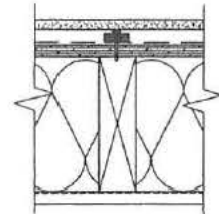
EXISTING STUCCO CLADDING  
 EXISTING SHEATHING MEMBRANE  
 EXISTING WALL SHEATHING  
 EXISTING WOOD FRAMING / STUDS  
 EXISTING INSULATION  
 EXISTING VAPOUR BARRIER  
 EXISTING GYPSUM WALL BOARD  
 EXISTING FINISH



**W2**

**EXTERIOR WALL - RAINSCREEN FIBER CEMENT SIDING**

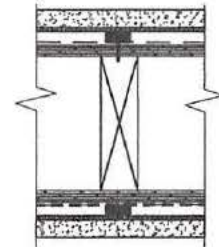
NEW 7 1/4" FIBER CEMENT PLANK; SMOOTH LAP SIDING - COLOUR TO MATCH  
 EXISTING STUCCO CLADDING  
 NEW 3/8" X 2" PRESSURE TREATED PLYWOOD STRAPPING @ 16" o.c.  
 (CAPILLARY BREAK)  
 EXISTING SHEATHING MEMBRANE (REPLACE DAMAGED AND/OR  
 DETERIORATED SHEATHING MEMBRANE WITH NEW)  
 EXISTING WALL SHEATHING  
 EXISTING WOOD FRAMING / STUDS  
 EXISTING INSULATION  
 EXISTING VAPOUR BARRIER  
 EXISTING GYPSUM WALL BOARD  
 EXISTING FINISH



**W3**

**BALCONY PARAPET WALL**

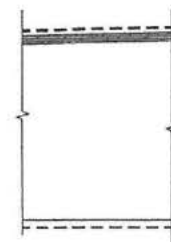
NEW STUCCO ON 'K - LATH' WIRE MESH  
 NEW 1/2" X 2" PRESSURE TREATED PLYWOOD STRAPPING @ 8" O.C. - EVERY  
 SECOND STRAP MUST ALIGN WITH STUDS  
 NEW 1 LAYER OF SHEATHING MEMBRANE (TYVEK COMMERCIAL WRAP OR TYPAR  
 METRO WRAP)  
 NEW 1/2" PLYWOOD SHEATHING PER STRUCTURAL ENGINEER'S DRAWINGS  
 NEW PARAPET WALL FRAMING PER STRUCTURAL ENGINEER'S DRAWINGS  
 1/2" PLYWOOD SHEATHING PER STRUCTURAL ENGINEER'S DRAWINGS  
 NEW 1 LAYER OF SHEATHING MEMBRANE (TYVEK COMMERCIAL WRAP OR TYPAR  
 METRO WRAP)  
 NEW 1/2" X 2" PRESSURE TREATED PLYWOOD STRAPPING @ 8" O.C; EVERY  
 SECOND STRAP MUST ALIGN WITH STUDS  
 NEW STUCCO ON 'K - LATH' WIRE MESH





**B1**

**BALCONY**

NEW WATERPROOFING MEMBRANE (MIN. 60 Mil. THICK)  
 NEW 5/8" EXTERIOR T & G DECK SHEATHING PER STRUCTURAL ENGINEER'S SPECS.  
 NEW BALCONY FRAMING PER STRUCTURAL ENGINEER'S SPECS.  
 NEW STUCCO OR CEDAR SOFFIT WITH 2" PERFORATED VENT SCREENS

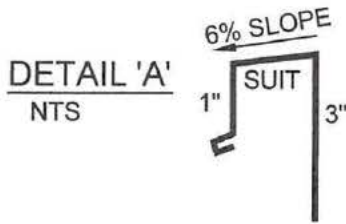


 <p><b>AUM Building Science &amp; Engineering Ltd.</b>                  # 217 - 12899 80 Avenue, Surrey, BC, V3W 0E6                  Ph: 604-593-5502, Fax: 604-593-5503                  Email: info@aumbuildingscience.com                  www.aumbuildingscience.com</p>	PROJECT	DATE		
	<p><b>Balcony Repairs</b>                  14500 Sunset Lane, White Rock, BC</p>	March 04/19		SCALE
	TITLE	NTS		DWN.
	<p><b>Construction Assemblies</b></p>	BS		CH'D.
		HK		PROJ. #
	1244	DWG. #	0.3	



**NOTES:**

1. IF EXISTING SHEATHING MEMBRANE IS DAMAGED OR DETERIORATED, REPLACE WITH NEW SHEATHING MEMBRANE (TYVEK COMMERCIAL WRAP OR TYPAR METRO WRAP).
2. COLOUR OF CAULKING, METAL FLASHING & FIBRE CEMENT PLANK TO MATCH EXISTING STUCCO CLADDING.



SAVE EXISTING SHEATHING MEMBRANE MIN. 6"; LAP AND SEAL EXISTING SHEATHING MEMBRANE OVER NEW WATERPROOFING MEMBRANE - SEE NOTE 1

SAW CUT EXISTING STUCCO CLADDING, WIRE MESH, ETC. MIN. 10" UP WALL TO ACCOMMODATE THE INSTALLATION OF NEW WATERPROOFING MEMBRANE

NEW 3/8" ROD AND CAULK

NEW PRE-FINISHED 26 Ga. METAL FLASHING - SEE DETAIL 'A'

NEW BUG SCREEN

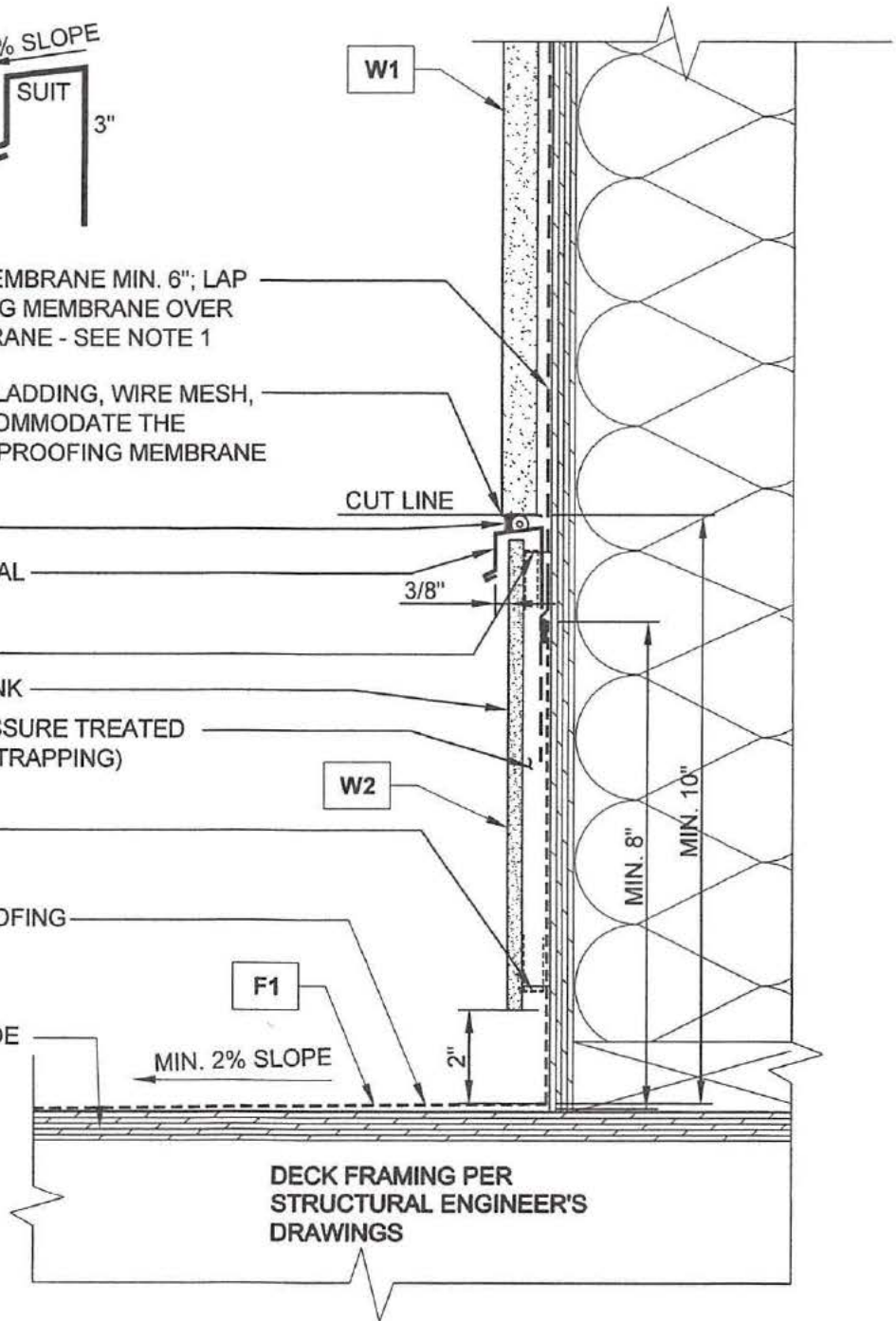
NEW 7 1/4" FIBER CEMENT PLANK

NEW STRAPPING (3/8"X2" PRESSURE TREATED EXTERIOR GRADE PLYWOOD STRAPPING)

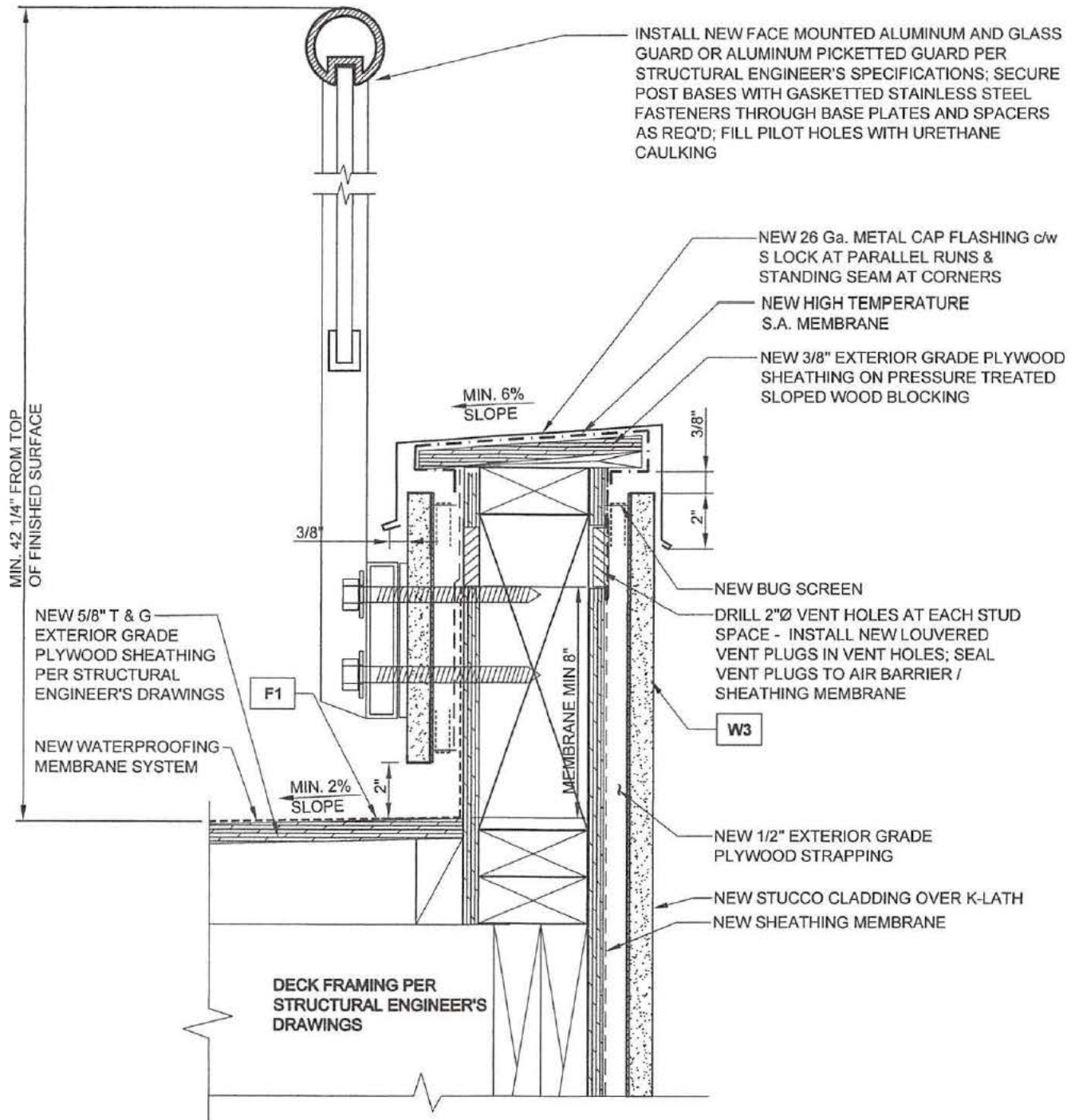
NEW BUG SCREEN



NEW 60 MIL. THICK WATERPROOFING MEMBRANE; MIN. 8" UP WALL SHEATHING

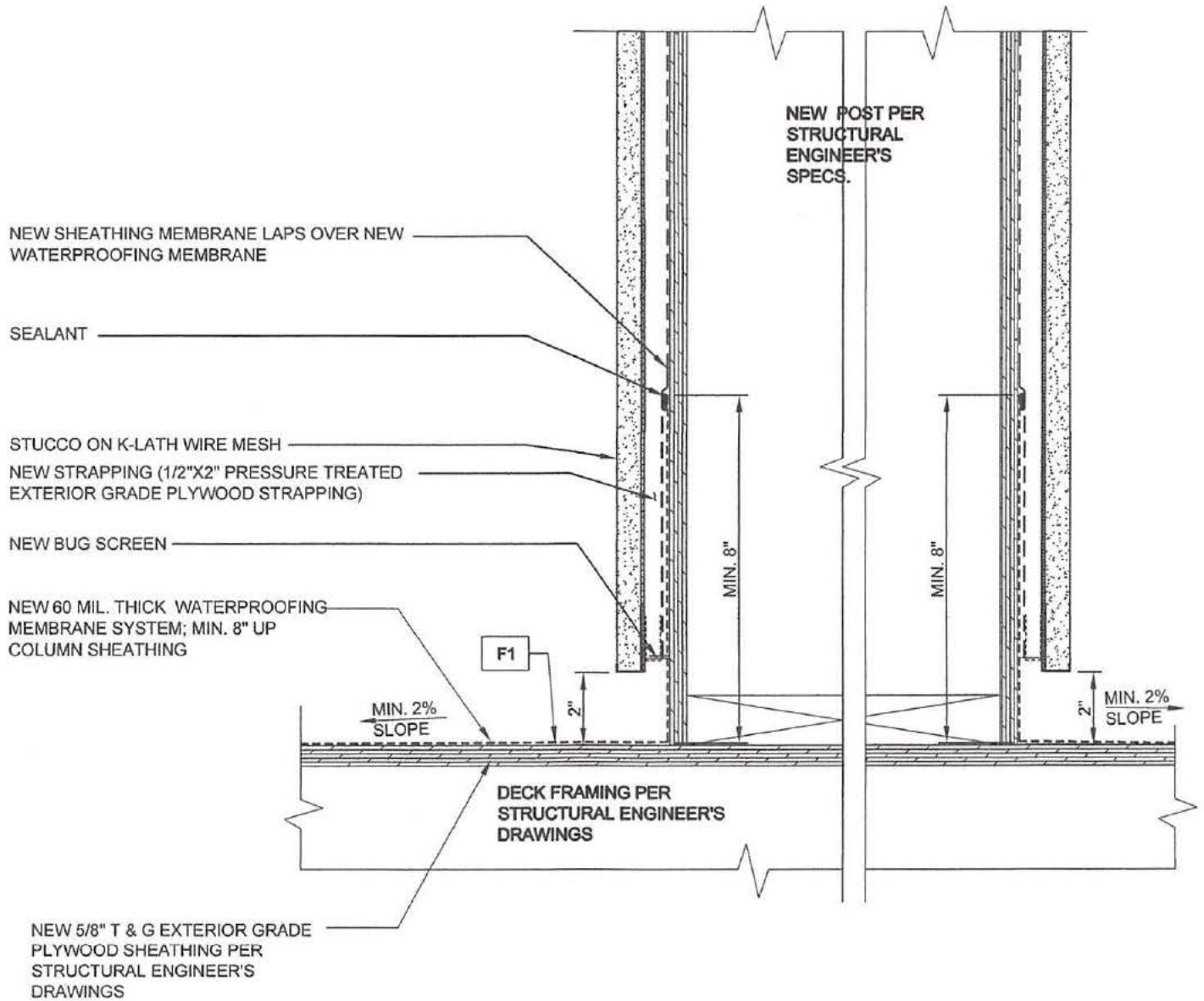
NEW 5/8" T & G EXTERIOR GRADE PLYWOOD SHEATHING PER STRUCTURAL ENGINEER'S DRAWINGS





<p><b>AUM Building Science &amp; Engineering Ltd.</b> # 217 - 12899 80 Avenue, Surrey, BC, V3W0E6 Ph: 604-593-5502, Fax: 604-593-5503 Email: info@aumbuildingscience.com www.aumbuildingscience.com</p>	PROJECT	<b>Balcony Repairs</b> 14500 Sunset Lane, White Rock, BC		DATE	March 04/19	<p>SEAL OF PROFESSIONAL ENGINEER C.V. MESROBIAN #0287 BRITISH COLUMBIA ENGINEER DWG. #</p>
	TITLE	<b>Balcony at Building Wall</b>		SCALE	NTS	
				DWN.	BS	
				CHD.	HK	
				PROJ. #	1244	
					<b>1.1</b>	

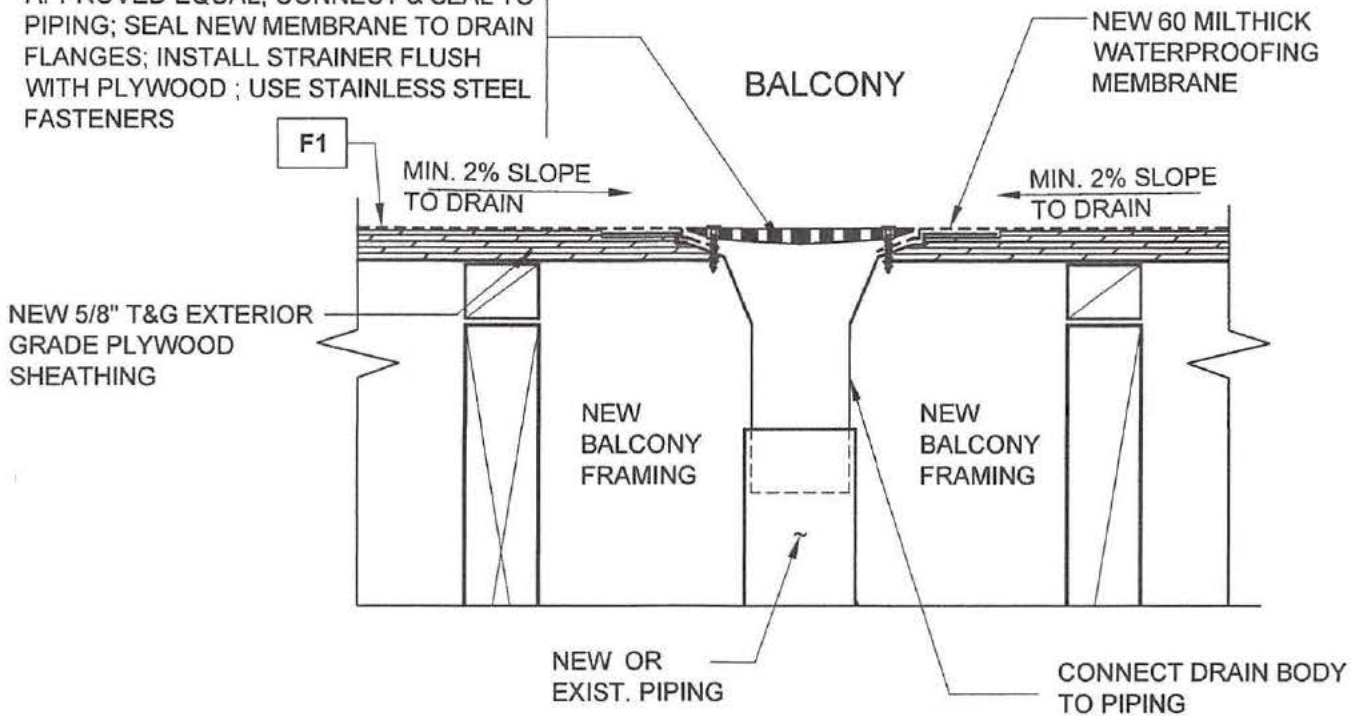



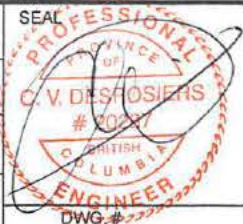
 <p><b>AUM Building Science &amp; Engineering Ltd.</b> # 217 - 12899 80 Avenue, Surrey, BC, V3W 0E6 Ph; 604-593-5502, Fax; 604-593-5503 Email: info@aumbuildingscience.com www.aumbuildingscience.com</p>	PROJECT	<b>Balcony Repairs</b> 14500 Sunset Lane, White Rock, BC		DATE	March 04/19			
	TITLE	<b>Balcony Edge</b>		SCALE	NTS			
			DWN.	BS				
			CH'D.	HK	PROJ. #	1244	DWG. #	1.2

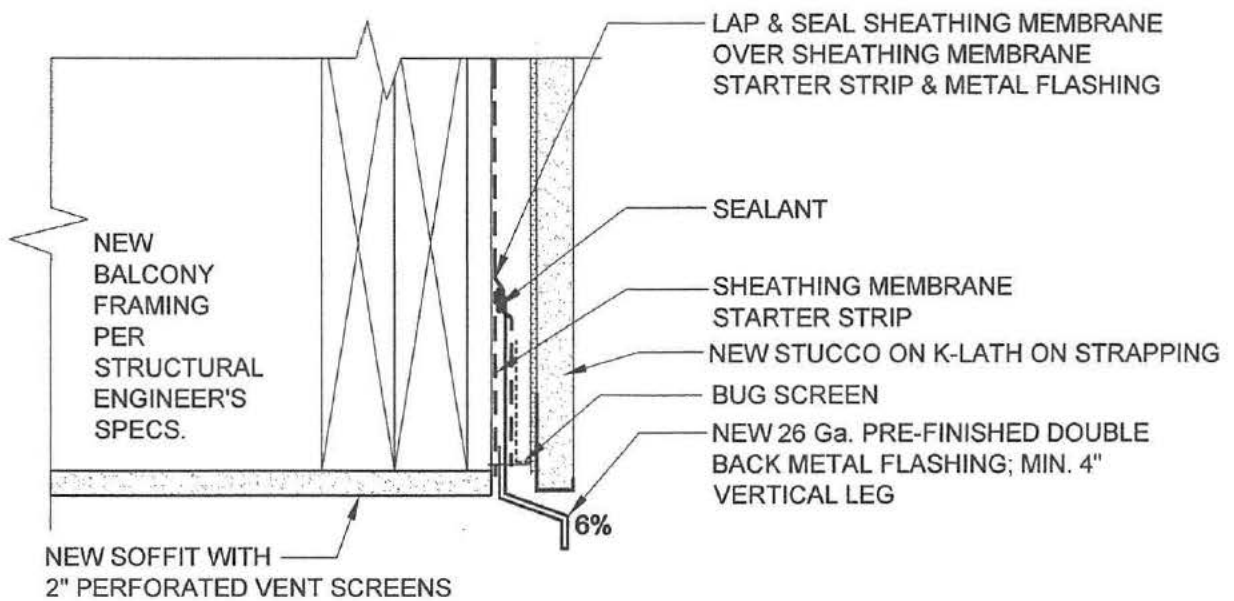



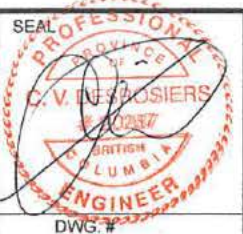
 <p><b>AUM Building Science &amp; Engineering Ltd.</b> # 217 - 12899 80 Avenue, Surrey, BC, V3W 0E6 Ph; 604-593-5502, Fax; 604-593-5503 Email: info@aumbuildingscience.com www.aumbuildingscience.com</p>	PROJECT	<b>Balcony Repairs</b> 14500 Sunset Lane, White Rock, BC		DATE	March 04/19	
	TITLE	<b>Balcony at Column/Post</b>		SCALE	NTS	
				DWN.	BS	
				CHD.	HK	
				PROJ. #	1244	
					DWG. #	<b>1.3</b>

NEW 3" DIAMETER ROOF DECK DRAIN BY MENZIES METAL PRODUCTS OR PRE-APPROVED EQUAL; CONNECT & SEAL TO PIPING; SEAL NEW MEMBRANE TO DRAIN FLANGES; INSTALL STRAINER FLUSH WITH PLYWOOD; USE STAINLESS STEEL FASTENERS



 <p><b>AUM Building Science &amp; Engineering Ltd.</b> # 217 - 12899 80 Avenue, Surrey, BC, V3W0E6 Ph: 604-593-5502, Fax: 604-593-5503 Email: info@aumbuildingscience.com www.aumbuildingscience.com</p>	<p>PROJECT</p> <p style="text-align: center;"><b>Balcony Repairs</b> 14500 Sunset Lane, White Rock, BC</p>	<p>DATE March 04/19</p>	
	<p>TITLE</p> <p style="text-align: center;"><b>Drain at Balcony</b></p>	<p>SCALE NTS</p> <p>DWN. BS</p> <p>CHD. HK</p> <p>PROJ. # 1244</p>	
			<b>1.4</b>



 <p><b>AUM Building Science &amp; Engineering Ltd.</b> # 217 - 12899 80 Avenue, Surrey, BC, V3W 0E6 Ph; 604-593-5502, Fax; 604-593-5503 Email: info@aubuildingscience.com www.aubuildingscience.com</p>	PROJECT	DATE		
	<p><b>Balcony Repairs</b> 14500 Sunset Lane, White Rock, BC</p>			March 04/19
	TITLE	SCALE		NTS
	<p><b>Soffit at Balcony Overhang</b></p>	DWN.		BS
		CHD.		HK
PROJ. #		1244		
		DWG. #	1.5	

**RECEIVED**

MAR 12 2019

CITY OF WHITE ROCK  
DEVELOPMENT SERVICES

THE CORPORATION OF THE CITY OF WHITE ROCK  
**BUILDING PERMIT**



DATE OF ISSUANCE:

**MAR 26 2019**

BUILDING PERMIT No: BP020435

ROLL No: 000827.000

PROJECT ADDRESS: 14500 SUNSET LANE  
 LEGAL DESCRIPTION: LT 21/ SEC 10/ NWD/ PL NWP6761/ TWP 1  
 ZONE: RS-1

DESCRIPTION OF PROJECT:  
 Balcony Repairs, no change to existing size or setbacks allowed.

OWNER:  
 ADDRESS: **Redacted S. 22**

Phone: **Redacted S. 22**

Owner or Authorized Agent

Building Official

**B.C.B.C. 1.1.2.4 Responsibility of Owner**

1) Neither the granting of a building permit nor the approval of the relevant drawings and specifications nor inspections made by the Authority Having Jurisdiction shall in any way relieve the owner of such building from full responsibility for carrying out the work or having the work carried out in full accordance with the requirements of the British Columbia Building Code.

PERMIT FEES:	Project Value:	
BP SCAN & COPY	28.00	140.00
BP APPL FEE	191,700.00	3,025.10
	<b>Total:</b>	<b>\$3,165.10</b>

**CONDITIONS:**

ALL CONSTRUCTION TO CONFORM TO THE B. C. BUILDING CODE.
ARCHITECTURAL SCHEDULE B ON FILE FROM C. DESROSIERS.
COORDINATING REGISTERED PROFESSIONAL SCHEDULE A ON FILE FROM C. DESROSIERS.
THE BALCONIES ARE TO BE REBUILT WITH NO ALTERATION TO THE EXISTING SIZE OR SETBACKS.
STRUCTURAL SCHEDULE B ON FILE FROM D. KUNIMOTO.

OCCUPANY / FINAL GRANTED: .....

Date: .....



THE CORPORATION OF THE CITY OF WHITE ROCK  
**DEVELOPMENT SERVICES**  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6  
Phone: (604) 541-2136 • Fax: (604) 541-2153

# Inspection Report

NAME: Owner PERMIT No.: 69-94  
ADDRESS: 14500 sunset Ln SHEET No.: 1  
TYPE OF INSPECTION: Final DATE: FEB 25, 2011  
AREA OF INSPECTION: SFD built in 1994

Deficiencies from Inspection  
Report dated Mar 9, 1995  
appear to have been corrected.

Build final / occupancy - approved.

SIGNATURE: \_\_\_\_\_ INSPECTOR: 

DATE: \_\_\_\_\_

Please sign this form when the work is completed and return to the above department.





THE CORPORATION OF THE  
**CITY OF WHITE ROCK**

15322 BUENA VISTA AVENUE, WHITE ROCK, B.C. V4B 1Y6

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PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

TEL: (604)541-2136 FAX: (604)541-2153

February 14, 2011

Homeowner  
14500 Sunset Lane  
White Rock, BC  
V4B 5K4

Dear Homeowner:

Re: 14500 Sunset Lane Incomplete Building Permit

In an effort to have old building permits completed and off our outstanding records, we are contacting residents by mail to inform/remind them that an incomplete building permit exists for their residence which requires a Building Final.

Please contact the Development Services Department at 604.541.2136 and arrange for an inspection to have the incomplete permit finalized.

Your co-operation in this matter is greatly appreciated.

Thank you.

A handwritten signature in black ink, appearing to read 'Guy J. Gareau', written over a horizontal line.

Guy J. Gareau  
Building Official  
Development Services Department



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

Redacted S. 22

NAME: ..... PERMIT No. ....

ADDRESS: 14500 Sunset Ln ..... SHEET No. 1

TYPE OF INSPECTION: illegal suite ..... DATE: Mar 27/96

AREA OF INSPECTION: follow up. ....

illegal suite removed

note: bar sink has been installed  
and owner advised to disconnect  
wiring at electrical panel (220 volt  
range connection.)

SIGNATURE: ..... INSPECTOR: *Karl Wilton* .....

DATE: .....

Please sign this form when the work is completed and return to the above department.

# FILE COPY

March 12, 1996

**DOUBLE REGISTERED**

**Redacted S. 22**

14500 Sunset Lane  
White Rock BC V4B 5K4

Dear Sir:

Re: Secondary Suite at 14500 Sunset Lane

As per our phone conversation on March 12, 1996 it was confirmed that you have installed a secondary suite and kitchen facility. Your property is zoned RS-1 (single family dwelling) and does not permit this. You are in violation of our Zoning Bylaw #394 Section 403 (1). Attached is a notice of Bylaw Violation for \$50.00 to be paid immediately.

You have said the second tenants are just visiting friends so a 30 day notice to vacate will not have to be issued.

However the second kitchen sink and range must be removed from the residence. Also the 220 volt electrical connection terminated at the outlet and electrical panel also the plumbing capped off.

You must arrange for an inspection of the premises no later than April 8, 1996.

Thank you.

Richard Wilson  
Building Inspector

Mar. 6/96.

To: RICHARD WILSON: / BUILDING INSPECTIONS.

RE: GLASS RAIL @ 14500 SUNSET LANE.

BEFORE YOU MAKE YOUR DECISION, PLEASE CONSIDER.  
THE NEWER HOMES WITH (APPROVED) 1/2" TEMPERED  
GLASS THAT HAVE UNPROTECTED EDGE.

MANY EXAMPLES, BUT TWO ARE:

- 1). 14357 BLACKBURN AVE.
- 2). 15081 BUENA VISTA AVE.

Yours truly,

Redacted S. 22



THE CORPORATION OF THE CITY OF WHITE ROCK

PERMITS & LICENCES  
DEPARTMENT  
TEL 541-2136  
FAX 541-2153

CITY HALL  
15322 BUENA VISTA AVENUE  
WHITE ROCK, BC  
V4B 1Y6

February 5, 1996

**Redacted S. 22**  
14500 Sunset lane  
White Rock BC V4B 5K4

DOUBLE REGISTERED

Dear **Redacted S. 22**

Re: Upper floor guardrails @ 14500 Sunset Lane

We have reviewed Neville Graham's letter analyzing the upper floor glass guardrail and agree with his findings. However due to the inherent problems unprotected glass edges have exhibited in the past (shattering) we are asking that the top glass edge be protected with a metal or plastic channel. This is to prevent an object from coming into direct contact with the glass edge itself.

Please arrange for an inspection when the above is completed. Should you have any questions contact our department at 541-2136.

Thank you

**FILE COPY**

Richard J. Wilson

1995 - 11 - 21

**Redacted S. 22**

14500 Sunset Lane  
White Rock, B.C.

Dear **Redacted S. 22**

Re: 14500 Sunset lane, White Rock, B.C.

As requested we have checked the fastening of the glass guard rail to the wood frame wall on the upper deck at this address. Our calculations show that each 42" long panel will withstand a load of 246 lbs. applied horizontally and normal to the span at the top of the panel.

We also checked the fastening of the aluminium guard rail on the deck on the middle floor and our calculations show that for each 42" long panel it will withstand a load of 76 lbs. applied horizontally and normal to the span at the top of the guard rail.





# THE CORPORATION OF THE CITY OF WHITE ROCK

Permits & Licences  
Department  
TEL. NO. 531-9111

City Hall  
15322 Buena Vista Ave.  
White Rock, B.C.  
V4B 1Y6

NAME OF CONTRACTOR: DEJAGER HOMES LTD. PHONE #: 531-7522

JOB ADDRESS & TYPE

OF CONSTRUCTION: 14500 SUNSET LANE PERMIT # 69-94 DATE OF ISSUE: MAY 11/94

TRADE (SUB)	SUB-CONTRACTOR	ADDRESS	PHONE #
EXCAVATING:	AGI Pacific		599-0605
CONCRETE/CONC. PUMPING	CENTRAL READY MIX		583-6666
DRAIN TILE/SEWER:	K.P. ENTERPRISES	17968-24 <sup>AV</sup> 54 V4B1M6	541-1180
FRAMING:	DEJAGER HOMES	13187-13 <sup>AV</sup> 44 V4A1C1	531-7522
MASONRY:	N/A		
ROOFING:	WHITE ROCK ROOFING	19068-32 <sup>AV</sup> 44 V3A8B	536-2929
INSULATION:	NEWCO ENT.	11040-80 <sup>AV</sup> 44 V4C1N7	597-7014
RE-BAR PLACEMENT:	DEJAGER HOMES	13187-13 <sup>AV</sup> 44 V4A1C1	531-7522
PLUMBING:	ALLIED PLUMBING	13681-60 <sup>AV</sup> 44 V3X2M7	543-8699
ELECTRICAL:	JONKMAN ELECTRIC	18331-74 <sup>AV</sup> 54 V4N39S	574-1103
DAMP PROOFING: <b>SUNNY SADE</b>	WHITE ROCK DAMPROOFING	2421-14 <sup>ST</sup> 54 V4B4Z5	536-8897
DRYWALL:	STARTECK	7362-14 <sup>ST</sup> 54 V3S2Y7	596-6614
STUCCO:	NEWLANDS STUCCO	20102-44 <sup>AV</sup> 44 V3X6P2	533-4657
HEATING:	ALLIED PLUMBING	AS ABOVE.	543-8699
VINYL DECKING:	ENOVA A TECH	12457-23 <sup>AV</sup> 54 V4A2C5	585-9486
GUTTERS:	GRILLS GUTTER	26598-64 <sup>AV</sup> 44 V4X1A0	583-7733
SKYLIGHTS:			
CARPETING:	RENAISSANCE	104-14770-64 <sup>AV</sup> 54 V3S7K1	572-8335
CABINETS:	SUNWOOD	9162 HADDY RD DL: V4CTV9	585-3988
INTERIOR FINISH:	DEJAGER HOMES		
CERAMIC TILE:	J & J	14969-71 <sup>AV</sup> 44 V3Z2E4	597-8654
PAINTING: <b>Paint Spec.</b>	QRS B.P.H.	12347-95 <sup>AV</sup> 54 V3V1W7	630-6135 <b>Call</b>
FIREPLACE:	F.P. UNLIMITED	12091-88 <sup>ST</sup> 44 V3W3J5	534-8942
IRON WORK:	N/A		
INTERCOMS:	AUDIO SOLUTIONS	2201-204 <sup>AV</sup> ST	533-1234
SPRINKLER SYSTEMS:		LY	534-1234
BLACKTOP/PAVING:		V3A4PA	
LANDSCAPING:			
CLEAN-UP:	SELF		

NOTE: TO BE COMPLETED IN FULL AND RETURNED TO THE PERMITS & LICENCES DEPARTMENT BEFORE FINAL INSPECTION FOR OCCUPANCY APPROVAL.

THE ABOVE INFORMATION IS TO THE BEST OF MY/OUR BELIEF AND IS TRUE AND CORRECT.

SIGNED:

FOR: DEJAGER HOMES LTD.  
BUILDING CONTRACTOR

## MECHANICAL VENTILATION CHECKLIST B-C

\*\* FOR USE BY HRV/ERV CERTIFIED CONTRACTORS OR ENGINEERS ONLY \*\*

For use with HRV ventilation equipment -- fully distributed systems -- continuous operation.

Civic Address <u>14500 SUNSET LANE</u> Permit No. _____	
Total interior dwelling volume <u>38 322</u>	ft <sup>3</sup> (A)
0.3 air changes/hr = volume x 0.3 / 60 = <u>170.32</u>	cfm (B)
0.5 air changes/hr = volume x 0.5 / 60 = <u>284</u>	cfm (C)
HRV Make <u>U A N E E</u> Model <u>2000</u>	

1. Minimum required continuous rate, Table 9.03.3.B 85 cfm (D)

HRV's may be installed alone or integrated with a forced air heating system. Indicate option to be used.

2. HRV - Dedicated Distributed System  OR 3. HRV/Heating Integrated System complete with 2-speed furnace fan operation

4. If a dehumidifier is part of the ventilation design, specify a central location.

Basement hall \_\_\_\_\_ Upper floor hall  Other \_\_\_\_\_

5. I confirm that a report will be attached to the HRV containing the following information:

Measured Air Flows	Minimum Required
Continuous Supply Air <u>85</u> cfm <sup>1</sup>	<u>85</u> cfm (D)
Continuous Exhaust Air <u>85</u> cfm <sup>1</sup>	<u>85</u> cfm (D)
Intermittent Supply <u>196</u> cfm	<u>170</u> cfm (B)
Intermittent Exhaust <u>196.32</u> cfm	<u>170</u> cfm (B) <sup>2</sup>

<sup>1</sup> Continuous flows must be equal.

6. HRV Capacity at 0.4" S.P. = 196 cfm (E)





BASEMENT 1229

7" MAKE UP IN CLOSET

684 BROWN 25 CFM



# UNIVERSAL POLYMERS INC.

1635 MACDONALD AVENUE  
BURNABY, B.C. V5C 4P1

---

Telephone [604] 299 4228  
Fax [604] 299 - 5322

To : The City of White Rock

Date : March 14th, 1995

Attn : \_\_\_\_\_

From : Klaus Pahlke

Fax : \_\_\_\_\_


Page \_\_\_ of \_\_\_

=====

RE : ENDURE - A - TECH WATERPROOFING SYSTEMS

This letter is to confirm that Endure-A- Tech Waterproofing Systems is an approved applicator of :

Urelastic # 5000/6000  
Polyurethane coating system for walking decks, patios,  
stairways & roofs.



Klaus Pahlke,  
Universal Polymers Inc.

**RECEIVED**  
MAR 15 1995

CORPORATION OF  
THE CITY OF WHITE ROCK



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: **Redacted S. 22** ..... PERMIT No. **69-94**  
 ADDRESS: **14500 sunset** ..... SHEET No. **1**  
 TYPE OF INSPECTION: **Final** ..... DATE: **MAR 9 / 95**  
 AREA OF INSPECTION: .....

- 1.) upper deck guardrails to be installed.  
P. Eng. approval req'd. **NEVILLE GRAHAM**
- 2.) # of trades list of X-mech vent sheet.
- 3.) caulk all metal parafets including  
over upper fireplace.

not approved -

*[Handwritten signature]*

SIGNATURE: ..... INSPECTOR: **[Handwritten Signature]**  
 DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

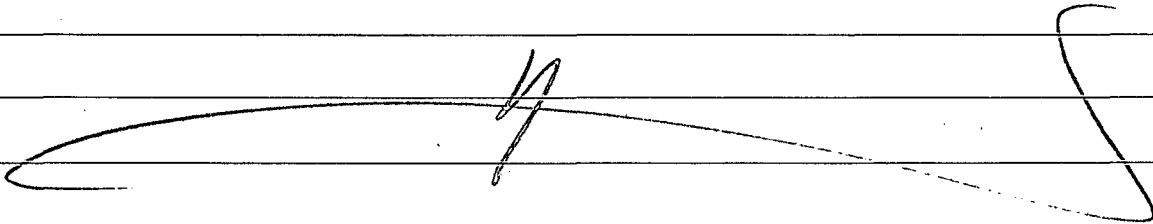
DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: ..... PERMIT No. ....  
 ADDRESS: 14500 Sunset Dr. SHEET No. 1  
 TYPE OF INSPECTION: lawn sprinkler DATE: Feb 28/95  
 AREA OF INSPECTION: .....

Watts No. 7 backflow prevention  
 device - approved -



SIGNATURE: ..... INSPECTOR: Krebsheim .....

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
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Fax.No.: 538-6049

# Inspection Report

NAME: **Redacted S. 22** PERMIT No. **69-94**  
 ADDRESS: **14500 sunset Dr.** SHEET No. **1**  
 TYPE OF INSPECTION: **Plumb.** DATE: **Feb 17/95**  
 AREA OF INSPECTION: **Final**

plumb. final - approved.

SIGNATURE: ..... INSPECTOR: **[Signature]**

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

Redacted S. 22

NAME: ..... PERMIT No. 69-74

ADDRESS: 14500 sunset Dr ..... SHEET No. 1

TYPE OF INSPECTION: insul ..... DATE: Oct 31/94

AREA OF INSPECTION: .....

insul - approved

recall for firestopping of  
stair.

SIGNATURE: ..... INSPECTOR: [Signature]

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: ..... PERMIT No. ....  
 ADDRESS: 4500 sunset Dr. SHEET No. 1  
 TYPE OF INSPECTION: water dist system DATE: oct 27/94  
 AREA OF INSPECTION: .....

- 1.) upper floor living rm ceiling @ fireplace poly ripped.
- 2.) patio door (mid floor rec. room) not fully caulked.
- 3.) Where underside of stairs have been turned out they must be firestopped at top with ZXZ material.

Water dist system (200 psi test witnessed) & traps - approved. (no seats in showers permitted.)

recall for the above.

SIGNATURE: ..... INSPECTOR: [Signature]

DATE: .....

Please sign this form when the work is completed and return to the above department.

**SCHEDULE C**  
Forming Part of Section 2.6 of the  
British Columbia Building Code

**ASSURANCE OF PROFESSIONAL FIELD REVIEW  
AND COMPLIANCE**

- Note:
1. This letter must be submitted after completion of the project but before the *occupancy* permit is issued, or a final inspection is made, by the *authority having jurisdiction*. A separate letter must be submitted by each *registered professional*.
  2. This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Inspectors Association of B.C., and Union of B.C. Municipalities.
  3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The Building Inspector

Date: 18<sup>th</sup> Oct. 1994

City of White Rock, B.C.  
Address (Print)

Dear Sir:

Re: 14499 Sunset Drive White Rock B.C.  
Address of Project (Print)

Lot 21 Sec 10 Tp. 1 N.W.D. Pl. 676.  
Legal Description of Project (Print)

I hereby give assurance that

- (a) I have fulfilled my obligations for *field review* as outlined in Section 2.6 of the British Columbia Building Code and in the previously submitted Schedule B-1, "ASSURANCE OF PROFESSIONAL DESIGN AND COMMITMENT FOR FIELD REVIEW," and Schedule B-2, "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS," and
- (b) those components of the project opposite my initials in Schedule B-2 substantially comply in all material respects with
  - (i) the applicable requirements of the B.C. Building Code and other applicable enactments respecting safety, not including construction safety aspects, and
  - (ii) the plans and supporting documents submitted in support of the application for the *building* permit.
- (c) I have enclosed the final design plans and supporting documents prepared by me for this project, and
- (d) I am a *registered professional* as defined in the British Columbia Building Code.



Schedule C *Continued*

(Each registered professional shall complete the following.)

J.R.N. Graham  
Name (Print)

Signed *J.R.N. Graham*

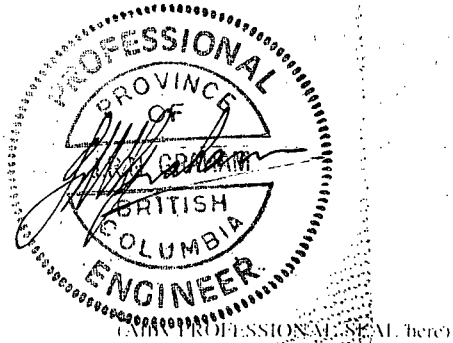
Date 18<sup>th</sup> Oct. 1994.

15437 Buena Vista Ave.  
Address (Print)

White Rock, B.C.

V4B 1Y9

536-1621  
Phone



(If the Registered Professional is a member of a firm, complete the following.)

I am a member of the firm Neville Graham & Assoc. Inc.  
and I sign this letter on behalf of the firm. (Print name of firm)

NOTE: The above letter must be signed by a registered professional. The British Columbia Building Code defines a "registered professional" to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax. No.: 538-6049

# Inspection Report

Redacted S. 22

NAME: ..... PERMIT No. 69-94  
 ADDRESS: 14500 sunset Ln. SHEET No. 1  
 TYPE OF INSPECTION: Framing DATE: Oct 20/74  
 AREA OF INSPECTION: .....

- 1.) firestop chase ceiling behind kitchen wall.
- 2.) firestop top of main stairs.
- 3.) firestop furred out wall basement
- 4.) water dist system & traps to be inspected.
- 5.) furred out wall @ basement stair to be constructed.

SIGNATURE: ..... INSPECTOR: Rich Wilm  
 DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax. No.: 538-6049

# Inspection Report

**Redacted S. 22**

NAME: ..... PERMIT No. 69-9A

ADDRESS: 14500 Sunset ..... SHEET No. 1

TYPE OF INSPECTION: exterior sheathing ..... DATE: Oct 11/94

AREA OF INSPECTION: .....

~~7/11/94~~  
~~7/11/94~~

insulated box not required at entry.  
make plumb water pipes to within  
3/4" of plywood floor.

s.)

metal gussets required on all post &  
beams.

approved subject to the above.

SIGNATURE: ..... INSPECTOR: John Simm

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax. No.: 538-6049

# Inspection Report

Redacted S. 22

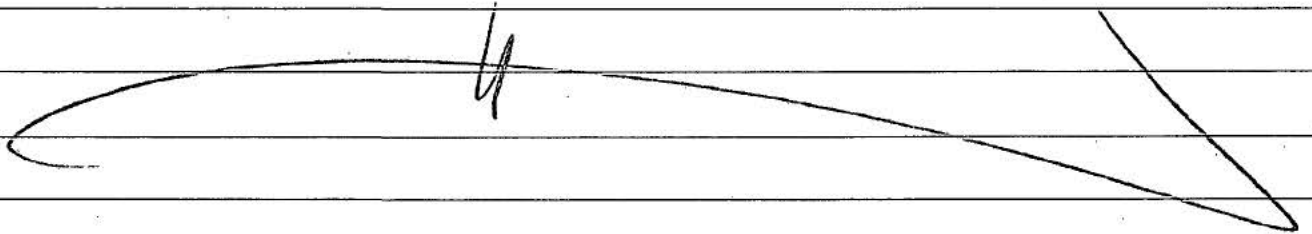
NAME: ..... PERMIT No. 69-94

ADDRESS: 14500 sunset Ln ..... SHEET No. 1

TYPE OF INSPECTION: slab ..... DATE: sept 27/94

AREA OF INSPECTION: .....

slab approved to pour.



SIGNATURE: ..... INSPECTOR: Rich Wilton

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax. No.: 538-6049

# Inspection Report

s. 22

NAME: DeJager PERMIT No. 69-94  
 ADDRESS: 14500 sunset Ln. SHEET No. 1  
 TYPE OF INSPECTION: DWV p/lymb DATE: sept 22/94  
 AREA OF INSPECTION: .....

1.) duct tape joint on 3"Ø stack  
leaking - replace -

DWV approved subject to the  
above.

recall for

- water dist system
- traps
- shower pans

SIGNATURE: ..... INSPECTOR: Fuchs

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

**Redacted S. 22**

NAME: ..... PERMIT No. 69.94  
 ADDRESS: 14500 sunset Dr. SHEET No. 1  
 TYPE OF INSPECTION: height check DATE: Sept 12/94  
 AREA OF INSPECTION: .....

max permitted bldg height	EL. 45.02 M
TL5 from N.W corner	41.64
	3.38
permitted height	(133' 1/8")

upper floor 113.5"  
 19.5"  
 -----  
 133.0"

under max bldg. height by 1/8"

SIGNATURE: ..... INSPECTOR: [Signature]

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: ..... *J. Dejean* ..... PERMIT No. ....

ADDRESS: ..... *14500 Sunset Drive* ..... SHEET No. ....

TYPE OF INSPECTION: ..... *Perimeter Tile* ..... DATE: ..... *June 30/94* .....

AREA OF INSPECTION: ..... *Mil building - West 1/2* .....

*Perimeter tile in area noted passed*  
*- OK to backfill this area*

SIGNATURE: ..... INSPECTOR: *[Signature]* .....

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

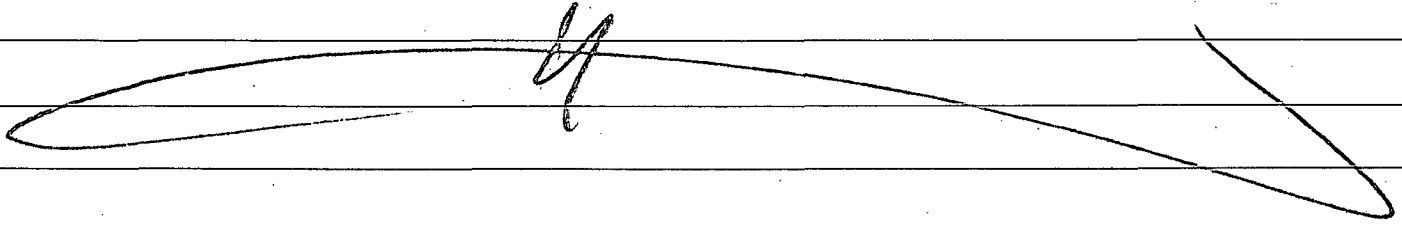
City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: DeVogel PERMIT No. 69-94  
 ADDRESS: 14500 sunset Ln SHEET No. 1  
 TYPE OF INSPECTION: drainage DATE: July 28/94  
 AREA OF INSPECTION: 2<sup>nd</sup> inspection

storm & sanitary at call,  
 damgrading & water service

- approved.



SIGNATURE: ..... INSPECTOR: Fritz Wilton  
 DATE: .....

Please sign this form when the work is completed and return to the above department.





THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

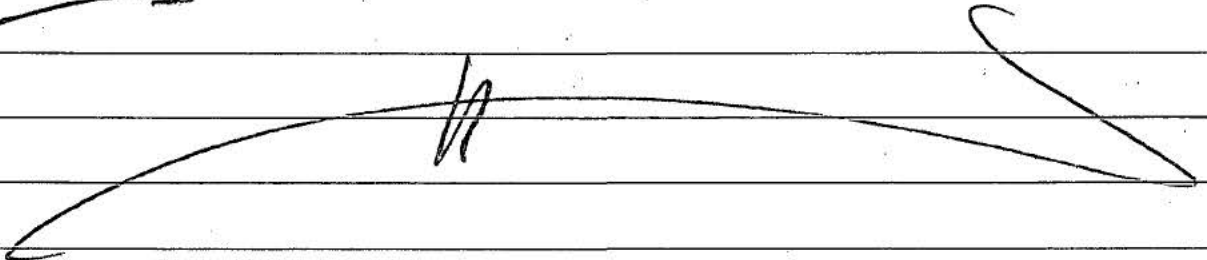
# Inspection Report

NAME: **s. 22** *Dawber* PERMIT No. *69.94*  
 ADDRESS: *14500 Sunset Ln.* SHEET No. *1*  
 TYPE OF INSPECTION: *drainage* DATE: *July 27/94*  
 AREA OF INSPECTION: .....

*water service, storm & sanitary outfall  
 cannot be bedded as done  
 to be properly bedded with sand or  
 crushed rock.*

*dam proofing not completed*

*recall.*



SIGNATURE: ..... INSPECTOR: *Fuchs*

DATE: .....

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: De Jager PERMIT No. ....

ADDRESS: 14500 sunset Ln SHEET No. ....

TYPE OF INSPECTION: Wall forms DATE: July 13/94

AREA OF INSPECTION: .....

form survey received

approved to pour subject to:

1.) P. Eng approval.

note: check pour strip elevation from survey with max bldg elevation and confirm bldg envelope will remain under height.

SIGNATURE: ..... INSPECTOR: Fishliem

DATE: .....

Please sign this form when the work is completed and return to the above department.

0-1 228C-1073

ATTENTION

**Neville Graham & assoc. inc.**

DEPARTMENT

FROM

DATE

SUBJECT

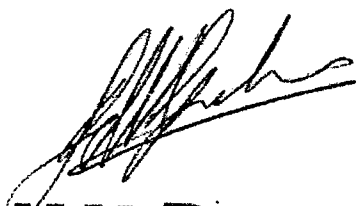
*14<sup>th</sup> July 1994.*

*14499 Sunset Drive*

*White Rock P.C.*

MESSAGE

*Walls O.K. to pour concrete -*



**RECEIVED**

JUL 15 1994

**CORPORATION OF  
THE CITY OF WHITE ROCK**

USE LOWER PORTION FOR REPLY

REPLY FROM

DATE

MY FILE : 94-53  
CLIENT FILE : DeJAGER

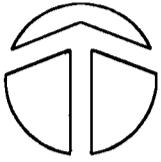
# SURVEY PLAN SHOWING THE LOCATION OF FORMS ON LOT 21 SECTION 10 TOWNSHIP 1 N.W.D. PLAN 6761

CIVIC ADDRESS : 14500 SUNSET LANE, WHITE ROCK

SCALE 1 : 250 METRIC

NOTE : LOT DIMENSIONS FROM FILING HB4150

ELEVATIONS DERIVED FROM  
MONUMENT 88H3849 (elev. 46.652m)



## SUNSET LANE

18.642

22

47.101

LEVEL STRIP  
= 41.64m

21

LEVEL STRIP  
= 41.34m

43.760

20

FORMS  
ONLY

R=0.89

LEVEL STRIP  
= 35.58m

1.53

18.264

## SUNSET DRIVE

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED

THIS PLAN IS TO BE USED FOR  
MUNICIPAL OR MORTGAGE PURPOSES ONLY

CERTIFIED CORRECT : JULY 13, 1994



**ALLEN TITLEY, BCLS.**  
24455 - 50th AVENUE, LANGLEY, B.C.  
V2Z 1E3 PHONE : 857-1166

B C L S

© ALLEN TITLEY, BCLS 1994

FROM

Neville Graham &amp; assoc. inc.

DEPARTMENT

SEND TO

Ken.

DATE

24<sup>th</sup> June 1994.

SUBJECT

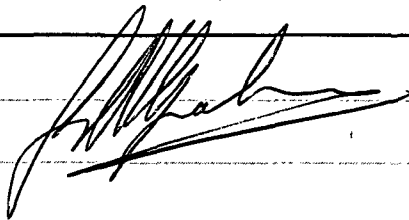
14499 Sunset Drive  
White Rock, B.C.

MESSAGE

Footings:

1. Section of Wall East of Garage - A.A. - add required reinforcing as discussed.
2. Remove all loose gravel from forms & place pipes through where required.

When above deficiencies complete O.K. to pour concrete.



USE LOWER PORTION FOR REPLY

REPLY FROM

DATE



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES  
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,  
White Rock, B.C.  
Tel. No.: 531-9111  
Fax.No.: 538-6049

# Inspection Report

NAME: DeBayer PERMIT No. ....

ADDRESS: 14499 sunset Ln. SHEET No. ....

TYPE OF INSPECTION: footings only DATE: June 24/94

AREA OF INSPECTION: .....

footings approved to pass.

P-Eng. approval received.

SIGNATURE: ..... INSPECTOR: [Signature]

DATE: .....

Please sign this form when the work is completed and return to the above department.

CITY OF WHITE ROCK.  
DEPARTMENT OF PERMITS & LICENSES,  
15322 BUENA VISTA AVE  
WHITE ROCK BC V4B 1Y6.

JUNE 9, 1997  
Redacted S. 22  
14500 SUNSET LANE  
WHITE ROCK BC V4B5K5

ATTN: MR. COLIN ARCHISON. HAND DELIVERED.

RE: BUILDING CODE GOVERNING UNPROTECTED OPENINGS.

OVERVIEW:

I WOULD LIKE YOUR DEPARTMENT TO CONSIDER RELAXATION OF THE BYLAW SINCE OVER 50% OF THE EXISTING WINDOW OPENINGS ARE ANGLED AWAY FROM THE WALL INVOLVED. THIS REQUEST IS IN THE CONTEXT OF A RENOVATION AT 14500 SUNSET LN.

FOR YOUR ASSISTANCE, PLEASE REFER TO PLANS I & II ATTACHED.

THE REQUEST.

TO ALLOW 36" OF OPENING IN EXCESS OF THAT PERMITTED BY STRICT INTERPRETATION OF THE BYLAW.

EXISTING CASE.

ALLOWED OPENING IS 111.6" OR 7% OF WALL AREA FOR A 5' SIDEYARD, ALL AS PER R. BONTES'S SPECIFICATIONS.  
SEE PLAN I.

TOTAL EXISTING (AS BUILT) APPARENT OPENINGS IS 122.7", BEING WINDOWS A-I SHOWN ON PLAN II. OF THIS TOTAL, WINDOWS A, B & C ARE ANGLED SHARPLY AWAY AND COMPRISE 64.2", OR OVER 50% OF THE OPENINGS.

### The Proposal.

DELETE WINDOWS D & E. (31 ft) AND REPLACE WITH WINDOW J (56 ft), RESULTING IN, 36 ft OVER THE ALLOWED, 111.6 ft. THIS IS CALCULATED AS:

$$122.7 \text{ ft EXISTING.} + 56 \text{ ft (NEW J)} - (31 \text{ ft EXISTING D+E}) = 147.7 \text{ ft.}$$

ALLOWED	111.7 ft
EXCESS.	36.0 ft

### REASONS TO SUPPORT PROPOSAL.

SINCE 64 ft OF OPENING PRESENTLY ANGLES AWAY FROM THE RIGHT WALL IT WOULD NOT SEEM UNREASONABLE TO DISCOUNT THIS BY SOME 50% THUS ACCOMMODATING MY REQUEST.

THE GARAGE WALL, MIGHT BE CONSIDERED PART OF THE RIGHT WALL AREA. THIS IS APPROX 100 ft, SHOWN AS "K" ON PLAN. II.

WINDOWS ARE MANUFACTURED BY KUMYCAN. AND HAVE INFERIATE FRAMES. I. CALCULATE GLASS AREA AT 68% OF THE ROUGH OPENINGS, OR IN THIS CASE UNDER CONSIDERATION, 39 ft. IS FRAME AND 83 ft IS GLASS. ( $0.68 \times 122.7 \text{ ft} = 83.4 \text{ ft}$ ) THIS IN ITSELF IS MORE THAN THE RELAXATION REQUESTED.

I would be pleased to attend at your office to answer questions if this would be of assistance.



I can be reached at Rh.  
Fax

Redacted S. 22

I thank you and your staff for the time taken  
to consider this matter and I look forward  
to your early reply.

Cordelia

Redacted S. 22

DR

# THE CITY OF WHITE ROCK PERMIT TO BUILD

June 2/94

Date ..... 19..... Roll # ..... Dev. Permit No. .... Permit No. 69-94

Owner: **Redacted S. 22**  
Address: **Redacted S. 22**  
Architect: .....  
Contractor: Dan DeJager  
Contractor's Address: .....

Location: ~~14500~~ Sunset Lane 14500 Sunset Ln  
Legal: .....  
Dev. Permit Area: UHB 5K4 Zone: RS - 1  
Occupancy: S.F.D.  
Name of Project: 2600

Description of Construction: AS PER CODE Lot Size: .....  
Truss Plan Req'd.: AS PER CODE Survey Plan Req'd.: AS PER CODE Max. Height: AS PER CODE  
Size: AS PER CODE Storeys: ..... Min. Yards: Front: AS PER CODE R. Side: ..... L. Side: AS PER CODE Rear: .....

	Basement	1st	2nd	Roof
Ext. Walls				
Floors, Joists	531 2744	DON FEBRIGE AS PER CODE		
Live Loads		531-2424		

Basement .....  
Footings .....  
Columns .....  
Beams .....  
Stairways .....  
Int. Partitions .....  
Heating .....  
Ventilation .....  
Insulation .....  
Plans Filed .....  
*AS PER CODE*

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ 275,000.00
Permit Fee	\$ 1,847.00
S/S/M	\$ 66.00
M/F	\$ 30.00
Total Fees	\$ 1,943.00

**Redacted S. 22**

Owner or Authorized Agent

Building Inspector

(OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

~~footings~~

-

passed

June 24/94

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

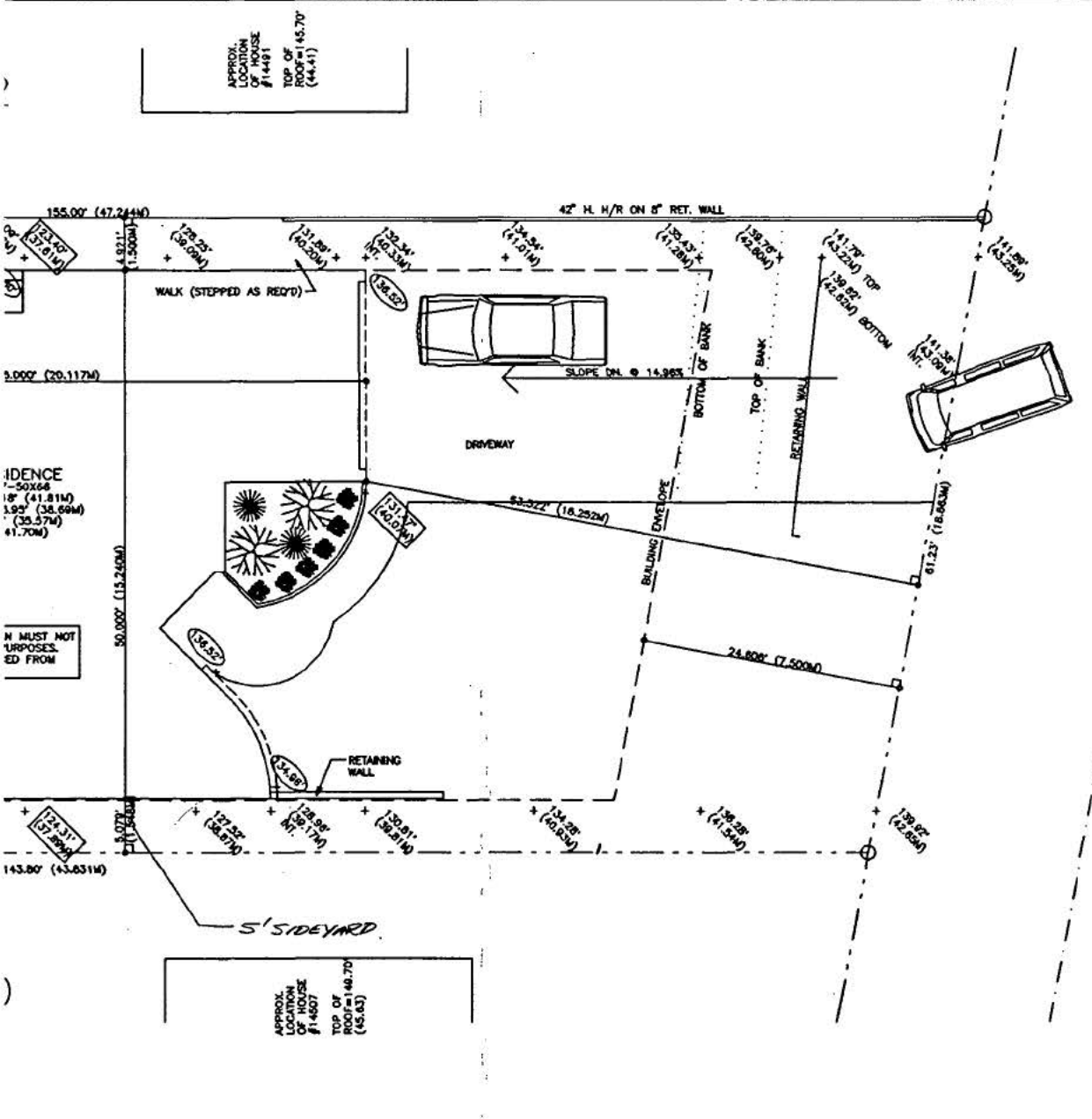
MAX HT = 4502 M

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED

FEB 25, 2011



APPROX. LOCATION OF HOUSE #14461  
TOP OF ROOF = 45.70  
(44.41)

APPROX. LOCATION OF HOUSE #14507  
TOP OF ROOF = 46.70  
(45.63)

ELEVATIONS SHOWN IN RECTANGLES ARE INTERPOLATED GRADES USED IN DETERMINING MAXIMUM HEIGHT

ALL SPECIFICATIONS SHOWN ON THIS PLAN MEET OR EXCEED THE DESIGN GUIDELINE REQUIREMENTS FOR THIS LOT.

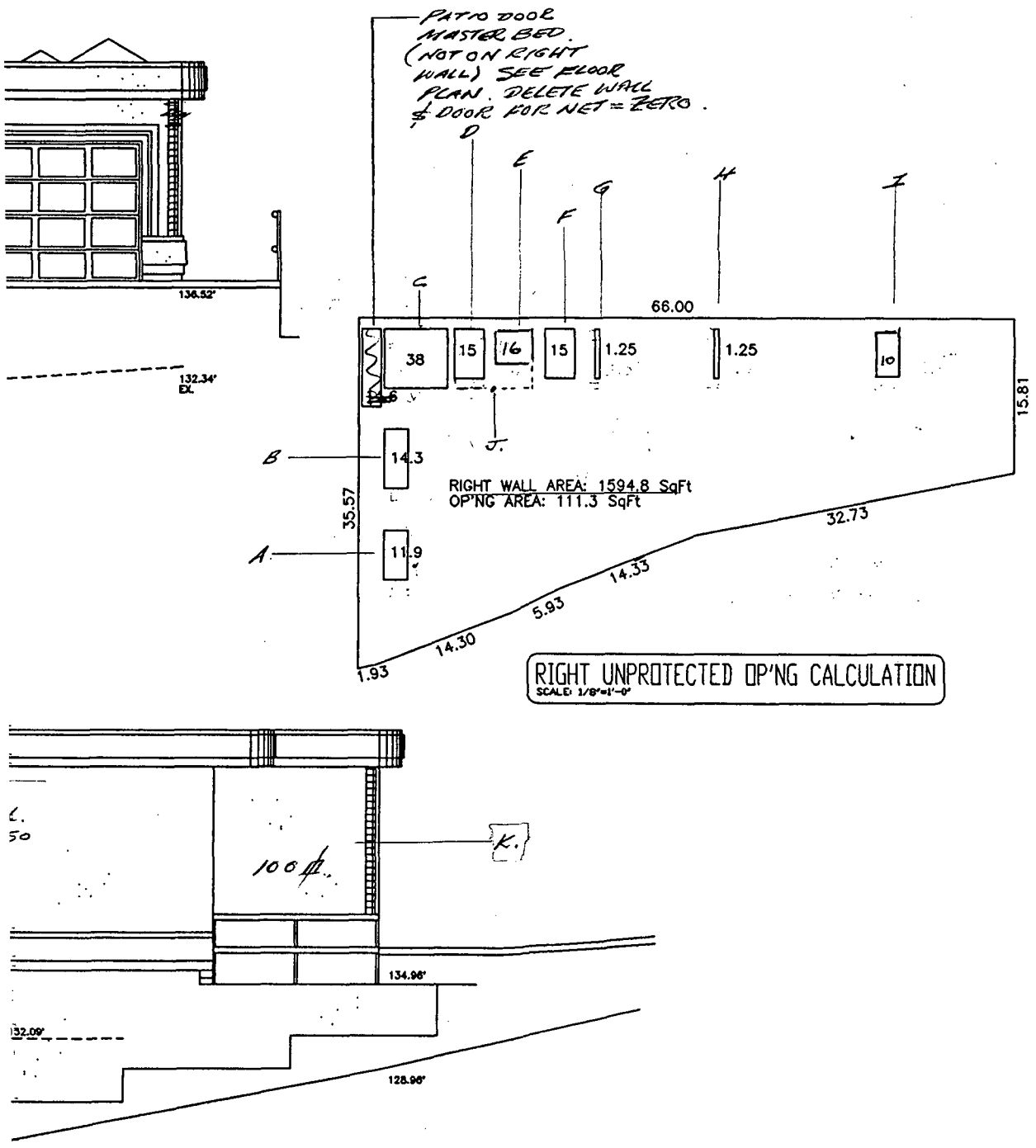
SIGNATURE: \_\_\_\_\_  
PER: \_\_\_\_\_ (DESIGN CONTROL AGENCY)  
DATE: \_\_\_\_\_  
APPROVAL BY DESIGN CONTROL CONSULTANT

DATE: \_\_\_\_\_  
APPROVAL BY AUTHORITY HAVING JURISDICTION

SUNSET LANE

ALLOWED 111.64

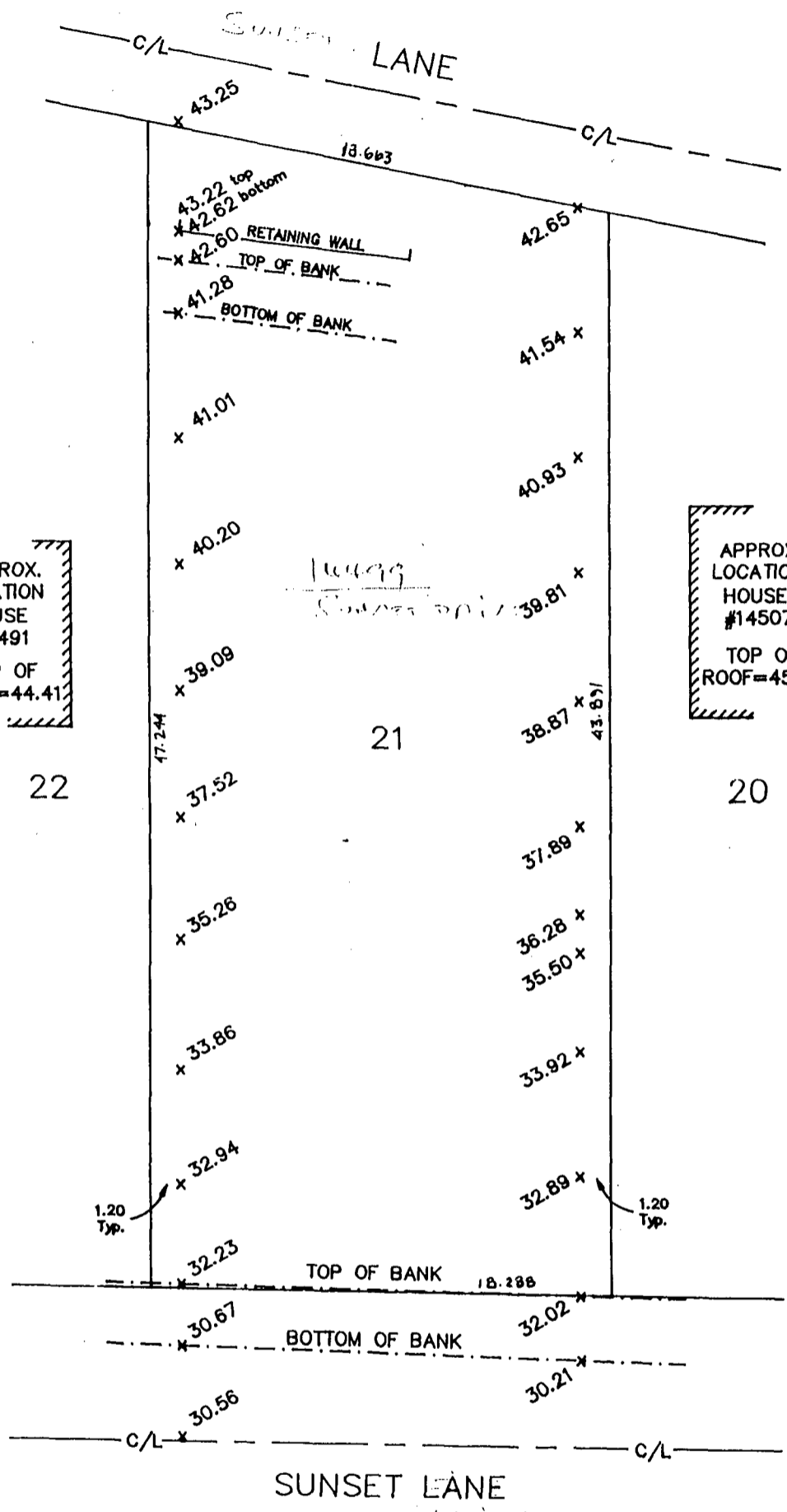
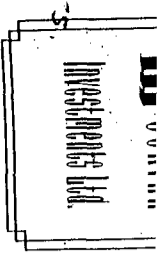
SITE INFORMATION																																	
PROPERTY OWNER	B.C./WHITE ROCK/SUNSET DR./14499																																
SITE ADDRESS	B.C./WHITE ROCK/BUENA VISTA/15322/448116																																
AUTHORITY HAVING JURISDICTION	CITY OF WHITE ROCK (604)531-9111																																
LEGAL DESCRIPTION	LOT 21/SEC 10/TP1/NWD/PLAN 6767																																
ZONE	RS-1																																
SUBDIVISION																																	
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BASEMENT ELEV	118.72F(36.57M)																																
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AVERAGE LOT ELEV	123.16F(37.54M)																																
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SITE INFO CHART LEGEND	<ul style="list-style-type: none"> <li>○ TO BE DETERMINED</li> <li>⊙ APPLICABLE</li> <li>⊖ NOT APPLICABLE</li> <li>⊕ REQUIRED</li> <li>⊗ NOT REQUIRED</li> <li>⊘ INCLUDED</li> <li>⊙ EXCLUDED</li> <li>⊕ PERMITTED</li> <li>⊖ NOT PERMITTED</li> </ul>																																
SITE PLAN LEGEND	<ul style="list-style-type: none"> <li>⊙ D.I.P. DEMONSTRATION IRON PIN FOUND</li> <li>⊕ I.P. DEMONSTRATION IRON PIN SET</li> </ul>																																
SITE DATA SOURCE(S)	OLSEN, ESSON & ROWBOTHAM																																
SHAPE CONFIG & AREA	B.C./SURREY/24AVE/15585/1204/VA4214 (604)531-4067																																
EXISTING GRADES & ELEVATIONS	OLSEN, ESSON & ROWBOTHAM B.C./SURREY/24AVE/15585/1204/VA4214 (604)531-4067																																



RIGHT UNPROTECTED OP'NG CALCULATION  
SCALE: 1/8"=1'-0"

DESIGN BY RAYMOND S. BONTER, DESIGNER LTD. (604) 535-3322

2GD-4258.7-50X66 COPYRIGHTED  
 THESE DRAWING COPIES OR ANY COPIES THEREOF:  
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 - MAY ONLY BE USED FOR THE DESIGNATED PURPOSE INDICATED.  
 - ARE ISSUED WITH THE UNDERSTANDING THAT RAYMOND S. BONTER, DESIGNER LTD. WILL BE RESPONSIBLE FOR THEIR WORK ONLY TO THE EXTENT OF ISSUING CORRECTED COPIES IN THE EVENT OF AN ERROR OR OMISSION OF THE SAME.  
 - AND ALL WORK DONE BY RAYMOND S. BONTER, DESIGNER LTD. IS AND WILL REMAIN SOLELY THE PROPERTY OF THE SAME.  
 ALL FUNDS PAID ARE NON-REFUNDABLE.



- NOTE -

NOTES ON THIS PLAN MUST NOT BE USED FOR CONSTRUCTION PURPOSES. A PERMIT MARK MUST BE OBTAINED FROM THE PLANNING OFFICE

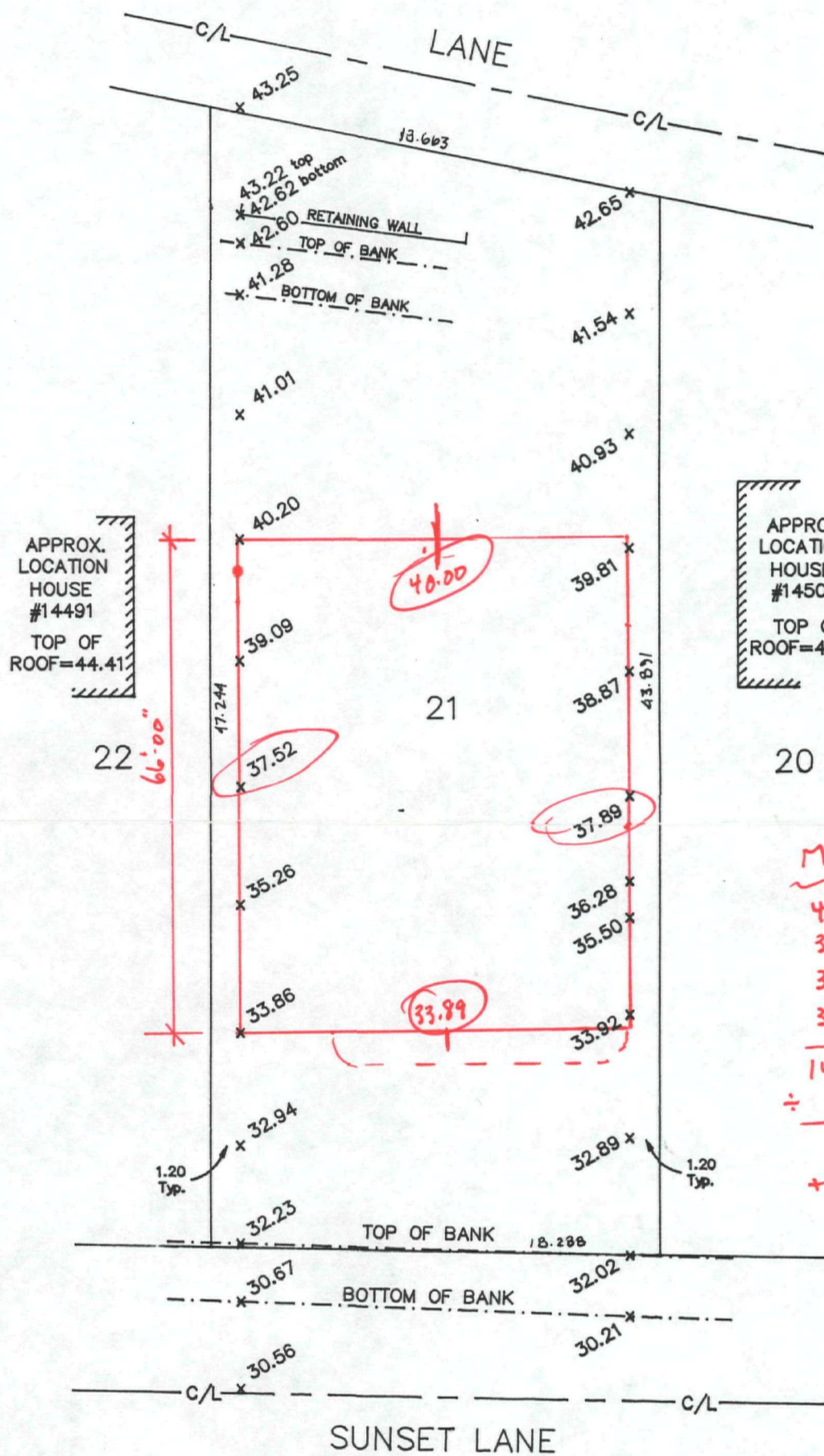
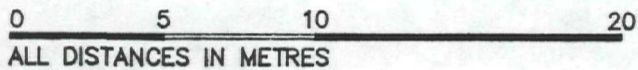
OLSON & LAM  
COLUMBIA SURVEYORS  
85 24th AVE.,  
Vancouver, B.C.  
Tel: 531-4067

This plan to be used for Municipal and/or Mortgage purposes only and is not to be used to define boundaries of property.  
The plan above shows the correct dimensions of the above described property.

*Alton Olson*  
CERTIFIED CORRECT  
Dated this 30<sup>th</sup> day of AUGUST  
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

TOPOGRAPHIC PLAN SHOWING FEATURES AND ELEVATIONS ON AND ADJACENT TO LOT 21, SECTION 10, Tp.1, N.W.D., PLAN 6761.

SCALE - 1:250



- NOTE -

ELEVATIONS ON THIS PLAN MUST NOT BE USED FOR CONSTRUCTION PURPOSES. A BENCHMARK MUST BE OBTAINED FROM THIS OFFICE

OLSEN, ESSON & ROWBOTHAM  
BRITISH COLUMBIA  
LAND SURVEYORS  
#204-15585 24th AVE.,  
SURREY, B.C.  
V4A 2J4  
TELEPHONE : 531-4067

This plan to be used for Municipal and/or Mortgage purposes only and is not to be used to define boundaries

The plan above shows the correct dimensions of the above described property.

*Alan Olsen*

CERTIFIED CORRECT

Dated this 30<sup>th</sup> day of AUGUST, 1993

THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.

438 File

APPLICATION FOR SEWER CONNECTION  
THE CORPORATION OF THE CITY OF WHITE ROCK

1170

**Redacted S. 22**

I/WE \_\_\_\_\_  
being the owner(s) of certain premises situated at \_\_\_\_\_  
14499 Sunset Dr. In the City of White Rock,

and being:

LOT 21 BLK \_\_\_\_\_ QRT \_\_\_\_\_ SEC 10 TP 1 MAP 676

hereby apply for a sewer connection to the said premises, pursuant to the following particulars:

Property Address 14500 ~~14499~~ Sunset Dr Lane  
Type of Building Single Family Dwelling  
Number of Water Closets 3  
Number of Urinals \_\_\_\_\_  
Number of Rental Charges 1  
Total Annual sewer user charge \$ \_\_\_\_\_

I herewith tender the sum of \$ 975.- to cover the cost of such connection and further agree to pay the amount assessed against the aforesaid property from time to time in respect to the said sewer pursuant to the provisions of the By-laws of the Corporation.

DATED AT WHITE ROCK, B. C.

THIS 28 DAY OF April, 1994

# 69-94

**Redacted S. 22**

SIGNATURE OF APPLICANT

**Redacted S. 22**

ADDRESS OF APPLICANT

**FOR OFFICE USE ONLY**

Date Connected \_\_\_\_\_ Tax Roll # \_\_\_\_\_  
Legal description checked \_\_\_\_\_ No of Units \_\_\_\_\_  
Sewer Roll card \_\_\_\_\_ Yearly charge \_\_\_\_\_  
\$ \_\_\_\_\_ added to roll # \_\_\_\_\_

Date \_\_\_\_\_ Tax roll # \_\_\_\_\_  
Name \_\_\_\_\_  
Address \_\_\_\_\_  
Lot \_\_\_\_\_ Plan \_\_\_\_\_ Amount Paid \_\_\_\_\_

SUBMIT ONE COPY OF COMPLETED FORM TO TREASURY DEPT. WHEN PAYING FEES AND DEPOSIT.



~~CONFIDENTIAL~~  
**APPLICATION FOR STORM SEWER CONNECTION**  
**THE CORPORATION OF THE CITY OF WHITE ROCK**

1221

**Redacted S. 22**

I/WE \_\_\_\_\_  
being the owner(s) of certain premises situated at \_\_\_\_\_  
14500 ~~14499~~ Sunset Lane in the City of White  
Rock, and being:

LOT 21 BLOCK \_\_\_\_\_ QUARTER \_\_\_\_\_  
SECTION 10 TOWNSHIP 1 MAP 676

hereby apply for a storm sewer connection to the said premises, pursuant to  
the following particulars:

Property Address 14500 ~~14499~~ Sunset Lane  
Type of Building Single Family

I HEREWITH TENDER THE SUM OF \$ 975.00 TO COVER THE COST OF SUCH  
CONNECTION.

DATED AT WHITE ROCK, B. C.

THIS 28 DAY OF  
April, 1994

#69-94

**Redacted S. 22**

SIGNATURE OF APPLICANT \_\_\_\_\_

**Redacted S. 22**

ADDRESS OF APPLICANT \_\_\_\_\_

**FOR OFFICE USE ONLY**

Date connected \_\_\_\_\_ Tax roll No. 827

Legal Description checked \_\_\_\_\_ No. of units \_\_\_\_\_

Sewer Roll card \_\_\_\_\_ Yearly charge \_\_\_\_\_

\$ \_\_\_\_\_ added to roll number \_\_\_\_\_

Date \_\_\_\_\_ Tax roll no. \_\_\_\_\_

Name \_\_\_\_\_

Address \_\_\_\_\_

Lot \_\_\_\_\_ Plan \_\_\_\_\_ Amount Paid \_\_\_\_\_

SUBMIT ONE COPY OF COMPLETED FORM TO TREASURY DEPT. WHEN PAYING FEES  
AND DEPOSIT.



THE CORPORATION OF THE CITY OF WHITE ROCK  
DEPARTMENT OF PERMITS & LICENCES

TEL: 531-9111  
FAX: 538-6049  
15322 Buena Vista Ave.

# APPLICATION FOR BUILDING PERMIT

## FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. .... APRIL 28 ..... 1994

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to ELECT the building as follows:

SINGLE FAMILY DWELLING

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: RS-1 Development Permit # .....

Correct description of property LOT 21 SEC 10 T.1 Plan 676

Street 14500 ~~W~~ SUNSET ~~DR~~ LANE Size of land 60 x 144'

Survey Plan required No  Yes  supplied

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for? TO BE DEMOLISHED

How heated? GAS, HOT WATER

Entire value, when completed \$ .....

Name and mail address of owner ... **Redacted S. 22** Phone: **Redacted S. 22**

Name and mail address of builder DAN DEJAREAR Phone: at home

Name and address of architect (if any) RAY BONNER 535 3322

Name and address of person or persons to whom permit is to be issued:  
Name owner Address .....

Do you require to use street for placing material? NO

How long? ..... Days

And I agree to conform to all requirements of said By-Law.

Roll No. .... Signature of Applicant: **Redacted S. 22**

Building Permit Fee: fees to come

Plan Checking Fee: \$ 2478

Permit No. 69-94 SEE REVERSE PA.

1 Plan @ P.W.D.

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

10,000	-	9125.00
265,000	also	1722.00
<u>275,000</u>		<u>1847.00</u>
S/S/W		66.00
M.F		38.00
Land		<u>1943.00</u>
		535.00
		<u>2478.00</u>

22x3

2225 Top floor  
 2033 Main floor  
 1229 CNB

THE CORPORATION OF THE CITY OF WHITE ROCK  
PUBLIC WORKS DEPARTMENT  
STORM/SANITARY CONNECTION SHEET

STORM # 1221  
SANITARY # 1170

ADDRESS 14500 SUNSET LANE BUILDING PERMIT # Redacted S. 22

HOUSE CONNECTION/APARTMENT CONNECTION FOR \_\_\_\_\_

LOT # 21 BLOCK \_\_\_\_\_ QUARTER ~~10~~ SECTION 10 TWP 1 PLAN # 6761

SANITARY SEWER INSTALL 4"  $\phi$  PVC SERVICE @ 3'  $\pm$  EAST OF SOUTHWEST R CORNER. DEPTH @ R = 3'  $\pm$ . CONNECTION \$ 950.00  
INSPECTION \$ 25.00

SANITARY MAIN LINE EXTENSION DESCRIPTION N/A.  
SANITARY EXTENSION COST \$ \_\_\_\_\_

NOTE: OWNER/DEVELOPER MUST EXPOSE EXISTING SANITARY CONNECTION AT PROPERTY LINE FOR PUBLIC WORKS FOREMAN TO CAP-OFF. FAILURE TO DO SO WILL RESULT IN A FORFEITURE OF \$500.00 DEMOLITION BOND.

TOTAL COST FOR SANITARY CONNECTION \$ 975.00

STORM SEWER INSTALL 4"  $\phi$  PVC SERVICE @ 5' EAST OF SOUTHWEST R CORNER. DEPTH @ R = 1'  $\pm$ . CONNECTION \$ 950.00  
INSPECTION \$ 25.00

STORM MAIN LINE EXTENSION DESCRIPTION N/A.  
STORM EXTENSION COST \$ \_\_\_\_\_

TOTAL COST FOR STORM CONNECTION \$ 975.00

EXCAVATION BOND

THE OWNER/BUILDER OF SINGLE FAMILY RESIDENTIAL UNITS WILL DEPOSIT WITH THE CITY A \$500.00 EXCAVATION BOND. THIS BOND WILL BE REFUNDABLE ON THE CONDITION THAT THE STREETS IN THE VICINITY OF THE CONSTRUCTION ARE MAINTAINED IN A REASONABLE CLEAN MANNER.

TOTAL COST FOR EXCAVATION BOND \$ 500.00

TOTAL COST FOR STORM, SANITARY AND EXCAVATION BOND \$ 2450.00

DRIVEWAYS

MAXIMUM ALLOWABLE GRADE = 20 % GRADE  
NORMAL  EXCEPTIONAL \_\_\_\_\_

REMARKS \_\_\_\_\_

GENERAL REQUIREMENTS AND/OR REMARKS

ALL WORK MUST CONFORM WITH THE CITY OF WHITE ROCK STANDARDS & SPECS. APPROVAL FROM THE PUBLIC WORKS DEPARTMENT MUST BE OBTAINED PRIOR TO CONSTRUCTION. INSPECTIONS TO BE CARRIED OUT BY THE CITY'S BUILDING DEPT.. ALL PROPOSED WORK ON CITY PROPERTY MUST BE APPROVED BY PUBLIC WORKS DEPT. VIA A "BOULEVARD IMPROVEMENT APPLICATION" PRIOR TO CONSTRUCTION. THE SAID FORM IS OBTAINABLE AT CITY HALL.

DATE MAY 19, 1994 SIGNATURE OBirk.

DATE \_\_\_\_\_ CHECKED BY \_\_\_\_\_

**SCHEDULE B-1**  
Forming Part of Section 2.6 of the  
British Columbia Building Code

**ASSURANCE OF PROFESSIONAL DESIGN AND  
COMMITMENT FOR FIELD REVIEW**

- Note:
1. This letter must be submitted along with Schedule B-2 before issuance of a *building* permit. A separate letter must be submitted by each *registered professional*.
  2. This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Inspectors Association of B.C., and Union of B.C. Municipalities.
  3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

To: The Building Inspector

Date: 31<sup>st</sup> May 1994

City of White Rock, B.C.  
Address (Print)

Dear Sir:

Re: 14499 SUNSET DRIVE White Rock B.C.  
Address of Project (Print)

Legal Description of Project (Print)

The undersigned hereby gives assurance that the design of the  
(initial those of the items listed below that apply to this *registered professional*.  
All the disciplines will not necessarily be employed on every project.)

- ARCHITECTURAL
- STRUCTURAL
- MECHANICAL
- PLUMBING
- FIRE SUPPRESSION SYSTEMS
- ELECTRICAL
- GEOTECHNICAL — temporary
- GEOTECHNICAL — permanent

components of the plans and supporting documents prepared by this *registered professional* in support of the application for the *building* permit substantially comply with the B.C. Building Code and other applicable enactments respecting safety except for construction safety aspects.

The undersigned hereby undertakes to be responsible for *field reviews* of the above referenced components during construction as indicated on the attached "SUMMARY OF DESIGN AND FIELD REVIEW REQUIREMENTS" (SCHEDULE B-2).

Schedule B-1 -- *Continued*

The undersigned also undertakes to notify the *authority having jurisdiction* in writing as soon as possible if the undersigned's contract for *field review* is terminated at any time during construction.

I certify that I am a *registered professional* as defined in the British Columbia Building Code.

J.R.N. Graham  
Name (Print)

*J.R.N. Graham*  
Signed

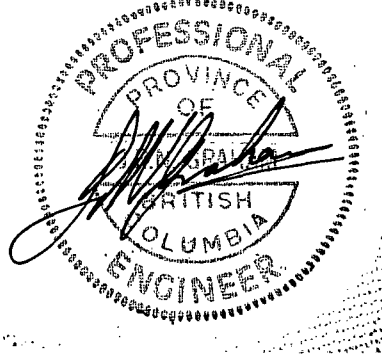
31<sup>st</sup> May 1994.  
Date

15437 Buena Vista Ave.  
Address (Print)

White Rock, B.C.

V4B 1Y9

536-1621  
Phone



(Affix PROFESSIONAL SEAL here)

(If the *Registered Professional* is a member of a firm, complete the following.)

I am a member of the firm Neville Graham & Assoc. Inc.  
and I sign this letter on behalf of the firm. (Print name of firm)

NOTE: The above letter must be signed by a *registered professional*. The British Columbia Building Code defines a "*registered professional*" to mean

- (a) a person who is registered or licensed to practise as an architect under the Architects Act, or
- (b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

**SCHEDULE B-2**  
Forming Part of Section 2.6 of the  
British Columbia Building Code

**SUMMARY OF DESIGN AND FIELD REVIEW  
REQUIREMENTS**

- Note:
1. This form must be submitted with Schedule B-1 before issuance of a *building* permit.
  2. This form is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Union of B.C. Municipalities and Building Inspectors Association of B.C.
  3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

Date: 31<sup>st</sup> May 1994.

(Initial applicable discipline below and cross out and initial non-applicable items within the discipline.)

**ARCHITECTURAL**

- 1.1 Fire resisting assemblies
- 1.2 *Fire separations and their continuity*
- 1.3 *Closures*, including tightness and operation
- 1.4 Interior and exterior finishes
- 1.5 Egress systems, including *access to exit within suites and floor areas*
- 1.6 Performance and physical safety features (guardrails, handrails, etc.)
- 1.7 Structural capacity of architectural components, including anchorage and seismic restraint
- 1.8 Roofing and flashings
- 1.9 Wall cladding systems
- 1.10 Dampproofing and/or waterproofing of walls and slabs below *grade*
- 1.11 Thermal insulation systems, including condensation control and cavity ventilation
- 1.12 Sound control
- 1.13 Landscaping, screening and site grading
- 1.14 Provisions for fire fighting access
- 1.15 *Access* requirements for persons with disabilities
- 1.16 Elevating devices
- 1.17 Coordination of testing of fire emergency systems and maintenance programs
- 1.18 Development Permit and conditions therein
- 1.19 Exterior glazing
- 1.20 Interior signage, including acceptable materials, dimensions and locations
- 1.31 Review of all applicable shop drawings

**STRUCTURAL**

- 2.1 Structural capacity of structural components of the *building*, including anchorage and seismic restraint
- 2.2 ~~Structural aspects of deep foundations~~
- 2.3 ~~Review of all applicable shop drawings~~

**MECHANICAL**

- 3.1 HVAC systems and devices, including high *building* requirements where applicable
- 3.2 *Fire dampers* at required *fire separations*
- 3.3 Continuity of *fire separations* at HVAC penetrations
- 3.4 Functional testing of mechanically related fire emergency systems and devices
- 3.5 Maintenance manuals for mechanical systems
- 3.6 Structural capacity of mechanical components, including anchorage and seismic restraint
- 3.7 Review of all applicable shop drawings

**PLUMBING**

- 4.1 Roof *drainage systems*
- 4.2 Site and *foundation drainage systems*
- 4.3 *Plumbing systems* and devices
- 4.4 Continuity of *fire separations* at plumbing penetrations
- 4.5 Functional testing of plumbing related fire emergency systems and devices
- 4.6 Maintenance manuals for *plumbing systems*
- 4.7 Structural capacity of plumbing components, including anchorage and seismic restraint
- 4.8 Review of all applicable shop drawings

**FIRE SUPPRESSION SYSTEMS**

- 5.1 Suppression system classification for type of *occupancy*
- 5.2 Design coverage, including concealed or special areas
- 5.3 Compatibility and location of electrical supervision, ancillary alarm and control devices
- 5.4 Evaluation of the capacity of city (municipal) water supply versus system demands and domestic demand, including pumping devices where necessary
- 5.5 Qualification of welder, quality of welds and material
- 5.6 Review of all applicable shop drawings
- 5.7 Acceptance testing for "Contractor's Material and Test Certificate" as per NFPA Standards
- 5.8 Maintenance program and manual for suppression systems
- 5.9 Structural capacity of sprinkler components, including anchorage and seismic restraint
- 5.10 For partial systems — confirm sprinklers are installed in all areas where required
- 5.11 Fire Department connections and hydrant locations
- 5.12 Fire hose standpipes
- 5.13 Functional testing of fire suppression systems and devices

**ELECTRICAL**

- 6.1 Electrical systems and devices, including high *building* systems where applicable
- 6.2 Continuity of *fire separations* at electrical penetrations
- 6.3 Functional testing of electrical related fire emergency systems and devices
- 6.4 Electrical systems and devices maintenance manuals
- 6.5 Structural capacity of electrical components, including anchorage and seismic restraint
- 6.6 Clearances from *buildings* of all electrical utility equipment
- 6.7 Fire protection of wiring for emergency systems
- 6.8 Review of all applicable shop drawings

**GEOTECHNICAL — Temporary**

- 7.1 *Excavation*
- 7.2 *Shoring*
- 7.3 *Underpinning*
- 7.4 *Temporary construction dewatering*

**GEOTECHNICAL — Permanent**

- 8.1 *Bearing capacity of the soil*
- 8.2 *Geotechnical aspects of deep foundations*
- 8.3 *Compaction of engineered fill*
- 8.4 *Structural considerations of soil, including slope stability and seismic loading*
- 8.5 *Backfill*
- 8.6 *Permanent dewatering*
- 8.7 *Permanent underpinning*



# MPB HOME CENTRE

MPB CONSTRUCTION LTD

RENOVATIONS \* ADDITIONS \* REMODELLING \* DESIGNING

Let "MPB" do YOUR Homework !!!

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*A-81-82*

*Doc's TOWN*

*OK TO ISSUE*

**538-9622**

15515 - 24 Ave, #61, South Surrey (Behind Don Beck Collision)

Authorized Dealer:

**Merit Kitchens**

Our Kitchens don't just cook. They sizzle.

PAINING & STAINING\*STAMPED CONCRETE & SCULPTURED GARDEN FOUNTAINS

KITCHEN & BATH DESIGN AND INSTALLATION COMPLETE INTERIOR DESIGNING

**SCHEDULE A**  
Forming Part of Sentence 2.6.2.1.1 of the  
British Columbia Building Code

**CONFIRMATION OF COMMITMENT BY OWNER  
AND BY COORDINATING REGISTERED  
PROFESSIONAL**

- Note: 1. This letter must be submitted before issuance of a *building* permit.  
2. This letter is endorsed by: Architectural Institute of B.C., Association of Professional Engineers and Geoscientists of B.C., Building Inspectors Association of B.C., and Union of B.C. Municipalities  
3. In this letter the words in italics have the same meaning as in the British Columbia Building Code.

Re: Design and *Field Review* of Construction  
by a *Coordinating Registered Professional*

To: The Building Inspector

Date: 2<sup>nd</sup> June 1994

City of White Rock, B.C.  
Address (Print)

Dear Sir:

Re: 14499 Sunset Drive, White Rock, B.C.  
Address of Project (Print)

Legal Description of Project (Print)

The undersigned has retained Neville Graham & Assoc. Inc. as a *coordinating registered professional* to coordinate the design work and *field reviews* of the *registered professionals* required for this project. The *coordinating registered professional* shall coordinate the design work and *field reviews* of the *registered professionals* required for the project in order to ascertain that the design will substantially comply with the B.C. Building Code and other applicable enactments respecting safety and that the construction of the project will substantially comply with the B.C. Building Code and other applicable enactments respecting safety, not including the construction safety aspects.

"*field reviews*" are defined in the British Columbia Building Code to mean those reviews of the work

- (a) at a project site of a development to which a *building* permit relates, and
- (b) where applicable, at fabrication locations where *building* components are fabricated for use at the project site.

that a *registered professional* in his or her professional discretion considers necessary to ascertain whether the work substantially complies in all material respects with the plans and supporting documents prepared by the *registered professional* for which the *building* permit is issued.

The *owner* and the *coordinating registered professional* have read Section 2.6 of the British Columbia Building Code. The *owner* and the *coordinating registered professional* acknowledge their responsibility to each notify the addressee of this letter of the date the *coordinating registered professional* ceases to be retained by the *owner* before the date the *coordinating registered professional* ceases to be retained or, if that is not possible, then as soon as possible.

Schedule A continued

The owner and the coordinating registered professional understand that where the coordinating registered professional or a registered professional ceases to be retained at any time during construction, work on the above project will cease until such time as

- (a) a new coordinating registered professional or registered professional, as the case may be, is retained, and
- (b) a new letter in the form set out in Schedule A or in the forms set out in Schedules B-1 and B-2, as the case may be, is filed with the authority having jurisdiction.

The undersigned coordinating registered professional certifies that he or she is a registered professional as defined in the British Columbia Building Code.

Coordinating Registered Professional

J.P.N. Graham

(Coordinating Registered Professional's Name (Print))

*J.P.N. Graham*

(Coordinating Registered Professional's Signature)

2<sup>nd</sup> June 1994

(Coordinating Registered Professional's Signature)

Date

15437 Buena Vista Ave.

Address (Print)

White Rock, B.C.

V4B 1Y9

Prof. Engineer



(All Coordinating Registered Professional's Seal here)

(If the Coordinating Registered Professional is a member of a firm, complete the following.)

I am a member of the firm Neville Graham & Assoc. Inc. and I sign this letter on behalf of the firm.  
(Print name of firm)

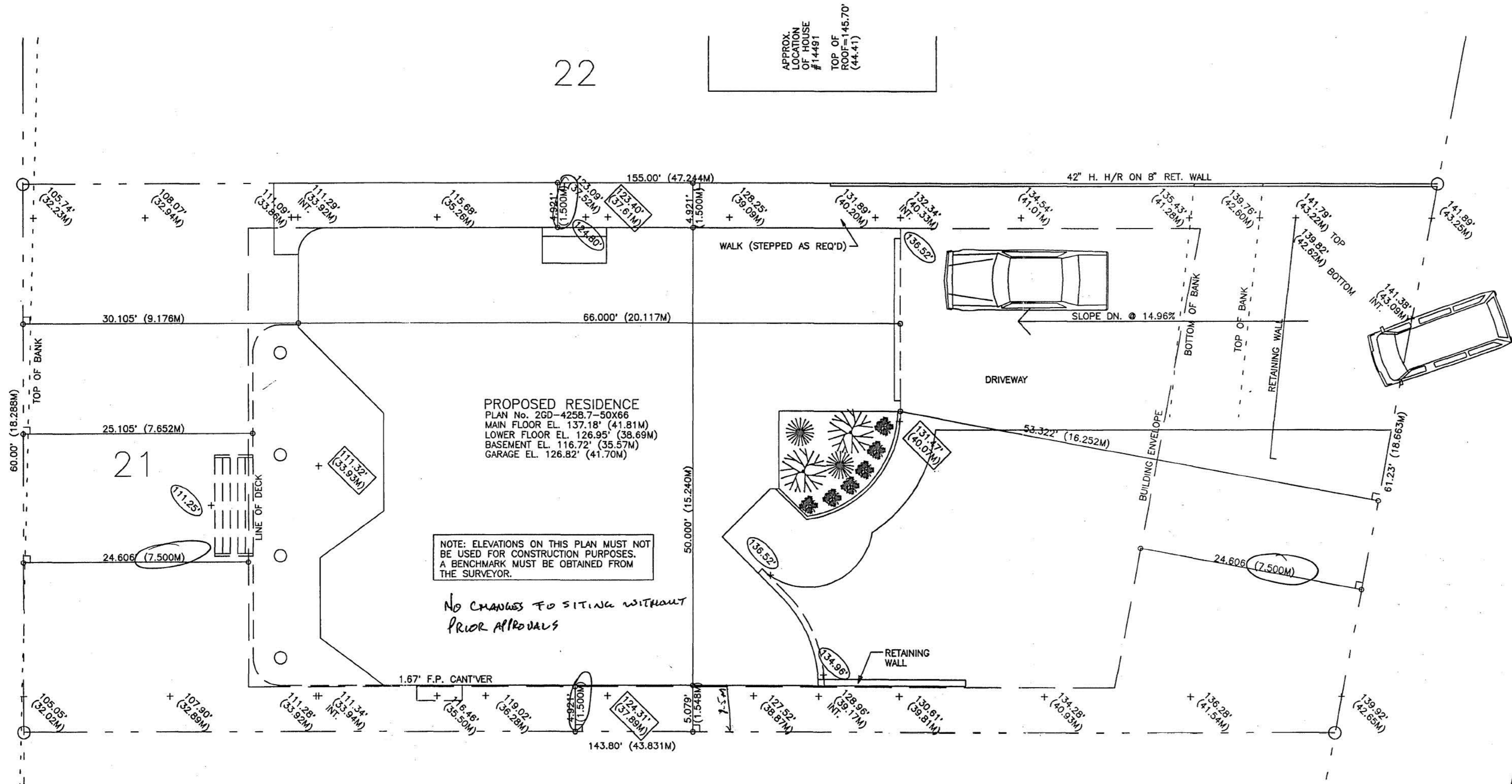
This letter must be signed by the owner or the owner's appointed agent and by the coordinating registered professional. An agent's letter of appointment must be attached. If the owner is a corporation, the letter must be signed by a signing officer of the corporation and the signing officer must set forth his or her position in the corporation.

The British Columbia Building Code defines a registered professional to mean  
(a) a person who is registered or licensed to practise as an architect under the Architects Act, or  
(b) a person who is registered or licensed to practise as a professional engineer under the Engineers and Geoscientists Act.

Redacted S. 22

SUNSET DRIVE

SUNSET LANE



**PROPOSED RESIDENCE**  
 PLAN No. 2GD-4258.7-50C66  
 MAIN FLOOR EL. 137.18' (41.81M)  
 LOWER FLOOR EL. 126.95' (38.69M)  
 BASEMENT EL. 116.72' (35.57M)  
 GARAGE EL. 126.82' (41.70M)

NOTE: ELEVATIONS ON THIS PLAN MUST NOT BE USED FOR CONSTRUCTION PURPOSES. A BENCHMARK MUST BE OBTAINED FROM THE SURVEYOR.

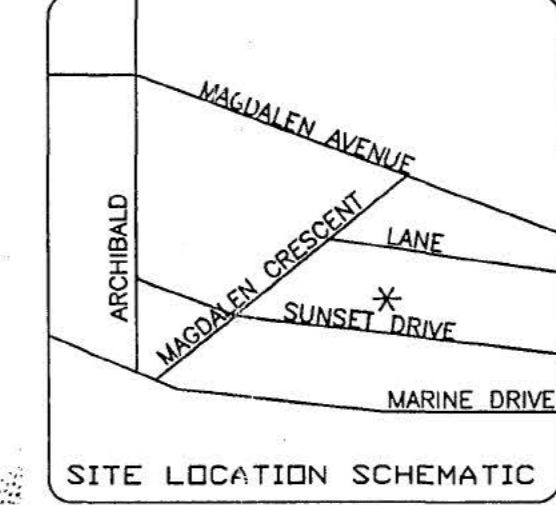
No changes to siting without prior approvals

ELEVATIONS SHOWN IN RECTANGLES ARE INTERPOLATED GRADES USED IN DETERMINING MAXIMUM HEIGHT

- Notes:**
- All buildings to 92 B.C.R.C.
  - 3/4" WATERLINE RAD.
  - P. ENG CERTIFICATIONS A-21-B2 & C TO FOLLOW RAD.
  - ENSURE SITING CONFORMS TO ALL LOCAL BY-LAWS.

ALL SPECIFICATIONS SHOWN ON THIS PLAN MEET OR EXCEED THE DESIGN GUIDELINE REQUIREMENTS FOR THIS LOT.

SIGNATURE: \_\_\_\_\_  
 PER: (DESIGN CONTROL AGENCY)  
 DATE: \_\_\_\_\_  
 APPROVAL BY DESIGN CONTROL CONSULTANT



**SITE INFORMATION**

PROPERTY OWNER	Redacted S. 22																					
SITE ADDRESS	14500 SUNSET DR, 14499																					
AUTHORITY HAVING JURISDICTION	CITY OF WHITE ROCK																					
LEGAL DESCRIPTION	B.C./WHITE ROCK/BUENA VISTA/15322/4481Y6 (604)537-9111																					
ZONE	LOT 21/SEC 10/TP1/NWD/PLAN 6789																					
SUBDIVISION	RS-1																					
DESIGN CONTROL CONSULTANT	O																					
BUILDER	O																					
LOT AREA	8964 SF (833.08SM)																					
SETBACKS	<table border="1"> <tr> <th></th> <th>MIN SETBACK</th> <th>PERMITTED</th> <th>REQUIREMENTS</th> </tr> <tr> <td>FRONT</td> <td>24.806F(7.5M)</td> <td>O</td> <td>O</td> </tr> <tr> <td>REAR</td> <td>24.806F(7.5M)</td> <td>O</td> <td>O</td> </tr> <tr> <td>SIDE INT</td> <td>4.921F(1.5M)</td> <td>O</td> <td>O</td> </tr> <tr> <td>SIDE EXT</td> <td>12.467F(3.8M)</td> <td>O</td> <td>O</td> </tr> </table>			MIN SETBACK	PERMITTED	REQUIREMENTS	FRONT	24.806F(7.5M)	O	O	REAR	24.806F(7.5M)	O	O	SIDE INT	4.921F(1.5M)	O	O	SIDE EXT	12.467F(3.8M)	O	O
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SIDE EXT	12.467F(3.8M)	O	O																			
SITE COVERAGE	<table border="1"> <tr> <th></th> <th>ALLOW</th> <th>PROP</th> </tr> <tr> <td>RESIDENCE</td> <td>40335F(374.88SM)45%</td> <td>O</td> </tr> <tr> <td>DRIVEWAY</td> <td>26335F(244.64SM)30%</td> <td>O</td> </tr> </table>			ALLOW	PROP	RESIDENCE	40335F(374.88SM)45%	O	DRIVEWAY	26335F(244.64SM)30%	O											
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RESIDENCE	40335F(374.88SM)45%	O																				
DRIVEWAY	26335F(244.64SM)30%	O																				
FLOOR SPACE	<table border="1"> <tr> <th></th> <th>ALLOW</th> <th>PROP</th> </tr> <tr> <td>RESIDENCE</td> <td>44825F(416.54SM)50%</td> <td>O</td> </tr> <tr> <td>DRIVEWAY</td> <td>42585F(395.58SM)48%</td> <td>O</td> </tr> </table>			ALLOW	PROP	RESIDENCE	44825F(416.54SM)50%	O	DRIVEWAY	42585F(395.58SM)48%	O											
	ALLOW	PROP																				
RESIDENCE	44825F(416.54SM)50%	O																				
DRIVEWAY	42585F(395.58SM)48%	O																				
UNPROTECTED OPENINGS	<table border="1"> <tr> <th></th> <th>ALLOW</th> <th>PROP</th> </tr> <tr> <td>LEFT SIDE</td> <td>106.255F(32.42M)</td> <td>O</td> </tr> <tr> <td>RIGHT SIDE</td> <td>111.85F(34.10M)</td> <td>O</td> </tr> </table>			ALLOW	PROP	LEFT SIDE	106.255F(32.42M)	O	RIGHT SIDE	111.85F(34.10M)	O											
	ALLOW	PROP																				
LEFT SIDE	106.255F(32.42M)	O																				
RIGHT SIDE	111.85F(34.10M)	O																				
BUILDING HEIGHT	<table border="1"> <tr> <th></th> <th>ALLOW</th> <th>PROP</th> </tr> <tr> <td>MAXIMUM</td> <td>147.88F(45.07M)</td> <td>O</td> </tr> <tr> <td>MINIMUM</td> <td>147.71F(45.02M)</td> <td>O</td> </tr> </table>			ALLOW	PROP	MAXIMUM	147.88F(45.07M)	O	MINIMUM	147.71F(45.02M)	O											
	ALLOW	PROP																				
MAXIMUM	147.88F(45.07M)	O																				
MINIMUM	147.71F(45.02M)	O																				
MAIN FLOOR ELEV	137.18F(41.81M)																					
GARAGE ELEV	136.78F(41.88M)																					
BASEMENT ELEV	116.72F(35.57M)																					
CRAWLSPACE ELEV	121.86F(37.14M)																					
HABITABLE FLOOR ELEV	116.72F(35.57M)																					
AVERAGE LOT ELEV	123.16F(37.54M)																					
DRIVEWAY SLOPE	1:4.9 @ 2%																					
AVG HOUSE PERIMETER ELEV	122.62F(37.37M)																					
STORM SEWER INVERT @ PROP LINE	O																					
SANITARY SEWER INVERT @ PROP LINE	O																					

**SITE INFO CHART LEGEND**

- O TO BE DETERMINED
- APPLICABLE
- NOT APPLICABLE
- REQUIRED
- NOT REQUIRED
- INCLUDED
- EXCLUDED
- PERMITTED
- NOT PERMITTED

**SITE PLAN LEGEND**

- D.I.P. DENOTES IRON PIN FOUND
- D.P. DENOTES WOODEN POST FOUND
- I.P. DENOTES IRON PIN SET

**SITE DATA SOURCE(S)**  
 B.C./SURREY/24AVE/15585/#204/V4A2J4

**SHAPE CONFIG & AREA**  
 OLSEN, ESSON & ROWBOTHAM

**EXISTING GRADES & ELEVATIONS**  
 (604)537-9111

14500 SUNSET DR  
 RS 1

**COMMENTS**  
 PLEASE REFER TO ALL APPLICABLE RESTRICTIVE DOCUMENTS TO VERIFY ALL INFORMATION.

PROPOSED

Redacted S. 22

RESIDENCE

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**SITE PLAN**  
 SCALE: 1/8"=1'-0" SHEET 1 OF 1

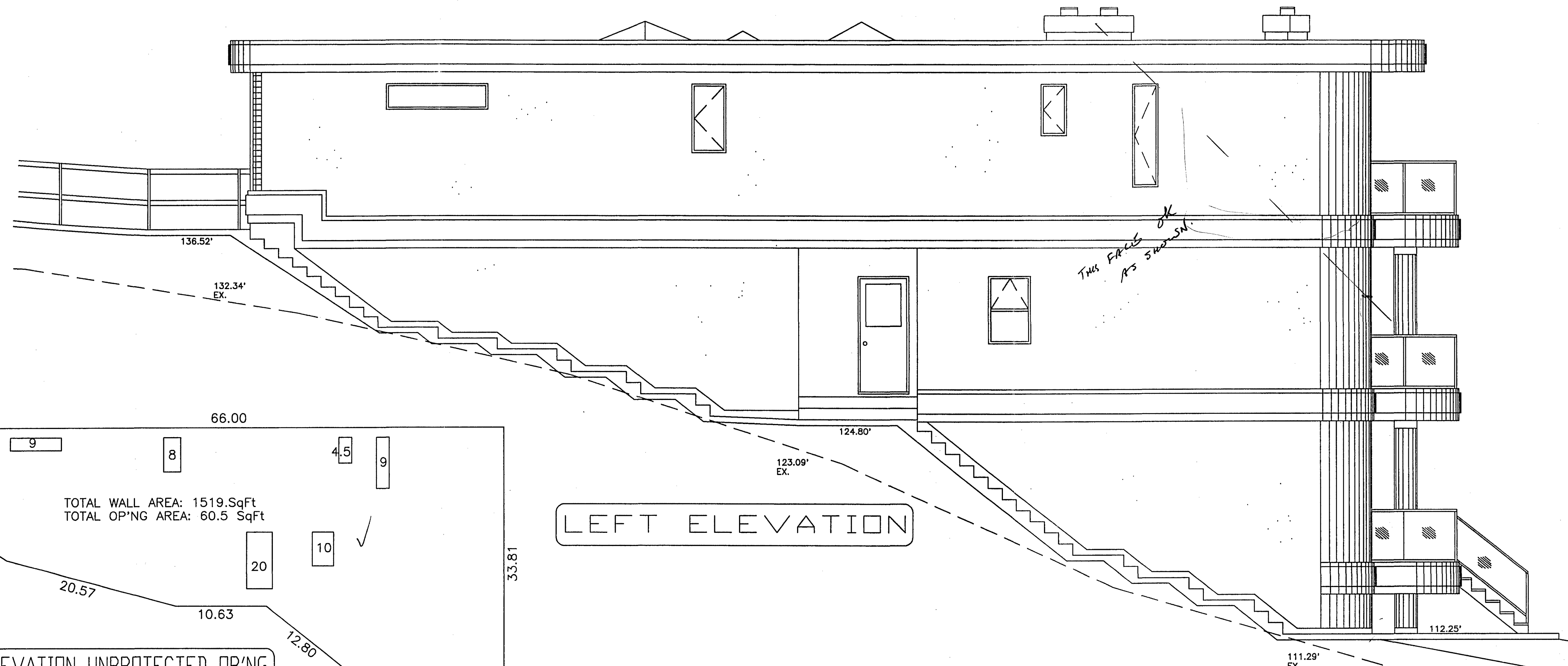
APRIL 27, 1994.

NOTE - Current Address 14499 Sunset Dr  
 READDRESS 14500 Sunset Lane.

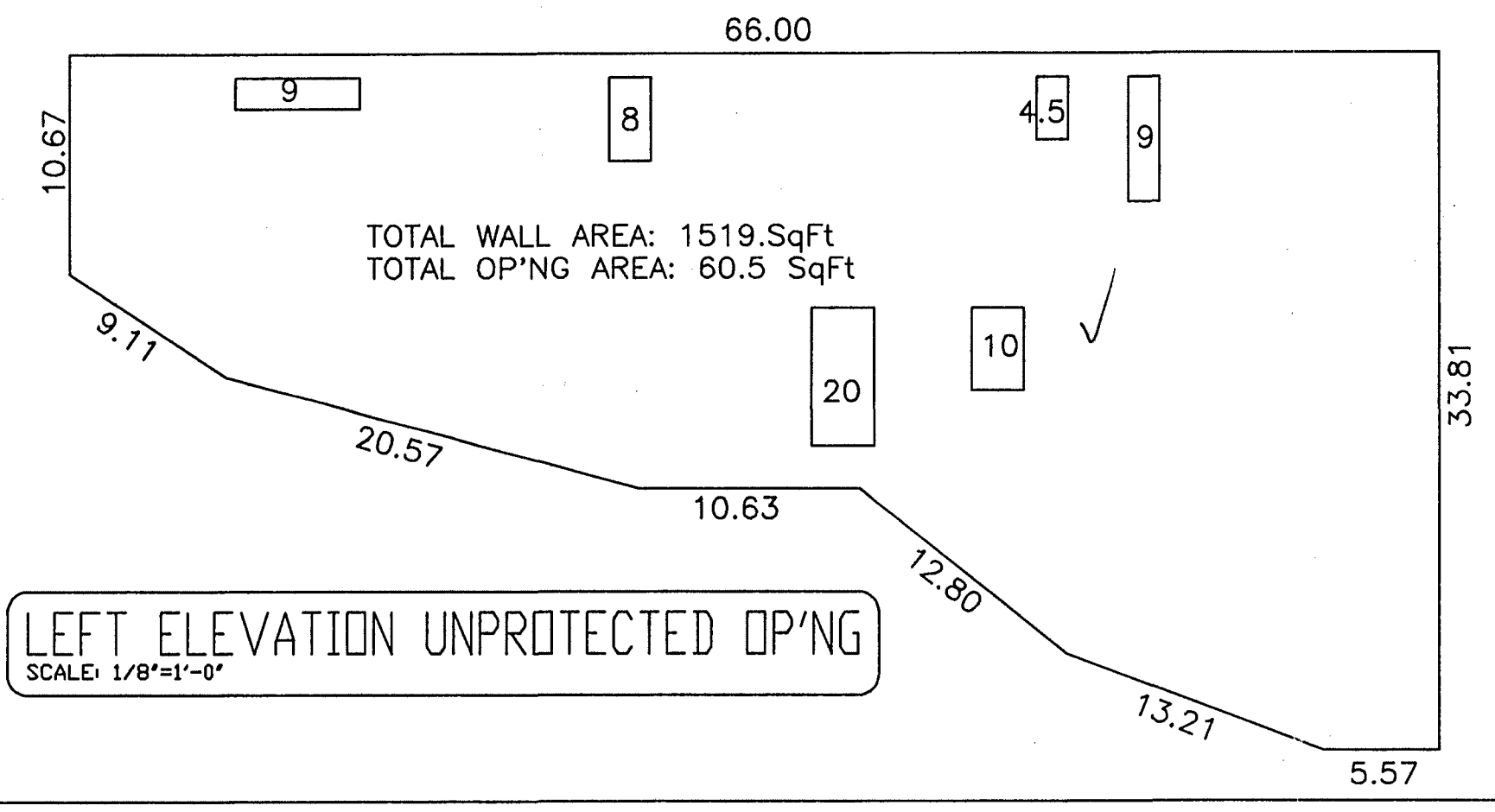
DESIGN BY RAYMOND S. BONTER, DESIGNER LTD. (604)535-3322



**FRONT ELEVATION**  
 PLAN No. 2GD-4258.7-50X66



**LEFT ELEVATION**



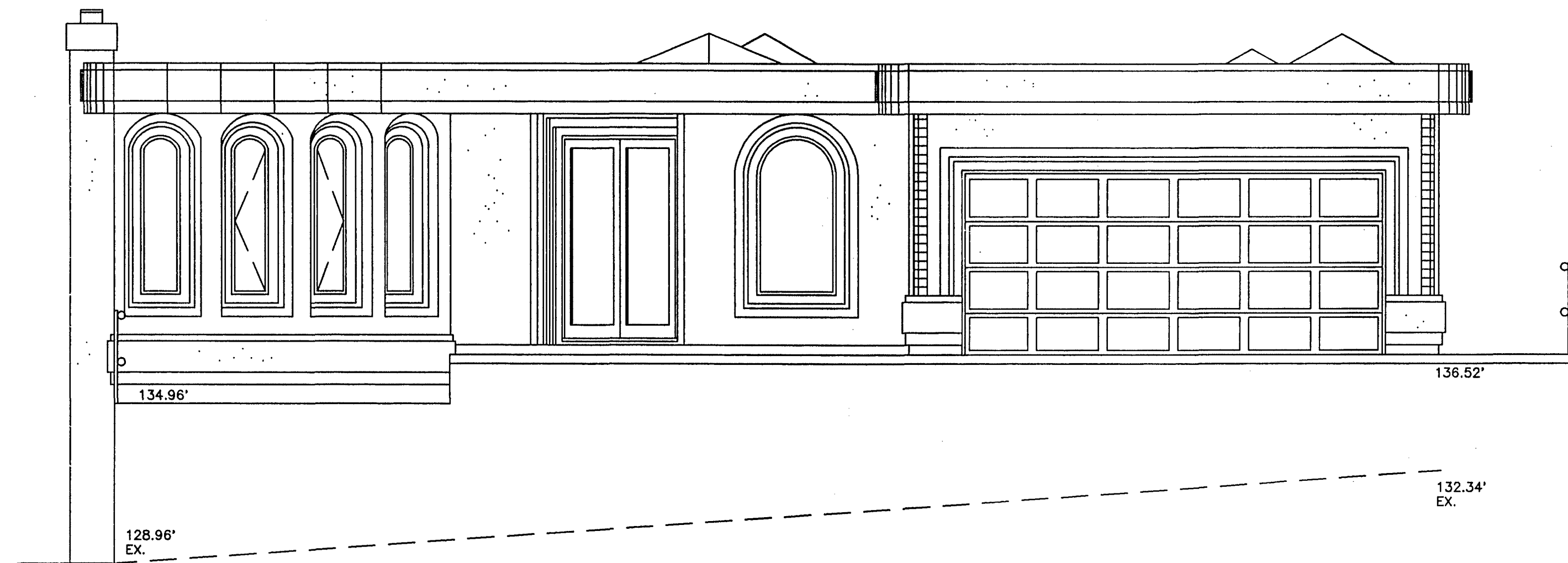
**LEFT ELEVATION UNPROTECTED OP'NG**  
 SCALE: 1/8"=1'-0"

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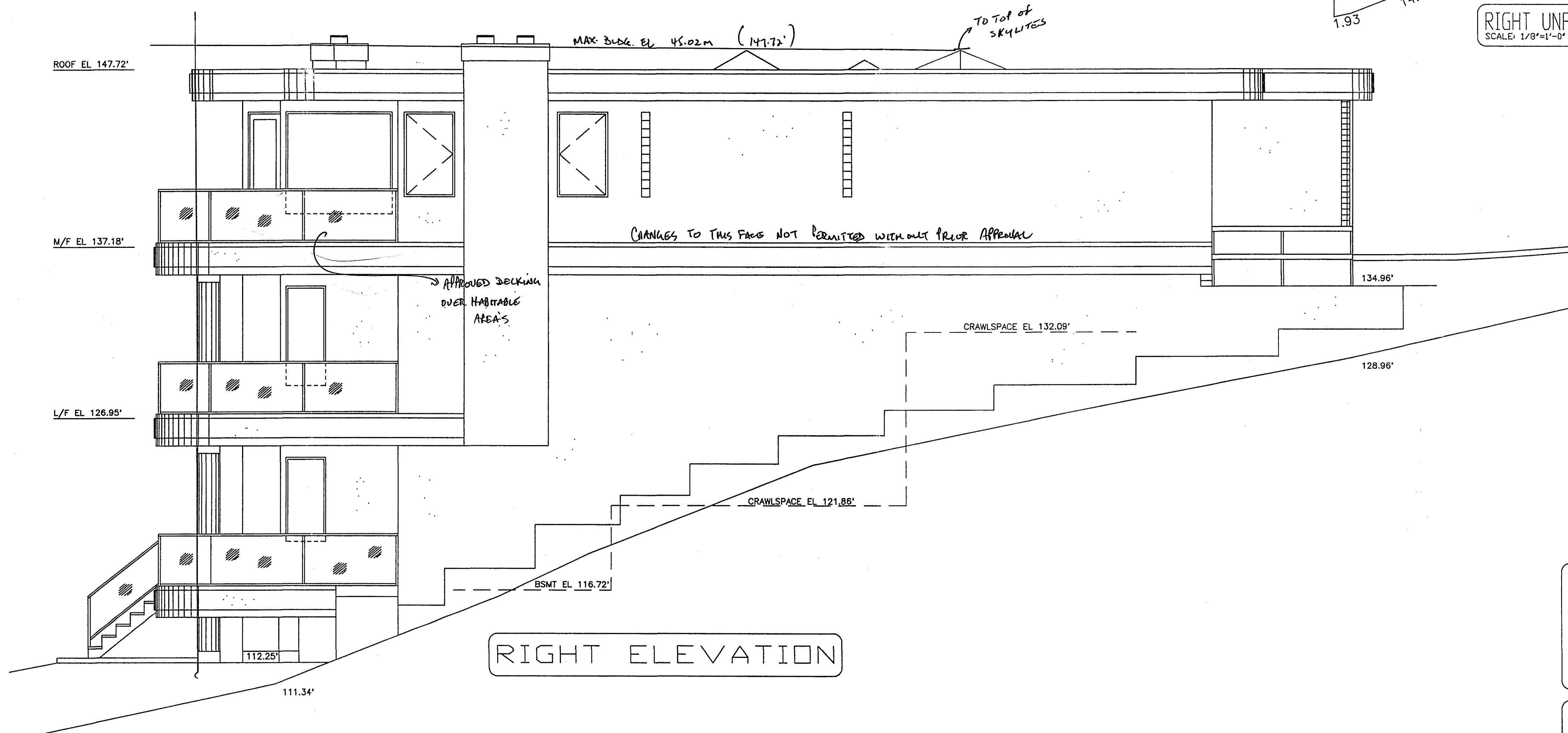
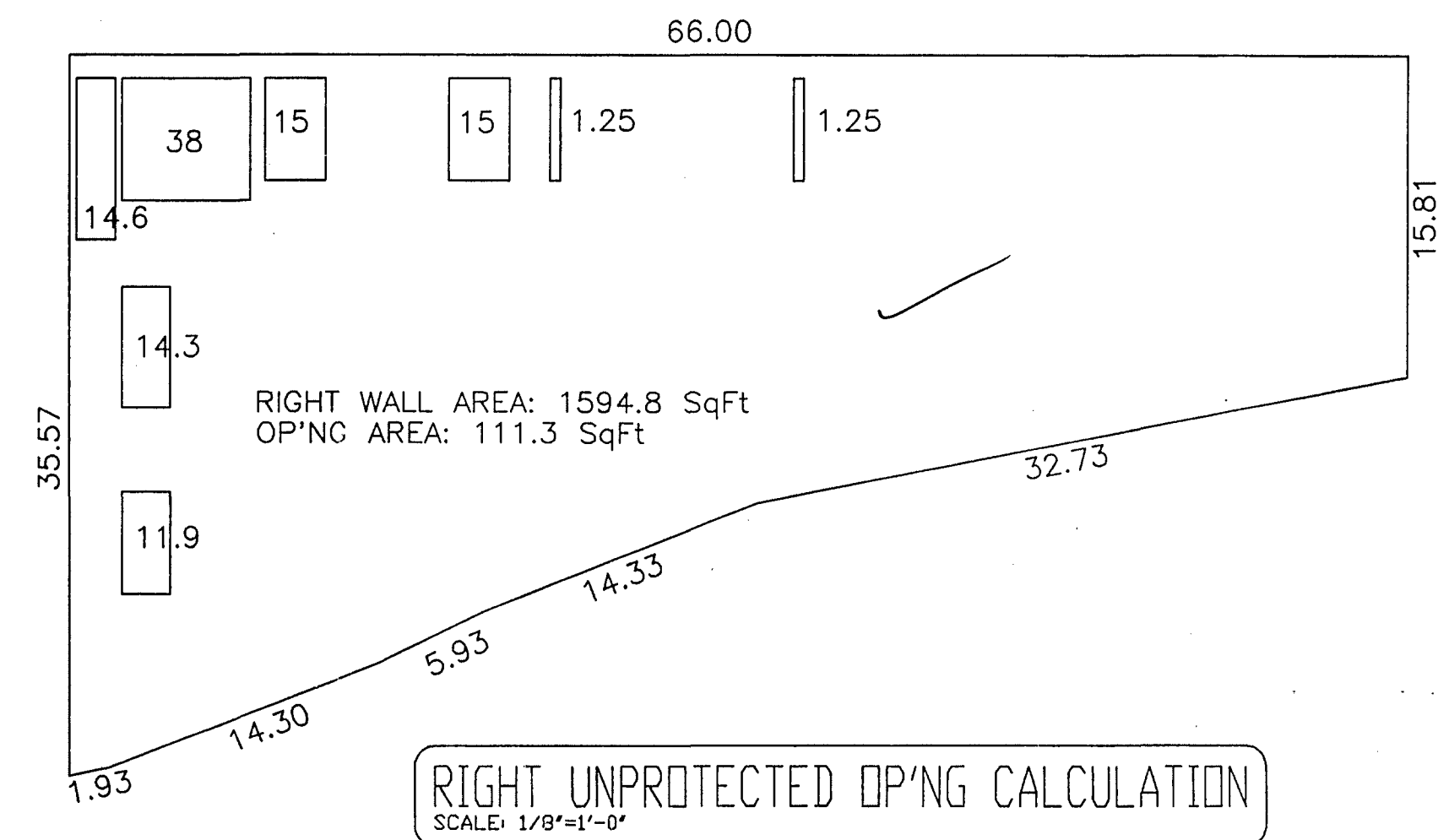
**ELEVATIONS**  
 SCALE: 1/4"=1'-0" SHEET 1 OF 4

APRIL 27, 1994

DESIGN BY RAYMOND S. BONTER, DESIGNER LTD. (604)535-3322



REAR ELEVATION



RIGHT ELEVATION

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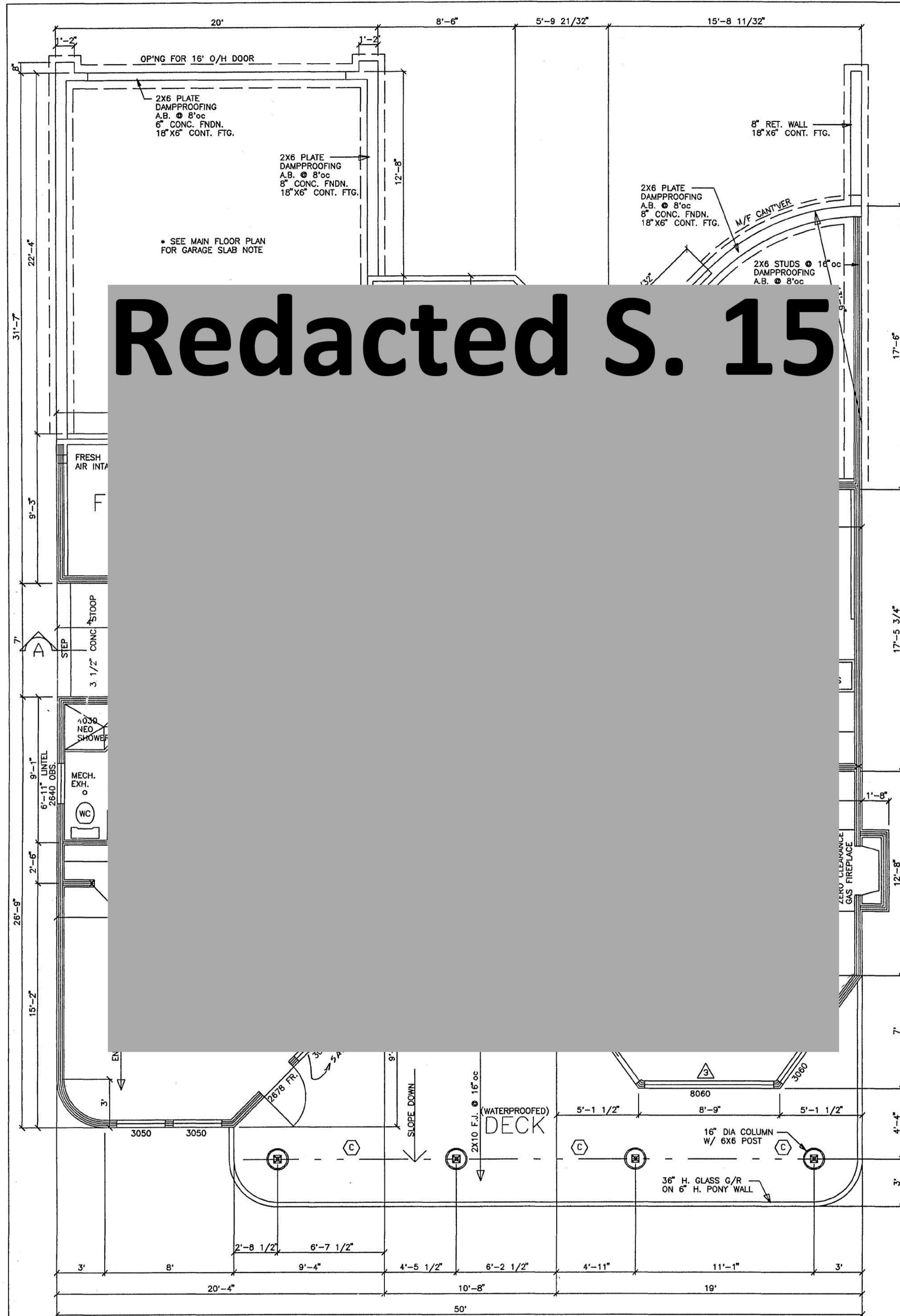
ELEVATIONS SHEET 2 OF 4  
 SCALE: 1/4"=1'-0"

APRIL 27, 1994

DESIGN BY RAYMOND S. BONTER, DESIGNER LTD. (604)535-3322

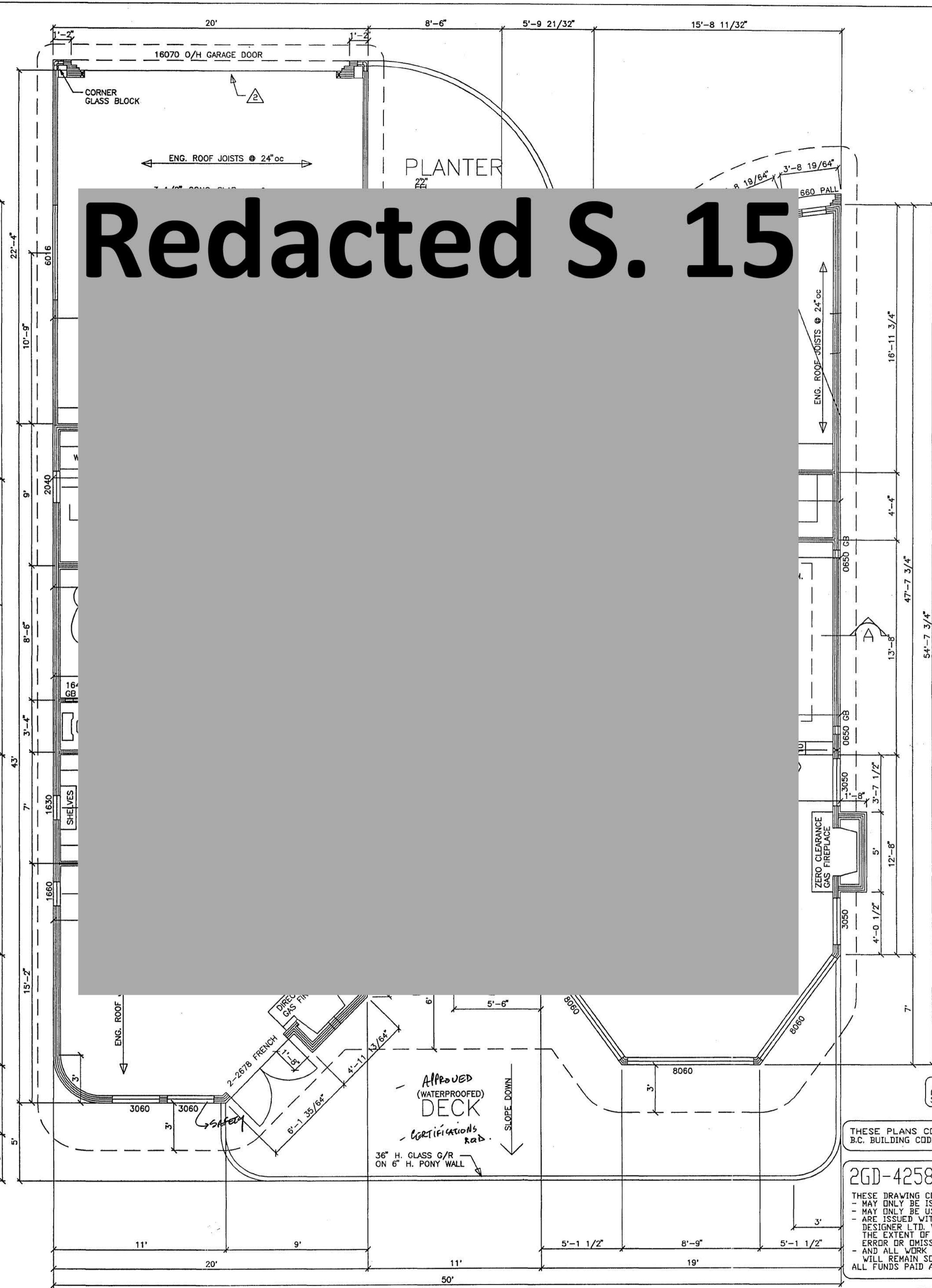
# Redacted S. 15

# Redacted S. 15



**LOWER FLOOR PLAN**  
 AREA: 2033.6 SqFt  
 9' CLG. HT.

EXTERIOR DIMENSIONS ARE TAKEN TO O/S OF FRAMING (NOT SHEATHING)

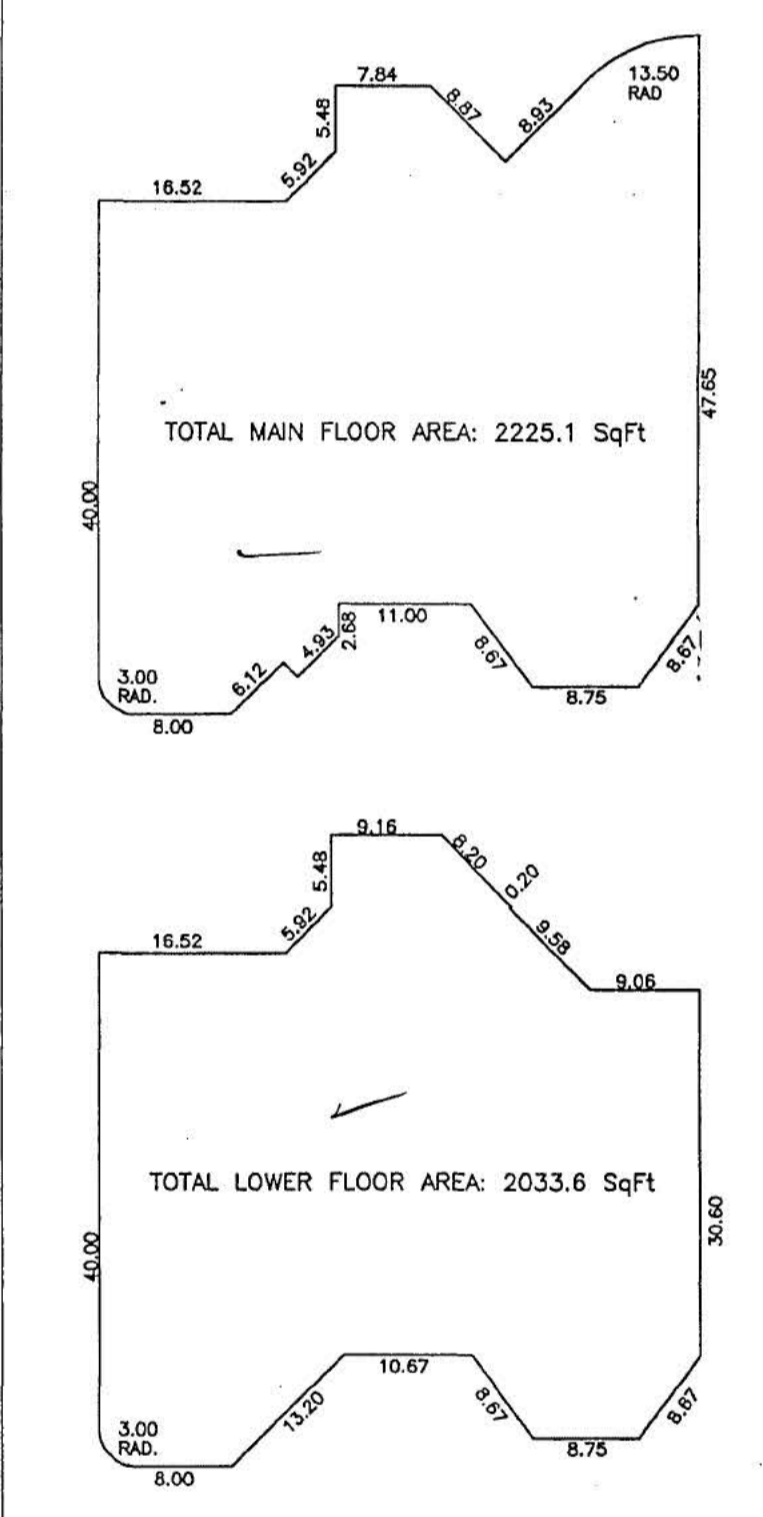


**MAIN FLOOR PLAN**  
 AREA: 2225.1 SqFt  
 9' CLG. HT.

EXTERIOR DIMENSIONS ARE TAKEN TO O/S OF FRAMING (NOT SHEATHING)

NOTES:  
 ALL BEAMS AND LINTELS TO BE D.F. #2 OR BETTER UNLESS OTHERWISE NOTED  
 THIS IS A TYPICAL BEAM CHART. SOME BEAMS IN CHART MAY NOT BE REQUIRED.  
 ALL BEAM SIZES OUTSIDE THE SCOPE OF B.C.B.C. TO BE CONFIRMED BY ENG.  
 BEAMS & LINTELS MAY NEED TO BE ADJUSTED IN SIZE AS AREA SNOW LOADING INCREASES

- BEAM SCHEDULE**
- (A) 2-2X10 DROP BEAM
  - (B) 2-2X10 FLUSH BEAM
  - (C) 3-2X10 DROP BEAM
  - (D) 3-2X10 FLUSH BEAM
  - (E) 4-2X10 DROP BEAM
  - (F) 4-2X10 FLUSH BEAM
  - (G) 2-2X12 DROP BEAM
  - (H) 3-2X12 DROP BEAM
  - (I) 4-2X12 DROP BEAM
  - (J) 3-2X12 FLUSH BEAM
  - (M) ENGINEERED DROP BEAM
  - (N) ENGINEERED FLUSH BEAM
- LINTEL SCHEDULE**
- (A) 2-2X10 LINTEL
  - (B) 2-2X12 LINTEL
  - (C) ENGINEERED LINTEL



**AREA CALCULATIONS**  
 SCALE: 1/16"=1'-0"

THESE PLANS CONFORM TO THE B.C. BUILDING CODES, 1992 EDITION

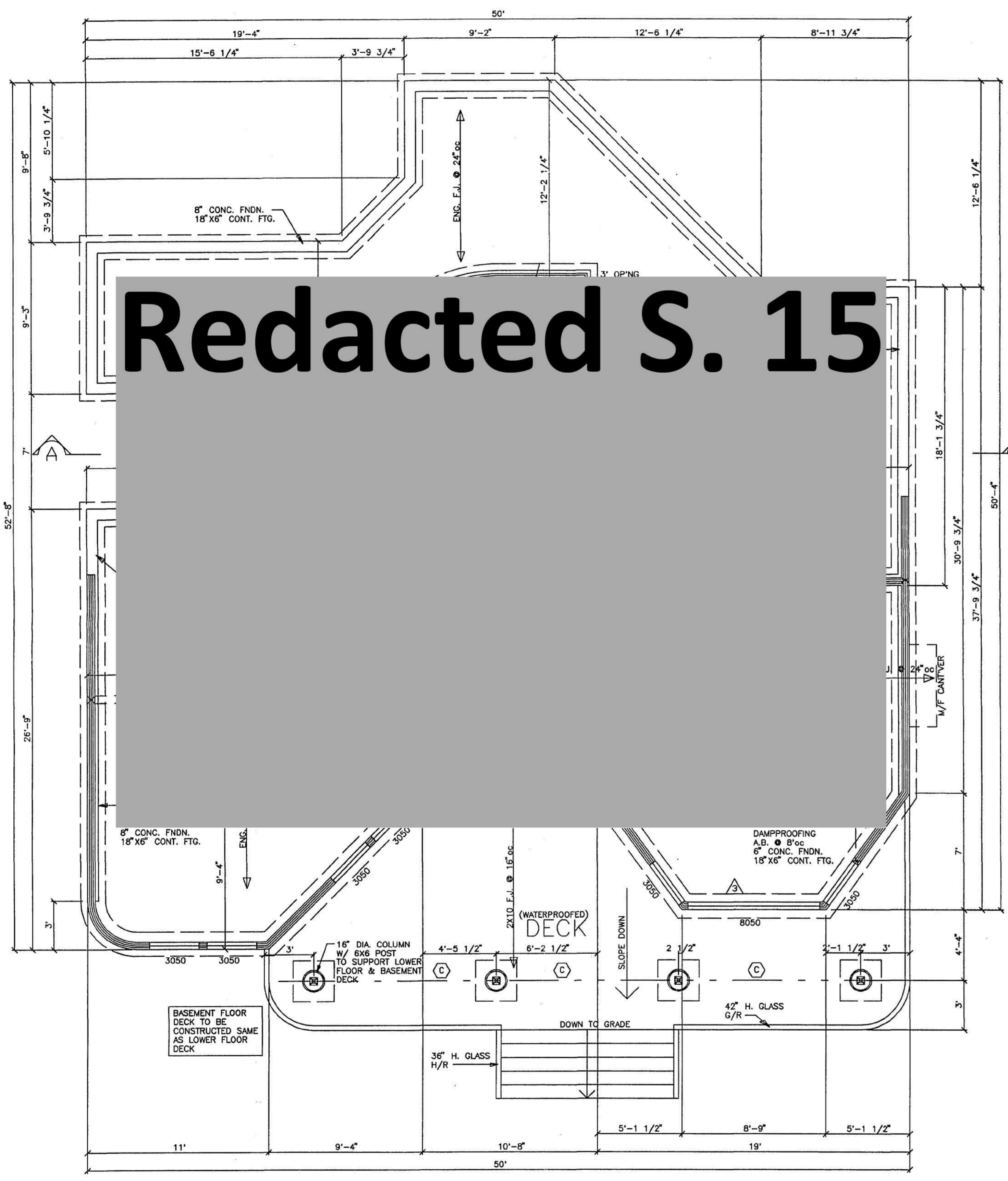
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 - AND ALL WORK DONE BY RAYMOND S. BONTER, DESIGNER LTD. IS AND WILL REMAIN SOLELY THE PROPERTY OF THE SAME.  
 ALL FUNDS PAID ARE NON-REFUNDABLE.

**FLOOR PLANS**  
 SCALE: 1/8"=1'-0" SHEET 3 OF 4

APRIL 27, 1994

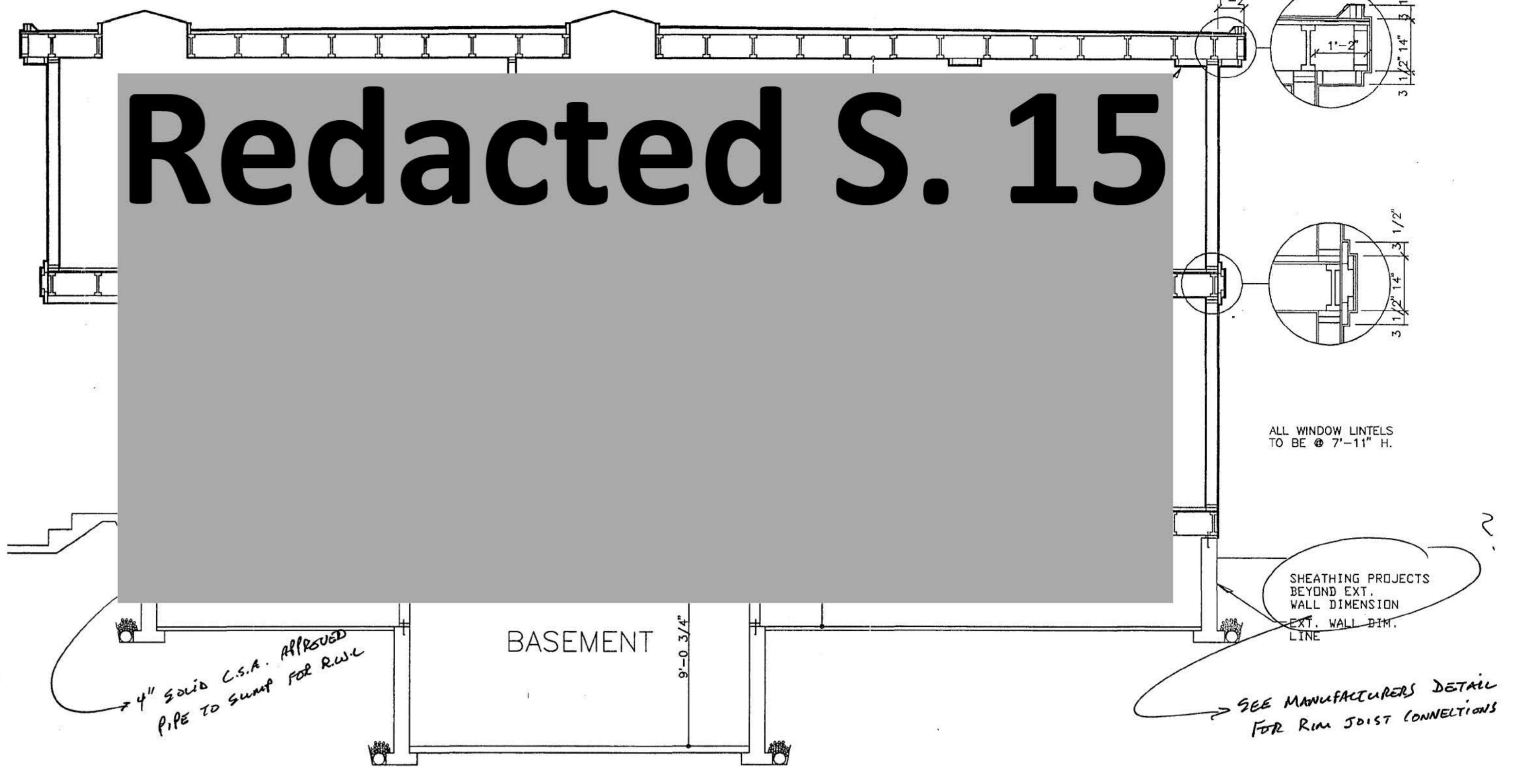
DESIGN BY RAYMOND S. BONTER, DESIGNER LTD. (604)535-3322



**BASEMENT & FOUNDATION PLAN**  
 AREA: 1229.6 SqFt  
 9' CLG. HT.

EXTERIOR DIMENSIONS ARE TAKEN TO  
 O/S OF FRAMING (NOT SHEATHING)

# Redacted S. 15



**SECTION A-A**

**GENERAL NOTES:**

**ROOF:**  
 B.U. ROOFING  
 UNDERLAY  
 PLY ROOF SHEATHING  
 2X4 WEDGES

**ROOF STRUCTURE:**  
 ENG. ROOF JOISTS @ 24"oc

**EAVES:**  
 BUILT-IN GUTTER  
 FRAME FASCIA

**SOFFIT:**  
 PERF ALUM SOFFIT

**EXTERIOR FINISH:**  
 STUCCO

**EXTERIOR WALLS:**  
 BUILDING PAPER  
 1/2" PLY-SHEATH  
 2x6 STUDS @ 16"oc

**INSULATION:**  
 CEILING- R-28  
 WALLS- R-20

**VAPOUR BARRIER:**  
 CEIL/WALLS- 6M  
 CONC FLOOR-6M

**INTERIOR PARTITIONS:**  
 1/2" GYPSUM EA. SIDE  
 2X4 STUDS @ 16"oc

**FLOOR:**  
 1 1/2" L.W. CONCRETE  
 ALL DIMENSIONS AND  
 SPECIFICATIONS PRIOR  
 TO CONSTRUCTION.

**ALL CHIMNEYS TO BE 24"  
 ABOVE ROOF WITHIN 120"  
 HORIZ RADIUS & 36"  
 VERTICAL RADIUS.**

**GARAGE SLAB:**  
 3 1/2" CONC SLAB  
 5" COMPACTED FILL

**CRAWLSPACE SLAB:**  
 2" CONCRETE SKIN  
 6 MIL POLY V.B.  
 5" GRANULAR FILL

**INTERIOR FOUNDATION:**  
 2x6 @ 16"oc  
 45# FELT DC  
 1/2" AB @ 8"oc  
 6" CONC FOUND  
 18"x8" CONT. FTG.

**EXT FOUNDATION:**  
 2X4 & 2X6 PLATE  
 45# FELT DC  
 1/2" ANCH BOLTS @ 8"oc  
 8" & 6" CONC FOUND  
 3 1/2" LEDGE WHERE NOTED  
 2 COATS ASPHALT EMUL  
 18"x8" CONT. FTG.

**DRAINAGE:**  
 DRAIN ROCK  
 45# FELT  
 4" AGR DR TILE @ FTG

**CLEARANCES:**  
 8" GRADE TO EXT FIN

**BEARING:**  
 FOOTINGS TO EXTEND TO  
 SOLID BEARING BELOW  
 FROST LEVEL.

**FLOOR FRAMING:**  
 -ENG. FLOOR JOISTS  
 .AS SHOWN  
 -BRIDG. BLOCK OR  
 .STRAP @ 7"oc  
 -BLOCK IN JOIST CAVITIES  
 .UNDER POINT LOADS

**WALL FRAMING:**  
 EXTERIOR OPENINGS  
 -2-2X10 LINTELS  
 (UNLESS OTHERWISE NOTED)  
 -LINTELS THAT CARRY SPOT  
 .LOADS SHALL HAVE DOUBLE  
 .CRIPPLES.

**ROOF FRAMING:**  
 -ALL TRUSSES TO BE  
 .ENGINEERED BY MANUF.  
 -ALL TRUSS SPANS TO BE  
 .CONFIRMED BY MANUF.  
 .PRIOR TO FABRICATION.

**NOTE:**  
 FRAMER TO INSTALL 2x4  
 .BLOCKING BETWEEN BOTTOM  
 .CHORDS OF TRUSSES WHERE  
 .CEILING DRYWALL WILL BE  
 .APPLIED PARALLEL TO  
 .TRUSS DIRECTION.

**WALLS &/or CEILING  
 .SEPARATING HOME FROM  
 .GARAGE TO BE INSUL c/w  
 .VAPOUR BARRIER & DRYWALL  
 .TAPED & FILLED ONLY.**

**SITE &/OR STRUCTURAL  
 .CONSIDERATIONS MAY REQUIRE  
 .THAT FOUNDATIONS & FOOTINGS  
 .ARE DESIGNED BY ENGINEER.**

**NOTES:**  
 ALL BEAMS AND LINTELS TO BE  
 D.F. #2 OR BETTER UNLESS  
 OTHERWISE NOTED

THIS IS A TYPICAL BEAM CHART.  
 SOME BEAMS IN CHART MAY NOT  
 BE REQUIRED.

ALL BEAM SIZES OUTSIDE  
 THE SCOPE OF B.C.B.C. TO BE  
 CONFIRMED BY ENG.

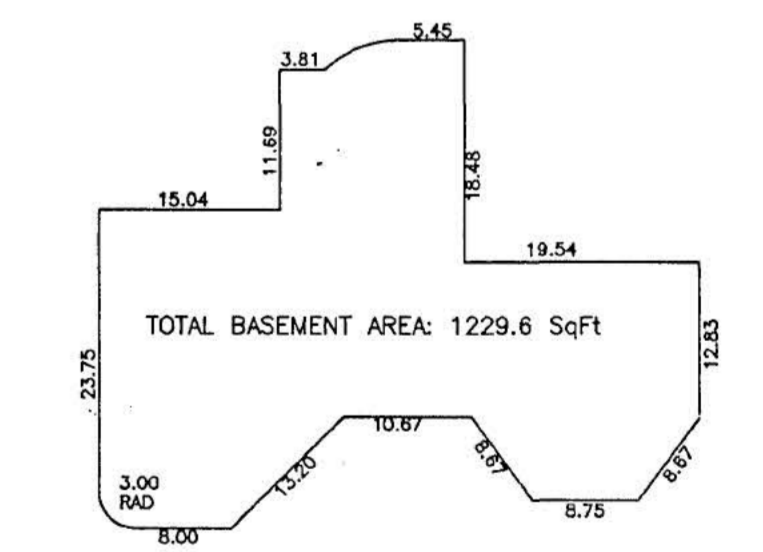
BEAMS & LINTELS MAY NEED  
 TO BE ADJUSTED IN SIZE AS  
 AREA SNOW LOADING INCREASES

**BEAM SCHEDULE**

- (A) 2-2X10 DRCP BEAM
- (B) 2-2X10 FLUSH BEAM
- (C) 3-2X10 DRCP BEAM
- (D) 3-2X10 FLUSH BEAM
- (E) 4-2X10 DRCP BEAM
- (F) 4-2X10 FLUSH BEAM
- (G) 2-2X12 DRCP BEAM
- (H) 3-2X12 DRCP BEAM
- (I) 4-2X12 DRCP BEAM
- (K) 3-2X12 FLUSH BEAM
- (M) ENGINEERED DROP BEAM
- (N) ENGINEERED FLUSH BEAM

**LINTEL SCHEDULE**

- (A) 2-2X10 LINTEL
- (B) 2-2X12 LINTEL
- (C) ENGINEERED LINTEL



**FLOOR AREA CALCULATION**  
 SCALE: 1/16"=1'-0"

THESE PLANS CONFORM TO THE  
 B.C. BUILDING CODES, 1992 EDITION

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**BASEMENT & FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0" SHEET 4 OF 4

APRIL 27, 1994

DESIGN BY RAYMOND S. BONTER, DESIGNER LTD. (604)535-3322



Remarks:

Hed Brown &amp; S W. Corp Oct 14/1912

INSPECTED	CONDITION	INSPECTED	CONDITION	DATE OF INSPECTION
Front Yard		Insulation		1.
R. Side Yard		Rafters		2.
L. Side Yard		Roofing		3.
Rear Yard		Chimney		4.
Excavation		Fireplace		<b>DATE OF INSPECTION</b>
Footings		Stucco Lath		1.
Foundation Walls		Plaster Lath		2.
Columns		Exterior Finish		3.
Beams		Plaster		4.
Floor Joists		Stairs		5.
Ceiling Joists		Exits		6.
Bridging		Eav. Tr. & Down Spout		7.
Headers & Trimmers		Furnace Room		8.
Sub Floors		Toilet Clearance		Bldg. complete?
Studding		Attic Trap		Occupied
Bracing		Louvres		
Sheathing		Bathroom Vent		
Fire Stop				Building Inspector

OVER

#827

# THE CITY OF WHITE ROCK

## PERMIT TO BUILD

Date Aug 11 19 78 Dev. Permit No. \_\_\_\_\_ Permit No. 177

Owner R.H. W. Kinnally  
Address 126 99 - Lumsden St.  
Architect \_\_\_\_\_  
Contractor A.V.D. Perry - Const. Co. Ltd.  
Contractor's Address 15730 - 2nd St. W.

Location 126 99 - Lumsden St.  
Legal \_\_\_\_\_  
District \_\_\_\_\_ Fire Zone \_\_\_\_\_ Group \_\_\_\_\_ Type \_\_\_\_\_  
Occupancy RS  
Name of Project Install RS Windows

Description of Construction \_\_\_\_\_ Lot Size \_\_\_\_\_

Size Existing Storeys \_\_\_\_\_ Rooms \_\_\_\_\_ Min. Yards: Front \_\_\_\_\_ R. Side \_\_\_\_\_ L. Side \_\_\_\_\_ Rear \_\_\_\_\_

	Basemt.	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Ext. Walls				
Floors, Joists		<u>as per code</u>		
Live Loads				

Int. Partitions	Gas Appliances	Fire Protection	Value - - \$1700.00
Int. Finish	Plumbing Fixtures	Chimney	Permit Fee - \$200.00
Int. Lath	Heating	Fire Place	Water Rates - \$
Ceiling	Ventilation	Plans Filed	Numbers - - \$
Insulation			Total Fees - \$200.00

Owner or Authorized Agent A.V.D. Perry B. W. HALL Building Inspector B. W. Hall (OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

OCT 15/76

Final

Follow Street work in Deck area  
passed meter + waste area to be  
reworked for SPD conformity. Re

PROVISIONAL OCCUPANCY  
BUILDING COMPLETE  
GRANTED

# BUILDING FACTORS

 Roll No. 827

 Date AUG 19 1959 Address 14499 - 13A AVE Sunset 827  
21 W 1/2 NW 10 T.1 329384E  
6761

SIZE OF BUILDING \_\_\_\_\_ ft. x \_\_\_\_\_ ft. = \_\_\_\_\_ Sq. Ft. || Cubic Ft \_\_\_\_\_

 Class 1-8 || Stories 1

 Type: Single family  Duplex \_\_\_\_\_ Row house \_\_\_\_\_  
 Conversion: Apartment \_\_\_\_\_ Other \_\_\_\_\_

 Number of Rooms: Basement \_\_\_\_\_ Main floor 4  
 Second floor \_\_\_\_\_ Third floor \_\_\_\_\_ Fourth floor \_\_\_\_\_  
 Number of suites 2

 Workmanship and Design C - - - - - 

Irregularity Factor: Roof \_\_\_\_\_ Frame \_\_\_\_\_

 Foundation: Wood posts, piers, or sills \_\_\_\_\_  
 Perimeter wall (Concrete  Brick \_\_\_\_\_ Stone \_\_\_\_\_)

 Exterior Wall: Stucco \_\_\_\_\_ Shakes   
 Wood shingles STARTED  Asphalt shingles \_\_\_\_\_  
 Board and batten \_\_\_\_\_ Drop siding \_\_\_\_\_ Painted \_\_\_\_\_  
 Tar-paper \_\_\_\_\_ Brick \_\_\_\_\_ Stone \_\_\_\_\_ Concrete block \_\_\_\_\_  
 Cinder block \_\_\_\_\_ Brick veneer \_\_\_\_\_ Stone veneer \_\_\_\_\_  
 Other \_\_\_\_\_

 Roof: Gable CO 11066  Hip \_\_\_\_\_ Flat \_\_\_\_\_ Gambrel \_\_\_\_\_  
 Low pitch \_\_\_\_\_ Medium pitch  High pitch \_\_\_\_\_  
 Number of dormers \_\_\_\_\_ Size \_\_\_\_\_ Quality \_\_\_\_\_

 Roof Material: Tar-paper \_\_\_\_\_ Shakes   
 Wood shingles \_\_\_\_\_ Asphalt shingles  Tar and gravel \_\_\_\_\_  
 Other \_\_\_\_\_

 Chimney and (or) Fireplace: Two-flue \_\_\_\_\_   
 One-flue, wall-bracket \_\_\_\_\_ One-flue, ground   
 Inside fireplace \_\_\_\_\_ Outside chimney and fireplace \_\_\_\_\_  
 Other \_\_\_\_\_

 Basement: Yes  No \_\_\_\_\_ Full  Partial \_\_\_\_\_  
 Size: Concrete wall height 4' Frame wall height 3'  
 Floor (Dirt \_\_\_\_\_ Wood \_\_\_\_\_ Concrete  Area \_\_\_\_\_)

 Basement Rooms: Fully partitioned 4 RM 54176   
 Rumpus room \_\_\_\_\_ Size \_\_\_\_\_ Bedroom \_\_\_\_\_ Size \_\_\_\_\_  
 Floor (Concrete \_\_\_\_\_ Fir  Tile \_\_\_\_\_ Hardwood \_\_\_\_\_)

 Floor: Cheap Board \_\_\_\_\_ Flat-grain fir   
 Edge-grain fir \_\_\_\_\_ Hardwood \_\_\_\_\_ Concrete slab \_\_\_\_\_  
 Linoleum \_\_\_\_\_ Tile (Asphalt \_\_\_\_\_ Rubber \_\_\_\_\_ Cork \_\_\_\_\_)

 Interior Finish: Unfinished \_\_\_\_\_ Boards   
 Fibreboard \_\_\_\_\_ Plasterboard  Painted \_\_\_\_\_ Plaster \_\_\_\_\_  
 Plywood \_\_\_\_\_ Wall-papered \_\_\_\_\_ Wainscoting \_\_\_\_\_  
 Other ARTILLERIE MASTO CAN Y

 Interior Trim: Fir  Hardwood \_\_\_\_\_  
 Remarks \_\_\_\_\_

 Insulation: Ceilings \_\_\_\_\_ Walls  Floors \_\_\_\_\_

 Electrical: Nil \_\_\_\_\_ 110-volt \_\_\_\_\_ 220-volt 

 Heating: Type RANGE or HEATER   
 Firing method \_\_\_\_\_  
 Remarks \_\_\_\_\_

 Plumbing: No plumbing \_\_\_\_\_ Toilet 2  Basin 2   
 Bath  Shower 2  Kitchen sink 2  H.W. tank \_\_\_\_\_  
 Laundry tubs \_\_\_\_\_ Septic tank \_\_\_\_\_ Sewer \_\_\_\_\_ Well \_\_\_\_\_  
 Main \_\_\_\_\_ Well-pump (Hand \_\_\_\_\_ Motor \_\_\_\_\_) 

 Year assessed - 1959 || Assessed by - JAP  
3/3/69

Projections	A	B
Class		
Square ft.		

Porches		<input type="checkbox"/>
Type	Sq. Ft.	
Open		
Glassed-in		

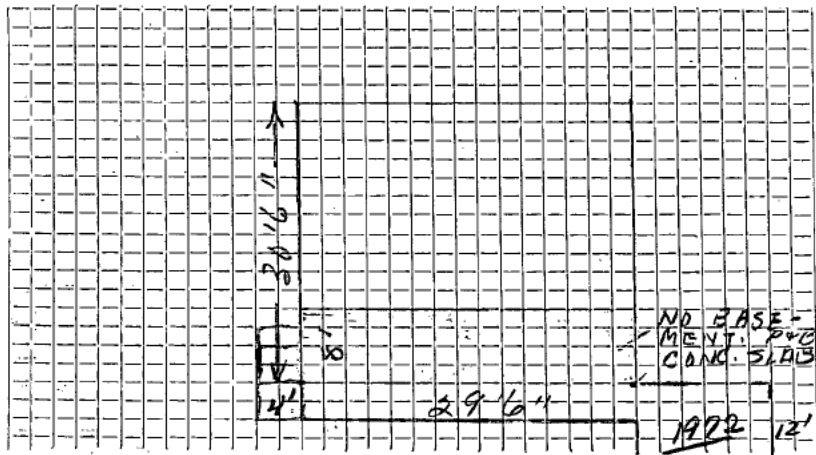
Attic or Half-story:	
Open	Closed <input type="checkbox"/>
Stairway to	Sq. Ft.
Unfinished	
Finished	

 Height of half-story stub wall \_\_\_\_\_  
 Percentage of ground floor \_\_\_\_\_

### Other Additions

CONC SLAB - 439 SQ. FT.  
 2-1 GARAGE - WOOD FLOOR - 370 SQ. FT. \$311  
 BASEMENT 663 SQ. FT.  
 1972 - 264" SUN DECK

Calculations



Depreciation & Obsolescence

Year Built 148 Building Permit No. \_\_\_\_\_  
 Year Remodel \_\_\_\_\_ Permit Amount \_\_\_\_\_  
 Effective Age \_\_\_\_\_ Water Connection \_\_\_\_\_

PHYSICAL	FUNCTIONAL	ECONOMIC
25.5%		

DEPRECIATED REPLACEMENT COST  
 TOTAL DEPRECIATION & OBSOLESCENCE

COST APPROACH	INCOME APPROACH	MARKET APPROACH
Sq. Ft. <u>899</u>	NEW T.R.V. - \$ _____	C.M.V. \$ _____
Rate \$ <u>3.77</u>	A.R.V. - \$ _____	A.M.V. \$ _____
Basic \$ <u>3389</u>	G.I.M. - X	
<u>BASEMENT</u> + 716	Cap. Value \$ _____	Less _____
<u>CONC SLAB</u> + 38		
<u>PLUMB.</u> + 160	Less _____	Less _____
<u>220 VOLT</u> + 50		
<u>T.R.C.</u> 4353	Less _____	Less _____
<u>1970 BSMT FIN</u> 570		
<u>SUN DECK</u> 650		
<u>CONC SLAB</u> 36	Residue \$ _____	Residue \$ _____
<u>9-1 GAR.</u> 311	Adjuster % _____	Adjuster % _____
<u>L.A.F.</u>		
<u>5920</u>		
<u>4700</u>		
\$ <u>3567</u>	\$ _____	\$ _____
\$ <u>4410</u>	± % _____	± % _____

C.A. \$ 3501 ± I.A. % \_\_\_\_\_ ± M.A. % \_\_\_\_\_ = ASSESSED VALUE \$ 3160 <sup>4410</sup>

(1970 add for first floor, G.F.N. 570) (3730)