

February 9, 2023

FOI No: 2023-05

Redacted S. 22
[Redacted]

Email: Redacted S. 22

Dear Redacted S. 22

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *Details of any plans or drawings and info related to unit #402 of 1381 Martin Street / Original plan for the unit, building*

Access to these records is available. However, some of the information in the records is excepted from the disclosure requirements of the Act. I have severed the excepted information so that I could disclose to you the remaining information as attached.

The severed information is excepted from disclosure under sections 15 and 22 of the Act. Severing under section 15 is necessary to protect security of any property or system, including a building and section 22 is necessary to avoid disclosing third-party personal information without permission.

When staff provided the requested information, it was noted that a building permit would be required for any proposed patio/balcony enclosures since the original building plans show open balconies. Included within the information are issued building permits for the subject address that the City has on record for permitted patio/balcony enclosure applications.

Please contact our office if you have any questions or concerns.

Sincerely,



Tracey Arthur
Director of Corporate Administration
Att.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner
3rd Floor, 756 Fort Street
Victoria BC V8W 1H2

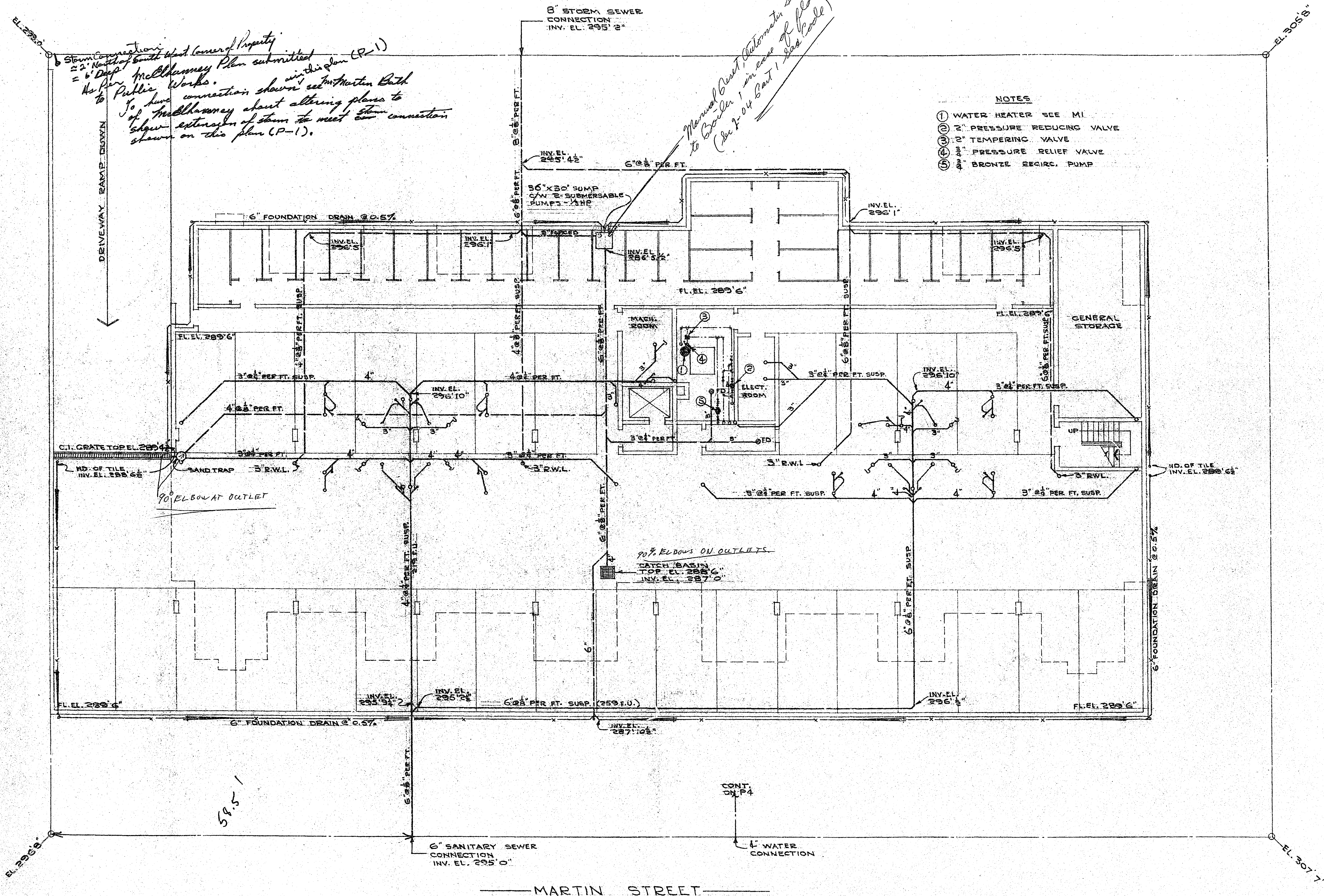
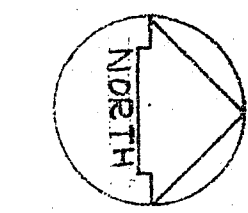
Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

28 UNIT
CONDOMINIUM
FOR
ANTHEA DEV.
CORP. LTD.

SCALE - 1/8" = 1'-0"
DATE - FEB. 1976
DRAWN - R.F.C.
JOB NO. 312

P-1



*Storm connection at corner of property
is 2' North of south west corner of property
is 6' deep. McElhannay Plan submitted
to Public Works.
As per connection shown see Martin Bath
to have connection about altering plans to
of McElhannay about altering plans to
show extension of storm to meet connection
shown on this plan (P-1).*

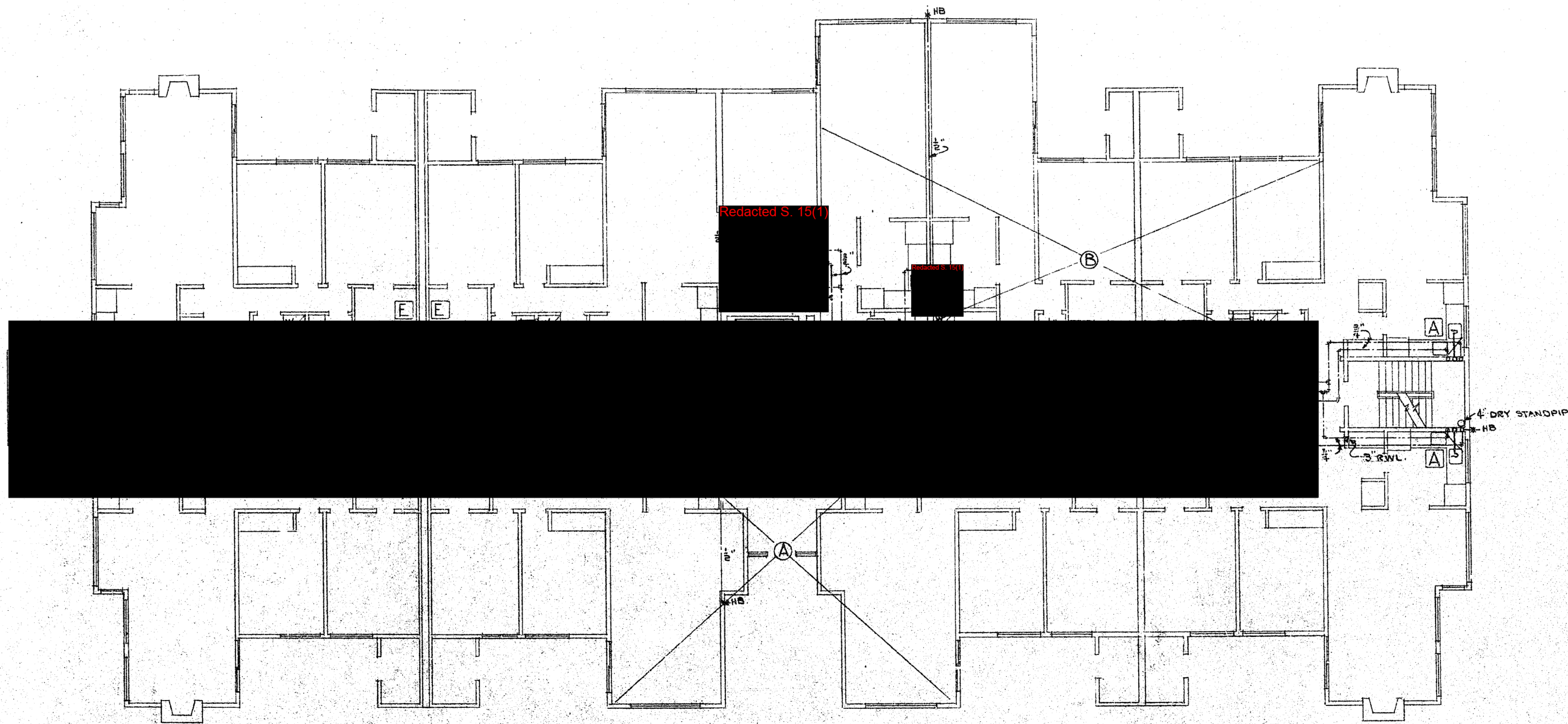
*Manual Reset, Automatic Shut-off
to Boiler, in case of freeze
(see P-04 Part 1, see code)*

- NOTES
- ① WATER HEATER SEE M.I.
 - ② PRESSURE REDUCING VALVE
 - ③ TEMPERING VALVE
 - ④ PRESSURE RELIEF VALVE
 - ⑤ BRONZE RECIRC. PUMP

NOTE:
CONFIRM EXACT LOCATION OF SEWER
AND WATER CONNECTIONS ON SITE.

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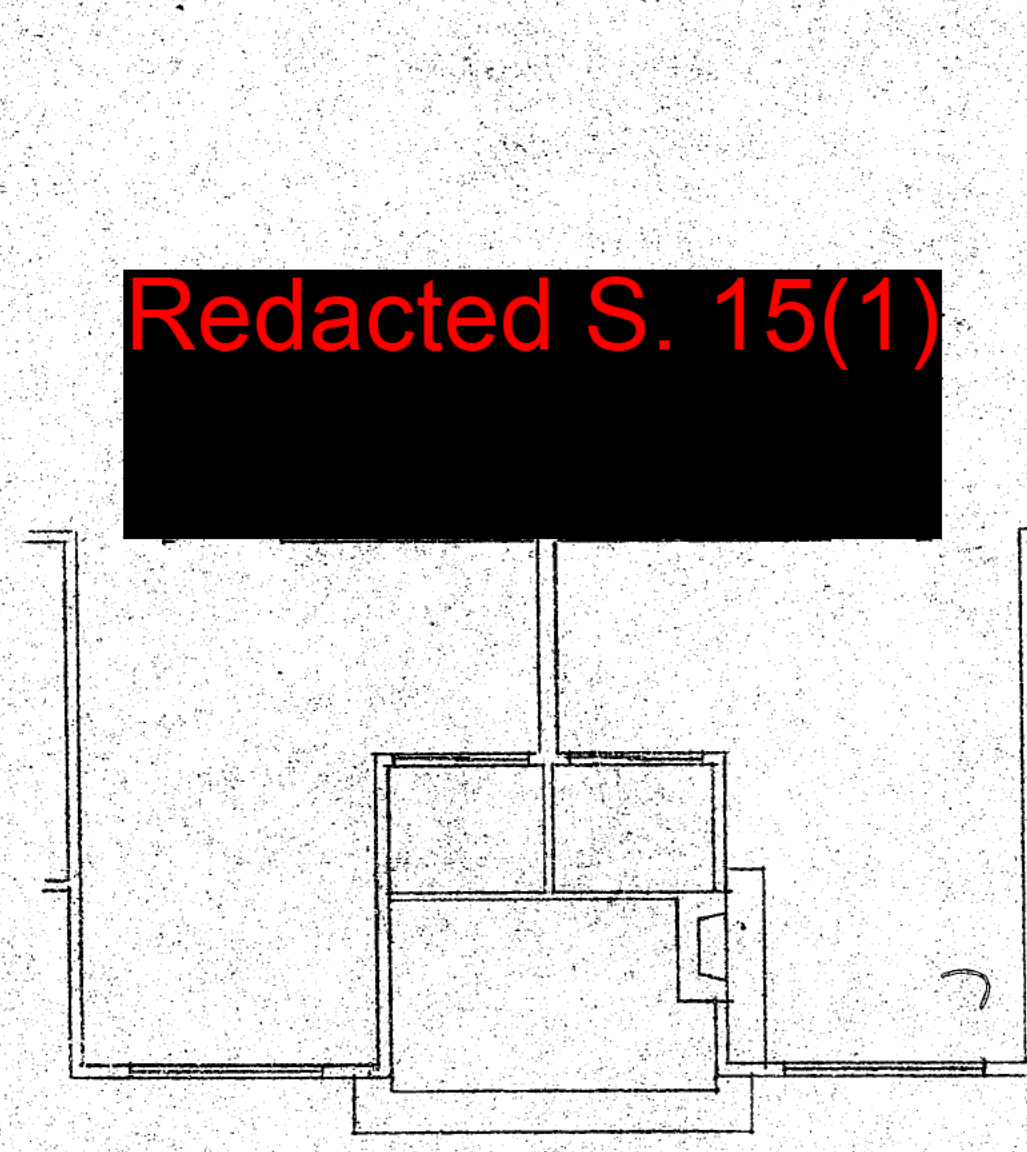
GROUND FLOOR ENDS 3RD. FLOOR SAME EXCEPT FOR A+B

SPECIFICATIONS
COMPLETE INSTALLATION TO BE IN ACCORDANCE WITH LOCAL CODES, B.C. PLUMBING CODE, N.B.C. AND TO THE SATISFACTION OF THE PLUMBING INSPECTOR.
FIXTURES TO BE AMERICAN STANDARD OR EQUAL. COLOURS TO BE SELECTED BY OWNER.
BATH: AC0128 OR AC0127 SALEM
c/w WALTER FLO TROL 14F135 TRIM AND 14F134 P.F.
WALTER WG 33-630 WASTE + OVERFLO
WATER CLOSET: AF 2131 RIVIERA
c/w #30 OLSONITE SEAT
3/4\"/>

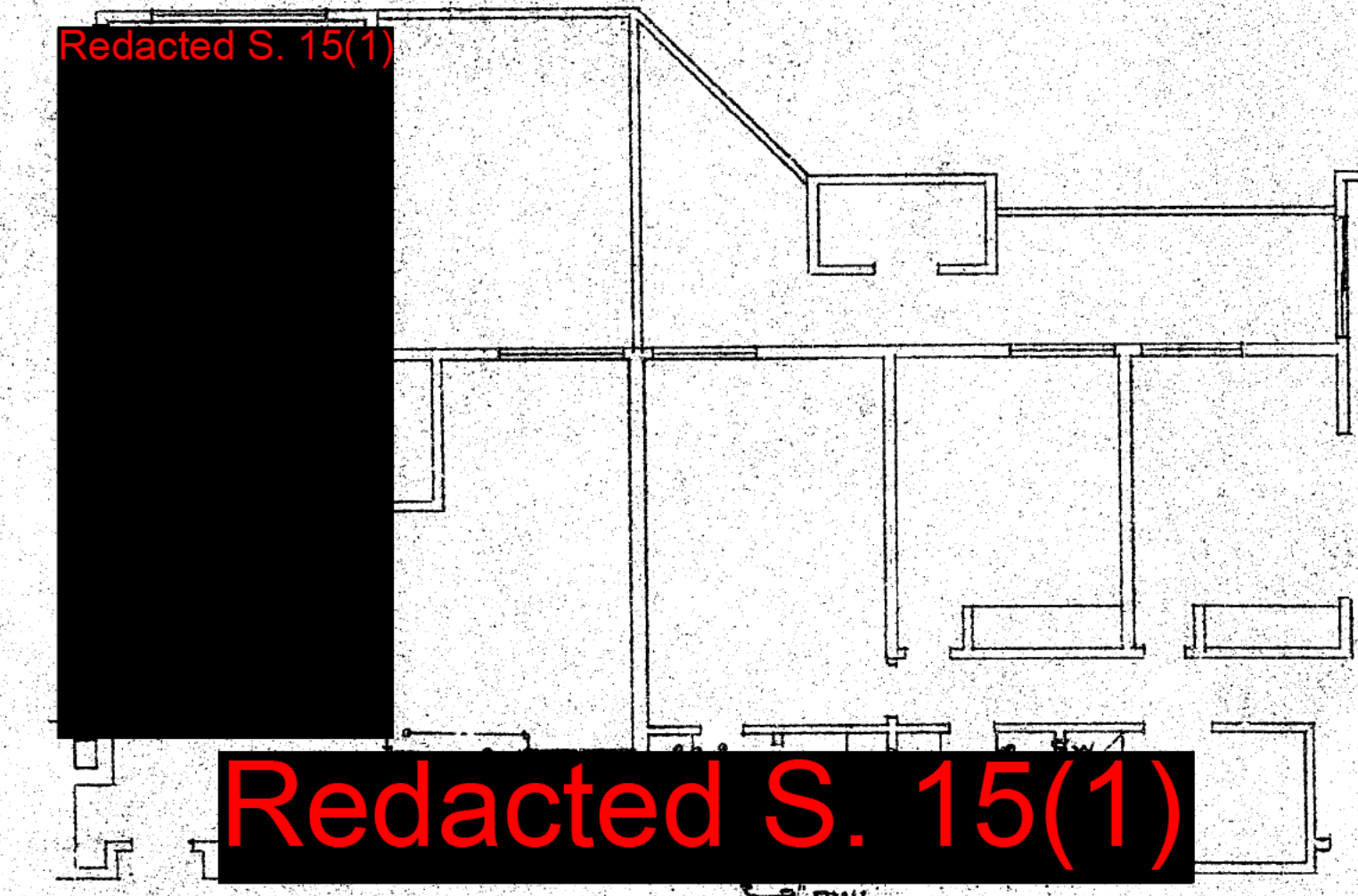
LAVATORY: AD 0222 OVATION
c/w WALTER 21F 14-1 4\"/>

KITCHEN SINK: KIL Q1 202 STAINLESS STEEL
c/w WALTER 35F 123 DECK FAUCET
2-1/2\"/>

CORNER SINK: KIL CR 1416 STAINLESS STEEL
c/w WALTER 25F 123 DECK FAUCET
2-1/2\"/>



A PART 2ND. + 3RD. FLOOR



B PART 3RD. FLOOR

SCALE - 1/8" = 1'-0"

DATE - FEB. 1976

DRAWN - R.F.C.

JOB NO. 312

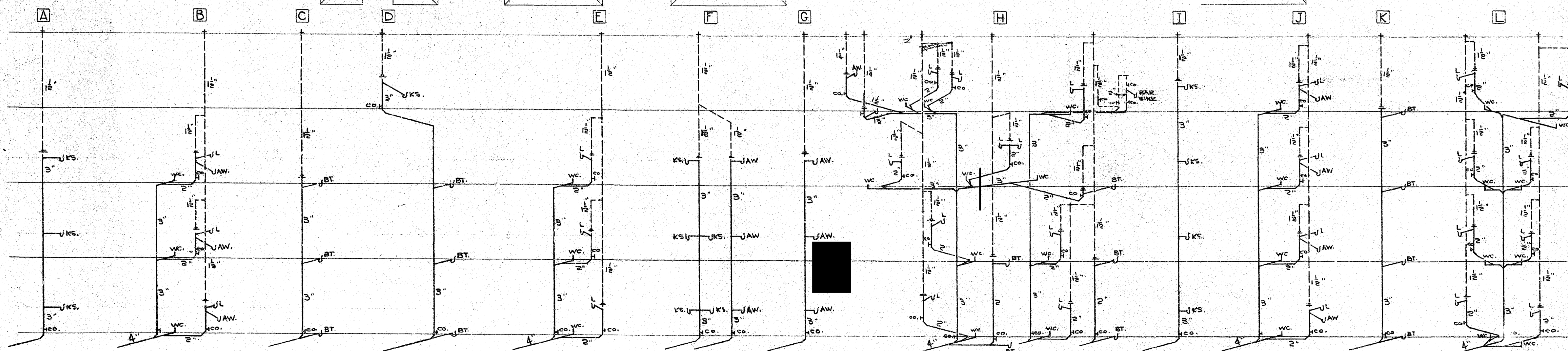
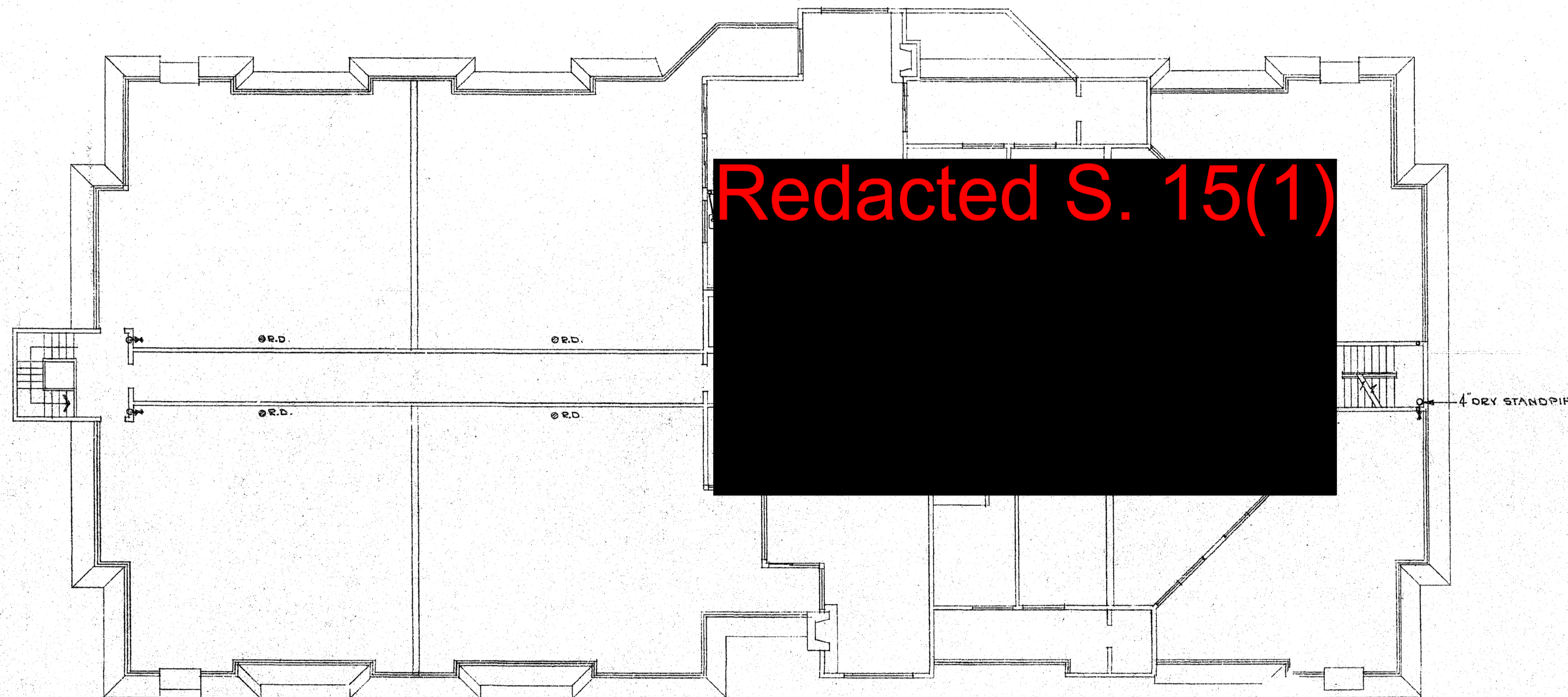
P-2

OF 4

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Redacted S. 15(1)



TYPICAL SANITARY STACKS

SCALE - 1/8" = 1'0"

DATE - FEB. 1976

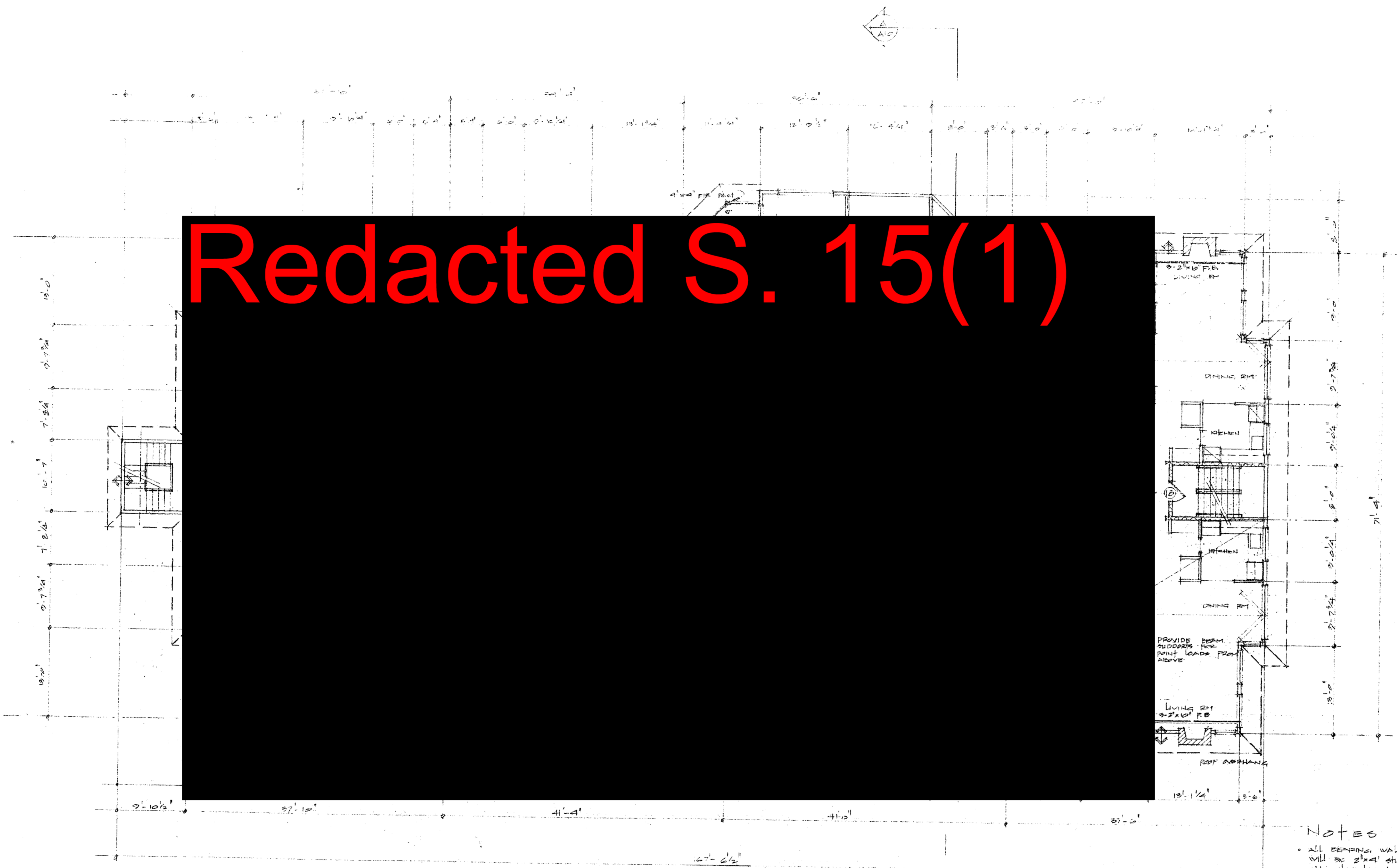
DRAWN - R.F.C.

JOB NO. 312

P-3

[Handwritten signature]

Redacted S. 15(1)



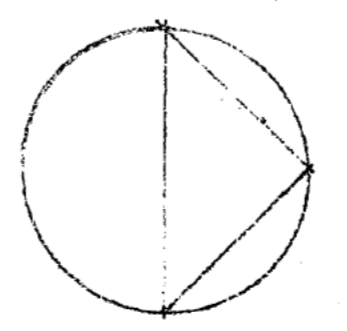
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third

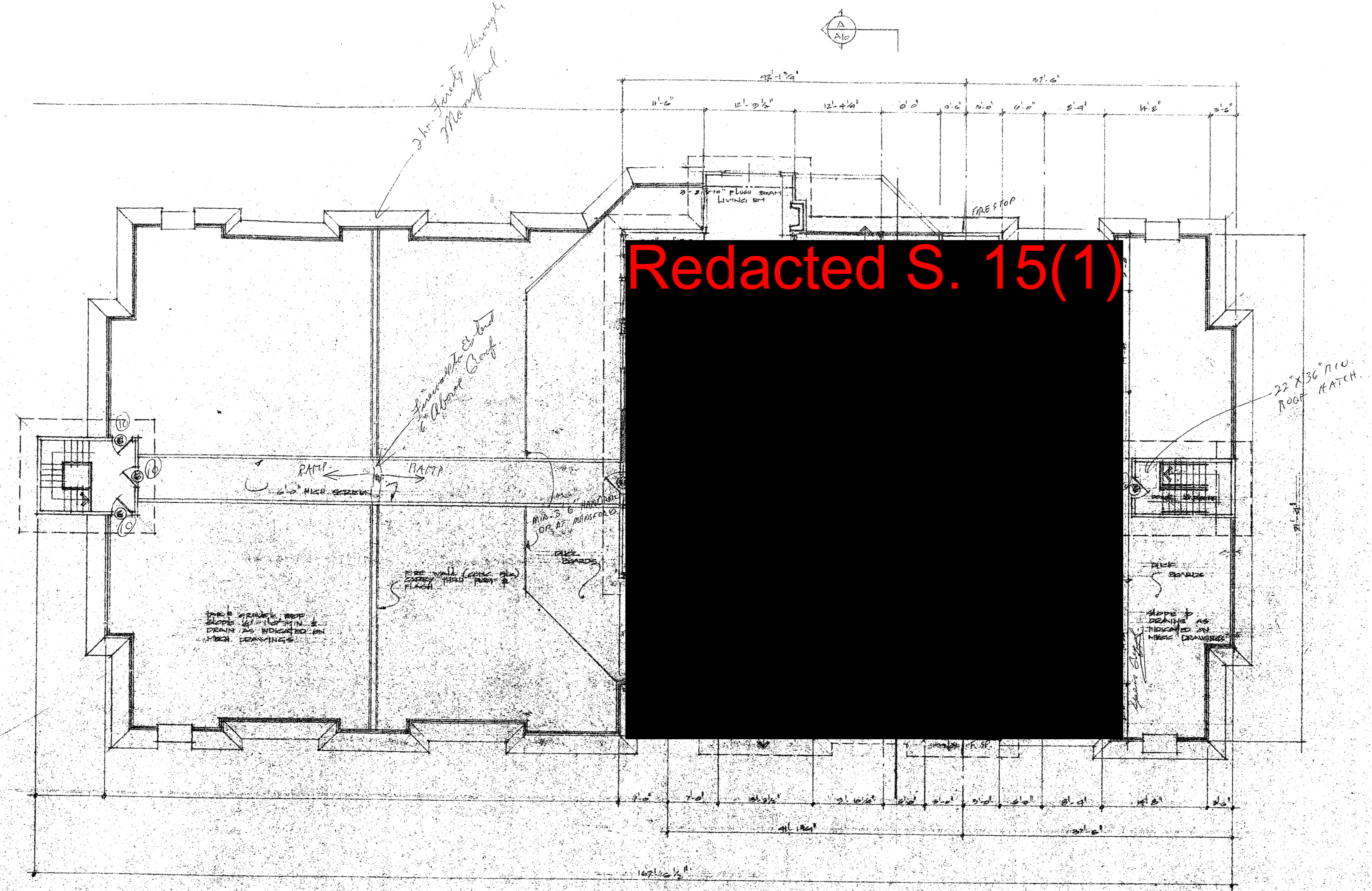
NOTES

- ALL PARTING WALLS @ THIRD & FOURTH FLOORS WILL BE 2"x4" STUDS @ 16" OCS
- ALL STRUCTURAL LUMBER SHALL BE STANDARD GRADE OR BETTER
- ALL LINTELS SHALL BE 2"X8" THROUGHOUT UNLESS OTHERWISE INDICATED
- ALL JOINTS INCLUDING DROPPED CEILINGS, BEAMS, LOAD BEARING WALLS, & ROOFS SHALL BE STANDARD GRADE OR BETTER
- ALL JOISTS SHALL BE 2"x10" @ 16" OCS WITH DIRECTION INDICATED ON PLANS
- ALL BEAMS SHALL BE BUILT UP 2"x10" PLUS BEAMS OR METAL JOIST HANGERS AND SHALL BE INDICATED ON PLANS THUSLY
- ALL INTERIOR FINISH MATERIAL IN EXITS SHALL HAVE A PLATE SPREAD EATING OF NOT GREATER THAN 25
- ALL BEAMS SHALL BE SUPPORTED BY 4" X 4" WOOD END (MIN)
- INTEGRITY OF FIRE SEPARATION TO BE MAINTAINED THROUGH UTILITIES (ALL STUD WALLS TO BE FILLED WITH INSULATION, 2"X8" @ 16" OCS & PARTITION WALLS) HOISTED JOISTS & BEAMS ARE NOT PERMITTED TO BE PROPERLY NAILED BEFORE HANGERS ARE INSTALLED
- EQUIVALENT FINISH THROUGH MANSARD & STORAGE AREAS BETWEEN SUITES
- FLASH ALL EXTERIOR OPENINGS AS PER CODE
- EXHAUST CURTS, FRONT KITCHEN PANES TO BE HUNG, SPICES
- BOTH SIDES OF DECORATIVE CORNER TRIM TO BE TREATED
- CHIMNEY SHAPES TO BE THE FIRE PROTECTED BOTH SIDES & FLASHED AT EACH FLOOR

third
SCALE 1/8"=1'-10"



A-5



Redacted S. 15(1)

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roof



roof
SCALE 1/8" = 1'-10"

A-6

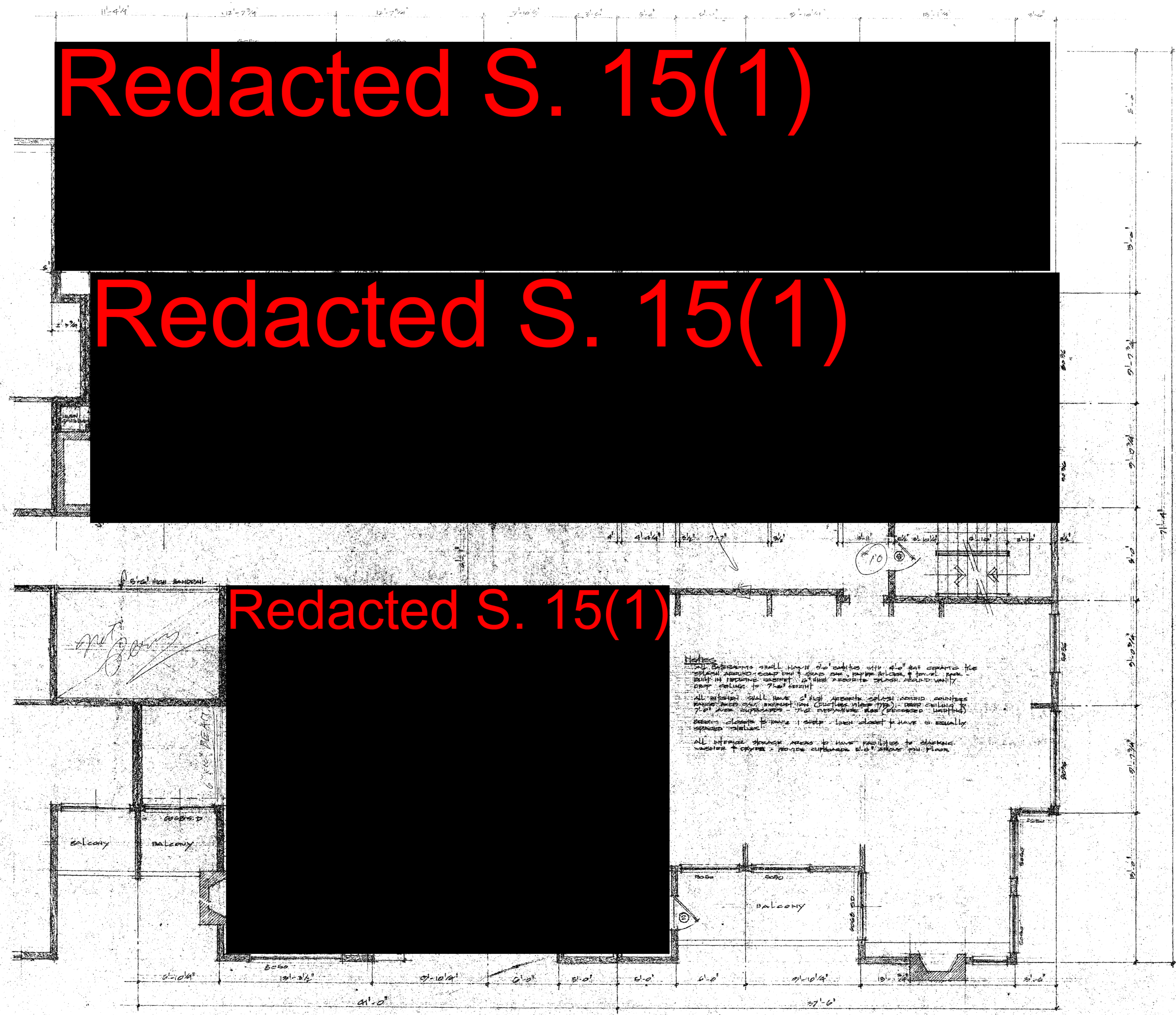
Redacted S. 15(1)

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Redacted S. 15(1)

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1/4" scale suite details



Notes
1. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.
2. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.
3. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.
4. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.
5. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.
6. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.
7. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.
8. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.
9. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.
10. All bedrooms shall have 2'0" closets with 2'0" door opening into the bedroom.

Redacted S. 15(1)

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AREA	ROOM	FLOOR	WALLS	CEILING	REMARKS
RESIDENTIAL SUITES	LIVING/DINING	CARPET	WOOD SHIMMED	SPRAY/TEXT	
	BEDROOMS	"	"	"	
	HALLS/LOBBIES	"	"	"	
	KITCHENS	SHEET VINYL/TILES	VINYL	"	
	BATH ROOMS	SHEET VINYL/TILES	VINYL	"	
UTILITY AREAS	"	"	"	"	
COMMON AREA	RECEPTION	CARPET	WOOD SHIMMED	SPRAY/TEXT	
	RECEPTION IM	"	"	"	
	STAIRS	PAINT	PAINT	PAINT	
PARKING	PARKING AREAS	PAINT	PAINT	PAINT	
	PAVING	CONCRETE	CONCRETE	CONCRETE	
	LANDSCAPING	CONCRETE	CONCRETE	CONCRETE	

FINISHING SCHEDULE

TYPE	SIZE	LABEL	DESCRIPTION	REMARKS
①	2'0" x 2'0" x 1 3/8"		SOLID CORE WOOD C/W SELF CLOSED	
②	2'0" x 2'0" x 1 3/8"		SOLID CORE	
③	2'0" x 2'0" x 1 3/8"		HOLLOW CORE	
④	2'0" x 2'0" x 1 3/8"		HOLLOW CORE - PERMET DOOR	
⑤	2'0" x 2'0" x 1 3/8"		SOLID CORE - PANIC HARDWARE + SELF CLOSE	U.L. APPROVED
⑥	2'0" x 2'0" x 1 3/8"		METAL C/W PANIC HARDWARE + SELF CLOSE	
⑦	2'0" x 2'0" x 1 3/8"		ALUM. SASH FULL GLAZE, SELF CLOSE, U.L. STROKE	CONNECT TO ALARM SYSTEM
⑧	2'0" x 2'0" x 1 3/8"		METAL SELF-CLOSING LATCHES - 1/2" LOCK	PERMITTED TO STAIR TOWER
⑨	2'0" x 2'0" x 1 3/8"		SOLID CORE - SELF-CLOSING TO SIGNING DEPT	WAYS OR 2 DOORS AT REC ROOM TO CORRIDOR
⑩	2'0" x 2'0" x 1 3/8"		PAINT	
⑪	2'0" x 2'0" x 1 3/8"		PAINT	
⑫	2'0" x 2'0" x 1 3/8"		PAINT	
⑬	2'0" x 2'0" x 1 3/8"		PAINT	
⑭	2'0" x 2'0" x 1 3/8"		PAINT	
⑮	2'0" x 2'0" x 1 3/8"		PAINT	
⑯	2'0" x 2'0" x 1 3/8"		PAINT	
⑰	2'0" x 2'0" x 1 3/8"		PAINT	
⑱	2'0" x 2'0" x 1 3/8"		PAINT	
⑲	2'0" x 2'0" x 1 3/8"		PAINT	
⑳	2'0" x 2'0" x 1 3/8"		PAINT	
㉑	2'0" x 2'0" x 1 3/8"		PAINT	
㉒	2'0" x 2'0" x 1 3/8"		PAINT	
㉓	2'0" x 2'0" x 1 3/8"		PAINT	
㉔	2'0" x 2'0" x 1 3/8"		PAINT	
㉕	2'0" x 2'0" x 1 3/8"		PAINT	
㉖	2'0" x 2'0" x 1 3/8"		PAINT	
㉗	2'0" x 2'0" x 1 3/8"		PAINT	
㉘	2'0" x 2'0" x 1 3/8"		PAINT	
㉙	2'0" x 2'0" x 1 3/8"		PAINT	
㉚	2'0" x 2'0" x 1 3/8"		PAINT	
㉛	2'0" x 2'0" x 1 3/8"		PAINT	
㉜	2'0" x 2'0" x 1 3/8"		PAINT	
㉝	2'0" x 2'0" x 1 3/8"		PAINT	
㉞	2'0" x 2'0" x 1 3/8"		PAINT	
㉟	2'0" x 2'0" x 1 3/8"		PAINT	
㊱	2'0" x 2'0" x 1 3/8"		PAINT	
㊲	2'0" x 2'0" x 1 3/8"		PAINT	
㊳	2'0" x 2'0" x 1 3/8"		PAINT	
㊴	2'0" x 2'0" x 1 3/8"		PAINT	
㊵	2'0" x 2'0" x 1 3/8"		PAINT	
㊶	2'0" x 2'0" x 1 3/8"		PAINT	
㊷	2'0" x 2'0" x 1 3/8"		PAINT	
㊸	2'0" x 2'0" x 1 3/8"		PAINT	
㊹	2'0" x 2'0" x 1 3/8"		PAINT	
㊺	2'0" x 2'0" x 1 3/8"		PAINT	
㊻	2'0" x 2'0" x 1 3/8"		PAINT	
㊼	2'0" x 2'0" x 1 3/8"		PAINT	
㊽	2'0" x 2'0" x 1 3/8"		PAINT	
㊾	2'0" x 2'0" x 1 3/8"		PAINT	
㊿	2'0" x 2'0" x 1 3/8"		PAINT	

DOOR SCHEDULES

1/4" scale
suite
details &
schedules



Redacted S. 15(1)

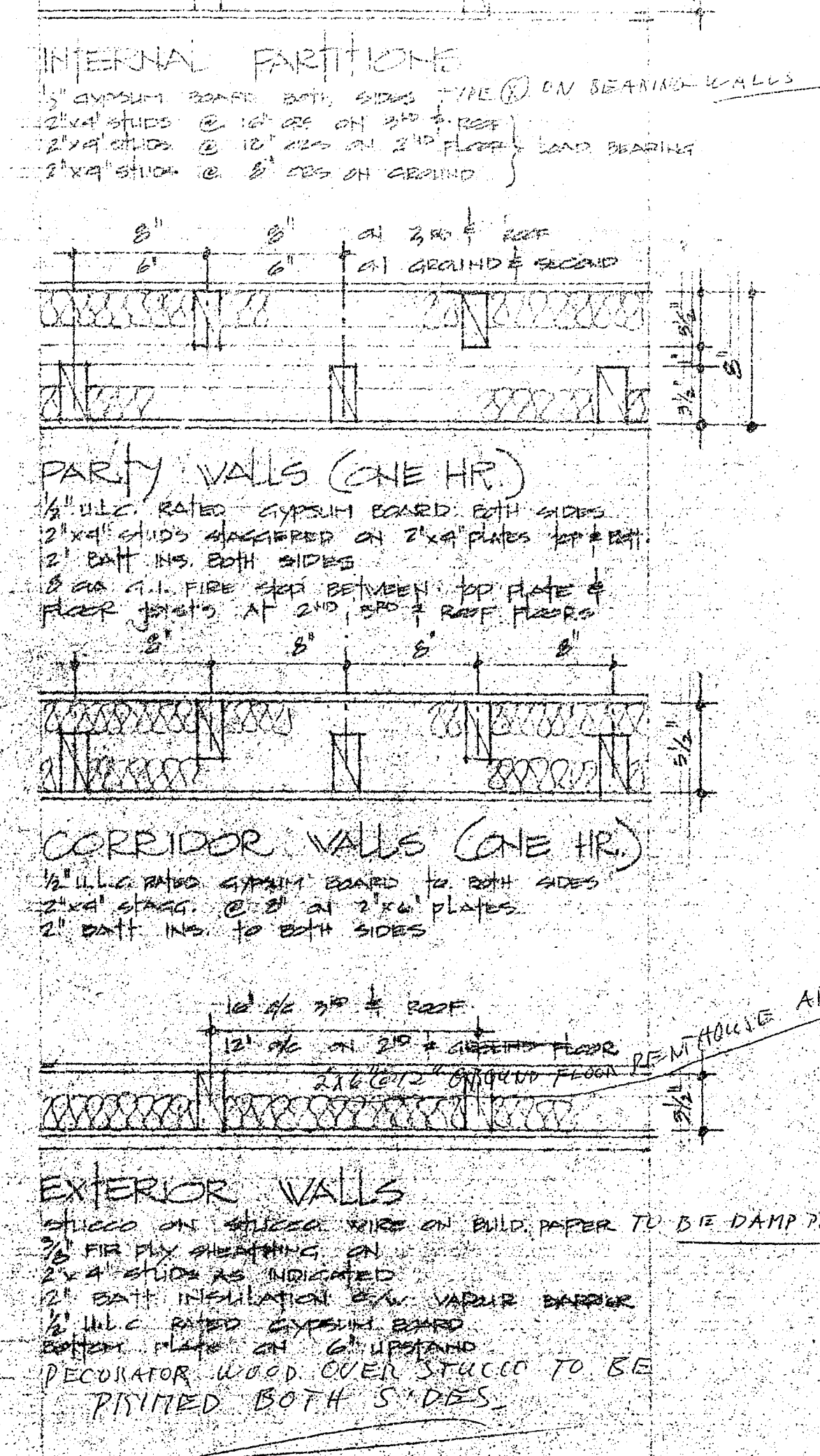
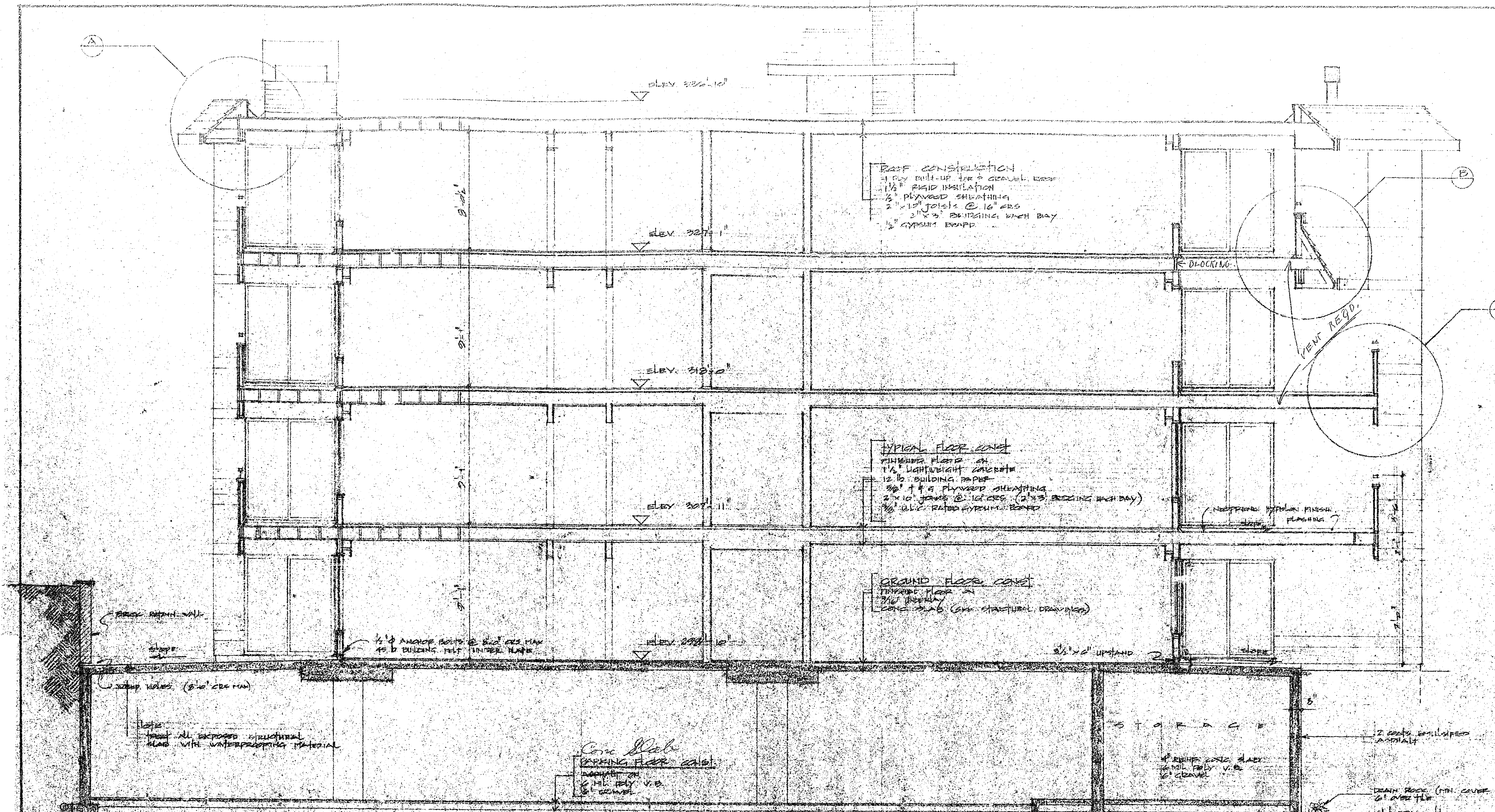
design
group

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1/4" scale
suite
details

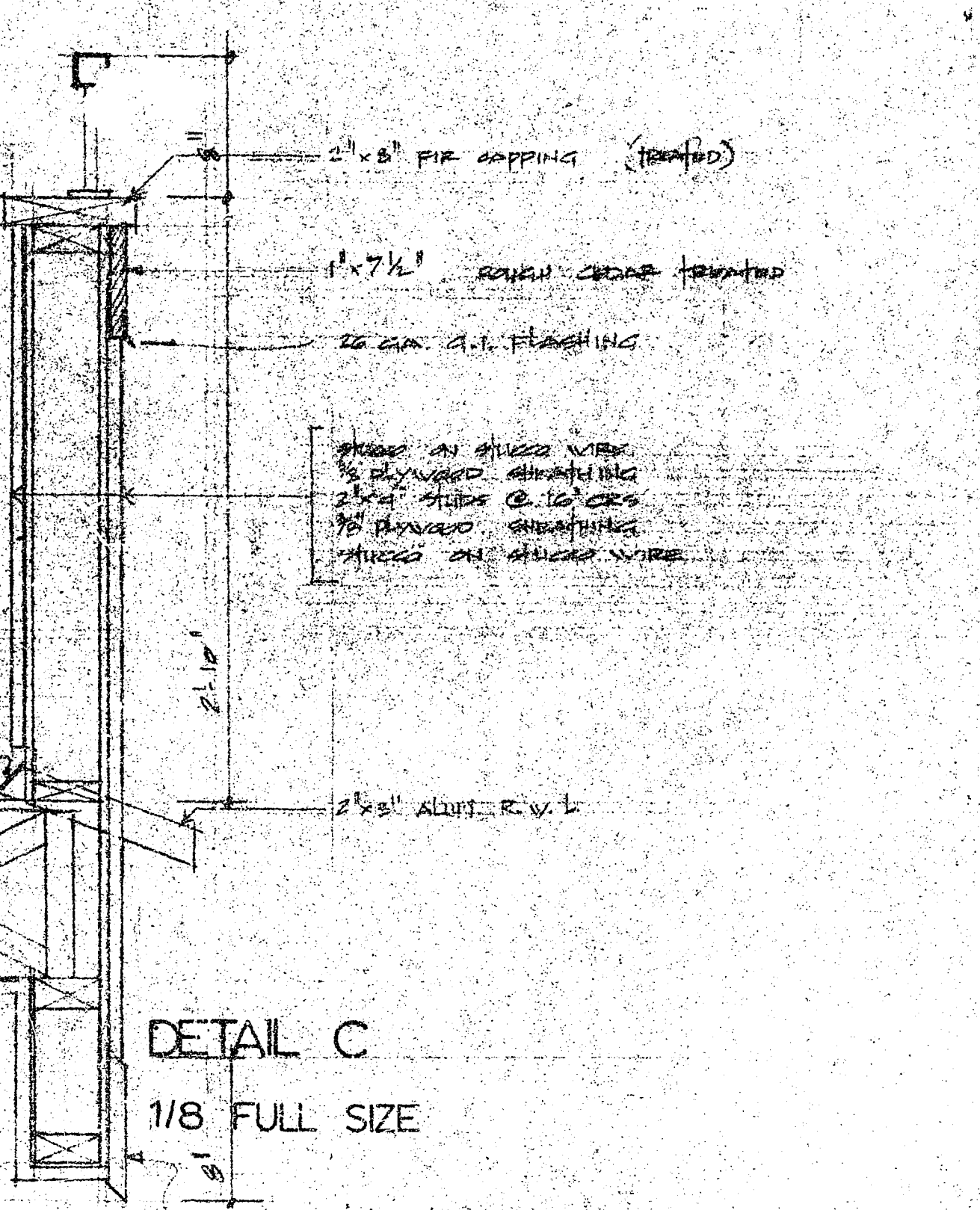
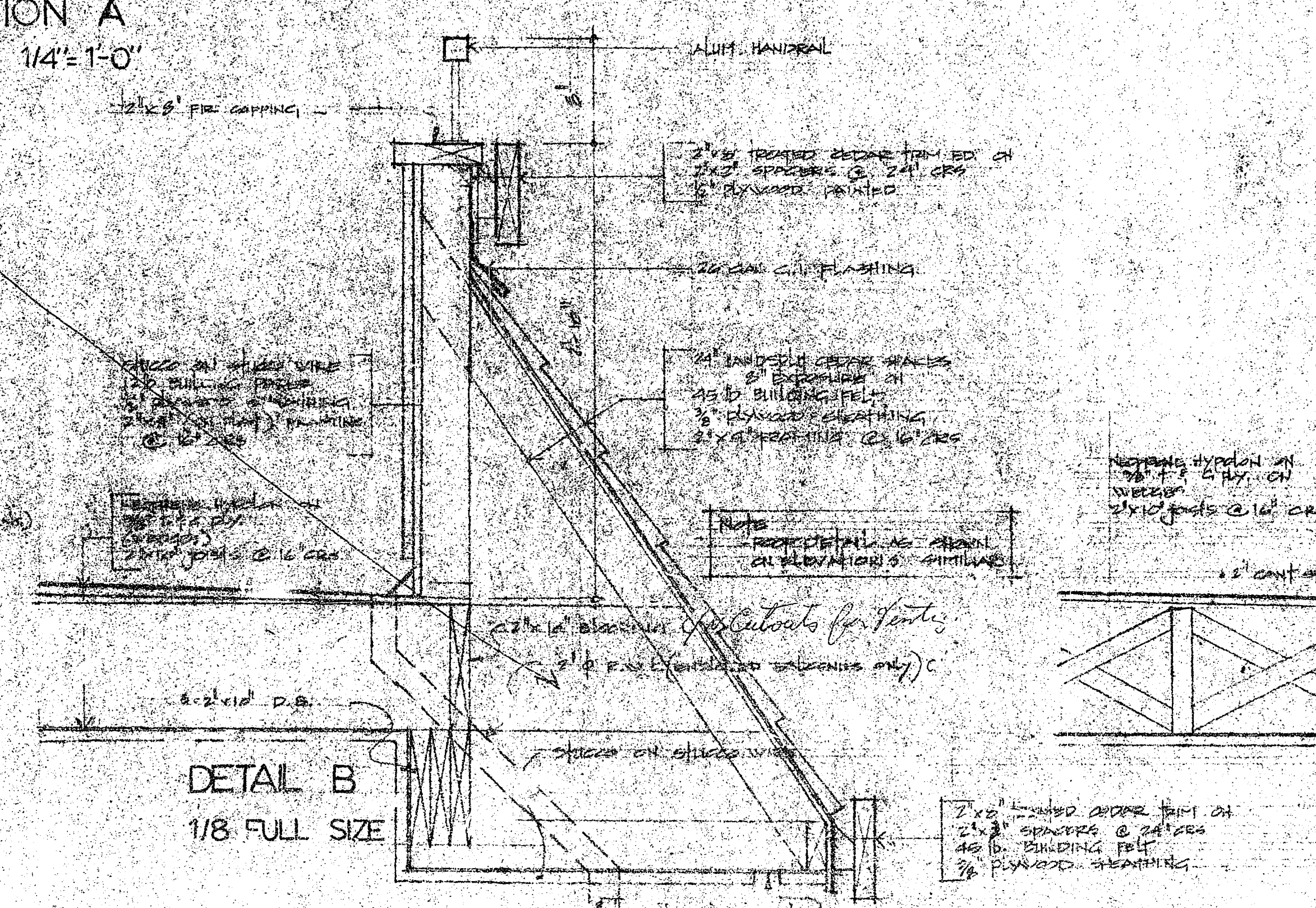
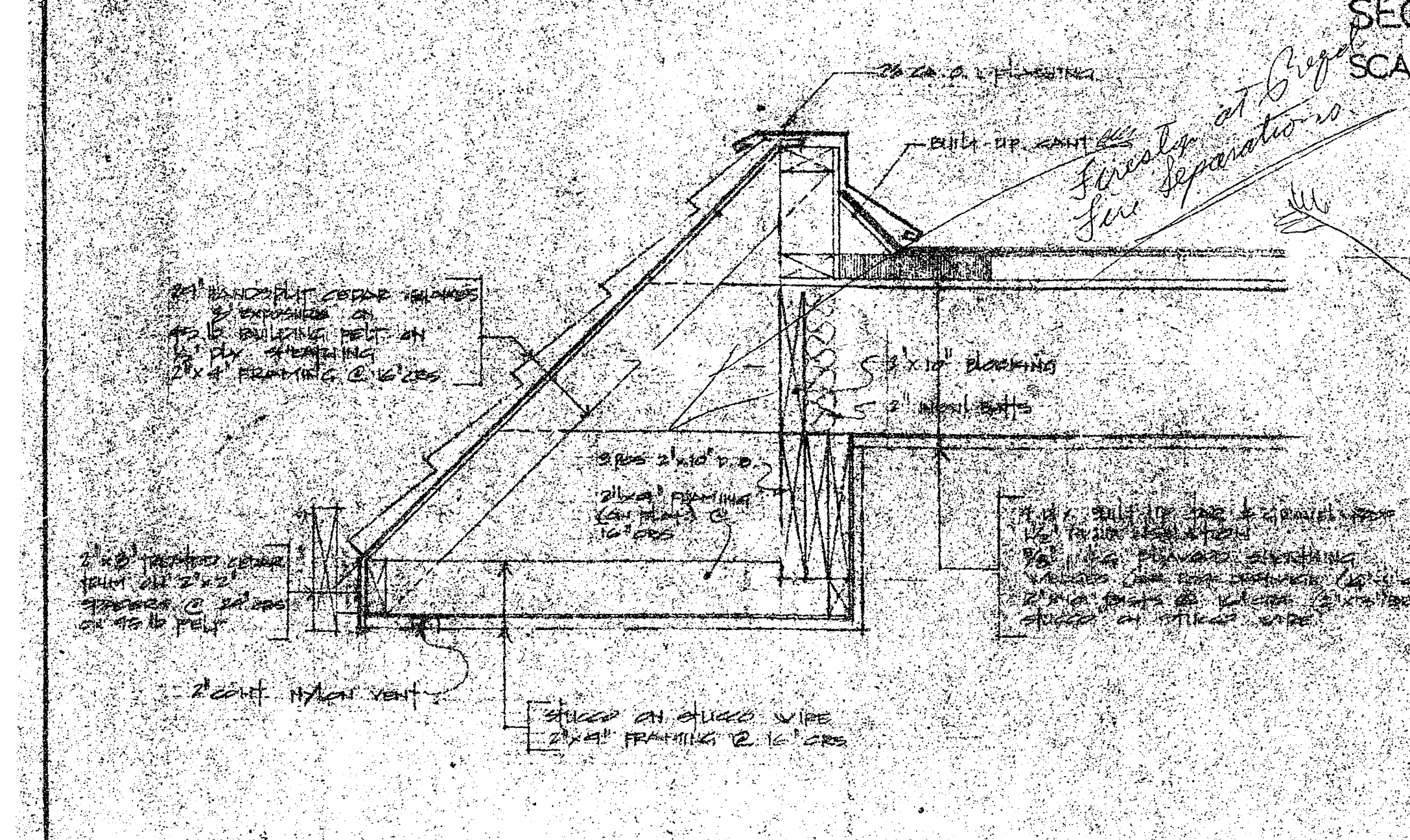


A-9



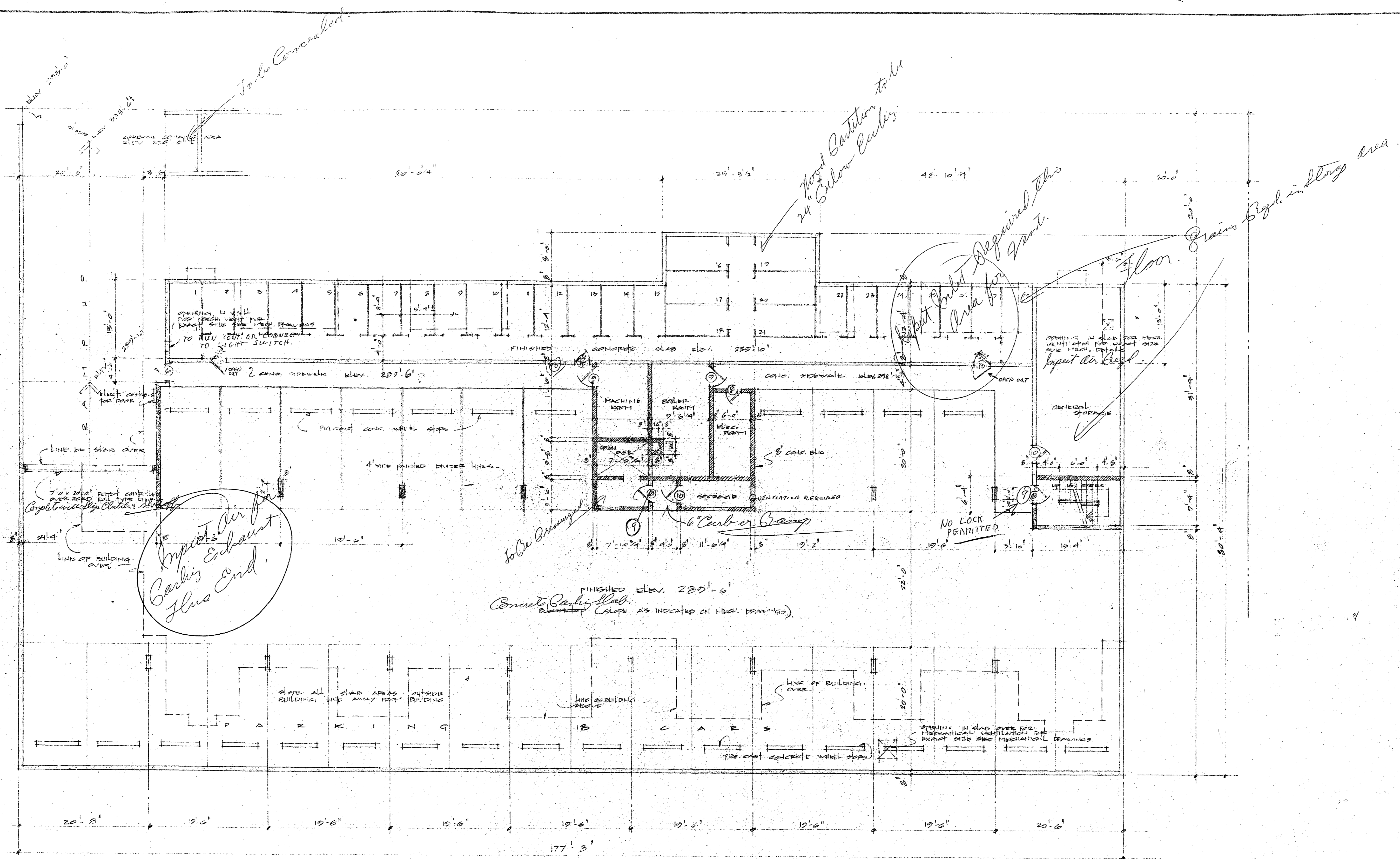
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SECTION A
 SCALE 1/4" = 1'-0"



sections & details

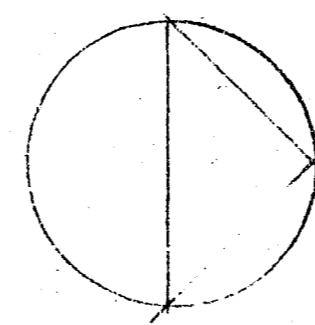




NOTE
• FIRE EXTINGUISHER REQUIRED IN ACCORDANCE 1975 NATIONAL FIRE CODE
• UNDERGROUND PARKING (ORDINARY HAZARD)

parking

SCALE 1/8" = 1'-0"

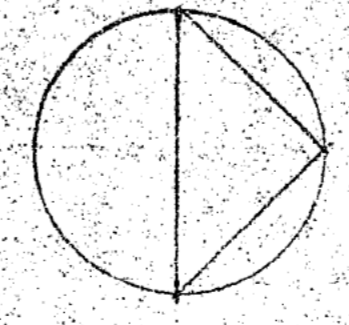
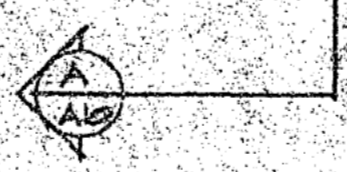
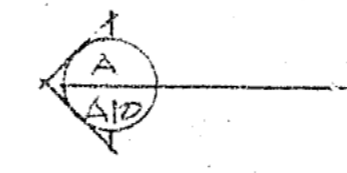


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ground



A-3



Redacted S. 15(1)

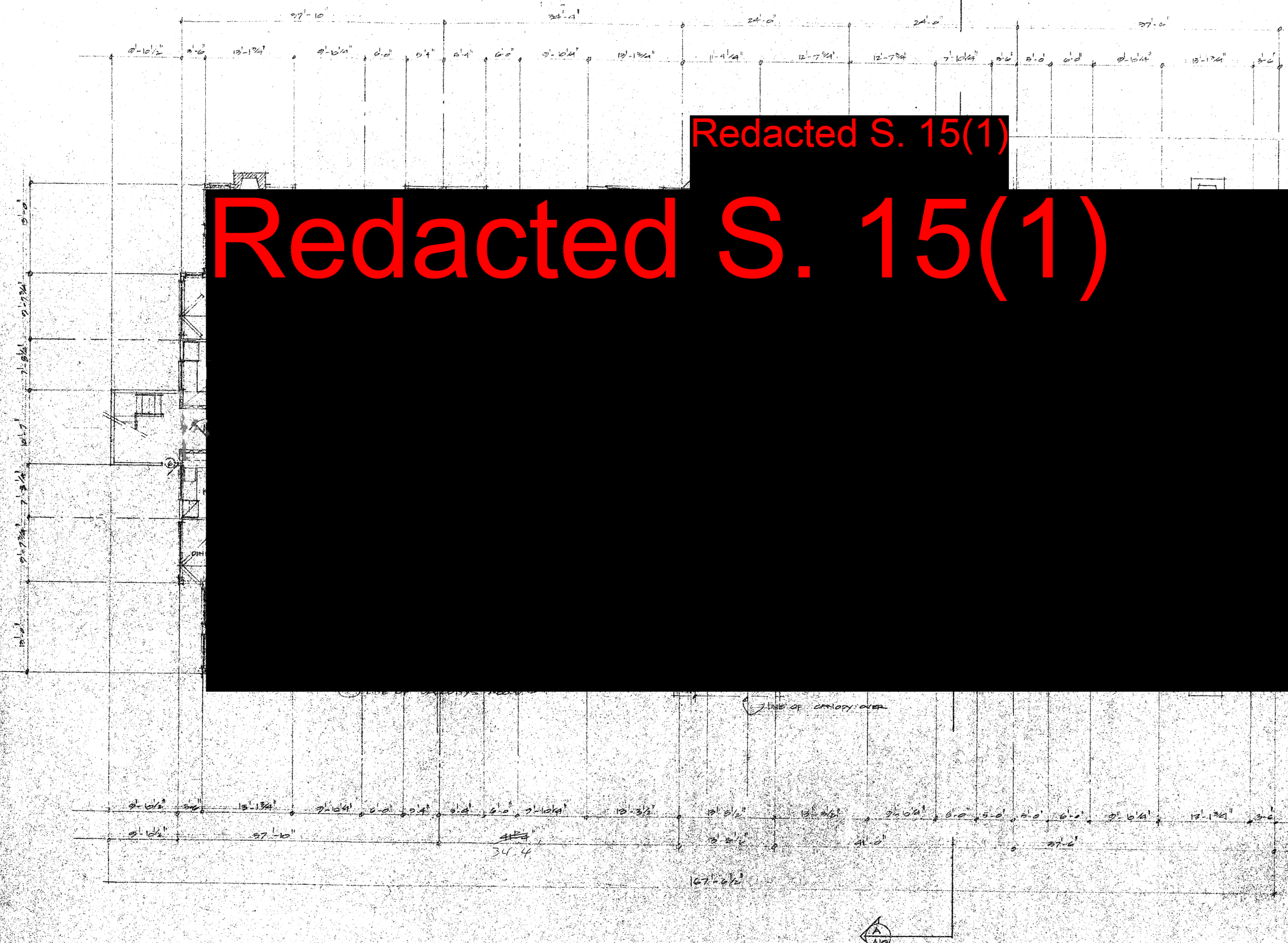
Redacted S. 15(1)

NOTE

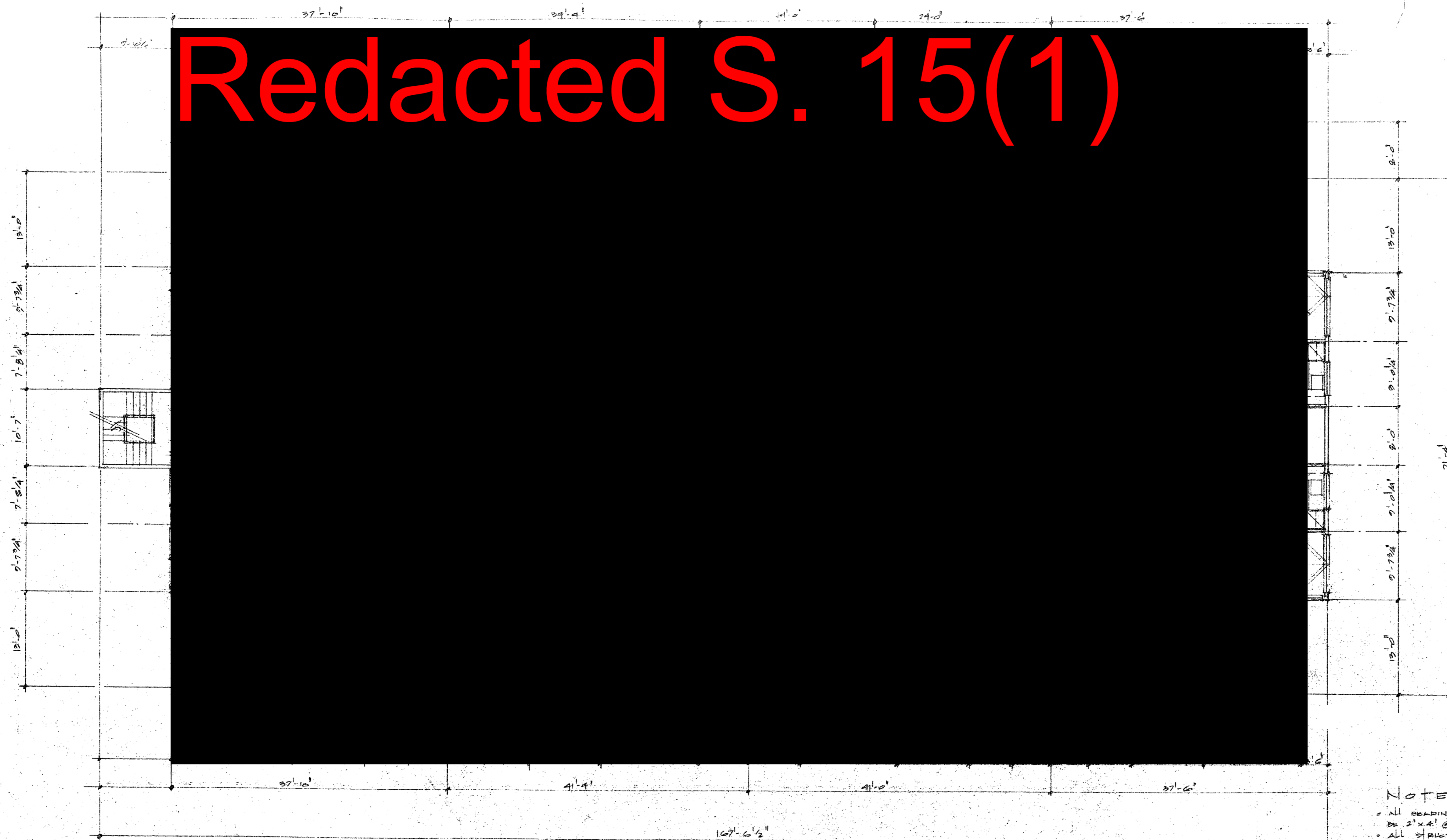
- ALL PARTING WALLS @ GROUND FLOOR WILL BE 2"x4" @ 8' C/S
- ALL STRUCTURAL LUMBER SHALL BE DRYKID GRADE OR BETTER
- ALL LINTELS SHALL BE 2" x 8" THROUGH OUT UNLESS INDICATED OTHERWISE
- ALL JOIST BRIDGES, ROOFING COLLARS, BEAMS, LOAD BEARING WALLS, & PARTS SHALL BE HEAVIER @ GRADE OR BETTER
- ALL JOISTS SHALL BE 2" x 10" @ 16" C/S WITH CORROSION RESISTANT PLATE
- ALL BRACKETS SHALL BE 2"x4" @ 16" C/S
- TILES SHALL BE 12" x 12" METAL JOIST HANGERS AND SHALL BE INSTALLED ON PLANE
- ALL INTERIOR FINISH MATERIAL IN EXITS SHALL HAVE A FLAME SPREAD RATING OF NOT GREATER THAN 25
- ALL EXITS SHALL BE SUPPORTED BY 4"x4" WALL SPREAD EACH WAY

NOTE: FIRE EXTINGUISHER REQ'D IN ACCORDANCE WITH NATIONAL FIRE CODE
GROUND FLOOR TO ROOF (LIGHT HAZARD)

ground
SCALE 1/8" = 1'-10"



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second

- NOTES
- ALL BRACING WALLS @ SECOND FLOOR WILL BE 2"x4" @ 12' CRS MIN.
 - ALL STRUCTURAL LUMBER SHALL BE STANDARD GRADE OR BETTER.
 - ALL UNITS SHALL BE 2 Pcs 2"x10" THROUGH OUT UNLESS INDICATED OTHERWISE.
 - ALL JOISTS INCLUDING COPPER CEILING, BEAMS, AND BRACING WALLS, & POSTS SHALL BE STANDARD GRADE OR BETTER.
 - ALL JOISTS SHALL BE 2"x10" @ 16' CRS WITH DIRECTION INDICATED ON PLANS.
 - ALL BEAMS SHALL BE BUILT UP 2"x10" HUSH BEAMS OR METAL JOIST BRACKETS AND SHALL BE INDICATED ON PLANS.
 - ALL INTERIOR FINISH MATERIAL IN EXITS SHALL HAVE A FLAME SPREAD RATING OF NOT GREATER THAN 25.
 - ALL EXITS SHALL BE SUPPORTED AT BOTH ENDS BY 4" 2"x4" WALL STUDS.
 - INTEGRITY OF FIRE SEPARATION TO BE MAINTAINED THROUGH UNITS (ALL MID-WALLS TO BE FILLED WITH INSULATION AND 2"x4" PARTITION FLOOR).
 - NOTED JOISTS & BEAMS ARE NOT PERMITTED.
 - JOISTS TO BE PROPERLY NAILLED EXPOSED UNITS.
 - JOIST INSTALLED.
 - EQUIVALENT PRESSURE THROUGH MANARDS & SPRINKLE AREAS THROUGH ALL EXITS.
 - FLASHING REQUIRED AT ALL OPENINGS AS PER N.B.C.
 - EXHAUST DUCTS FROM KITCHEN RANGERS TO MAINTAIN SPEC.
 - BOTH SIDES OF DESCENDING COND. TRUNK TO BE TREATED.
 - CHIMNEY SHALLS TO BE 1/2" HR. FIRE PROTECTED BOTH SIDES & FLASHED AT EACH FLOOR.

second
SCALE 1/8" = 1'-10"



A-4

16



BUILDING DEPARTMENT

Inspection Report

NAME: Andrea Dev PERMIT No. _____
 ADDRESS: 1381 Martin SHEET No. 1
 TYPE OF INSPECTION: Prov. Occ DATE: Nov 9/76
 AREA OF INSPECTION: 2nd + 3rd floor.

- 1. Ceiling in Corridor 2nd floor to be retiled
in square on underside of joists.
 - 2. Handrails in stairwells to be adjusted to permit
hand hold as per code.
 - 3. Floor covering in washroom 205 not acceptable
 - 4. All dishwasher drain lines to be clipped to
underside of sink.
 - 5. Sewer shells to be cleaned of excess mortar.
 - 6. Entrance doors to have min. 4" opening to outside.
 - 7. Provision to hold open dampers in fireplaces req'd
 - 8. Dampers to be tightly fitted.
 - 9. Fire stop plugs on pressure vents not complete
 - 10. 301 leak @ KIT SINK
 - 11. 402 line to dishwasher replaced
 - 12. H01 trap to be removable.
- OK for Prov. Occ with fire dept approval

Bypass

SIGNATURE: _____ INSPECTOR: Keta Brad

DATE: _____

THE CITY OF WHITE ROCK

PERMIT TO BUILD

Date: Sept 14 1987 Roll # 2015 Dev. Permit No. _____ Permit No. 216

Owner: **Redacted S. 22**
 Address: **Redacted S. 22**
 Architect: _____
 Contractor: Owner
 Contractor's Address: _____

Location: 102 1331 W. 11th
 Legal: _____
 Dev. Permit Area: _____ Zone: LUC 28
 Occupancy: 29 UNIT STRATA UNIT
 Name of Project: PHASE ENCLUSURE

Description of Construction: AC / WALLING Lot Size: _____
 Truss Plan Req'd: NO Survey Plan Req'd: NO Max. Height: _____
 Size: 6x15 Storeys: 1 Min. Yards: Front: NO R. Side: _____ L. Side: _____ Rear: _____

Basement: 7
 Footings: _____
 Columns: AS PER
 Beams: _____
 Stairways: 1000
 Int. Partitions: _____
 Heating: _____
 Ventilation: _____
 Insulation: _____
 Plans Filed: NO

	Basement	1st	2nd	Roof
Ext. Walls			/	
Floors, Joists			/	
Live Loads			/	

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ <u>10000</u>
Permit Fee	\$ <u>25</u>
	\$ _____
	\$ _____
Total Fees	\$ <u>25</u>

Owner or Authorized Agent: **Redacted S. 22** B. W. Hall Building Inspector [Signature] (OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SURVEY PLAN REC'D:
TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY
BUILDING COMPLETE
GRANTED



LEONIS Management and Consultants Ltd.

1324 JOHNSTON RD., WHITE ROCK, B.C. V4B 3Z2 PHONE 531-9166

September 8, 1987

Mr. Bruce Hall
Building Inspector
City Hall
White Rock, B.C.

Dear Mr. Hall:

Re: Chestnut Village - Strata Plan NW 651

This letter is to advise that **Redacted S. 22** of #102 - 1381 Martin Street, White Rock, B.C. has been given permission by the Strata Council to install a glass enclosure on his patio providing the enclosure conforms to regular installation practice and standards.

This is your authority to issue the appropriate permit upon request.

Yours truly,

R.A. Stack,
Property Manager.

RAS/gk

c.c. Council

THE CITY OF WHITE ROCK

PERMIT TO BUILD

Date: Sept 11 1998 Roll # _____ Dev. Permit-No. _____ Permit No. 230

Owner: **Redacted S. 22**
 Address: **Redacted S. 22**
 Architect: _____
 Contractor: ASTRO CONCRETE
 Contractor's Address: _____

Location: 109 - 1381 White St
 Legal: _____
 Dev. Permit Area: _____ Zone: _____
 Occupancy: STRAVA APF
 Name of Project: ENCLOSE DRAWING

Description of Construction: APC + 6' Lot 2nd Lot Size: _____
 Truss Plan Req'd: No Survey Plan Req'd: _____ Max. Height: _____
 Size: _____ Storeys: _____ Min. Yards: Front: _____ R. Side: _____ L. Side: _____ Rear: _____

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				
		N/A		

<p>The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.</p>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;">Value</td> <td style="text-align: right; padding: 2px;">\$ <u>1267⁰⁰</u></td> </tr> <tr> <td style="padding: 2px;">Permit Fee</td> <td style="text-align: right; padding: 2px;">\$ <u>32⁰⁰</u></td> </tr> <tr> <td style="padding: 2px;"> </td> <td style="text-align: right; padding: 2px;">\$</td> </tr> <tr> <td style="padding: 2px;"> </td> <td style="text-align: right; padding: 2px;">\$</td> </tr> <tr> <td style="padding: 2px;">Total Fees</td> <td style="text-align: right; padding: 2px;">\$ <u>32⁰⁰</u></td> </tr> </table>	Value	\$ <u>1267⁰⁰</u>	Permit Fee	\$ <u>32⁰⁰</u>		\$		\$	Total Fees	\$ <u>32⁰⁰</u>
Value	\$ <u>1267⁰⁰</u>										
Permit Fee	\$ <u>32⁰⁰</u>										
	\$										
	\$										
Total Fees	\$ <u>32⁰⁰</u>										

Owner or Authorized Agent: **Redacted S. 22** Building Inspector: Peter Kerwin (OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED



LEONIS Management and Consultants Ltd.

1324 JOHNSTON RD., WHITE ROCK, B.C. V4B 3Z2 PHONE 531-9166

August 15, 1986

Mr. Bruce Hall, Building Inspector
City Hall,
White Rock, B.C.

Dear Mr. Hall:

Re: Chestnut Village - 1381 Martin St., White Rock, B.C.

This letter is to advise that **Redacted S. 22** of #109 - 1381 Martin Street, White Rock, B.C., has been given permission by the Strata Council to install a glass enclosure on the balcony providing the enclosure conforms to regular installation practice and standards and the existing exterior of the building.

This is your authority to issue the appropriate permit upon request.

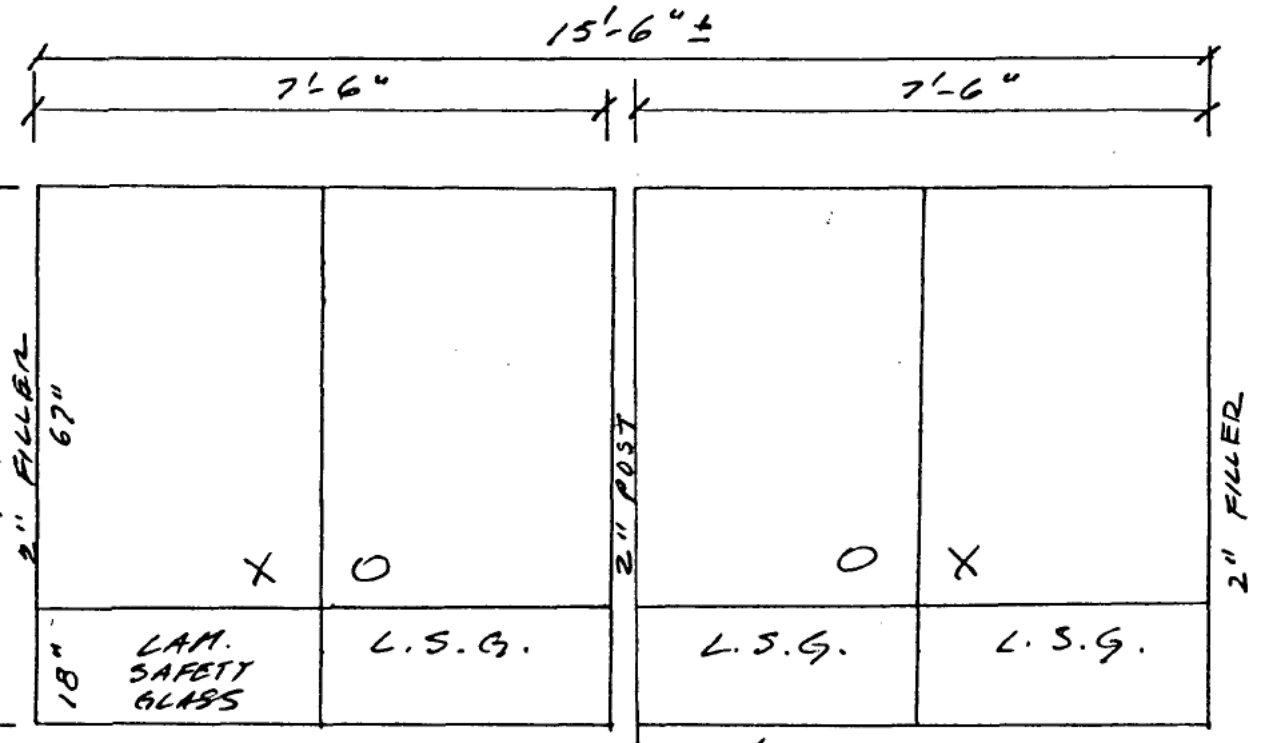
Yours truly,

R.A. Stack,
Property Manager.

RAS/gk
c.c. Council

National re

Redacted S. 22



National quote on 29 Aug: SINGLE GLASS c/w SCREENS

7'-6" x 7'-1" x 0/00 (AS ABOVE)	242.10	x 2 =	484.20
Screen	10.00	x 2	20.00
Tot N.I.C.			<u>\$ 504.20</u>

QUOTED CUSTOMER WINDOW COST w/TAX	1267.60
	<u>539.49</u>

NET TO INSTALLATION, MARK-UP & COMMISSION	728.11
	<u>=====</u>

THE CITY OF WHITE ROCK PERMIT TO BUILD

DF.

Date Sept 24 1961 Roll # Dev. Permit No. Permit No. 210

Owner Redacted S. 22 Address Redacted S. 22 Architect <u> </u> Contractor <u>GEORGE R. COOK</u> Contractor's Address <u>652 STEVENS</u>	Location <u>504 - 1381 IMPACTIN ST</u> Legal <u> </u> Dev. Permit Area: <u> </u> Zone: <u>SIRATA 65</u> Occupancy <u>SIRATA TITLE</u> Name of Project <u>8112 KILP</u>
--	--

Description of Construction General Purposes Lot Size
 Truss Plan Req'd.: No Survey Plan Req'd.: No Max. Height:
 Size 8x12 Storeys Min. Yards: Front R. Side L. Side Rear

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns		<u>As per code</u>		
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ <u>500</u>
Permit Fee	\$ <u>500</u>
	\$
	\$
Total Fees	\$ <u>500</u>

Owner or Authorized Agent **Redacted S. 22** W. Hall Peter Cook (OVER)
 Building Inspector

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SEPT 24/80

FRAME

Passed. Re. paper req'd - between
shakes ok to complete. Re

Oct 2/80

Passed

Area not permitted to be enclosed
due to low roof pitch. Re

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED

Oct 2/80. Re

#207-1381 Martin St.,
White Rock, B. C.
V4B 3W6

Sept. 17, 1980

City of White Rock,
15322 Buena Vista Ave.,
White Rock, B. C.

To Whom It May Concern:

This is to advise you that the request of s.22 of #304, this building, to erect an overhang roof on his patio, as per enclosed letter, was approved by our Council at a meeting held Sept. 15th, 1980.

VB:ea

V. H. Braiden
V. Braiden
Council Chairman
Strata Plan NW #651

THE CITY OF WHITE ROCK

PERMIT TO BUILD

201-1

Date August 3 19 79 Dev. Permit No. _____ Permit No. 150

Owner **Redacted S. 22**
 Address **Redacted S. 22**
 Architect _____
 Contractor M. W. C. Construction
 Contractor's Address _____

Location 222-1305-132
 Legal 307-1-11 MARAN ST
 District 1 Fire Zone 1 Group 1 Type 1
 Occupancy SPRINTA
 Name of Project ENCLOSURE

Description of Construction Aluminum Lot Size _____
 Size 1/2 Storeys 1 Rooms _____ Min. Yards: Front _____ R. Side _____ L. Side _____ Rear _____

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Int. Partitions				
Int. Finish				
Int. Lath				
Ceiling				
Insulation				
	Ext. Walls			
	Floors, Joists	<u>As per code</u>		
	Live Loads			
	Gas Appliances	Fire Protection	Value \$ <u>400.00</u>	
	Plumbing Fixtures	Chimney	Permit Fee \$ <u>5.00</u>	
	Heating	Fire Place	Water Rates \$ _____	
	Ventilation	Plans Filed	Numbers \$ _____	
			Total Fees \$ <u>5.00</u>	

Owner or Authorized Agent **Redacted S. 22** HALL Inspector B. Hall (OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

**PROVISIONAL OCCUPANCY
BUILDING COMPLETE
GRANTED**

The Chestnut Village
1381 Martin St.
White Rock
file

Aug. 2/79

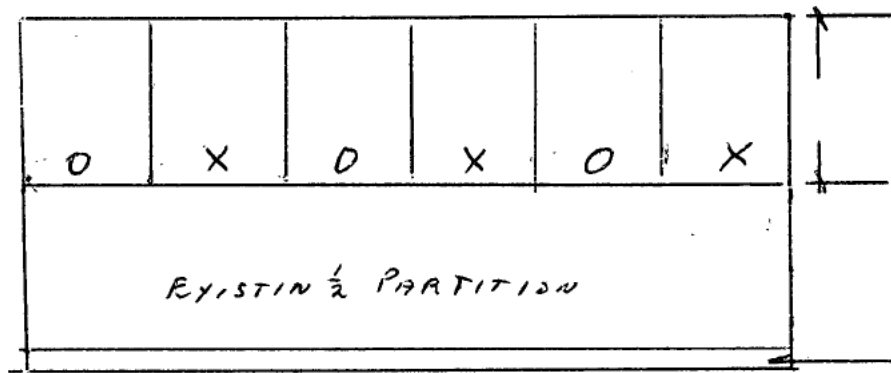
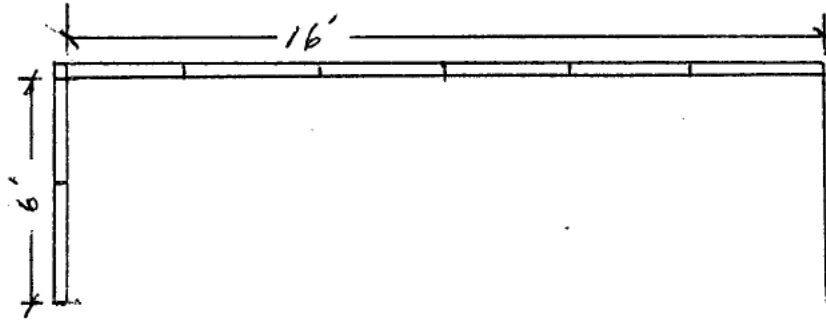
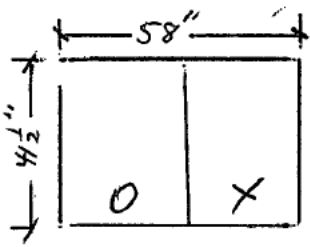
The Council representing the owners of the above condominiums, Strata Plan # NW 240 has agreed & given permission for s.22 of Suite 307 to enclose & glass in s.22 balcony, with the proviso that the construction of same will not conflict with the appearance of the rest of the building.

V. Brander
Chairman of Council
Ste. 207

ALLIED ALUMINUM PRODUCTS

STE. 203 - 20701 NO. 10 LANGLEY BY PASS
LANGLEY, B.C. V3A 5E8

PHONE: 530-9044
EVENINGS: 534-9156



2x6 FINA PAINTED

Redacted S. 22

D.7.

THE CITY OF WHITE ROCK
PERMIT TO BUILD

Date: JULY 16 19 99 Roll # 2006-27 Dev. Permit No. WK Permit No. 477BC

Owner: **Redacted S. 22**
Address: **Redacted S. 22**
Architect: H. S. COIT.
Contractor: H. S. COIT.
Contractor's Address: 4361-232 AVE LAMB

Location: 402 - 1381 MARTIN
Legal: STRATA 27 SEC 10 T.1 NW.651
Dev. Permit Area: N 1A Zone: 44C2B
Occupancy: STRATA APT.
Name of Project: REMOVE WALLS REPLACE WITH CONCRETE BEAM.

Description of Construction: FRAM & FINISH Lot Size: _____
Truss Plan Req'd.: _____ Survey Plan Req'd.: _____ Max. Height: _____
Size: _____ Storeys: _____ Min. Yards: Front: EXISTING 16 L. Side: _____ Rear: _____

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				
Ext. Walls				
Floors, Joists				
Live Loads		<u>A 5</u>	<u>PER</u>	<u>CODE</u>

AS PER CODE

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$	<u>1000.00</u>
Permit Fee	\$	<u>31.00</u>
	\$	
	\$	
Total Fees	\$	<u>1031.00</u>

Owner or Authorized Agent: **Redacted S. 22** Building Inspector: [Signature] (OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SURVEY PLAN REC'D:
TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY
BUILDING COMPLETE
GRANTED



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,
White Rock, B.C.
Tel. No.: 531-9111
Fax.No.: 538-6049

Inspection Report

NAME: *HS CONTRACTING 533-2229, Case 722-9229* PERMIT No.

ADDRESS: *402-1381 MARTIN ST* SHEET No. *1*

TYPE OF INSPECTION: *FINAL* DATE: *Aug 4/99*

AREA OF INSPECTION:

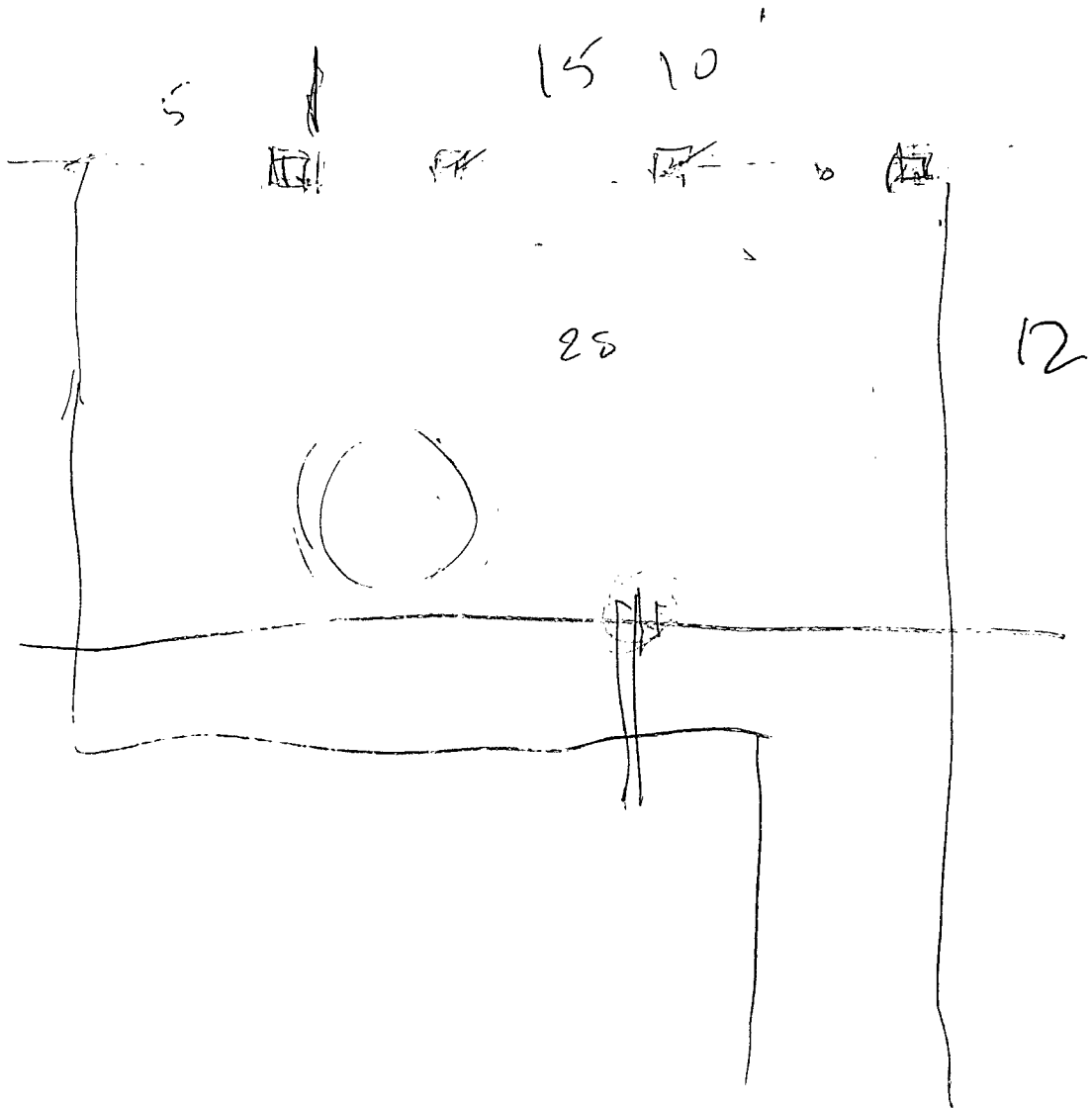
Limited Renovation

FINAL INSPECTION PASSED

SIGNATURE: INSPECTOR: *[Signature]*

DATE:

Please sign this form when the work is completed and return to the above department.





THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES
15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,
White Rock, B.C.
Tel. No.: 531-9111
Fax.No.: 538-6049

Inspection Report

NAME: *H.S. Construction* PERMIT No.

ADDRESS: *402-1381 Martin* SHEET No. *1*

TYPE OF INSPECTION: DATE: *July 27/99*

AREA OF INSPECTION:

- Frame of new beams to kitchen area passed.
- Insulation repairs passed.
- OK to board.

SIGNATURE: INSPECTOR: *[Signature]*

DATE:

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK

DEPARTMENT OF PERMITS & LICENCES

15322 Buena Vista Avenue, White Rock, B.C. V4B 1Y6

City Hall,
White Rock, B.C.
Tel. No.: 531-9111
Fax.No.: 538-6049

Redacted S. 22 **Inspection Report**

H.S. CONT.

NAME:
ADDRESS: 402-1381 Martin St
TYPE OF INSPECTION: Frame
AREA OF INSPECTION:
PERMIT No.
SHEET No. 1
DATE: July 19/ 99

1 ok for 2 - 2x12 beams on
2 - 2x4" cripples each end

* Provide studs, 2 - 2x4" cripples @ west end
of north beam.
1/2" plywood gusset along south side of
curb wall @ base

Conspect consultant - 2 step

Jane Custodio Barronsguard

SIGNATURE: INSPECTOR: [Signature]
DATE:

Please sign this form when the work is completed and return to the above department.



THE CORPORATION OF THE CITY OF WHITE ROCK
DEPARTMENT OF PERMITS & LICENCES

TEL: 541-2136
FAX: 541-2153
15322 Buena Vista Ave.

APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

Corporation of the City of White Rock, B.C. July 19~~th~~, 1999

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to ALTER THE the building as follows:

OPEN KITCHEN TO DINING AREA

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: L4C28 Development Permit # N4

Correct description of property STRATA 27 SEC 10 T.1 NW 651

Street 402 1381 MARTIN ST. Size of land

Survey Plan required No Yes

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for? STRATA APT.

How heated?

Entire value, when completed \$ 1000.00

Name and mail address of owner Redacted S. 22 Phone:

402 1381 MARTIN ST.

Name and mail address of builder H.S. CONTRACTING Phone: 533-2229

4361-232 LANGLEY

Name and address of architect (if any) —

Name and address of person or persons to whom permit is to be issued:

Name BUILDER Address

Do you require to use street for placing material? NO

How long? — Days —

And I agree to conform to all requirements of said By-Law.

Roll No. 2006-027 Signature of Applicant: [Signature]

Building Permit Fee: 35.00 Ref.

Plan Checking Fee:

Permit No. 09980

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

THE CITY OF WHITE ROCK

PERMIT TO BUILD

Date: Aug 11 19 94 Roll # _____ Dev. Permit No. _____ Permit No. 131-94

Owner: **Redacted S. 22**
 Address: **Redacted S. 22**
 Architect: _____
 Contractor: SAME
 Contractor's Address: _____

Location: # 402 - 1381 MARTIN ST.
 Legal: _____
 Dev. Permit Area: _____ Zone: _____
 Occupancy: _____
 Name of Project: ASO SKYLITE

Description of Construction: _____ Lot Size: _____
 Truss Plan Req'd.: _____ Survey Plan Req'd.: 92 CODE Max. Height: _____
 Size: _____ Storeys: _____ Min. Yards: Front _____ R. Side _____ L. Side _____ Rear OK.

	Basement	1st	2nd	Roof
Basement				
Footings				
Columns				
Beams				
Stairways				
Int. Partitions				
Heating				
Ventilation				
Insulation				
Plans Filed				

92
Code

AS PER CODE

The approval of these plans shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.

Value	\$ 1,000.-
Permit Fee	\$ 35.-
M.F.	\$ 10.-
	\$
Total Fees	\$ 45.-

Owner or Authorized Agent: **Redacted S. 22** Building Inspector: [Signature] (OVER)

DATE OF INSPECTION

TYPE OF INSPECTION

REMARKS:

SURVEY PLAN REC'D:

TRUSS PLAN REC'D:

PROVISIONAL OCCUPANCY

BUILDING COMPLETE

GRANTED



THE CORPORATION OF THE CITY OF WHITE ROCK
DEPARTMENT OF PERMITS & LICENCES

TEL: 531-9111
FAX: 538-6049
15322 Buena Vista Ave.

APPLICATION FOR BUILDING PERMIT

FOR ERECTION OR ALTERATION OF BUILDING

July 27, 1994

Corporation of the City of White Rock, B.C.

I hereby apply under the provisions of "White Rock Building By-law" and amendments thereto, for permission to the building as follows:

ADD SKYLITE

(Copy of Plan of Proposed Building or Alteration to Accompany this Application)

Zoning: Development Permit #

Correct description of property

Street 1381 MARTIN # 402 Size of land

Survey Plan required No [X] Yes []

Are there any buildings already occupying any portion of said land? YES

What are they, and what are they being used for?

How heated? Redacted S. 22

Entire value, when completed \$ Redacted S. 22

Name and mail address of owner Phone:

#402-1381 MARTIN STREET

Name and mail address of builder Phone:

AS ABOVE

Name and address of architect (if any)

Name and address of person or persons to whom permit is to be issued:

Name AS ABOVE Address

Do you require to use street for placing material?

How long? Days

And I agree to conform to all requirements of said By-Law.

Roll No. Signature of Applicant: Redacted S. 22

Building Permit Fee:

Plan Checking Fee:

Permit No. 131-94

The approval of the plans and the issuance of a permit shall not in any way relieve the owner of any building or structure from full responsibility for carrying out the work or having the work carried out in accordance with the requirements of all the applicable by-laws of the Corporation of the City of White Rock.