

September 22, 2023

FOI No: 2023-48

Redacted S. 22

Email Redacted S. 22

Dear s.22

Re: Request for Records  
Freedom of Information and Protection of Privacy Act

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The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *The following information is requested in regards to 15482 Semiahmoo Ave, White Rock and the request covers all information from Jan 1, 2014 to present day:*
  1. *All tree management permit applications along with supporting documents submitted*
  2. *Building plans/architectural drawings that had been submitted with an application for a building permit, whether approved or not*
  3. *For any building permit applications not approved by the city, the reason for not approving*
  4. *Tree surveys/tree reports/arboursists reports the city may have for the property*
  5. *Topographical surveys of the property*
  6. *All site plans showing details of lot shape and size with setbacks of the building to the property that were submitted as part of a building permit application*
  7. *The name and contact info of the arbourist and the company that performed any tree survey or arbourists report*
  8. *All information regarding whether an oil tank removal permit was applied for and whether the permit was issued*
  9. *A copy of the oil tank remediation report if the oil tank was removed*

Access to the records requested is available, however, some of the information in the records is excepted from the disclosure requirements of the Act. I have severed the excepted information so that I could disclose to you the remaining information as attached.

Corporate Administration

P: 604.541.2212 | F: 604.541.9348

City of White Rock

15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

**WHITE ROCK**  
*City by the Sea!*

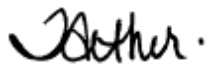
[www.whiterockcity.ca](http://www.whiterockcity.ca)

The severed information is excepted from disclosure under section 22 of the Act. Severing under section 22 is necessary to avoid disclosing third-party personal information without permission.

We have also located copyright pages, which have been included with this response. These pages include drawings released subject to the Federal *Copyright Act* and in accordance with the *Freedom of Information and Protection of Privacy Act*, and further copies must not be made without permission of the holder of the copyright.

Please contact me if you have any questions or concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Arthur", with a small dot at the end.

Tracey Arthur  
Director of Corporate Administration

Att.

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner for British Columbia  
PO Box 9038 Stn. Prov. Govt.  
Victoria BC, V8W 9A4

Telephone 250-387-5629  
E-mail: [info@oipc.bc.ca](mailto:info@oipc.bc.ca)

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

June 21, 2012.

**Redacted S. 22**

Redacted S. 22

City of White Rock  
Planning Department

To whom it may concern;

I have a legal survey, plan 11869, describing the distance between **s.22** and the property line adjacent to 15482 Semiahmoo Ave., as being 6.1 feet on the east side of the property. This being the case the fir trees planted on the side and rear of the house are directly on the property line. Therefore, I must be consulted before any work on the trees that requires a permit, is granted.

Yours sincerely,

**Redacted S. 22**





## TREE MANAGEMENT PERMIT APPLICATION FORM

File # \_\_\_\_\_

**1. Type of Application:**

Type 1:

- Dead or Hazardous Tree
- Removal of Structural Root in Critical Root Zone

Type 2:

- Unwanted Tree

Type 3: Removal in conjunction with

- Building Permit
- Development Permit
- Subdivision
- Demolition Permit

**2. Description of Application:**

Civic Address(s): 15482 SEMIAHMO AVENUE

PID(s): 0-0-2 2-4-4 6-1-6

Number of trees proposed to be cut: \_\_\_\_\_

Tag number(s): as per the Tree Assessment Report \_\_\_\_\_

Tree Management Area:

- Ravine Land
- Significant Stand of Mature Trees
- Ecosystem Enhancement Area

Minor Development Permit: *ONLY for Ravine Lands & Significant Stands of Mature Trees Areas*

DP#: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**3. Owner / Applicant Information:**

Registered Owner of the property (ies):

Name (please print) <b>CROWN CONTRACTING LIMITED</b>		E-mail <b>jhartshorn@crowcontracting.ca</b>
Address <b>19475 54 AVE</b>	City <b>SURREY</b>	Postal Code <b>V3S 7X2</b>
Phone <b>604-532-0033</b>	Cell <b>604-328-7025</b>	Fax <b>604-532-2044</b>

Applicant: *To be completed ONLY if applicant is not the owner*

Name (please print)		E mail
Address	City	Postal Code
Phone	Cell	Fax

**4. Submission Requirements:**

	Req'd	Rec'd	Details
<b>General</b>			
State of Title Certificate			Dated no more than 7 days from date of application submission
Agent Authorization			If applicant is not the subject property owner
Proof of Business Ownership			If registered owner is a company
Lobbyist Form			Must be completed by all applicants / agents
Tree Assessment Report			Prepared by a Certified Arborist. Not required for Type 1 requests if documentation provided confirming tree is an imminent hazard
Rationale for Removal			Letter from property owner and photos of tree(s) to be cut / removed
<b>Type 1 Applications</b>			
Letter of Consent			From adjacent property owner for removal of structural root of tree on adjacent property
<b>Type 2 Applications</b>			
Tree Survey			Prepared by a BC Land Surveyor
<b>Type 3 Applications</b>			
Tree Survey			Prepared by a BC Land Surveyor
Coordinated Site Development Plan			Coordinated and signed by owner/agent and all project consultants
<b>Other</b>			
Geotechnical			May be required for steeply sloped lots, prepared by a qualified Geotechnical Engineer

**5. Consent:**

Applicant:

In consideration of the issuance of a Tree Management Permit as a result of this application, the applicant agrees to indemnify and save harmless the City, its elected and appointed officials, officers, employees, servants and agents from and against all claims, losses damages, costs, expenses, including investigatory and legal expenses and other actions caused by or attributable to any willful or negligent act, omission, delay, or allegations thereof on the part of the applicant or owner and their employees, sub-contractors or agents related in any way to the Tree Management Permit. The applicant also agrees that this provision shall survive the termination of the Tree Management Permit. As the applicant, I am aware of, understand and intend to comply with all the regulations and requirements of the "White Rock Tree Management Bylaw, 2008, No. 1831" and certify that all information provided with this application is correct and true. I further understand that a non-refundable fee of \$ 150.00 is payable at time of application.

Aug. 23 / 2013  
 \_\_\_\_\_  
 (Date)

Jason HARTSHORNE  
 \_\_\_\_\_  
 (Name: Please Print)

[Signature]  
 \_\_\_\_\_  
 (Applicant Signature)

Registered Owner(s) of property (ies): To be completed ONLY if applicant is not the owner

As the registered owner(s) of the subject site(s), I/we certify that the information in this application is correct and true and acknowledge that although I/we are not the applicant, I/we are also responsible for compliance with all provisions of the "White Rock Tree Management Bylaw, 2008, No. 1831".

\_\_\_\_\_  
 (Date)

\_\_\_\_\_  
 (Name: Please Print)

\_\_\_\_\_  
 (Registered Owner Signature)

\_\_\_\_\_  
 (Date)

\_\_\_\_\_  
 (Name: Please Print)

\_\_\_\_\_  
 (Registered Owner Signature)



van der Zalm + associates inc.  
Landscape Architecture • Environmental Planning • Urban Design

August 7, 2013

Project: RESIDENTIAL DEVELOPMENT  
Site Location: 15482 Semiahmoo Avenue, White Rock, B.C.

Thank you, for choosing van der Zalm and associates inc. to provide your professional Project Arborist services for this project.

A site review and evaluation of the tree identified on the tree survey provided by the project owner or consultant at the above location has been completed. The site review included identifying and detailing tree type, existing tree condition. The purpose of the report is to assess and report on the tree(s) located on the lot identified as Civic address 15482 Semiahmoo Avenue, White Rock, BC, in accordance with the City of White Rock Tree Management Bylaw, 2008 No. 1831. This location is within the 'Ecosystem Enhancement Area' and is therefore subject to the completion of both an Arborist Report and Coordinated Site Development Plan (CSDP - for the protection of trees during the excavation / construction phase of the project).

If you have any further questions or concerns regarding this report please contact the under signed at: 604.882.0024

Yours truly,

van der Zalm & associates

Kelly Koome  
Project Arborist  
ISA Certified Arborist PN 5962A  
Certified Tree Risk Assessor #185

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van der Zalm + associates inc.\*

P 604.882.0024 F 604.882.0042

Suite 1, 20177 97 Avenue  
Langley, British Columbia  
V1M 4B9

City Office:  
Suite 2200, 1177 West Hastings  
Vancouver, British Columbia  
V3E 2K3



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**ARBORIST REPORT**

PROJECT:

**RESIDENTIAL DEVELOPMENT**

CLIENT:

**Crown Contracting Limited**

PREPARED BY:

**VAN DER ZALM + ASSOCIATES INC.  
Suite 1, 20177 97 Avenue  
Langley, B.C.  
Phone: 604-882-0024**

PROJECT ARBORIST

**KELLY KOOME**

**AUGUST 7, 2013**

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### **Arborist Report**

Project: RESIDENTIAL DEVELOPMENT  
Project No.: AR 1213-04  
Client: Crown Contracting Limited  
Site Address: 15482 Semiahmoo Avenue, White Rock, BC

Project Arborist: Kelly Koome  
ISA Certified Arborist PN 5962A  
Certified Tree Risk Assessor #185

### **Scope of Work**

van der zalm and associates have been retained by the client to prepare a report to assess the tree at civic address 15482 Semiahmoo Avenue, White Rock, BC. The Project Arborist performs a site review entailing identification and visual assessment of the tree(s) on site based on the tree survey provided by the client or representative(s). Provide recommendations for the retention or removal of tree(s) on this site based on the existing site conditions and the proposed use of the site. Mitigation of development impact on the tree(s) has been considered as part of the tree assessment process.

### **Proposed Site Development**

The development of lot for residential housing.

### **Site Review**

The Project Arborist conducted a site review and evaluation of the tree located at the above referenced property on August 1st. The site review entailed identification and visual assessment of the tree(s) on site based on the tree survey provided by the project owner or representative(s).

### **Environmental Description**



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### **Arial view of property - middle house with mature cedars on north side**

The topography of the property is reasonably level. The soil profile of the site indicates the grade has not been altered in many years. There is a back lane behind the house that runs west to east on the south side of the lot.

There is no water course registered with the Ministry of Water, Land and Air Pollution and no evidence of raptors nests, osprey nests or heron colonies on the site.

#### **City Trees**

There is one City tree associated with this project.

#### **Off- Site Trees**

As defined by the City of White Rock Tree Management Bylaw, 2008 No. 1831, "a tree of any size planted either on the property line or on neighboring properties" there are off-site trees associated with this project.

### **DEVELOPMENT IMPACT ASSESSMENT AND MITIGATION**

#### **Impact on Trees by Proposed Development**

The proposed development and the current site plan does allow for the retention of the trees associated with this project.

#### **Tree Removal Impact – Neighboring Properties & Off-Site Trees**

The removal of trees from this site may impact the adjacent lots or the off site trees growing on them. This location is within the 'Ecosystem Enhancement Area' and is therefore subject to the completion of a Coordinated Site Development Plan (CSDP - for the protection of trees during the excavation / construction phase of the project).

#### **Limitations**

This report is valid for the day the trees were reviewed. This report is not to be re-printed, copied, published or distributed with out prior approval by van der Zalm + associates.

Sketches, diagrams and photographs contained in this report being intended as visual aids, should not be construed as engineering reports or legal surveys.

Only the subject tree(s) was inspected and no others. This report does not imply or in any other way infer that other trees on this site or near this site are sound and healthy.

The tendency of trees or parts of trees to fall due to environmental conditions and internal problems are unpredictable. Defects are often hidden within the tree or underground. The project arborist has endeavored to use his skill, education and judgment to assess the potential for failure, with reasonable methods and detail. It is the owner's responsibility to maintain the trees and inspect the trees to reasonable standards and to carry out recommendations for mitigation suggested in this report.

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### Tree Assessment Data

Tree #	Common Name (Botanical Name)	DBH (m.)	Condition	Comments
01	Western Red Cedar Thuja plicata	0.93	Fair	Mature specimen located in front yard on northeast side of lot. Previously topped at (20) meters. Live Crown Ratio (LCR) = 75%. Lower limbs pruned for (7) meters above base. Pruning left some 'stubs', some partial & full occlusion cuts. Metal wire wrapped around trunk at (2) meters.  <b>SUITABLE FOR RETENTION</b>
02	Western Red Cedar Thuja plicata	0.82	Fair	Mature specimen located in front yard on north side of lot. Previously topped at (20) meters. Live Crown Ratio (LCR) = 75%. Lower limbs pruned for (7) meters above base. Pruning left some 'stubs', some partial & full occlusion cuts. Metal wire wrapped around trunk at (2) meters.  <b>SUITABLE FOR RETENTION</b>
03	Western Red Cedar Thuja plicata	1.06	Fair	Mature specimen located in front yard on north side of lot. Previously topped at (20) meters. Live Crown Ratio (LCR) = 75%. Lower limbs pruned for (7) meters above base. Pruning left some 'stubs', some partial & full occlusion cuts. Numerous lateral limbs bending upward. Damaged surface roots with some girdling roots present. Roots of this tree extend alongside west side of existing house for (8) meters.  <b>SUITABLE FOR RETENTION</b>
04	Rhododendron Rhododendron (sp)	0.24 @ 60 cm from base	Good	Mature ornamental shrub located in front yard. Paving stones around base of trunk. Small wound in trunk at 30 cm from base.  <b>SUITABLE FOR RETENTION</b>
05	Western Red Cedar Thuja plicata	Cluster of (4) trees 0.20 – 0.70	Good	<b>City of White Rock</b> trees located in northwest corner. It is within (2) meters of property line. LCR = 95%  <b>SUITABLE FOR RETENTION</b>

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Tree #	Common Name (Botanical Name)	DBH (m.)	Condition	Comments
06	Douglas Fir <i>Pseudotsuga menziesii</i>	0.43	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bows @ 3 meters and straightens out at (7) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
07	Douglas Fir <i>Pseudotsuga menziesii</i>	0.36	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (4) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
08	Douglas Fir <i>Pseudotsuga menziesii</i>	0.57	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (3) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
09	Douglas Fir <i>Pseudotsuga menziesii</i>	0.25 / 0.25	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (1.3) meters. Trunks lean southwest before straightening. Numerous dead interior branches. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
10	Douglas Fir <i>Pseudotsuga menziesii</i>	0.35	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
11	Douglas Fir <i>Pseudotsuga menziesii</i>	0.25	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
12	Douglas Fir <i>Pseudotsuga menziesii</i>	0.30	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (4) meters. Looks to have been topped about 15 years ago. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>

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Tree #	Common Name (Botanical Name)	DBH (m.)	Condition	Comments
13	Douglas Fir <i>Pseudotsuga menziesii</i>	0.46	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk has uneven taper. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
14	Douglas Fir <i>Pseudotsuga menziesii</i>	0.36	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
15	Douglas Fir <i>Pseudotsuga menziesii</i>	0.41	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). In reasonable condition. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
16	Douglas Fir <i>Pseudotsuga menziesii</i>	0.41	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (3) meters with multiple leaders. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
17	Norway Maple <i>Acer platanoides</i>	0.31	Fair	Located on south side of lot in back yard. Previously topped with old pruning wounds and some decay present.  <b>SUITABLE FOR RETENTION</b>
18	<i>Ilex aquifolium</i> Common Holly	0.22	Fair	Located in southeast corner of lot. Previously topped.  <b>SUITABLE FOR RETENTION</b>
19	<i>Acer circinatum</i> Vine Maple	0.08	Fair	Off-site tree located on neighbor's property (15476 Semiahmoo Ave) near southwest corner of lot adjacent to row of Douglas Firs. It is within (2) meters of property line. Vertical cavity near base. Leaning westward. Roots of this tree likely extend into row of Douglas Fir along property line.  <b>RETAIN</b>

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Tree #	Common Name (Botanical Name)	DBH (m.)	Condition	Comments
20	Prunus (sp) Wild Plum	0.15 / 0.21	Good	Off-site fruit tree located on neighbor's property (15476 Semiahmoo Ave) near southwest corner of lot adjacent to row of Douglas Firs. It is within (2) meters of property line. Leaning westward. Roots of this tree are may extend into row of Douglas Fir along property line.  <b>RETAIN</b>

### Tree Data Ratings Description

Defines condition of a tree on a site at the time of the tree review.

Good: Good form and structure, healthy with no defects.

Fair: healthy but has some defects such as co-dominant trunk, dead branches.

Poor: multiple defects, disease, poor structure and or form, root and or canopy damage.

Hazardous: Significant hazard exists with a high risk of immediate failure, which could result in serious damage to property or person(s).

### Specifications for Construction

Failure to meet these specifications will result in inspection failure and subsequent delay in issuance of other permits:

1. 1.2 m (~4') height
2. 2"x4"s to be used for vertical posts, top and bottom rails and cross-bracing (in an "X"); round, un-treated vertical posts may be used with a minimum diameter of 9 cm
3. Spacing between vertical posts to be no further apart than 3.7 m (12') on centre
4. Structure must be sturdy with vertical posts driven firmly into the ground
5. Continuous plastic mesh screening (e.g. orange snow fencing)
6. Posted with visible signage advising that encroachment inside the protected area is forbidden
7. Located at distances based on tree diameter, use table below:

Trunk Diameter (DBH) measured at 1.4 m from the ground	Critical Root Zone minimum fence distance from the tree
20 cm (7.9")	1.2 m (3.9')
25 cm (9.8")	1.5 m (4.9')
30 cm (11.8")	1.8 m (5.9')
35 cm (13.8")	2.1 m (6.9')
40 cm (15.7")	2.4 m (7.9')
45 cm (17.7")	2.7 m (8.9')
50 cm (19.7")	3.0 m (9.8')
55 cm (21.7")	3.3 m (10.8')
60 cm (23.6")	3.6 m (11.8')
75 cm (29.5")	4.5 m (14.8')
90 cm (35.4")	5.4 m (17.7')
100 cm (39.4")	6.0 m (19.7')

- For distances not on this table divide the DBH (in cm) by 16.6
- Example: 80 cm ÷ 16.6 = 4.8 m

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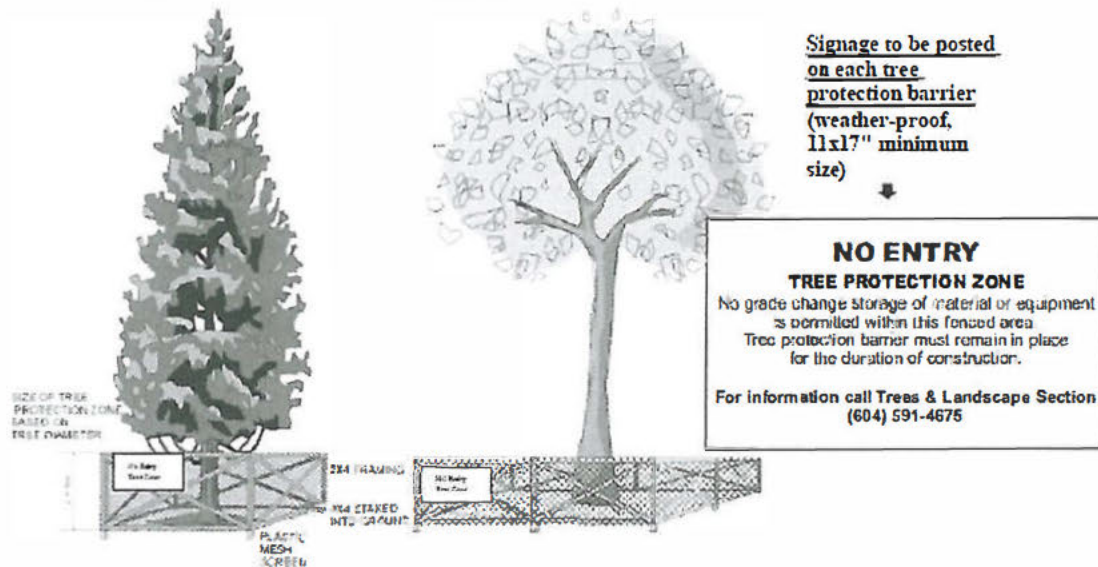
## Tree Protection Diagram

### If There Are Obstacles to Installation Underneath Tree

If the critical root zone of any tree is within an existing building, asphalt or accessory building, an independent Certified Arborist *must* be on-site during demolition. The barrier then must be constructed at the appropriate distance before the Building Permit will be issued.

### Shared Ownership Trees and Neighbour's Trees

- The distance table above must be used to determine location of tree protection fencing for shared trees and trees on adjacent properties, of any size.
- Barriers for shared trees and trees on adjacent property *must* be installed to the property line.
- Where shared trees and trees on adjacent property may require removal, written authorization from the neighbour must be obtained before applying for a tree cutting permit.



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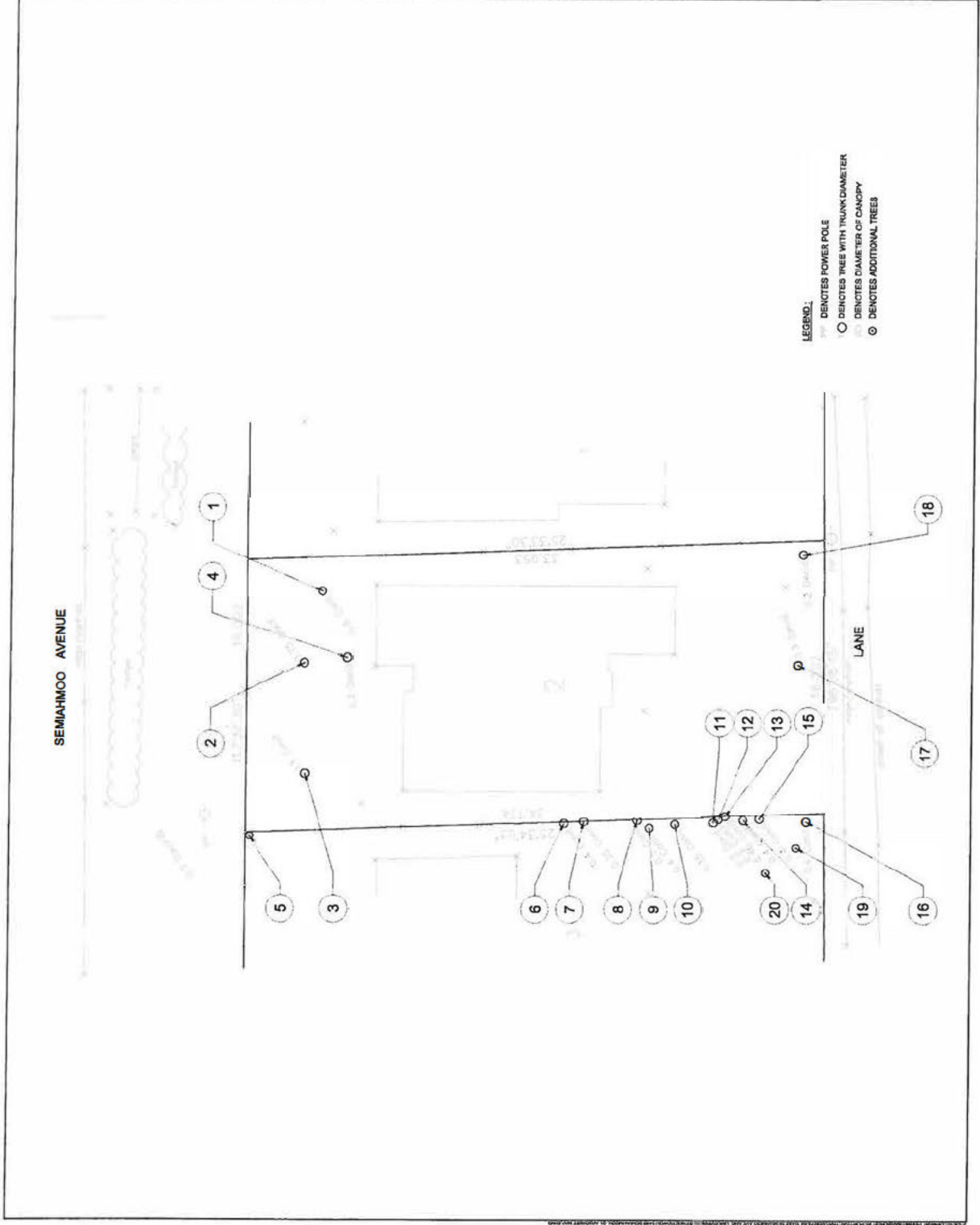




NO.	REVISION	DATE
1	Issue for Submission	AUG 1, 2013
2	Issue for AR2013-04	2013

Project:  
 Location:  
 SEMIAHMOO AVE  
 White Rock, BC

Drawn:	RB
Checked:	MAJ/22
Approved:	MAJ/22
Scale:	1:100
Original Date (Yr/Mo):	AUG 8, 2013



LEGEND:  
 — DENOTES POWER POLE  
 ○ DENOTES TREE WITH TRUNK DIAMETER  
 ○ DENOTES DIAMETER OF CANOPY  
 ○ DENOTES ADDITIONAL TREES

**BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE SHOWING EXISTING ELEVATIONS AND TREES ON LOT 2 SECTION 11 TOWNSHIP 1**

**NWD PLAN 11869**

Current Civic Address:

15482 Semiahmoo Avenue  
White Rock, B.C.

SCALE : 1:250

property dimensions are derived from Land Title Office records

All elevations are "natural grade" unless noted otherwise

Note:

All dimensions are in metres.

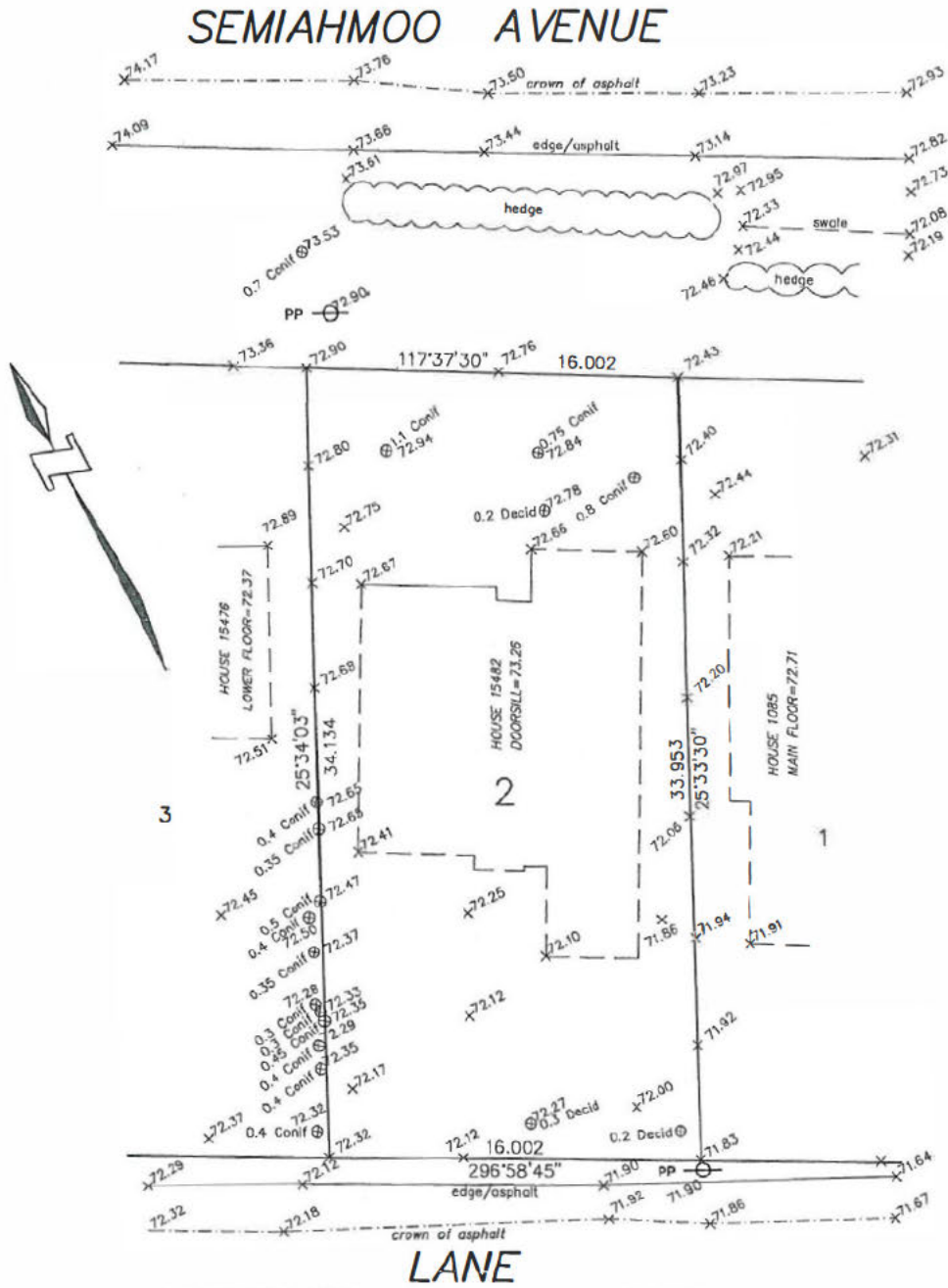
This plan is NOT to be used for location of property lines.

Elevations are based on City of White Rock Geodetic datum, Mon No. 88H3895

Elevation = 86.146m

Only trees with a diameter of at least 0.25m are shown

This plan does not show non plan charges, liens or interests.



© COPYRIGHT  
DHALIWAL AND ASSOCIATES  
LAND SURVEYING INC.  
121 13140 80th Avenue  
Surrey, B.C. V3W 3B2  
Phone: 604 501-6188  
Fax: 604 501-6189  
File: 1306163 T01.DWG

THIS DOCUMENT IS NOT VALID UNLESS  
ORIGINALLY SIGNED AND SEALED

Date of Survey  
18th day of July, 2007  
GENE PAUL NIKUL  
BRITISH COLUMBIA  
LAND SURVEYOR  
NO. 803  
B.C.L.S. 803

August 29, 2013

Redacted S. 22

15476 Semiahmoo Avenue  
White Rock, BC V4B-1T8

Dear Redacted S. 22:

**Subject: Letter of Understanding – Tree Management at 15482 Semlahmoo Avonuo**

This letter is your notification that Jason Hartshorne (Crown Contracting Limited) has applied for a demolition permit at 15482 Semiahmoo Avenue. This property is within a Tree Management Area and subject to the provisions of the City of White Rock's *Tree Management Bylaw No. 1831*, a copy of which is available online at: <http://www.city.whiterock.bc.ca/2005Bylaws/Frequent-Requests.html>.

The project arborists, van der Zalm + associates inc, have identified a row of trees along the property line that will be protected throughout the demolition process. All work will be done in accordance with the Arborist Report and under the direct supervision of the project arborists.

If you have any questions with respect to the Tree Management Bylaw please contact Planning and Development Services at 604-541-2136 or at [planning@whiterockcity.ca](mailto:planning@whiterockcity.ca).

*Applicant* Signature of owner of 15482 Semiahmoo Av

*Neighbour* Signature of owner of 15476 Semiahmoo Av

**Redacted S. 22**



van der Zalm + associates inc.  
Landscape Architecture • Environmental Planning • Urban Design

October 1, 2013

Project: RESIDENTIAL DEVELOPMENT  
Site Location: 15482 Semiahmoo Avenue, White Rock, B.C.

Thank you, for choosing van der Zalm and associates inc. to provide your professional Project Arborist services for this project.

A site review and evaluation of the tree identified on the tree survey provided by the project owner or consultant at the above location has been completed. The site review included identifying and detailing tree type, existing tree condition. The purpose of the report is to assess and report on the tree(s) located on the lot identified as Civic address 15482 Semiahmoo Avenue, White Rock, BC, in accordance with the City of White Rock Tree Management Bylaw, 2008 No. 1831. This location is within the 'Ecosystem Enhancement Area' and is therefore subject to the completion of both an Arborist Report and Coordinated Site Development Plan (CSDP - for the protection of trees during the excavation / construction phase of the project).

If you have any further questions or concerns regarding this report please contact the under signed at: 604.882.0024

Yours truly,

van der Zalm & associates

Kelly Koome  
Project Arborist  
ISA Certified Arborist PN 5962A  
Certified Tree Risk Assessor #185

---

van der Zalm + associates inc.\*

P 604.882.0024 F 604.882.0042

Suite 1, 20177 97 Avenue  
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City Office:  
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V3E 2K3



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Landscape Architecture • Environmental Planning • Urban Design

**ARBORIST REPORT – ADDENDUM 01**

PROJECT:

**RESIDENTIAL DEVELOPMENT**

CLIENT:

**Crown Contracting Limited**

PREPARED BY:

**VAN DER ZALM + ASSOCIATES INC.**  
Suite 1, 20177 97 Avenue  
Langley, B.C.  
Phone: 604-882-0024

PROJECT ARBORIST

**KELLY KOOME**

**OCTOBER 1, 2013**

---

**van der Zalm + associates inc.\***

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## **Arborist Report**

Project: RESIDENTIAL DEVELOPMENT  
Project No.: AR 1203-04  
Client: Crown Contracting Limited  
Site Address: 15482 Semiahmoo Avenue, White Rock, BC

Project Arborist: Kelly Koome  
ISA Certified Arborist PN 5962A  
Certified Tree Risk Assessor #185

## **Scope of Work**

van der zalm and associates have been retained by the client to prepare a report to assess the tree at civic address 15482 Semiahmoo Avenue, White Rock, BC. The Project Arborist performs a site review entailing identification and visual assessment of the tree(s) on site based on the tree survey provided by the client or representative(s). Provide recommendations for the retention or removal of tree(s) on this site based on the existing site conditions and the proposed use of the site. Mitigation of development impact on the tree(s) has been considered as part of the tree assessment process.

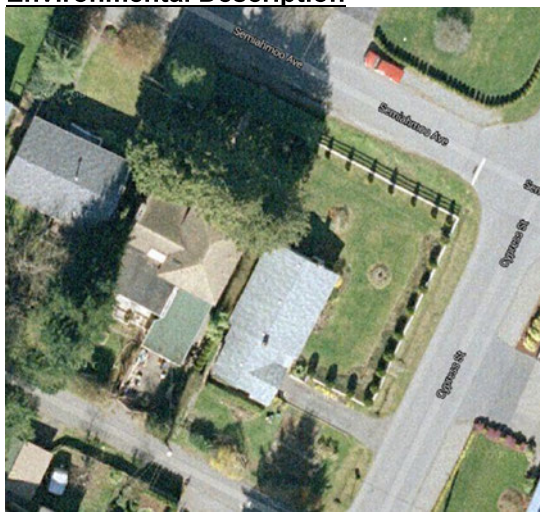
## **Proposed Site Development**

The development of lot for residential housing.

## **Site Review**

The Project Arborist conducted a site review and evaluation of the tree located at the above referenced property on August 1st. The site review entailed identification and visual assessment of the tree(s) on site based on the tree survey provided by the project owner or representative(s).

## **Environmental Description**



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### **Arial view of property - middle house with mature cedars on north side**

The topography of the property is reasonably level. The soil profile of the site indicates the grade has not been altered in many years. There is a back lane behind the house that runs west to east on the south side of the lot. **A family of raccoons was observed on-site and may be living in the building. Recommend removal ahead of demolition.**

There is no water course registered with the Ministry of Water, Land and Air Pollution and no evidence of raptors nests, osprey nests or heron colonies on the site.

### **City Trees**

There is one City tree associated with this project.

### **Off- Site Trees**

As defined by the City of White Rock Tree Management Bylaw, 2008 No. 1831, “a tree of any size planted either on the property line or on neighboring properties” there are off-site trees associated with this project.

## **DEVELOPMENT IMPACT ASSESSMENT AND MITIGATION**

### **Impact on Trees by Proposed Development**

The proposed development and the current site plan does allow for the retention of the trees associated with this project.

### **Tree Removal Impact – Neighboring Properties & Off-Site Trees**

The removal of trees from this site may impact the adjacent lots or the off site trees growing on them. This location is within the ‘Ecosystem Enhancement Area’ and is therefore subject to the completion of a Coordinated Site Development Plan (CSDP - for the protection of trees during the excavation / construction phase of the project).

The proposed excavation work will take place within the Tree Protection Zone (TPZ) of the Douglas Firs (Trees # 6 to 16) along the west side of the property (shared by the neighbor) and the Western Red Cedars (Trees # 1 to 3) on the north side of the house. To mitigate potential damage to the trees:

- 1. Project Arborist must be on-site to supervise any excavation or demolition work around the Tree Protection Zone (TPZ) of any trees on-site.**
2. If excavation work around the TPZ requires removing soil or changing the grade, hand dig near TPZ (to a depth of 24 inches) to expose any roots. Smaller non-structural roots can be cleanly pruned. If any larger structural roots are encountered during excavation the Project Arborist will decide the appropriate treatment. Changes to the excavation may need to be altered if this occurs.
3. It is important that the TPZ remain protected both during excavation and the subsequent construction. These trees should be inspected every 4 months during construction to assess their health and condition. Once construction is complete, a final inspection should be conducted.

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## Limitations

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Only the subject tree(s) was inspected and no others. This report does not imply or in any other way infer that other trees on this site or near this site are sound and healthy.

The tendency of trees or parts of trees to fall due to environmental conditions and internal problems are unpredictable. Defects are often hidden within the tree or underground. The project arborist has endeavored to use his skill, education and judgment to assess the potential for failure, with reasonable methods and detail. It is the owner's responsibility to maintain the trees and inspect the trees to reasonable standards and to carry out recommendations for mitigation suggested in this report.

### Tree Assessment Data

Tree #	Common Name ( <i>Botanical Name</i> )	DBH (m.)	Condition	Comments
01	Western Red Cedar <i>Thuja plicata</i>	0.93	Fair	Mature specimen located in front yard on northeast side of lot. Previously topped at (20) meters. Live Crown Ratio (LCR) = 75%. Lower limbs pruned for (7) meters above base. Pruning left some 'stubs', some partial & full occlusion cuts. Metal wire wrapped around trunk at (2) meters.  <b>SUITABLE FOR RETENTION</b>
02	Western Red Cedar <i>Thuja plicata</i>	0.82	Fair	Mature specimen located in front yard on north side of lot. Previously topped at (20) meters. Live Crown Ratio (LCR) = 75%. Lower limbs pruned for (7) meters above base. Pruning left some 'stubs', some partial & full occlusion cuts. Metal wire wrapped around trunk at (2) meters.  <b>SUITABLE FOR RETENTION</b>
03	Western Red Cedar <i>Thuja plicata</i>	1.06	Fair	Mature specimen located in front yard on north side of lot. Previously topped at (20) meters. Live Crown Ratio (LCR) = 75%. Lower limbs pruned for (7) meters above base. Pruning left some 'stubs', some partial & full occlusion cuts. Numerous lateral limbs bending upward. Damaged surface roots with some girdling roots present. Roots of this tree extend alongside west side of existing house for (8) meters.  <b>SUITABLE FOR RETENTION</b>

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Tree #	Common Name (Botanical Name)	DBH (m.)	Condition	Comments
04	Rhododendron Rhododendron (sp)	0.24 @ 60 cm from base	Good	Mature ornamental shrub located in front yard. Paving stones around base of trunk. Small wound in trunk at 30 cm from base.  <b>SUITABLE FOR RETENTION</b>
05	Common Cypress Cupressus sempervirens	Cluster of (4) trees 0.20 – 0.70	Good	<b>City of White Rock</b> trees located in northwest corner. It is within (2) meters of property line. LCR = 95%  <b>SUITABLE FOR RETENTION</b>
06	Douglas Fir Pseudotsuga menziesii	0.43	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bows @ 3 meters and straightens out at (7) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
07	Douglas Fir Pseudotsuga menziesii	0.36	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (4) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
08	Douglas Fir Pseudotsuga menziesii	0.57	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (3) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
09	Douglas Fir Pseudotsuga menziesii	0.25 / 0.25	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (1.3) meters. Trunks lean southwest before straightening. Numerous dead interior branches. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
10	Douglas Fir Pseudotsuga menziesii	0.35	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. LCR = 50%  <b>SUITABLE FOR RETENTION</b>

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Tree #	Common Name ( <i>Botanical Name</i> )	DBH (m.)	Condition	Comments
11	Douglas Fir <i>Pseudotsuga menziesii</i>	0.25	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
12	Douglas Fir <i>Pseudotsuga menziesii</i>	0.30	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (4) meters. Looks to have been topped about 15 years ago. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
13	Douglas Fir <i>Pseudotsuga menziesii</i>	0.46	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk has uneven taper. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
14	Douglas Fir <i>Pseudotsuga menziesii</i>	0.36	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
15	Douglas Fir <i>Pseudotsuga menziesii</i>	0.41	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). In reasonable condition. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
16	Douglas Fir <i>Pseudotsuga menziesii</i>	0.41	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (3) meters with multiple leaders. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
17	Norway Maple <i>Acer platanoides</i>	0.31	Fair	Located on south side of lot in back yard. Previously topped with old pruning wounds and some decay present. It will be negatively impacted by excavation work. It should be removed to allow access for demolition.  <b>RECOMMEND REMOVAL</b>

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Tree #	Common Name ( <i>Botanical Name</i> )	DBH (m.)	Condition	Comments
18	Ilex aquifolium Common Holly	0.22	Fair	Located in southeast corner of lot. Previously topped.  <b>SUITABLE FOR RETENTION</b>
19	Acer circinatum Vine Maple	0.08	Fair	Off-site tree located on neighbor's property (15476 Semiahmoo Ave) near southwest corner of lot adjacent to row of Douglas Firs. It is within (2) meters of property line. Vertical cavity near base. Leaning westward. Roots of this tree likely extend into row of Douglas Fir along property line.  <b>RETAIN</b>
20	Prunus (sp) Wild Plum	0.15 / 0.21	Good	Off-site fruit tree located on neighbor's property (15476 Semiahmoo Ave) near southwest corner of lot adjacent to row of Douglas Firs. It is within (2) meters of property line. Leaning westward. Roots of this tree are may extend into row of Douglas Fir along property line.  <b>RETAIN</b>

#### Tree Data Ratings Description

Defines condition of a tree on a site at the time of the tree review.

Good: Good form and structure, healthy with no defects.

Fair: healthy but has some defects such as co-dominant trunk, dead branches.

Poor: multiple defects, disease, poor structure and or form, root and or canopy damage.

Hazardous: Significant hazard exists with a high risk of immediate failure, which could result in serious damage to property or person(s).

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### **Specifications for Construction**

Failure to meet these specifications will result in inspection failure and subsequent delay in issuance of other permits:

1. 1.2 m (~4') height
2. 2" x 4"s to be used for vertical posts, top and bottom rails and cross-bracing (in an "X"); round, un-treated vertical posts may be used with a minimum diameter of 9 cm
3. Spacing between vertical posts to be no further apart than 3.7 m (12') on centre
4. Structure must be sturdy with vertical posts driven firmly into the ground
5. Continuous plastic mesh screening (e.g. orange snow fencing)
6. Posted with visible signage advising that encroachment inside the protected area is forbidden
7. Located at distances based on tree diameter, use table below:

<b>Trunk Diameter (DBH)</b> measured at 1.4 m from the ground	<b>Critical Root Zone</b> minimum fence distance from the tree
20 cm (7.9")	1.2 m (3.9')
25 cm (9.8")	1.5 m (4.9')
30 cm (11.8")	1.8 m (5.9')
35 cm (13.8")	2.1 m (6.9')
40 cm (15.7")	2.4 m (7.9')
45 cm (17.7")	2.7 m (8.9')
50 cm (19.7")	3.0 m (9.8')
55 cm (21.7")	3.3 m (10.8')
60 cm (23.6")	3.6 m (11.8')
75 cm (29.5")	4.5 m (14.8')
90 cm (35.4")	5.4 m (17.7')
100 cm (39.4")	6.0 m (19.7')

- For distances not on this table divide the DBH (in cm) by 16.6
- Example:  $80 \text{ cm} \div 16.6 = 4.8 \text{ m}$

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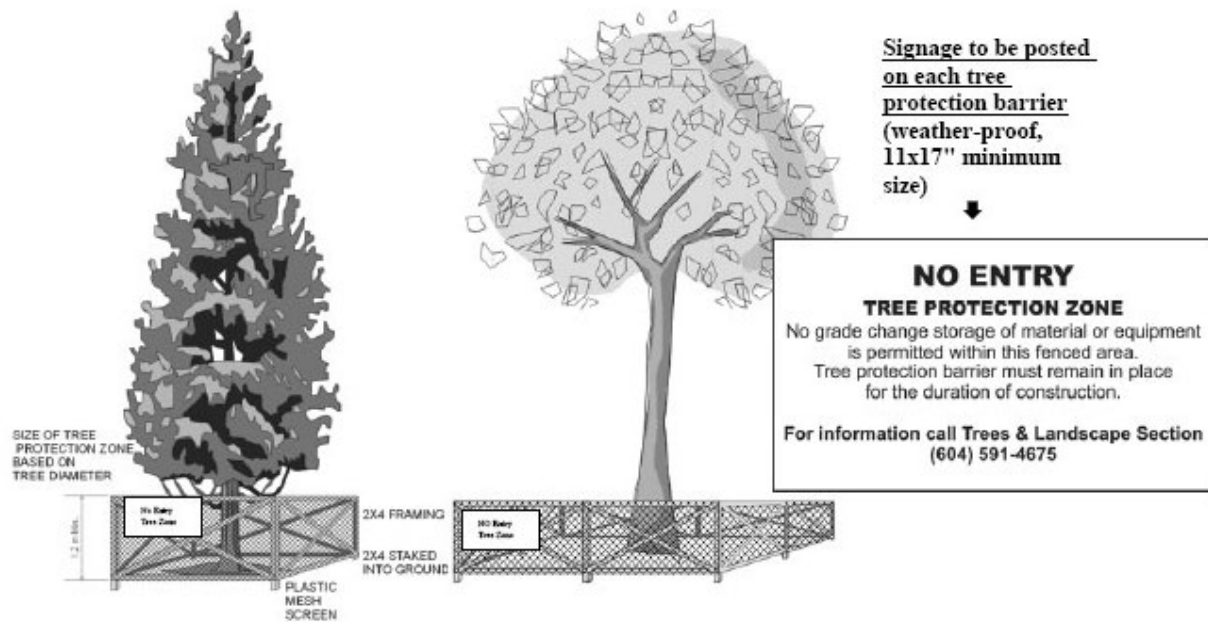
## Tree Protection Diagram

### If There Are Obstacles to Installation Underneath Tree

If the critical root zone of any tree is within an existing building, asphalt or accessory building, an independent Certified Arborist *must* be on-site during demolition. The barrier then must be constructed at the appropriate distance before the Building Permit will be issued.

### Shared Ownership Trees and Neighbour's Trees

- The distance table above must be used to determine location of tree protection fencing for shared trees and trees on adjacent properties, of any size.
- Barriers for shared trees and trees on adjacent property *must* be installed to the property line.
- Where shared trees and trees on adjacent property may require removal, written authorization from the neighbours must be obtained before applying for a tree cutting permit.



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### Arborist Report – Addendum\_01

Project: RESIDENTIAL DEVELOPMENT  
Project No.: AR 1203-04  
Client: Crown Contracting Limited  
Site Address: 15482 Semiahmoo Avenue, White Rock, BC  
Date: October 1, 2013

The requirements as outlined in the Arborist Report Addendum\_01 (dated October 1<sup>st</sup>) regarding demolition and excavation around the protected trees at 15482 Semiahmoo Avenue, White Rock, BC will be followed and the Project Arborist will be on-site for the demolition work.

---

Kelly Koome  
Project Arborist  
van der Zalm & associates  
ISA Certified Arborist PN 5962A  
Certified Tree Risk Assessor #185

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Jason Hartshorne  
Crown Contracting Limited

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Clearview Grinding Limited

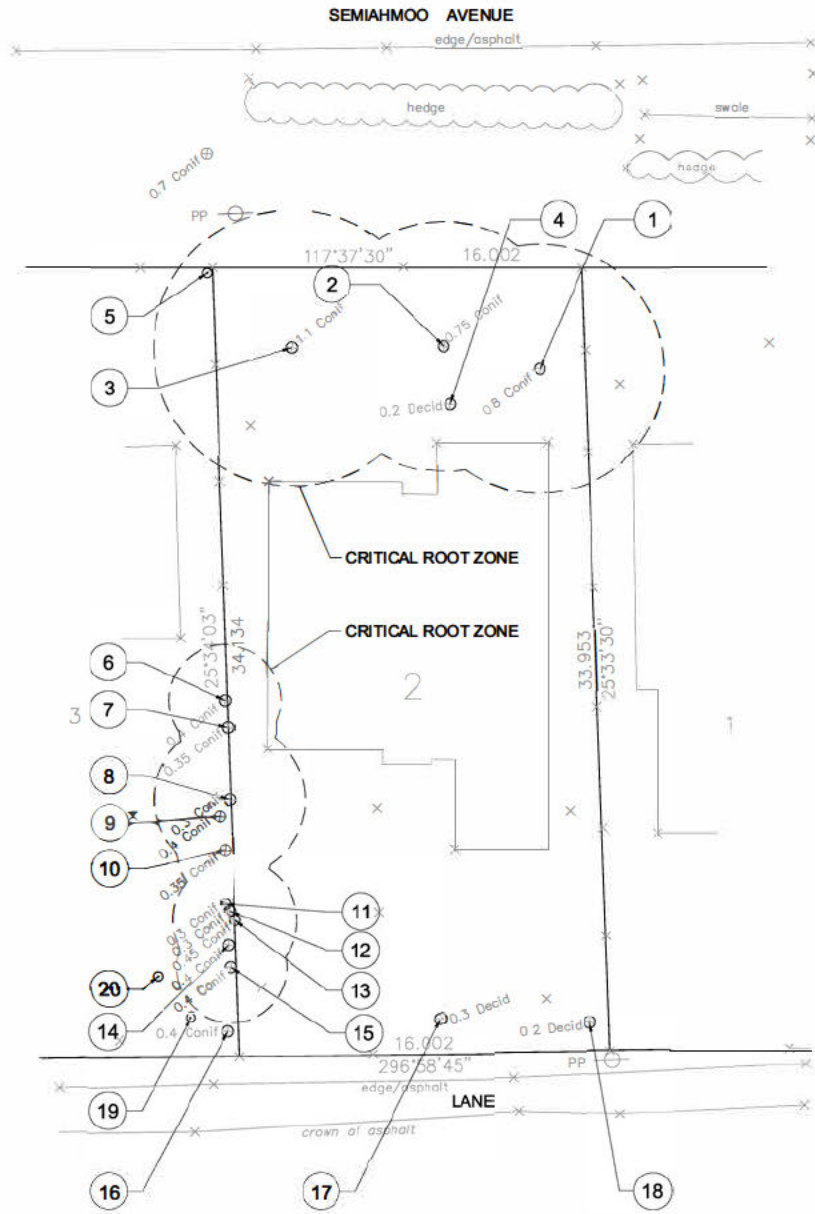
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**LEGEND**  
 PP DENOTES POWER POLE  
 T O DENOTES TREE WITH TRUNK DIAMETER  
 (C) DENOTES DIAMETER OF CANOPY  
 ⊙ DENOTES ADDITIONAL TREES



No.	Rev.	Description	Date
2	RS	Issued for Submission	Oct. 4, 2013
1	RS	Issued for Submission	Aug. 8, 2013

**Project**  
  
 Location:  
 15482 SEMIAHMOO AVE  
 White Rock, BC

Drawn: RS	Stamp:
Checked: MVDZ	
Approved: MVDZ	Original Start Date AUG 8, 2013
Scale: 1:100	CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS IN ACCORDANCE WITH THE BC FORESTRY ACT AND SPECIFICALLY WITH THE REGULATIONS THEREUNDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINMENT OF ALL NECESSARY PERMITS.

Drawing Title:  
**ARBORIST MAP**

Project No:  
**AR2013-04**

Drawing #:  
**L-02**



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**ARBORIST REPORT – ADDENDUM 01**

PROJECT:

**RESIDENTIAL DEVELOPMENT**

CLIENT:

**Crown Contracting Limited**

PREPARED BY:

**VAN DER ZALM + ASSOCIATES INC.**  
Suite 1, 20177 97 Avenue  
Langley, B.C.  
Phone: 604-882-0024

PROJECT ARBORIST

**KELLY KOOME**

**OCTOBER 1, 2013**

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Project No.: AR 1203-04  
Client: Crown Contracting Limited  
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Project Arborist: Kelly Koome  
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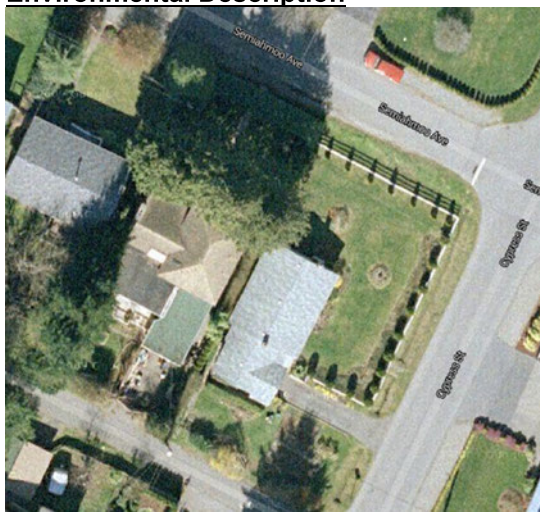
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## **Environmental Description**



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### **Arial view of property - middle house with mature cedars on north side**

The topography of the property is reasonably level. The soil profile of the site indicates the grade has not been altered in many years. There is a back lane behind the house that runs west to east on the south side of the lot. **A family of raccoons was observed on-site and may be living in the building. Recommend removal ahead of demolition.**

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The tendency of trees or parts of trees to fall due to environmental conditions and internal problems are unpredictable. Defects are often hidden within the tree or underground. The project arborist has endeavored to use his skill, education and judgment to assess the potential for failure, with reasonable methods and detail. It is the owner's responsibility to maintain the trees and inspect the trees to reasonable standards and to carry out recommendations for mitigation suggested in this report.

### Tree Assessment Data

Tree #	Common Name (Botanical Name)	DBH (m.)	Condition	Comments
01	Western Red Cedar <i>Thuja plicata</i>	0.93	Fair	Mature specimen located in front yard on northeast side of lot. Previously topped at (20) meters. Live Crown Ratio (LCR) = 75%. Lower limbs pruned for (7) meters above base. Pruning left some 'stubs', some partial & full occlusion cuts. Metal wire wrapped around trunk at (2) meters.  <b>SUITABLE FOR RETENTION</b>
02	Western Red Cedar <i>Thuja plicata</i>	0.82	Fair	Mature specimen located in front yard on north side of lot. Previously topped at (20) meters. Live Crown Ratio (LCR) = 75%. Lower limbs pruned for (7) meters above base. Pruning left some 'stubs', some partial & full occlusion cuts. Metal wire wrapped around trunk at (2) meters.  <b>SUITABLE FOR RETENTION</b>
03	Western Red Cedar <i>Thuja plicata</i>	1.06	Fair	Mature specimen located in front yard on north side of lot. Previously topped at (20) meters. Live Crown Ratio (LCR) = 75%. Lower limbs pruned for (7) meters above base. Pruning left some 'stubs', some partial & full occlusion cuts. Numerous lateral limbs bending upward. Damaged surface roots with some girdling roots present. Roots of this tree extend alongside west side of existing house for (8) meters.  <b>SUITABLE FOR RETENTION</b>

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City Office:  
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Vancouver, British Columbia  
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Tree #	Common Name ( <i>Botanical Name</i> )	DBH (m.)	Condition	Comments
04	Rhododendron Rhododendron (sp)	0.24 @ 60 cm from base	Good	Mature ornamental shrub located in front yard. Paving stones around base of trunk. Small wound in trunk at 30 cm from base.  <b>SUITABLE FOR RETENTION</b>
05	Common Cypress Cupressus sempervirens	Cluster of (4) trees 0.20 – 0.70	Good	<b>City of White Rock</b> trees located in northwest corner. It is within (2) meters of property line. LCR = 95%  <b>SUITABLE FOR RETENTION</b>
06	Douglas Fir Pseudotsuga menziesii	0.43	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bows @ 3 meters and straightens out at (7) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
07	Douglas Fir Pseudotsuga menziesii	0.36	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (4) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
08	Douglas Fir Pseudotsuga menziesii	0.57	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (3) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
09	Douglas Fir Pseudotsuga menziesii	0.25 / 0.25	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (1.3) meters. Trunks lean southwest before straightening. Numerous dead interior branches. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
10	Douglas Fir Pseudotsuga menziesii	0.35	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. LCR = 50%  <b>SUITABLE FOR RETENTION</b>

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Tree #	Common Name ( <i>Botanical Name</i> )	DBH (m.)	Condition	Comments
11	Douglas Fir <i>Pseudotsuga menziesii</i>	0.25	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
12	Douglas Fir <i>Pseudotsuga menziesii</i>	0.30	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (4) meters. Looks to have been topped about 15 years ago. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
13	Douglas Fir <i>Pseudotsuga menziesii</i>	0.46	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk has uneven taper. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
14	Douglas Fir <i>Pseudotsuga menziesii</i>	0.36	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
15	Douglas Fir <i>Pseudotsuga menziesii</i>	0.41	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). In reasonable condition. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
16	Douglas Fir <i>Pseudotsuga menziesii</i>	0.41	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (3) meters with multiple leaders. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
17	Norway Maple <i>Acer platanoides</i>	0.31	Fair	Located on south side of lot in back yard. Previously topped with old pruning wounds and some decay present. It will be negatively impacted by excavation work. It should be removed to allow access for demolition.  <b>RECOMMEND REMOVAL</b>

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Tree #	Common Name ( <i>Botanical Name</i> )	DBH (m.)	Condition	Comments
18	Ilex aquifolium Common Holly	0.22	Fair	Located in southeast corner of lot. Previously topped.  <b>SUITABLE FOR RETENTION</b>
19	Acer circinatum Vine Maple	0.08	Fair	Off-site tree located on neighbor's property (15476 Semiahmoo Ave) near southwest corner of lot adjacent to row of Douglas Firs. It is within (2) meters of property line. Vertical cavity near base. Leaning westward. Roots of this tree likely extend into row of Douglas Fir along property line.  <b>RETAIN</b>
20	Prunus (sp) Wild Plum	0.15 / 0.21	Good	Off-site fruit tree located on neighbor's property (15476 Semiahmoo Ave) near southwest corner of lot adjacent to row of Douglas Firs. It is within (2) meters of property line. Leaning westward. Roots of this tree are may extend into row of Douglas Fir along property line.  <b>RETAIN</b>

#### Tree Data Ratings Description

Defines condition of a tree on a site at the time of the tree review.

Good: Good form and structure, healthy with no defects.

Fair: healthy but has some defects such as co-dominant trunk, dead branches.

Poor: multiple defects, disease, poor structure and or form, root and or canopy damage.

Hazardous: Significant hazard exists with a high risk of immediate failure, which could result in serious damage to property or person(s).

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### **Specifications for Construction**

Failure to meet these specifications will result in inspection failure and subsequent delay in issuance of other permits:

1. 1.2 m (~4') height
2. 2" x 4"s to be used for vertical posts, top and bottom rails and cross-bracing (in an "X"); round, un-treated vertical posts may be used with a minimum diameter of 9 cm
3. Spacing between vertical posts to be no further apart than 3.7 m (12') on centre
4. Structure must be sturdy with vertical posts driven firmly into the ground
5. Continuous plastic mesh screening (e.g. orange snow fencing)
6. Posted with visible signage advising that encroachment inside the protected area is forbidden
7. Located at distances based on tree diameter, use table below:

<b>Trunk Diameter (DBH)</b> measured at 1.4 m from the ground	<b>Critical Root Zone</b> minimum fence distance from the tree
20 cm (7.9")	1.2 m (3.9')
25 cm (9.8")	1.5 m (4.9')
30 cm (11.8")	1.8 m (5.9')
35 cm (13.8")	2.1 m (6.9')
40 cm (15.7")	2.4 m (7.9')
45 cm (17.7")	2.7 m (8.9')
50 cm (19.7")	3.0 m (9.8')
55 cm (21.7")	3.3 m (10.8')
60 cm (23.6")	3.6 m (11.8')
75 cm (29.5")	4.5 m (14.8')
90 cm (35.4")	5.4 m (17.7')
100 cm (39.4")	6.0 m (19.7')

- For distances not on this table divide the DBH (in cm) by 16.6
- Example:  $80 \text{ cm} \div 16.6 = 4.8 \text{ m}$

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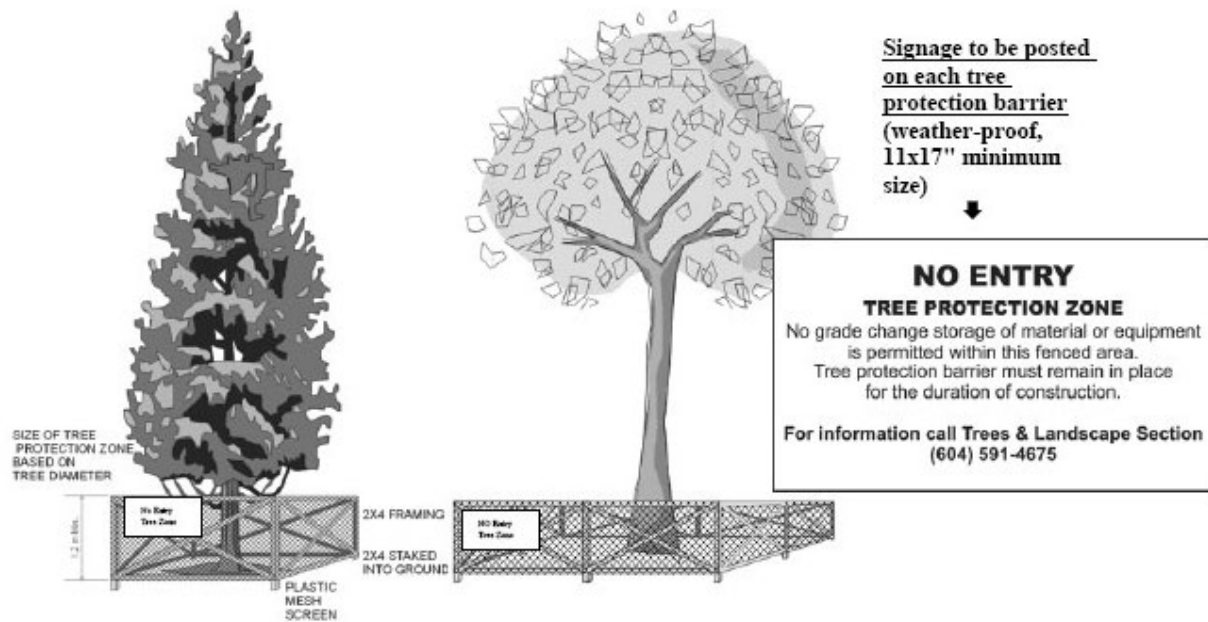
## Tree Protection Diagram

### If There Are Obstacles to Installation Underneath Tree

If the critical root zone of any tree is within an existing building, asphalt or accessory building, an independent Certified Arborist *must* be on-site during demolition. The barrier then must be constructed at the appropriate distance before the Building Permit will be issued.

### Shared Ownership Trees and Neighbour's Trees

- The distance table above must be used to determine location of tree protection fencing for shared trees and trees on adjacent properties, of any size.
- Barriers for shared trees and trees on adjacent property *must* be installed to the property line.
- Where shared trees and trees on adjacent property may require removal, written authorization from the neighbours must be obtained before applying for a tree cutting permit.



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**Arborist Report – Addendum\_01**

Project: RESIDENTIAL DEVELOPMENT  
Project No. AR 1203-04  
Client: Crown Contracting Limited  
Site Address: 15482 Semiahmoo Avenue, White Rock, BC  
Date: October 1, 2013

The requirements as outlined in the Arborist Report Addendum\_01 (dated October 1<sup>st</sup>) regarding demolition and excavation around the protected trees at 15482 Semiahmoo Avenue, White Rock, BC will be followed and the Project Arborist will be on-site for the demolition work.

Kelly Koorme  
Project Arborist  
van der Zalm & associates  
ISA Certified Arborist PN 5962A  
Certified Tree Risk Assessor #185

Jason Hartshorne  
Crown Contracting Limited

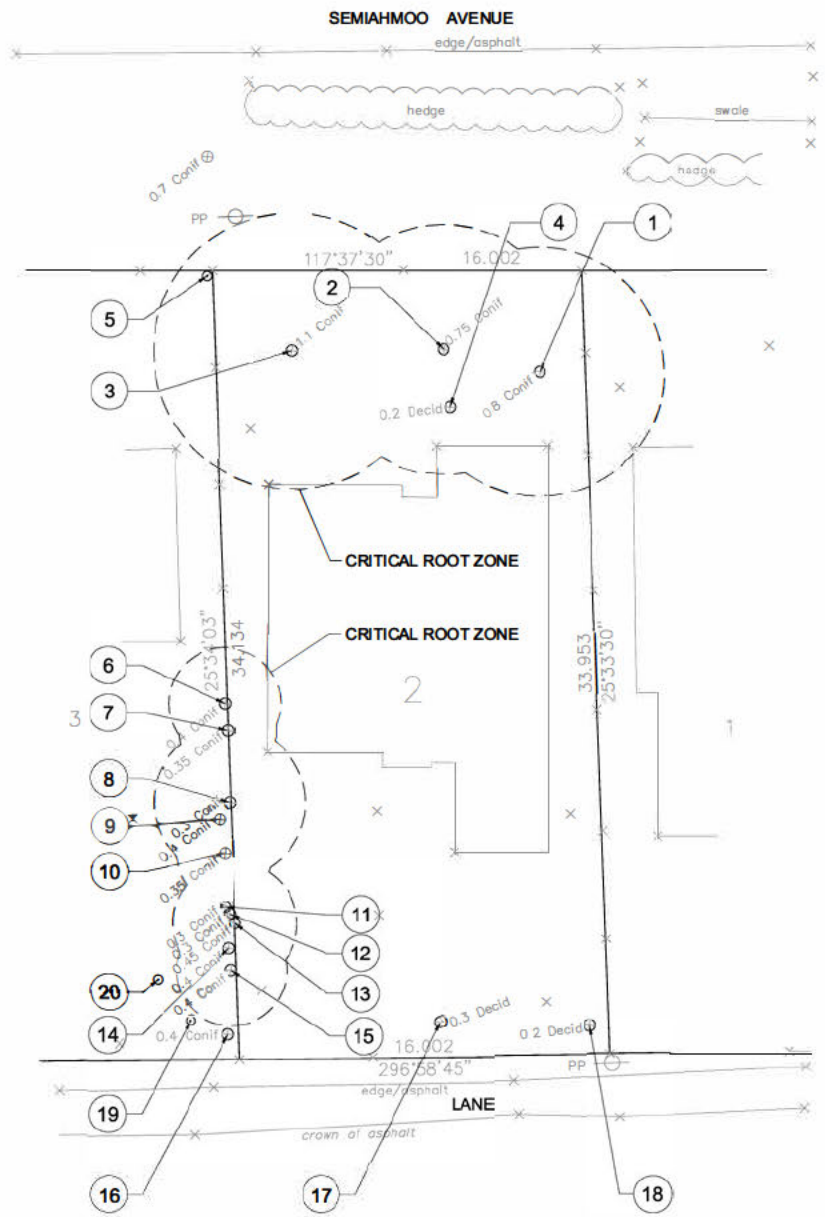
- Brad Morrison - P.M.  
Clearview Grinding Limited

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**LEGEND**  
 PP DENOTES POWER POLE  
 T DENOTES TREE WITH TRUNK DIAMETER  
 (C) DENOTES DIAMETER OF CANOPY  
 ⊙ DENOTES ADDITIONAL TREES

No.	Rev.	Description	Date
2	RS	Issued for Submission	Oct. 4, 2013
1	RS	Issued for Submission	Aug. 8, 2013

REVISIONS TABLE FOR DRAWINGS  
 © Copyright reserved. This drawing and design are the property of van der Zalm + associates, and may not be reproduced or used for other projects without permission.

**Project**  
 Location:  
 15482 SEMIAHMOO AVE  
 White Rock, BC

Drawn: RS	Stamp:
Checked: MVDZ	
Approved: MVDZ	Original Start Date: AUG 8, 2013
Scale: 1:100	CONTRACTOR SHALL OBTAIN PERMISSION OF VAN DER ZALM + ASSOCIATES INC. FOR ANY MODIFICATION TO THIS DRAWING. ANY MODIFICATION TO THIS DRAWING SHALL BE MADE BY THE CONTRACTOR AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE MODIFICATION OF THIS DRAWING.

Drawing Title: **ARBORIST MAP**  
 VZ Project #: **AR2013-04**  
 Drawing #: **L-02**

## Chris McBeath

---

**From:** aotto@city.whiterock.bc.ca  
**Sent:** Thursday, October 17, 2013 2:15 PM  
**To:** Aelicia Otto  
**Cc:** Carolyne Leveille; Chris McBeath  
**Subject:** Copy of Request for action - -15482 SEMIAHMOO AVE

You have received the following message because the sender put you in the cc list

---

Hi: [Alan](#)

[Hartshorne, Jason](#) at [15482 SEMIAHMOO AVE](#) called on [2013-10-17](#)

Telephone Number:

Cellphone Number:

Inquiry Type: [Demo Permit](#)

Action Requested: [History](#)

Comments:

[Ok to release demo permit. Note that applicant will be required to post a \\$10,000.00 tree protection security and erect tree protection barriers prior to the release of the building permit.\(ao\)](#)

Additional Notes:

**\*\*** Click on the ADDRESS link to bring up the map.

Click [here](#) to enter the COMPLETION DATE after the job is done.





CITY OF  
WHITE ROCK

www.city.whiterock.bc.ca

TREE MANAGEMENT PERMIT  
TYPE 3 (DEMOLITION) PERMIT

TMP 13-028A

15482 Semiahmoo Avenue

---

**Issued To: Jason Hartshorne**

1. This Tree Management Permit is issued to Jason Hartshorne and shall apply only to ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of White Rock, in the Province of British Columbia, and more particularly known and described as:

Legal Description: Lot 2 Section 11 Township 1 New Westminster District Plan 11869  
PID: 002-244-616  
Civic Address: 15482 Semiahmoo Avenue

2. This Tree Management Permit is issued pursuant to the authority of *Sections 8(3)(c) and 50 to 52 of the Community Charter*, and in conformity with the procedure prescribed by *City of White Rock Planning Procedures Bylaw, 2009, No. 1869*, and amendments thereto.
3. The terms, conditions and guidelines as set out in the *White Rock Tree Management Bylaw No. 2008 No. 1831* and amendments thereto that relate to the Ecosystem Enhancement Area shall apply to the area of land and premises hereinbefore described and which are covered by this Tree Management Permit.
4. This Tree Management Permit is issued in accordance with the information provided in the Arborist Report prepared by Van Der Zalm & Associates Inc. dated October 1, 2013, which has been reviewed and approved by the City Arborist. No works shall be performed upon the lands covered by this Tree Management Permit, nor shall any tree be removed, building or structure erected, constructed, repaired, renovated or sited, or any use permitted that is not in accordance with all terms and conditions of this Permit.

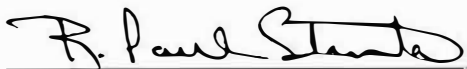
Terms and Conditions:

- i. This permit is issued in conjunction with Demolition Permit D13044, and applies to tree protection and replacement for the demolition stage only. Any trees removed or damaged contrary to the terms of this permit will result in the forfeit of securities for those trees, in addition to any penalties the City may impose in accordance with *White Rock Tree Management Bylaw, 2008 No. 1831* and *Ticketing for Bylaw Offences Bylaw, 2011, No. 1929*.
- ii. Development shall conform to the Arborist Report, attached hereto as Schedule "A";
- iii. The City requires securities for tree protection in the amount of \$59,500.00 to be submitted prior to the issuance of the Demolition Permit, as indicated in Schedule "B";
- iv. The City requires securities in the amount of \$2,000.00 for tree replacement to be submitted prior to the issuance of the Demolition Permit, as indicated in Schedule "C";



- v. The applicant shall provide tree replacement in substantial compliance with the tree replacement requirements outlined in Schedule "C", to the acceptance of the Director of Planning and Development Services. All replacement trees must be planted on the subject property; and
  - vi. Removal of the Norway Maple at the rear of the lot (Tree #17) is authorized to allow for access to the property to demolish the existing home.
5. Securities deposited for tree protection in accordance with Schedule "B" will be held by the City for up to one (1) year following satisfactory completion of the demolition stage.
  6. Securities deposited for tree protection in accordance with Schedule "B" and tree replacement in accordance with Schedule "C" will be held by the City for a period of one (1) year after completion of the demolition stage and submission of a tree replacement report, as a warranty period to ensure retained trees have been protected and replacement trees have been planted and maintained in accordance with the *White Rock Tree Management Bylaw No. 2008 No. 1831* and this Permit. This warranty period may be reduced at the discretion of the Director of Planning and Development Services on the advice of the City Arborist.
  7. In the interpretation of the Tree Management Permit all definitions of words and phrases contained in the *White Rock Tree Management Bylaw No. 2008 No. 1831*, as amended, shall apply to this Tree Management Permit and to the attachments thereto.
  8. Where the holder of this Permit does not substantially commence the works as outlined in this Tree Management Permit, within two years after the date this Permit was authorized by the Director of Planning and Development Services, the Permit shall lapse, unless the Director of Planning and Development Services, prior to the date the Permit is scheduled to lapse, has authorized the extension of the Permit for a period of no greater than one year.
  9. This permit does not constitute a development permit, a subdivision approval or a building permit. Nothing herein contained shall be construed to authorize the owner of the said lands to develop the same other than in accordance with the provisions of this Permit.

APPROVED ON THIS 17<sup>th</sup> DAY OF October , 2013.



R. Paul Stanton, M. PL, MCIP, R.P.P.  
Director of Planning and Development Services

**Schedule "A"  
Arborist Report**



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**ARBORIST REPORT – ADDENDUM 01**

PROJECT:

**RESIDENTIAL DEVELOPMENT**

CLIENT:

**Crown Contracting Limited**

PREPARED BY:

**VAN DER ZALM + ASSOCIATES INC.  
Suite 1, 20177 97 Avenue  
Langley, B.C.  
Phone: 604-882-0024**

PROJECT ARBORIST

**KELLY KOOME**

**OCTOBER 1, 2013**

---

**van der Zalm + associates inc.\***

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V3E 2K3



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## **Arborist Report**

Project: RESIDENTIAL DEVELOPMENT  
Project No.: AR 1203-04  
Client: Crown Contracting Limited  
Site Address: 15482 Semiahmoo Avenue, White Rock, BC

Project Arborist: Kelly Koome  
ISA Certified Arborist PN 5962A  
Certified Tree Risk Assessor #185

## **Scope of Work**

van der zalm and associates have been retained by the client to prepare a report to assess the tree at civic address 15482 Semiahmoo Avenue, White Rock, BC. The Project Arborist performs a site review entailing identification and visual assessment of the tree(s) on site based on the tree survey provided by the client or representative(s). Provide recommendations for the retention or removal of tree(s) on this site based on the existing site conditions and the proposed use of the site. Mitigation of development impact on the tree(s) has been considered as part of the tree assessment process.

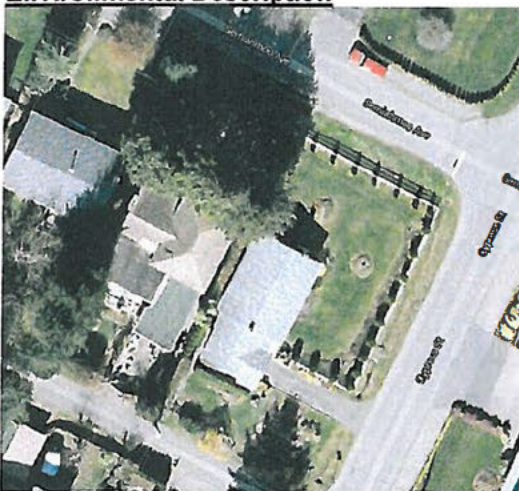
## **Proposed Site Development**

The development of lot for residential housing.

## **Site Review**

The Project Arborist conducted a site review and evaluation of the tree located at the above referenced property on August 1st. The site review entailed identification and visual assessment of the tree(s) on site based on the tree survey provided by the project owner or representative(s).

## **Environmental Description**



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### **Arial view of property - middle house with mature cedars on north side**

The topography of the property is reasonably level. The soil profile of the site indicates the grade has not been altered in many years. There is a back lane behind the house that runs west to east on the south side of the lot. **A family of raccoons was observed on-site and may be living in the building. Recommend removal ahead of demolition.**

There is no water course registered with the Ministry of Water, Land and Air Pollution and no evidence of raptors nests, osprey nests or heron colonies on the site.

#### **City Trees**

There is one City tree associated with this project.

#### **Off- Site Trees**

As defined by the City of White Rock Tree Management Bylaw, 2008 No. 1831, "a tree of any size planted either on the property line or on neighboring properties" there are off-site trees associated with this project.

### **DEVELOPMENT IMPACT ASSESSMENT AND MITIGATION**

#### **Impact on Trees by Proposed Development**

The proposed development and the current site plan does allow for the retention of the trees associated with this project.

#### **Tree Removal Impact – Neighboring Properties & Off-Site Trees**

The removal of trees from this site may impact the adjacent lots or the off site trees growing on them. This location is within the 'Ecosystem Enhancement Area' and is therefore subject to the completion of a Coordinated Site Development Plan (CSDP - for the protection of trees during the excavation / construction phase of the project).

The proposed excavation work will take place within the Tree Protection Zone (TPZ) of the Douglas Firs (Trees # 6 to 16) along the west side of the property (shared by the neighbor) and the Western Red Cedars (Trees # 1 to 3) on the north side of the house. To mitigate potential damage to the trees:

- 1. Project Arborist must be on-site to supervise any excavation or demolition work around the Tree Protection Zone (TPZ) of any trees on-site.**
2. If excavation work around the TPZ requires removing soil or changing the grade, hand dig near TPZ (to a depth of 24 inches) to expose any roots. Smaller non-structural roots can be cleanly pruned. If any larger structural roots are encountered during excavation the Project Arborist will decide the appropriate treatment. Changes to the excavation may need to be altered if this occurs.
3. It is important that the TPZ remain protected both during excavation and the subsequent construction. These trees should be inspected every 4 months during construction to assess their health and condition. Once construction is complete, a final inspection should be conducted.

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### Limitations

This report is valid for the day the trees were reviewed. This report is not to be re-printed, copied, published or distributed without prior approval by van der Zalm + associates.

Sketches, diagrams and photographs contained in this report being intended as visual aids, should not be construed as engineering reports or legal surveys.

Only the subject tree(s) was inspected and no others. This report does not imply or in any other way infer that other trees on this site or near this site are sound and healthy.

The tendency of trees or parts of trees to fall due to environmental conditions and internal problems are unpredictable. Defects are often hidden within the tree or underground. The project arborist has endeavored to use his skill, education and judgment to assess the potential for failure, with reasonable methods and detail. It is the owner's responsibility to maintain the trees and inspect the trees to reasonable standards and to carry out recommendations for mitigation suggested in this report.

### Tree Assessment Data

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Tree #	Common Name (Botanical Name)	DBH (m.)	Condition	Comments
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05	Common Cypress Cupressus sempervirens	Cluster of (4) trees 0.20 – 0.70	Good	<b>City of White Rock</b> trees located in northwest corner. It is within (2) meters of property line. LCR = 95%  <b>SUITABLE FOR RETENTION</b>
06	Douglas Fir Pseudotsuga menziesii	0.43	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bows @ 3 meters and straightens out at (7) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
07	Douglas Fir Pseudotsuga menziesii	0.36	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (4) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
08	Douglas Fir Pseudotsuga menziesii	0.57	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (3) meters. LCR = 75%  <b>SUITABLE FOR RETENTION</b>
09	Douglas Fir Pseudotsuga menziesii	0.25 / 0.25	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (1.3) meters. Trunks lean southwest before straightening. Numerous dead interior branches. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
10	Douglas Fir Pseudotsuga menziesii	0.35	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. LCR = 50%  <b>SUITABLE FOR RETENTION</b>

van der Zalm + associates inc.\*  
P 604.882.0024 F 604.882.0042

Suite 1, 20177 97 Avenue  
Langley, British Columbia  
V1M 4B9

City Office:  
Suite 2200, 1177 West Hastings  
Vancouver, British Columbia  
V3E 2K3



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Tree #	Common Name (Botanical Name)	DBH (m.)	Condition	Comments
11	Douglas Fir <i>Pseudotsuga menziesii</i>	0.25	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
12	Douglas Fir <i>Pseudotsuga menziesii</i>	0.30	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (4) meters. Looks to have been topped about 15 years ago. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
13	Douglas Fir <i>Pseudotsuga menziesii</i>	0.46	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk has uneven taper. Trees #11, #12, #13 are fused together at base of trunk. LCR = 50%  <b>SUITABLE FOR RETENTION</b>
14	Douglas Fir <i>Pseudotsuga menziesii</i>	0.36	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Trunk bends at (4) meters before straightening. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
15	Douglas Fir <i>Pseudotsuga menziesii</i>	0.41	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). In reasonable condition. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
16	Douglas Fir <i>Pseudotsuga menziesii</i>	0.41	Fair	Off-site tree located on property line with neighbor (15476 Semiahmoo Ave). Co-dominant at (3) meters with multiple leaders. LCR = 40%  <b>SUITABLE FOR RETENTION</b>
17	Norway Maple <i>Acer platanoides</i>	0.31	Fair	Located on south side of lot in back yard. Previously topped with old pruning wounds and some decay present. It will be negatively impacted by excavation work. It should be removed to allow access for demolition.  <b>RECOMMEND REMOVAL</b>

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Tree #	Common Name (Botanical Name)	DBH (m.)	Condition	Comments
18	Ilex aquifolium Common Holly	0.22	Fair	Located in southeast corner of lot. Previously topped.  <b>SUITABLE FOR RETENTION</b>
19	Acer circinatum Vine Maple	0.08	Fair	Off-site tree located on neighbor's property (15476 Semiahmoo Ave) near southwest corner of lot adjacent to row of Douglas Firs. It is within (2) meters of property line. Vertical cavity near base. Leaning westward. Roots of this tree likely extend into row of Douglas Fir along property line.  <b>RETAIN</b>
20	Prunus (sp) Wild Plum	0.15 / 0.21	Good	Off-site fruit tree located on neighbor's property (15476 Semiahmoo Ave) near southwest corner of lot adjacent to row of Douglas Firs. It is within (2) meters of property line. Leaning westward. Roots of this tree are may extend into row of Douglas Fir along property line.  <b>RETAIN</b>

#### Tree Data Ratings Description

Defines condition of a tree on a site at the time of the tree review.

Good: Good form and structure, healthy with no defects.

Fair: healthy but has some defects such as co-dominant trunk, dead branches.

Poor: multiple defects, disease, poor structure and or form, root and or canopy damage.

Hazardous: Significant hazard exists with a high risk of immediate failure, which could result in serious damage to property or person(s).

---

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**Specifications for Construction**

Failure to meet these specifications will result in inspection failure and subsequent delay in issuance of other permits:

1. 1.2 m (~4') height
2. 2" x 4"s to be used for vertical posts, top and bottom rails and cross-bracing (in an "X"); round, un-treated vertical posts may be used with a minimum diameter of 9 cm
3. Spacing between vertical posts to be no further apart than 3.7 m (12') on centre
4. Structure must be sturdy with vertical posts driven firmly into the ground
5. Continuous plastic mesh screening (e.g. orange snow fencing)
6. Posted with visible signage advising that encroachment inside the protected area is forbidden
7. Located at distances based on tree diameter, use table below:

Trunk Diameter (DBH) measured at 1.4 m from the ground	Critical Root Zone minimum fence distance from the tree
20 cm (7.9")	1.2 m (3.9')
25 cm (9.8")	1.5 m (4.9')
30 cm (11.8")	1.8 m (5.9')
35 cm (13.8")	2.1 m (6.9')
40 cm (15.7")	2.4 m (7.9')
45 cm (17.7")	2.7 m (8.9')
50 cm (19.7")	3.0 m (9.8')
55 cm (21.7")	3.3 m (10.8')
60 cm (23.6")	3.6 m (11.8')
75 cm (29.5")	4.5 m (14.8')
90 cm (35.4")	5.4 m (17.7')
100 cm (39.4")	6.0 m (19.7')

- For distances not on this table divide the DBH (in cm) by 16.6
- Example: 80 cm ÷ 16.6 = 4.8 m

---

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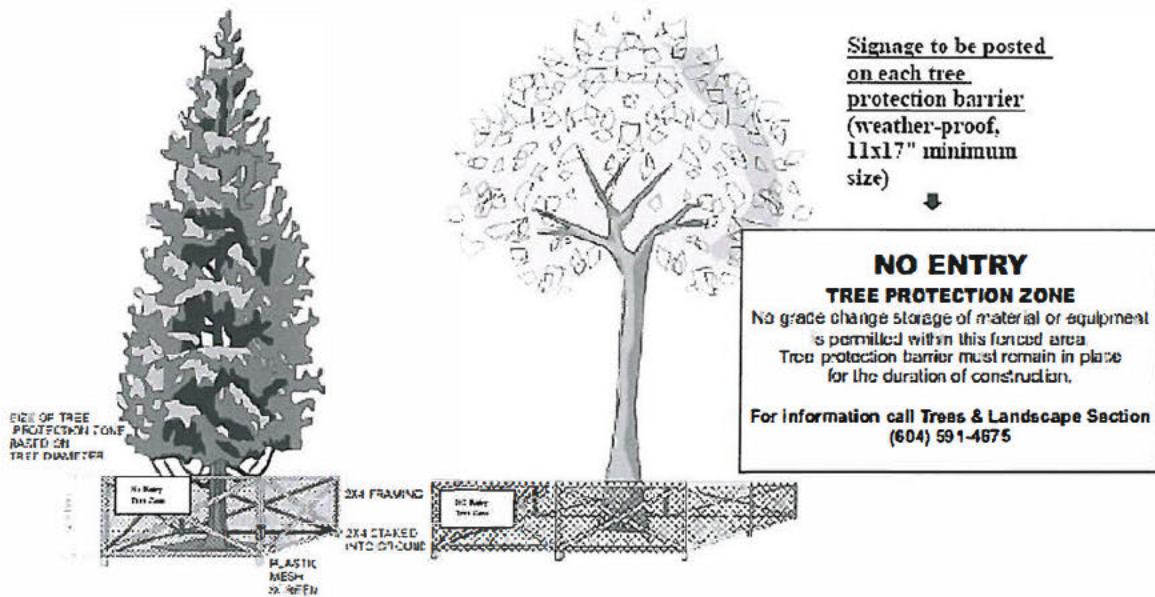
## Tree Protection Diagram

### If There Are Obstacles to Installation Underneath Tree

If the critical root zone of any tree is within an existing building, asphalt, or accessory building, an independent Certified Arborist *must* be on-site during demolition. The barrier *then* must be constructed at the appropriate distance before the Building Permit will be issued.

### Shared Ownership Trees and Neighbour's Trees

- The distance table above must be used to determine location of tree protection fencing for shared trees and trees on adjacent properties, of any size.
- Barriers for shared trees and trees on adjacent property *must* be installed to the property line.
- Where shared trees and trees on adjacent property may require removal, written authorization from the neighbours must be obtained before applying for a tree cutting permit.



---

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**Arborist Report – Addendum\_01**

Project: RESIDENTIAL DEVELOPMENT  
Project No.: AR 1203-04  
Client: Crown Contracting Limited  
Site Address: 15482 Semiahmoo Avenue, White Rock, BC  
Date: October 1, 2013

The requirements as outlined in the Arborist Report Addendum\_01 (dated October 1<sup>st</sup>) regarding demolition and excavation around the protected trees at 15482 Semiahmoo Avenue, White Rock, BC will be followed and the Project Arborist will be on-site for the demolition work.

Kelly Koome  
Project Arborist  
van der Zalm & associates  
ISA Certified Arborist PN 5962A  
Certified Tree Risk Assessor #185

  
Jason Hartshorne  
Crown Contracting Limited  
- Brad Morrison - P.Eng.  
Clearview Grinding Limited

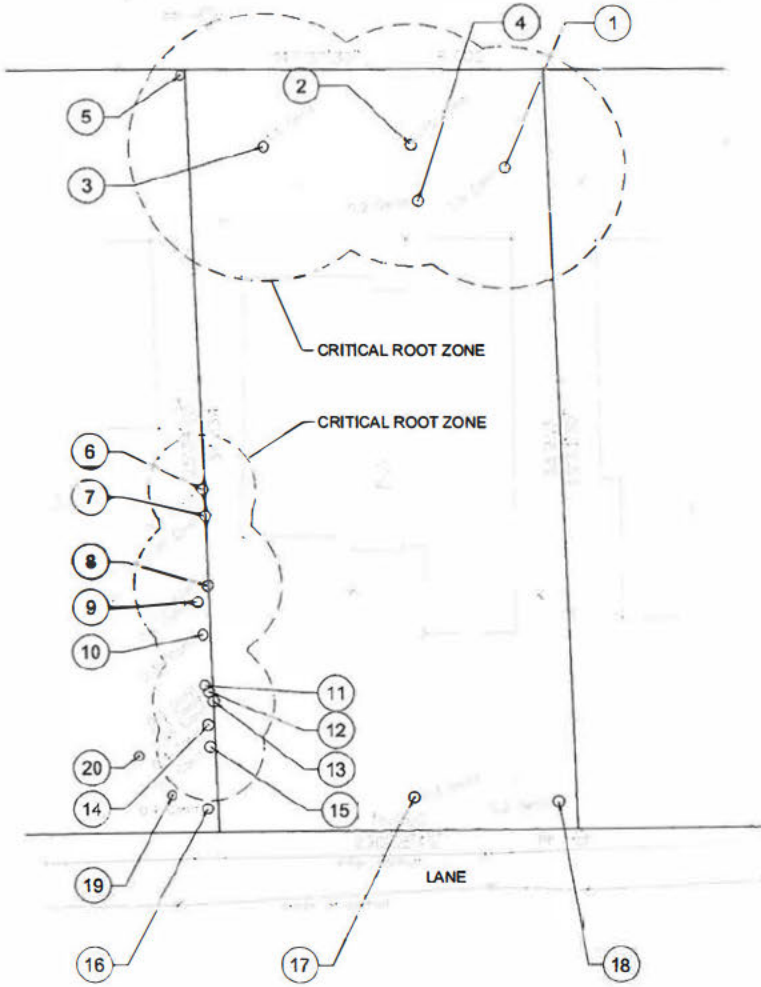
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SEMAHMOO AVENUE



- LEGEND:**
- DENOTES POWER POLE
  - DENOTES TREE WITH TRUNK DIAMETER
  - DENOTES DIAMETER OF CANOPY
  - DENOTES ADDITIONAL TREES



No.	Description	Date
2	Revised for Submission	July 4, 2013
1	Revised for Submission	Aug 6, 2013
1	Original	

**REVISIONS TABLE FOR DRAWINGS**

A complete revision, including and not limited to, information provided, the dimensions, the quantities, the materials and for manufacturing operations.

Project:	
Location: 1682 SEMAHMOO AVE White Rock, BC	
Drawn: RS	Checked: MVDZ
Approved: MVDZ	On Job Site Date: AUG. 6, 2013
Scale: 1:500	Notes: GENERAL NOTE: THIS DRAWING IS THE PROPERTY OF VAN DER ZANT & ASSOCIATES INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF VAN DER ZANT & ASSOCIATES INC. IS STRICTLY PROHIBITED.

Drawing Title: **ARBORIST MAP**  
 VZJ Project #: **AR2013-04**  
 Drawing #: **L-02**

VAN DER ZANT & ASSOCIATES INC., 700-70 8th Street, White Rock, BC V4B 1Y1, Canada. TEL: 779-886-8888 FAX: 779-886-8889



**Schedule "B"**  
**Tree Protection Securities for Demolition Stage**

Botanical name (cm dbh)	Common name	Tree id #	Bond
<i>Thuja plicata</i> (93 cm)	Western Red Cedar	01	\$10,000.00
<i>Thuja plicata</i> (82 cm)	Western Red Cedar	02	\$10,000.00
<i>Thuja plicata</i> (106 cm)	Western Red Cedar	03	\$10,000.00
<i>Pseudotsuga menziesii</i> (43 cm)	Douglas Fir	06	\$2,500.00
<i>Pseudotsuga menziesii</i> (36 cm)	Douglas Fir	07	\$2,500.00
<i>Pseudotsuga menziesii</i> (57 cm)	Douglas Fir	08	\$4,500.00
<i>Pseudotsuga menziesii</i> (50 cm)	Douglas Fir	09	\$2,500.00
<i>Pseudotsuga menziesii</i> (35 cm)	Douglas Fir	10	\$2,500.00
<i>Pseudotsuga menziesii</i> (30 cm)	Douglas Fir	12	\$2,500.00
<i>Pseudotsuga menziesii</i> (46 cm)	Douglas Fir	13	\$2,500.00
<i>Pseudotsuga menziesii</i> (36 cm)	Douglas Fir	14	\$2,500.00
<i>Pseudotsuga menziesii</i> (41 cm)	Douglas Fir	15	\$2,500.00
<i>Pseudotsuga menziesii</i> (41 cm)	Douglas Fir	16	\$2,500.00
<i>Prunus sp.</i> (36cm)	Wild Plum	20	\$2,500.00
<b>TOTAL</b>			<b>\$59,500.00</b>

**Schedule "C"**  
**Tree Replacement Securities for Demolition Stage**

Tree #	Botanical name (cm dbh) of tree being removed	Replacement requirements (deciduous : cm, coniferous : m)	Security or cash-in-lieu
17	<i>Acer platanoides</i> (31 cm)	2 : 6 cm, 2 : 3 m	\$2,000.00
<b>TOTAL</b>		<b>2 : 6 cm, 2 : 3 m</b>	<b>\$2,000.00</b>



Date: November 29, 2013

VDZ Project File No.: AR 1203-04  
T.O.L File No.:

Attention: Jason Harthsome

Project Name: Semiahmoo

Firm Name: Crown Contracting

Site Address: 15482 Semiahmoo  
Avenue, White Rock, BC

From: Kelly Koome  
Project Arborist

MEMO:

**Re: On-site Supervision During Demolition**

Dear Jason,

Kelly Koome of Van der Zalm and Associates, as the Project Arborist of record, was on site on November 19<sup>th</sup>, 2013 to supervise the demolition by Clearview Grinding Ltd. of the house located at 15482, White Rock, BC.



**Row of Douglas Fir along west side of property**

The requirements as outlined in the Arborist Report Addendum 01 (dated October 1<sup>st</sup>) regarding demolition and excavation around the protected trees have been met to the satisfaction of the Project Arborist.

Please advise if you require any further documentation regarding these trees.

Sincerely,

Kelly Koome  
Project Arborist  
ISA Certified Arborist PN 5962A  
Certified Tree Risk Assessor #185

## Chris McBeath

---

**From:** aotto@city.whiterock.bc.ca  
**Sent:** Friday, July 04, 2014 1:45 PM  
**To:** Aelicia Otto  
**Cc:** Chris McBeath  
**Subject:** Copy of Request for action - -15482 SEMIAHMOO AVE

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

You have received the following message because the sender put you in the cc list

---

Hi: [Aelicia](#)

[Hartshorne,Jason](#) at [15482 SEMIAHMOO AVE](#) called on 2013-08-23

Telephone Number: [604-5320033](#)

Cellphone Number: [604-3287025](#)

Inquiry Type: [Tree Management Permit](#)

Action Requested: [Report](#)

Comments:

1) Application for TMP received, arborist report and tree survey attached for review 2013 08 23 CM 2) Revised Arborist Report attached for review 2013 10 09 CM 3) TMP 13-028A Issued, to be released with Demolition Permit. New TMP required for BP 2013 10 17 CM. 4) Ok to refund tree protection securities. Arborist memo attached. (ao)

Additional Notes:

Jason was in the office today and he submitted the attached arborist memo in asking for the return of tree protection security.

\*\* Click on the ADDRESS link to bring up the map.  
Click [here](#) to enter the COMPLETION DATE after the job is done.

## Chris McBeath

---

**From:** Amelia Needoba  
**Sent:** Friday, August 26, 2016 2:16 PM  
**To:** Chris McBeath  
**Subject:** Re: 15482 Semiahmoo Ave

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Chris,

In follow-up to our meeting on-site last Tuesday, there are two groups of trees with potential impacts from this development:

1. The hedgerow of Douglas-fir on the neighbour's property is suitable for retention as a group, except the trees on each end, which are probably unsuitable due to their broken tops. The individual trees within the row have a moderate long-term retention suitability because:
  - they are growing very close together and, due to competition and physical conflicts, are likely to decline in health over the long-term. However, it could be possible to mitigate the impacts by thinning the row gradually.
  - the majority of trees have structural defects that are likely to result in partial stem failures in the long-term. Retention of these trees would require the structure to be set-back approximately 3 m from the critical root zones (would need to confirm dbh to define TPZ) and clearance pruning would likely be required.
2. The three cedars growing at the front of the property are suitable for retention as a group, or it may be possible to retain the cedar to the west on its own. The individual trees have a moderate long-term retention suitability because:
  - each tree has previously lost its top at approximately 20 m and, in the long-term, failure of one or more co-dominant stems is considered likely. If retaining, a level 2 aerial assessment would be recommended to determine risk and potential mitigation options. Monitoring would also be recommended. Retention of these trees would require the structure to be set-back approximately 5-7 m from the tree to prevent disturbance of the critical root zone and conflicts with the canopy.

It is not likely possible to retain both of the groups of trees with development.

Let me know if you need any additional information.

Best regards,  
Amelia.

---

**From:** Chris McBeath  
**Sent:** Friday, August 19, 2016 3:37 PM  
**To:** Amelia Needoba; Alan Markovic  
**Subject:** RE: 15482 Semiahmoo Ave

## Chris McBeath

---

**From:** Chris McBeath  
**Sent:** Monday, August 29, 2016 12:37 PM  
**To:** 'ghartshorne@crownccontracting.ca'  
**Subject:** Tree Management Permit for 15482 Semiahmoo Avenue

Hello Gordon,

As discussed on site last week at 15482 Semiahmoo Avenue, City staff are exploring opportunities to retain the three large cedars in the front yard of the property. The tree management for the property will be regulated through a tree management permit, much like the permit that was applied for and issued to cover the demolition stage. Your application for the tree management permit for the building stage must include an arborist report that outlines the health of all trees on the subject property and immediately surrounding land and makes recommendations based on the footprint of the proposed home. The report must also include a detailed level assessment with aerial inspections for the three large cedars. As discussed, if the trees are determined to be appropriate for retention the home will need to be designed in a manner that allows the trees to remain in place.

Regards,

**CHRIS MCBEATH, M. PL.**

**Planner, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2143 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



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**From:** [Barbara Andrews](#)  
**To:** [Wayne Berg](#)  
**Subject:** 115482 Semiahmoo Avenue  
**Date:** September 18, 2023 9:22:39 AM

---

Hi Wayne

A SFD was built on this property in 1955 and an addition in 1968. The house was demolished in approximately 2013-2014. I can search in the Archive Room for a Demolition Permit if it is required.

On March 2, 2016 an application was made by Crown Contracting Ltd. to build an SFD and Suite (BP16-040).

There is a note on file that the Ownership changed on December 8, 2016 and the Building Permit was cancelled.

The documents and plans for this BP were shredded on June 29, 2022.

The following is a link to two Site Surveys relating to Elevations and Trees.

I'm using Adobe Acrobat.

You can view and comment on "Semiahmoo\_Avenue\_15482\_Elevations and Trees.pdf" at:  
<https://acrobat.adobe.com/link/review?uri=urn:aaid:scds:US:81ad2b74-968a-411c-9152-46cb7469bb65>

I trust this is the information required for the FOI request.

Barbara

**BARBARA ANDREWS**

**Clerk, City of White Rock**

15322 Buena Vista Avenue, White Rock, BC V4B 1Y6

Tel: 604.541.2149 | [www.whiterockcity.ca](http://www.whiterockcity.ca)



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15482 Semiahmoo Ave

# BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE SHOWING EXISTING ELEVATIONS AND TREES ON LOT 2 SECTION 11 TOWNSHIP 1

## NWD PLAN 11869

Current Civic Address:

15482 Semiahmoo Avenue  
White Rock, B.C.

SCALE : 1:250

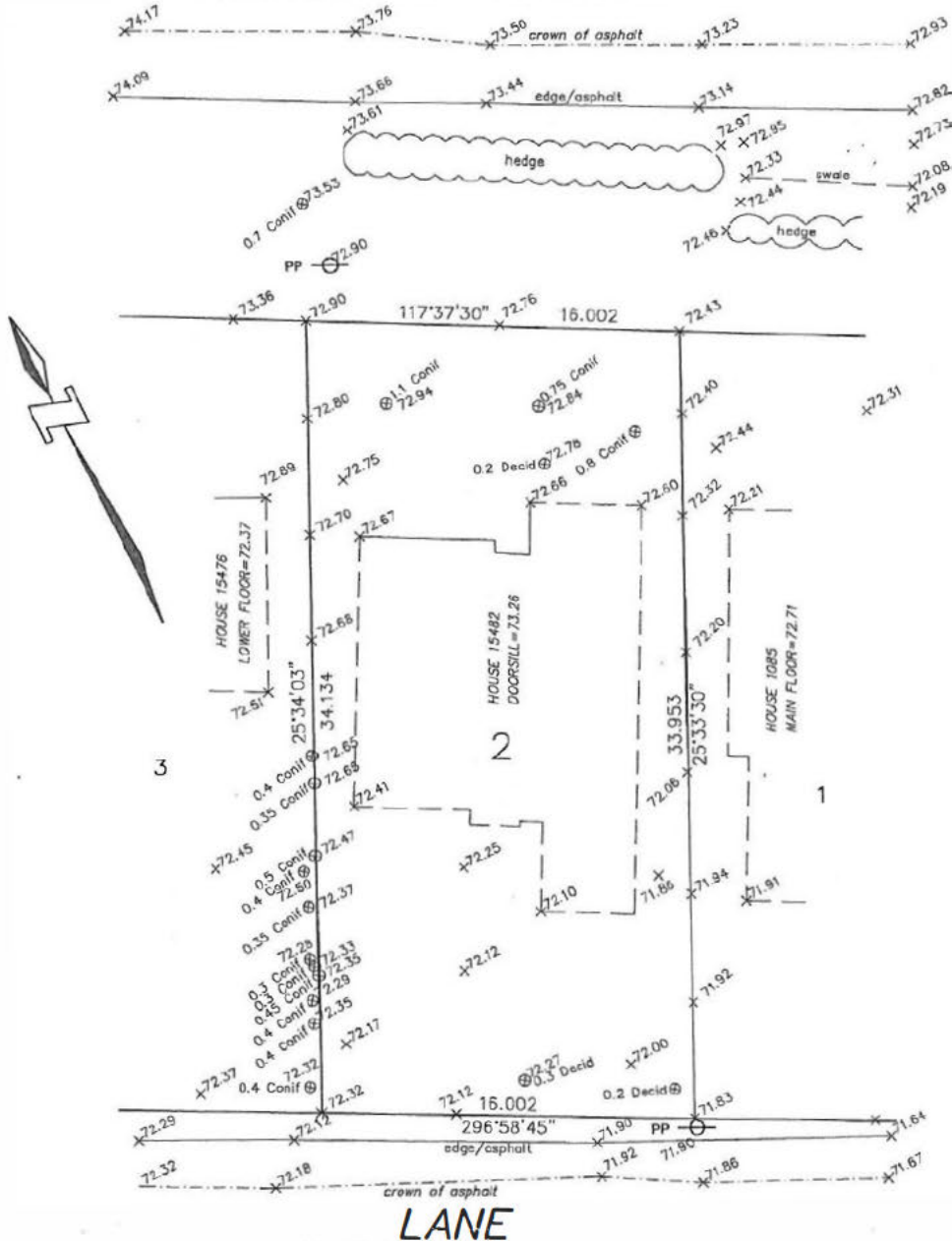
property dimensions are derived from Land Title Office records

All elevations are "natural grade" unless noted otherwise

Note:

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines.
- Elevations are based on City of White Rock Geodetic datum, Mon No. 88H3895  
Elevation = 86.146m
- Only trees with a diameter of at least 0.25m are shown
- This plan does not show non plan charges, liens or interests.

## SEMAIHMOO AVENUE



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**DHALIWAL AND ASSOCIATES**  
 LAND SURVEYING INC.  
 121-13140 80th Avenue  
 Surrey, B.C. V3W 3B2  
 Phone: 604 501-6188  
 Fax: 604 501 6189  
 File: 1306163-T01.DWG

THIS DOCUMENT IS NOT VALID UNLESS  
 ORIGINALLY SIGNED AND SEALED

Date of Survey: 18th day of July, 2005  
**GENE PAUL NIKULA**  
 LAND SURVEYOR  
 BRITISH COLUMBIA  
 REG. NO. 1558  
 B.C.L.S. 80.3

**BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE SHOWING EXISTING ELEVATIONS AND TREES ON LOT 1 SECTION 11 TOWNSHIP 1**

**NWD PLAN 11869**

**Current Civic Address:**

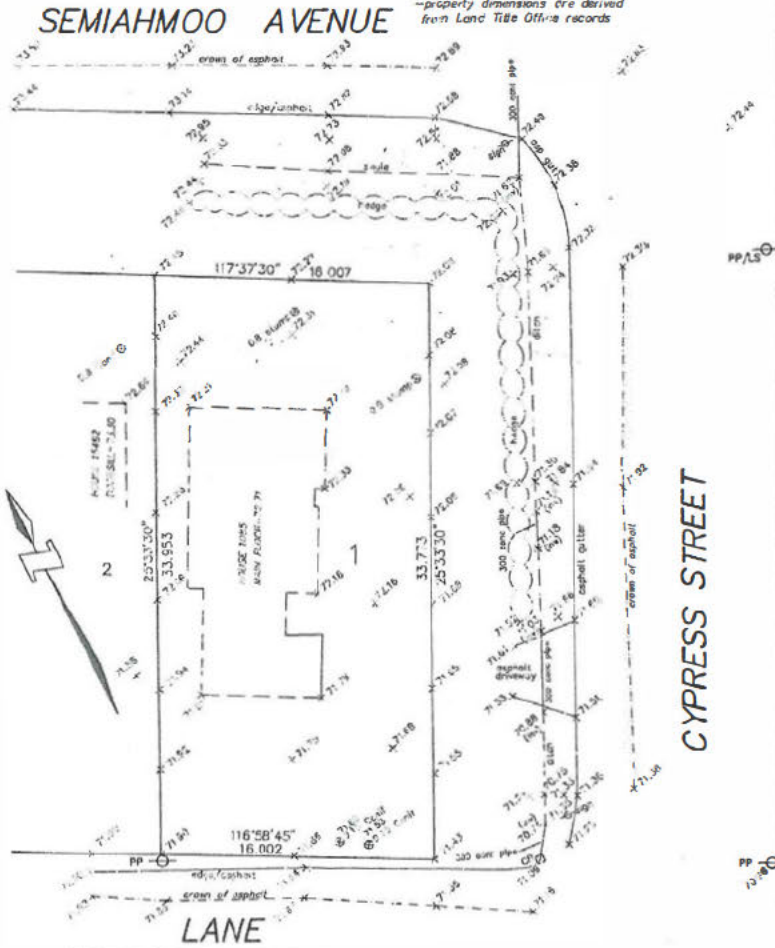
1035 Cypress Street  
White Rock, B.C.

**SCALE : 1:250**

All elevations are "not to a grade" unless noted otherwise

**Note:**

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines
- Elevations are based on City of White Rock Geodetic datum, Mon No. 884.3005 Elevation 861.45m
- Only trees with a diameter of at least 0.25m are shown
- This plan does not show non-plan charges, liens or interests
- property dimensions are derived from Land Title Office records



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 LAND SURVEYING INC.  
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 Surrey, B.C. V3W 3B2  
 Phone: 604 301-6189  
 Fax: 604 571-6189  
 File: 1306162-701.DWG

**THIS DOCUMENT IS NOT VALID UNLESS  
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Date of Survey: 17th day of July, 2013