

November 9, 2023

FOI No: 2023-052

Redacted S. 22

Email: Redacted S. 22

Dear Redacted S. 22

Re: Request for Records
Freedom of Information and Protection of Privacy Act

The City of White Rock has reviewed your request for access to the following records pursuant to the Freedom of Information and Protection of Privacy Act (the "Act"):

- *We request following documents for property 1549 Johnston Rd, White Rock:*
 1. *Architectural drawings*
 2. *Original sealed structural drawings*
 3. *Original sealed sprinkler drawings with hydraulic calculations*
 4. *Plumbing/mechanical drawings*

Access to these records has been provided by our Planning and Development staff. However, some of the information in the records is excepted from the disclosure requirements of the Act. I have severed the excepted information so that I could disclose to you the remaining information as attached.

The severed information is excepted from disclosure under sections 15 of the Act. Severing under section 15 is necessary to protect security of any property or system, including a building.

Please contact our office if you have any questions or concerns.

Sincerely,



Tracey Arthur
Director of Corporate Administration
Att.

Corporate Administration
P: 604.541.2212 | F: 604.541.9348

City of White Rock
15322 Buena Vista Avenue, White Rock BC, Canada V4B 1Y6

WHITE ROCK
City by the Sea!

www.whiterockcity.ca

If you believe that the City of White Rock has been unreasonable in its handling of your request, you may ask the Information and Privacy Commissioner to review our response. You have 30 days from receipt of this notice to request a review by writing to:

Office of the Information and Privacy Commissioner for British Columbia
PO Box 9038 Stn. Prov. Govt.
Victoria BC, V8W 9A4

Telephone 250-387-5629
E-mail: info@oipc.bc.ca

Should you decide to request a review, please provide the Commissioner's office with:

1. your name, address and telephone number;
2. a copy of this letter;
3. a copy of your original request sent to the City of White Rock; and
4. the reasons or grounds upon which you are requesting the review.

MASONRY NOTES

BEARING

UNLESS OTHERWISE NOTED THE FOLLOWING SHALL APPLY FOR MASONRY WALLS

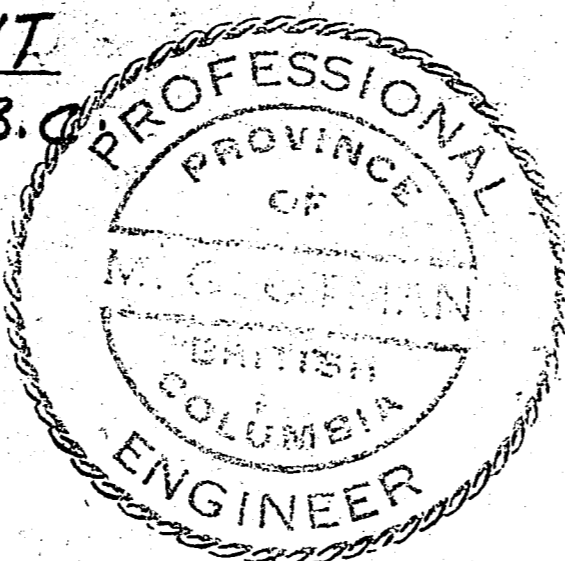
1. ALL MASONRY WORK TO BE IN ACCORDANCE WITH N. B. C. 1975 SECTION 4.4. CONTRACTOR SHOULD SPECIALLY NOTE SECTIONS 4.4.3.50 TO 4.4.3.52 INCLUSIVE.
2. CONCRETE FILL IN WALLS $f'_c = 2500$ PSI @ 28 DAYS.
3. HORIZONTAL REINFORCING: - GALVANIZED DUR-O-WALL #4A. SIDE RODS, #4A. CROSS RODS @ 16" $\%$ HORIZ.
4. MASONRY BEARING WALLS TO BE REINFORCED WITH #5 VERTS @ 32" $\%$.
5. f'_m USED FOR DESIGN: 1350 PSI (TYPE 'S' MORTAR)
6. PROVIDE DOWELS IN CONCRETE FOUNDATIONS TO MATCH VERTS IN WALL ABOVE.
7. PROVIDE 2-#5 VERTICALS AT EDGE OF WALL OPENINGS, ENDS OF WALLS AND CORNERS. (U.O.N.)
8. PROVIDE 2-#5 MINIMUM OVER ALL OPENINGS (U.O.N.)
9. WALLS TO BE CONSTRUCTED USING RUNNING BOND (U.O.N.)
10. LOCATIONS WHERE ANCHOR BOLTS ARE SET INTO MASONRY WALLS SHALL BE FILLED SOLID WITH GROUT.
11. PROVIDE CLEANOUT AND INSPECTION HOLES @ BOTTOM OF ALL CORES CONTAINING REINFORCING (FOR EACH POUR LIFT EXCEEDING 4'-0" $\%$)
12. PROVIDE CONTROL JOINTS IN MASONRY WALLS @ 60'-0" $\%$ MAXIMUM SPACING. HORIZONTAL REINF. TO BE CONTINUOUS ACROSS CONTROL JOINTS
13. REINFORCING #5 AND LARGER SHALL BE A432 ($f_y = 60000$ PSI MIN.)

IMPORTANT FIELD REQUIREMENTS !

1. CONTRACTOR SHOULD NOTE CLAUSE 4.4.3.2 (2) OF N. B. C., 1975. IN WHICH SPECIAL INSPECTION OF REINFORCED MASONRY IS REQUIRED.
2. THESE ENGINEERING DRAWINGS SHOW THE PERMANENT STRUCTURE ONLY AND DO NOT INCLUDE COMPONENTS THAT MAY BE REQ'D FOR SAFETY DURING CONSTRUCTION, WHICH IS THE CONTRACTOR'S RESPONSIBILITY.

COMMERCIAL DEVELOPMENT

JOHNSTON ROAD, WHITEROCK, B.C.

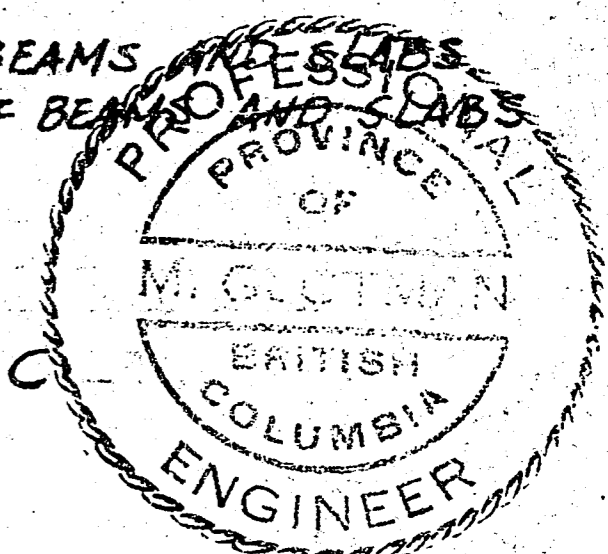


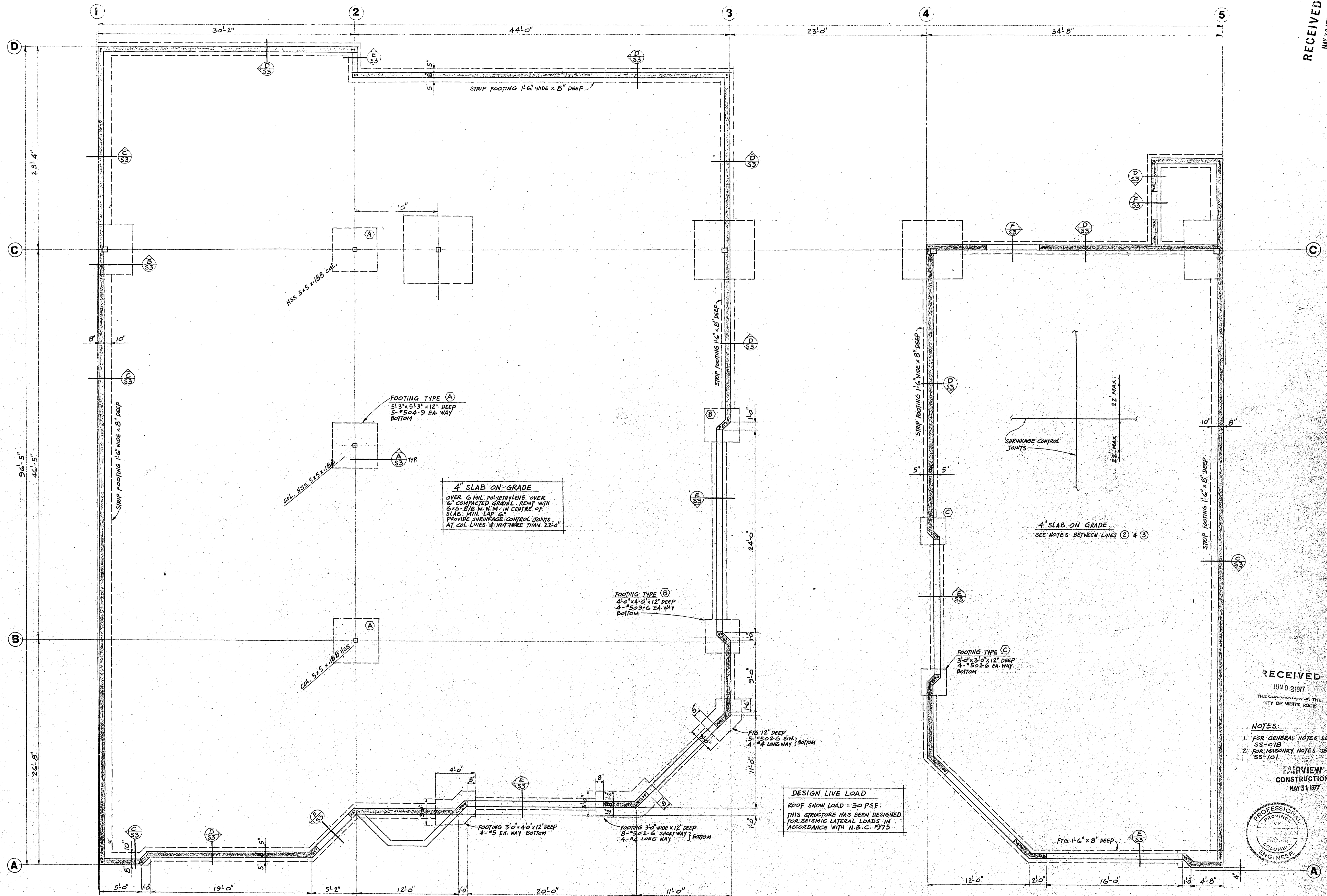
GENERAL NOTES

1. CONCRETE SHALL CONFORM TO C.S.A. A23.1 LATEST EDITION FOR MATERIALS AND METHODS OF CONSTRUCTION
2. CONCRETE f'_c @ 28 DAYS: -
3. CONCRETE SLAB ON GRADE 3000 PSI SUSPENDED SLABS & BEAMS - N/A
4. COLUMN & WALL FOOTINGS 3000 PSI
5. MASONRY CORE FILL 2500 PSI
3. REINFORCING SHALL BE BILLET STEEL DEFORMED TO A.S.T.M. A305 & OF THE FOLLOWING GRADES
ALL BARS #5 AND LARGER: A432 GRADE (60000 PSI MIN. YIELD)
ALL BARS #4 AND SMALLER: INTERMEDIATE GRADE (40000 PSI MIN. YIELD)
WELDED WIRE MESH SHALL BE IN ACCORDANCE WITH C.S.A. G30.5
4. PROVIDE CONCRETE COVER OVER REINFORCING: -
FACES PLACED AGAINST GROUND 3"
FORMED FACES EXPOSED TO GROUND OR WEATHER 2"
BARS IN SLAB 1"
5. ENGINEERING SERVICE PRESENTED ON THESE DRAWINGS IS FOR PERMANENT STRUCTURE ONLY. SHORING, EXCAVATION, FORM WORK & TEMPORARY WORKS ARE NOT INCLUDED
6. MAKE HORIZONTAL WALL REINFORCING CONTINUOUS AT CORNERS AND LAP 30 BAR DIAMETERS
7. LAP VERTICAL WALL REINFORCING 30 BAR DIAMETERS (U.O.N.) LAP HORIZONTAL REINFORCING 30 BAR DIAMETERS
8. ADD 2-#5 BARS PARALLEL TO ALL EDGES AND EXTENDED 3'-0" BEYOND CORNERS AT OPENINGS IN WALLS. ADD 2-#5 AT CORNERS & ENDS OF WALLS (U.O.N.)
9. DESIGNATION OF BARS: -
STRAIGHT BARS: e.g. 6-#4/8-6 MEANS 6-#4 BARS x 18'-6" LONG.
BENT BARS: e.g. 8B404-6 MEANS 8-#4 BARS x 4'-6" LONG + HOOK @ ONE END OR EACH END 4'-6"-H
10. DOWELS FOR WALL REINF. SHALL PROJECT 30 BAR DIA. ABOVE FOOTINGS (U.O.N.) AND SHALL MATCH NUMBER & SIZE OF WALL REINF. (U.O.N.)
11. CONCRETE SLAB ON GRADE SHALL HAVE CRACK CONTROL JOINTS - SEE PLAN.
12. SEE ARCHITECTURAL, MECHANICAL & ELECTRICAL DRAWINGS FOR HOLES & INSERTS ETC.
13. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DWGS BEFORE COMMENCING THE WORK, ANY DISCREPANCIES NOT REPORTED TO THE ARCHITECT FOR CLARIFICATION WILL BECOME THE CONTRACTOR'S RESPONSIBILITY.
14. BEFORE ANY CONCRETE IS PLACED THE ENGINEER SHALL BE NOTIFIED TO INSPECT & APPROVE THE STEEL
15. ALL BACKFILL SHALL BE CLEAN GRANULAR MATERIAL & SLAB ON GRADE SHALL BE PLACED & COMPACTED IN LAYERS TO MINIMUM PROCTOR DENSITY OF 95%
16. CONCRETE FOUNDATION CONTRACTOR MUST TAKE SPECIAL CARE TO ACCURATELY PLACE REINFORCING DOWELS IN FOOTINGS TO MATCH VERTICAL REINF. REQ'D IN MASONRY WALLS
17. BARS SHOWN SOLID LINE IN PLAN _____ IN TOP OF BEAMS AND SLABS
BARS SHOWN DASH LINE IN PLAN - - - - - IN BOTTOM OF BEAMS AND SLABS

COMMERCIAL DEVELOPMENT

JOHNSTON ROAD, WHITEROCK, B.C.





4" SLAB ON GRADE
OVER 6 MIL POLYETHYLENE OVER
6" COMPACTED GRAVEL REINFT WITH
6#6-8" W. W. M. IN CENTRE OF
SLAB. MIN LAP 6"
PROVIDE SHRINKAGE CONTROL JOINTS
AT COL LINES & NOT MORE THAN 22'-0"

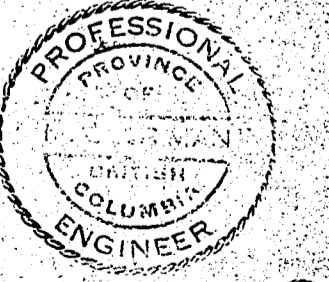
DESIGN LIVE LOAD
ROOF SNOW LOAD = 30 PSF
THIS STRUCTURE HAS BEEN DESIGNED
FOR SEISMIC LATERAL LOADS IN
ACCORDANCE WITH N.B.C. 1975

SHRINKAGE CONTROL
JOINTS
22' MAX.
22' MAX.
4" SLAB ON GRADE
SEE NOTES BETWEEN LINES 2 & 3

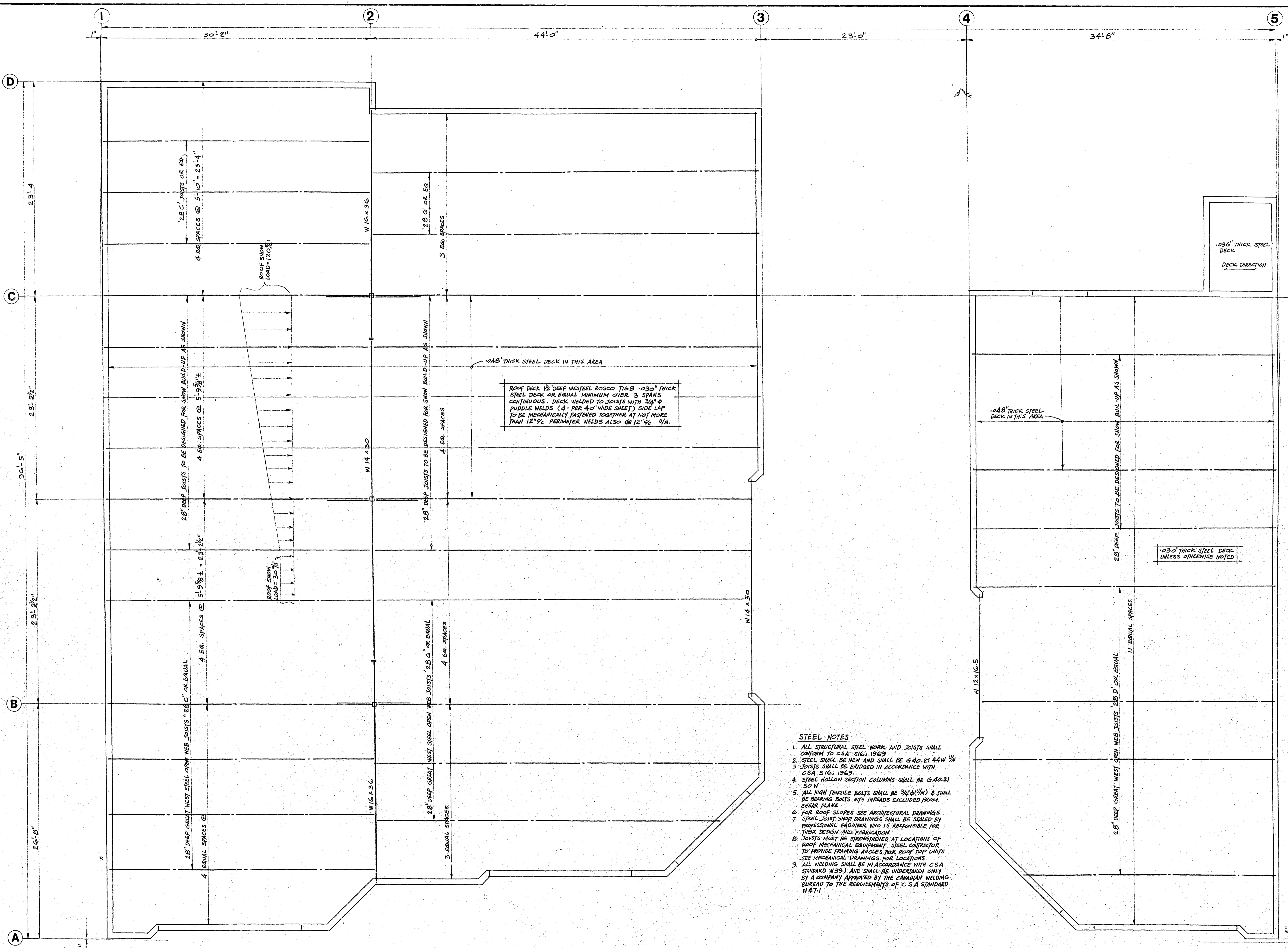
RECEIVED
JUN 0 2 1977
THE CORPORATION OF THE
CITY OF WHITE ROCK

NOTES:
1. FOR GENERAL NOTES SEE
SS-01B
2. FOR MASONRY NOTES SEE
SS-101

FAIRVIEW
CONSTRUCTION
MAY 31 1977

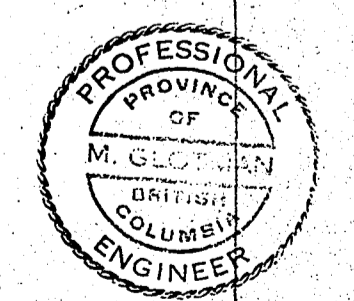


<p>MARTIN GLOTMAN ENGINEERING LTD. CONSULTING ENGINEERS</p>	<p>PETER COLE, M.R.A.I.C., A.R.I.B.A. ARCHITECT 405 - 540 BURNARD STREET VANCOUVER 1, B.C.</p>	<p>COMMERCIAL DEVELOPMENT FOR "LAMBDA" HOLDINGS JOHNSTON ROAD, WHITEROCK, B.C.</p>		PROJECT NO.
		<p>DRAWN SCALE H-Y. LAU</p>	<p>CHECKED DATE MAY 30, 1977</p>	<p>FOUNDATION PLAN</p>



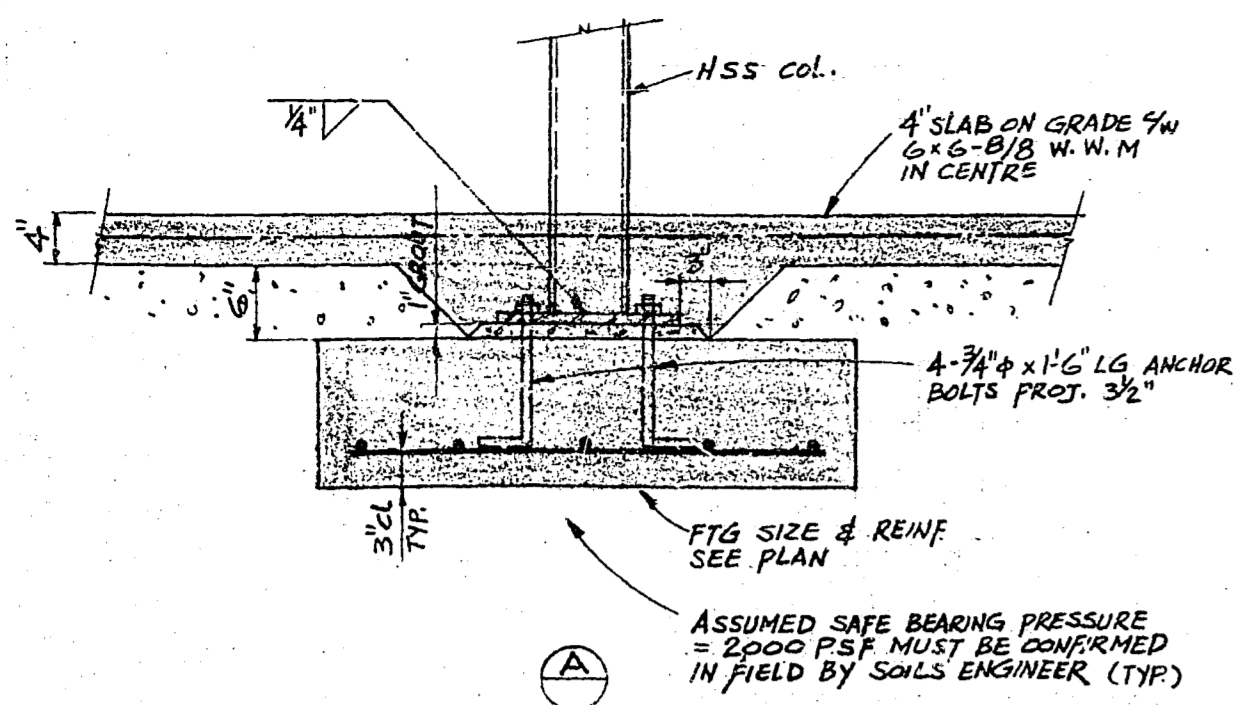
- STEEL NOTES**
1. ALL STRUCTURAL STEEL WORK AND JOISTS SHALL CONFORM TO CSA S16, 1969
 2. STEEL SHALL BE NEW AND SHALL BE G 40.21 44W 1/4
 3. JOISTS SHALL BE BRIDGED IN ACCORDANCE WITH CSA S16, 1969
 4. STEEL HOLLOW SECTION COLUMNS SHALL BE G 40.21 50 W
 5. ALL HIGH TENSILE BOLTS SHALL BE 3/4" (1/2") & SHALL BE BEARING BOLTS WITH THREADS EXCLUDED FROM SHEAR PLANE
 6. FOR ROOF SLOPES SEE ARCHITECTURAL DRAWINGS
 7. STEEL JOIST SHOP DRAWINGS SHALL BE SEALED BY PROFESSIONAL ENGINEER WHO IS RESPONSIBLE FOR THEIR DESIGN AND FABRICATION
 8. JOISTS MUST BE STRENGTHENED AT LOCATIONS OF ROOF MECHANICAL EQUIPMENT. STEEL CONTRACTOR TO PROVIDE FRAMING ANGLES FOR ROOF TOP UNITS. SEE MECHANICAL DRAWINGS FOR LOCATIONS
 9. ALL WELDING SHALL BE IN ACCORDANCE WITH CSA STANDARD W59.1 AND SHALL BE UNDERTAKEN ONLY BY A COMPANY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W 47.1

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JUN 02 1977
PETER COLE - ARCHITECT



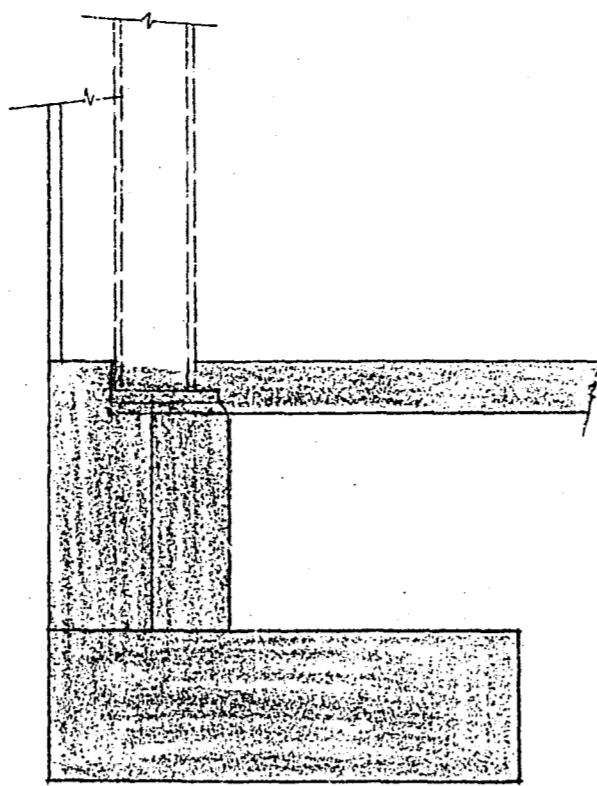
<p>MARTIN GLOTTMAN ENGINEERING LTD. CONSULTING ENGINEERS</p>	<p>PETER COLE, M.R.A.I.C., A.R.I.B.A. ARCHITECT 405 - 540 BARRARD STREET VANCOUVER 1, B.C.</p>		<p>COMMERCIAL DEVELOPMENT FOR LAMBDA HOLDINGS JOHNSTON ROAD, WHITE ROCK, B.C.</p>	PROJECT NO.
	<p>DRAWN H. Y. LAU</p>	<p>CHECKED</p>		<p>SCALE</p>
<p>ROOF PLAN</p>				

RECEIVED
MAY 30 1977
PETER COLE - ARCHITECT

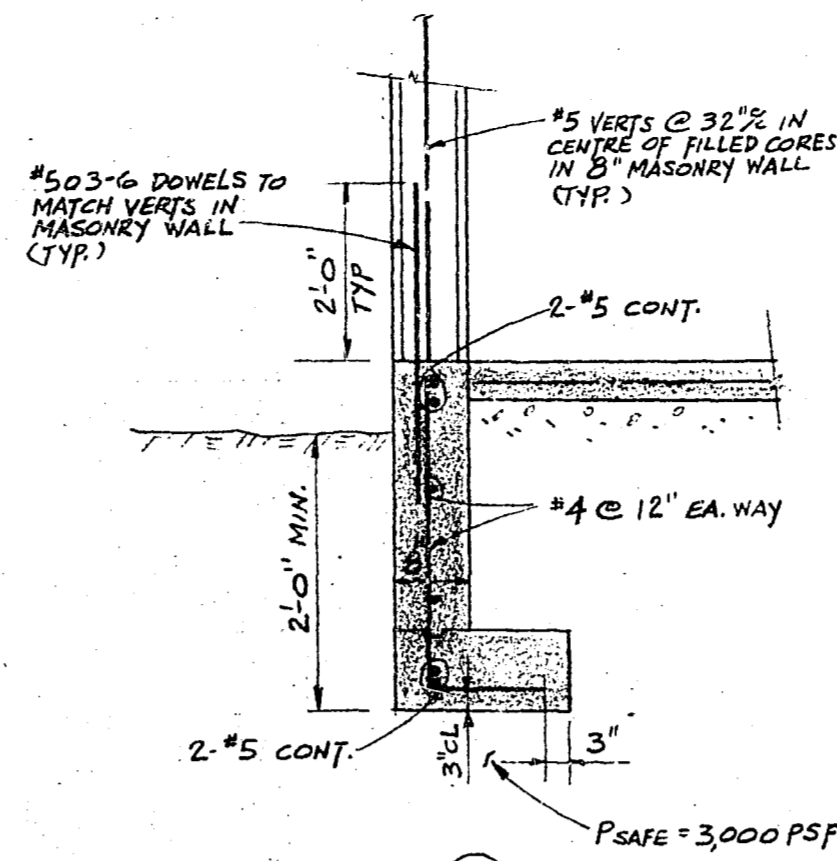


TYPICAL INTERIOR COLUMN FOOTING

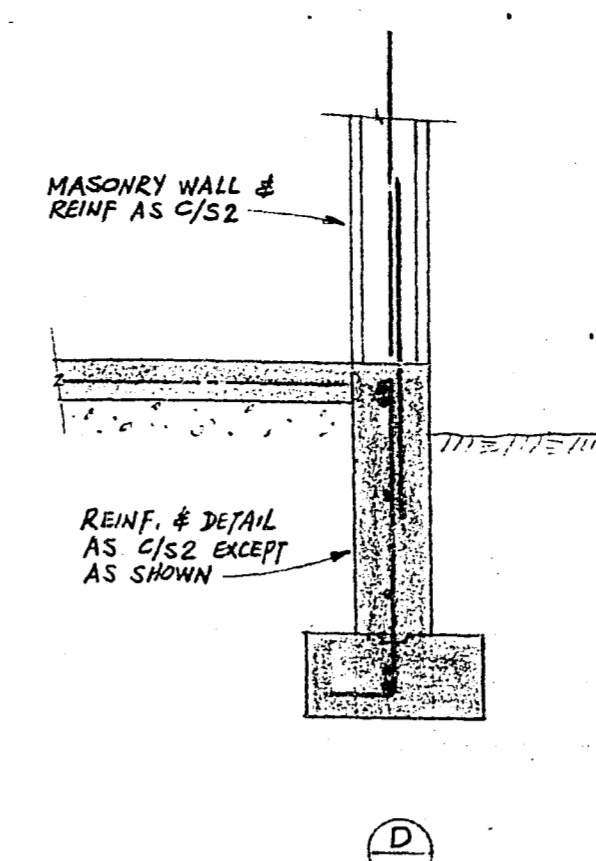
ASSUMED SAFE BEARING PRESSURE = 2000 PSF MUST BE CONFIRMED IN FIELD BY SOILS ENGINEER (TYP.)



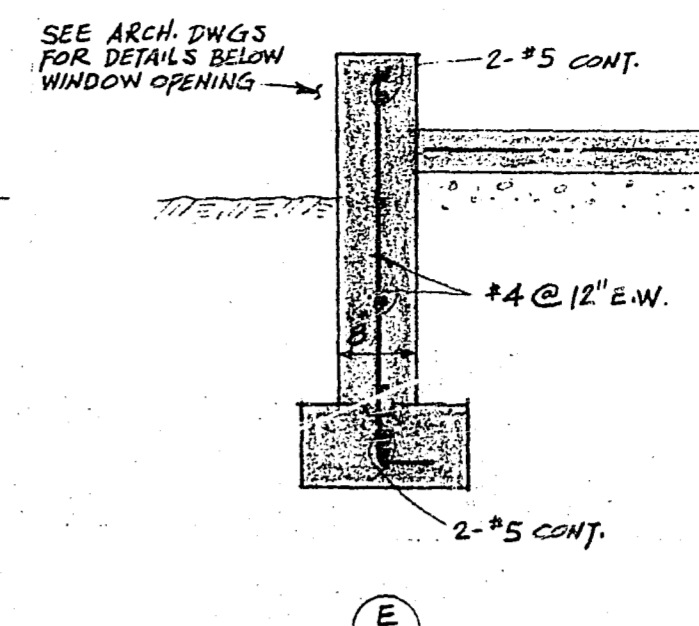
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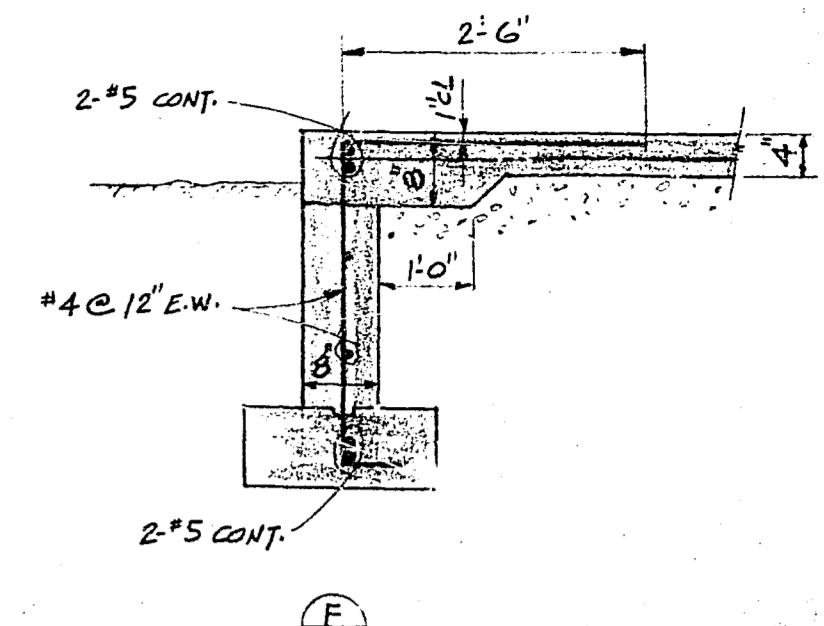
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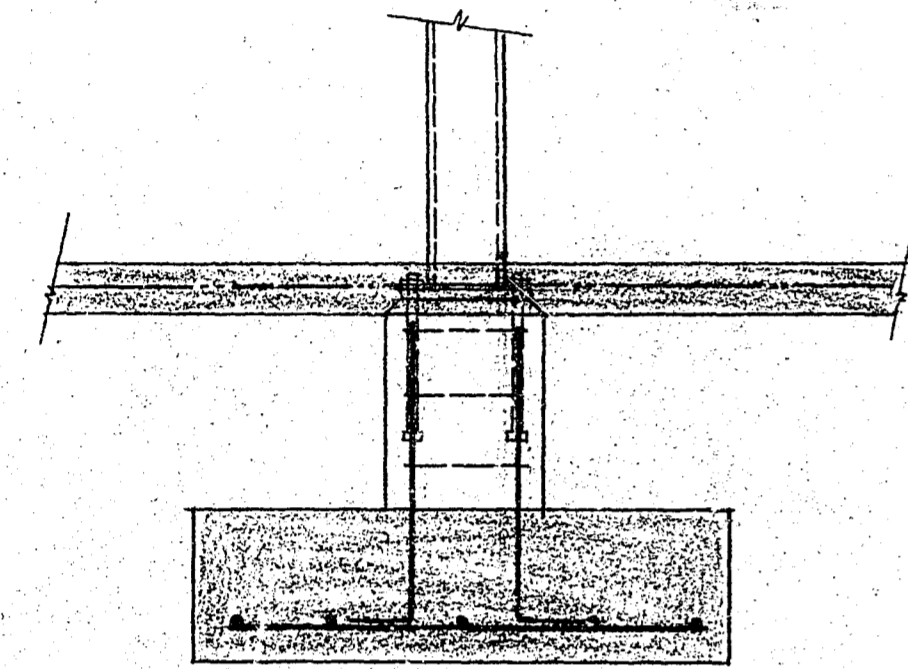
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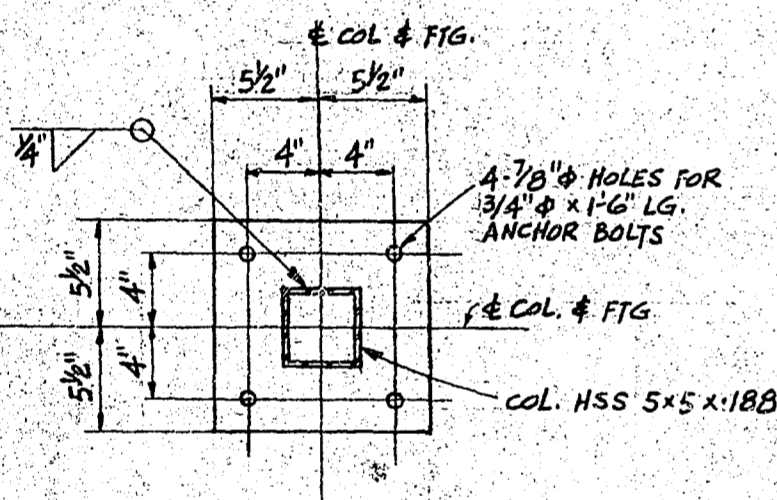
E



F



G



BASEPLATE FOR HSS 5x5 COLUMN

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JUN 0 2 1977
THE CORPORATION OF THE
CITY OF WHITE ROCK

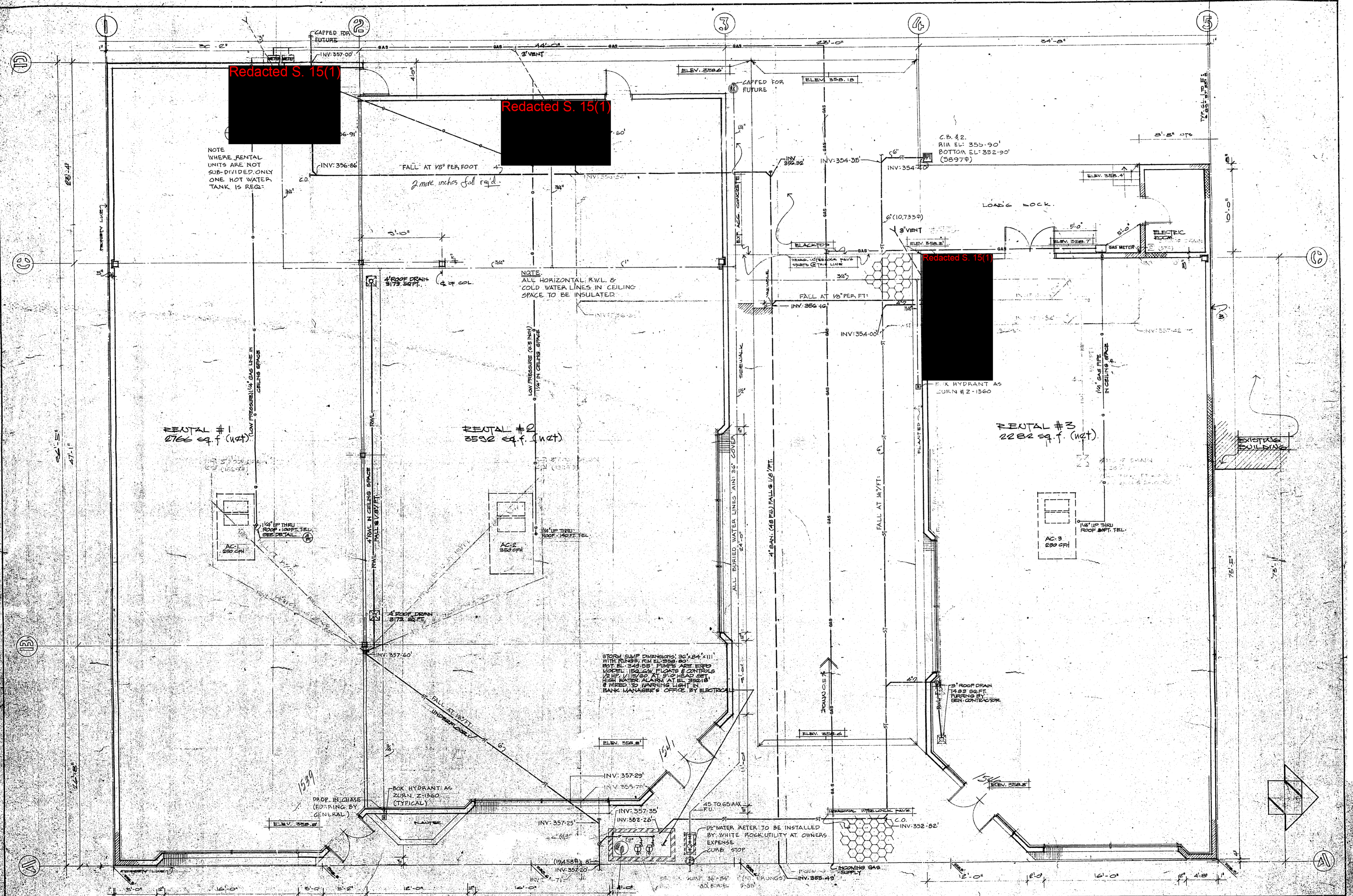
FAIRVIEW
CONSTRUCTION
MAY 31 1977



<p>MARTIN GLOTMAN ENGINEERING LTD. CONSULTING ENGINEERS 100 HUNTER STREET VANCOUVER, B.C.</p>	<p>PETER COLE, M.R.A.I.C., A.R.I.B.A. ARCHITECT 405 - 540 BURRARD STREET VANCOUVER 1, B.C.</p>	<p>COMMERCIAL DEVELOPMENT FOR 'LAMBDA' HOLDINGS JOHNSTON ROAD, WHITEROCK, B.C.</p>		PROJECT NO.
		<p>DRAWN H.Y. LAU</p>	<p>CHECKED</p>	<p>SCALE</p>

DETAILS

DESTROY PRINTS BEARING PREVIOUS LETTERS



Redacted S. 15(1)

Redacted S. 15(1)

Redacted S. 15(1)

RENTAL #1
2766 sq. f. (44')

RENTAL #2
3592 sq. f. (Int.)

RENTAL #3
2282 sq. f. (net)

STORM SUMP DIMENSIONS: 36" x 24" x 11"
WITH RUNS; RIM EL. 356.80'
BOT. EL. 348.95' PUMPS ARE ENFR
W/VEL. 1/2" GPH FLOATS & CONTROLS
1/2 HP. 1/16" GPH AT 9'0" HEAD SET
HIGH WATER ALARM AT EL. 352.18'
& WIRED TO WARNING LIGHT IN
BANK MANAGER'S OFFICE BY ELECTRICAL

PROP. IN CHASE (FORMING BY GENERAL)

BOX HYDRANT AS ZURN Z-1360 (TYPICAL)

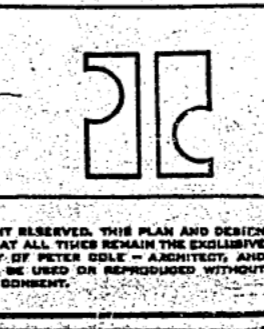
1/2" WATER METER TO BE INSTALLED BY WHITE ROCK UTILITY AT OWNERS EXPENSE ZURN STOP

INCOMING GAS SUPPLY

1/4" COVER & FRAME AS RAINLAND #3R-5A 8" x 30" x 5" (COVER SHALL BE WATER TIGHT AND COMPLETE WITH LIFTING LUGS)

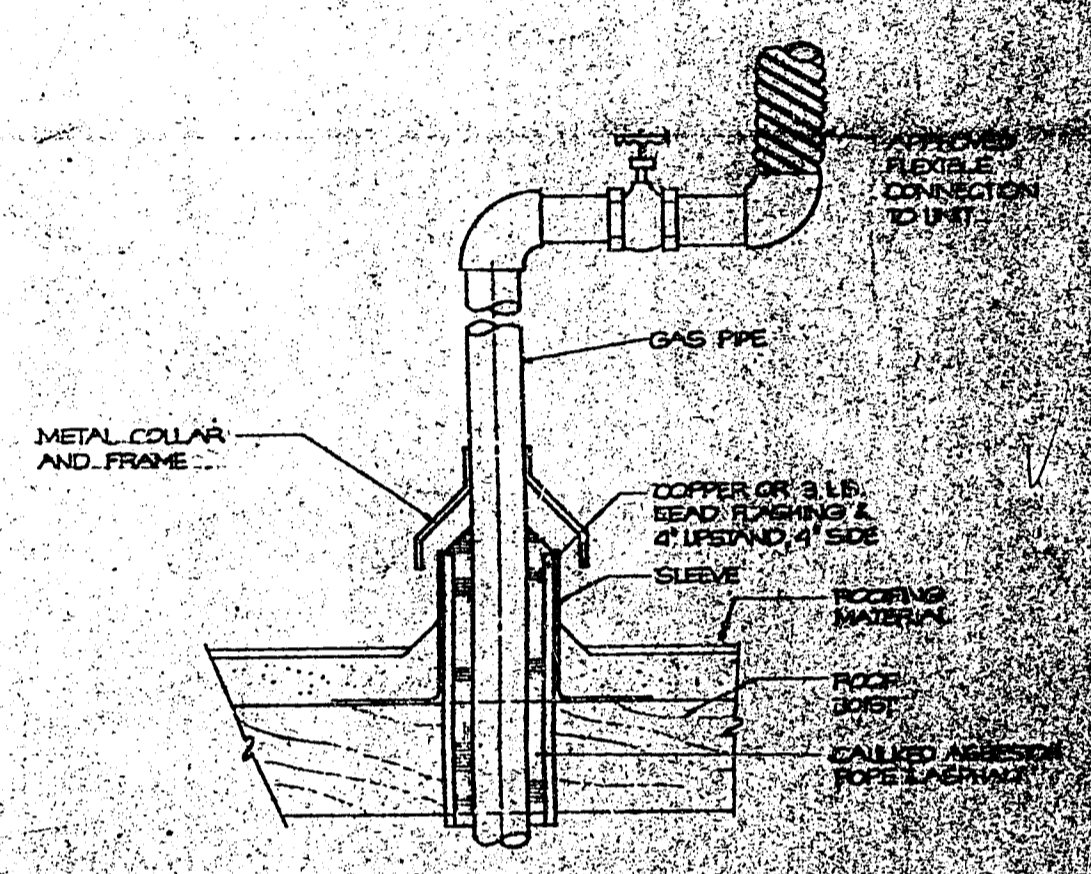
NO.	REVISIONS	DATE
1	ROOF DRAINS RELOCATED, GAS LINES	24 JUNE 77

STERLING, COOPER & ASSOCIATES
CONSULTING PROFESSIONAL ENGINEERS
Telephone: 687-1451
1256 W. Pender St., Vancouver, B.C.
V7A 2S6

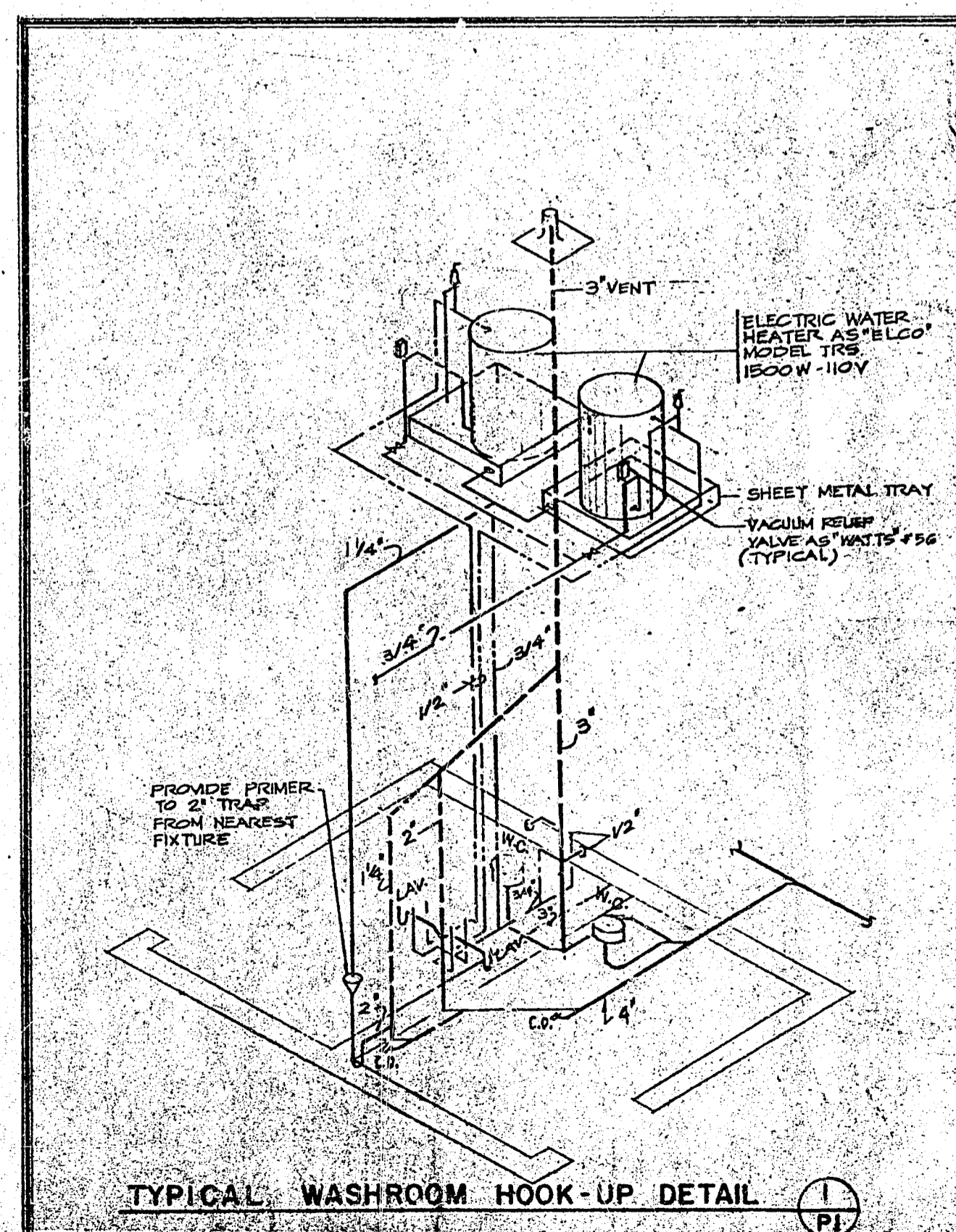


PETER COLE, M.B.A., A.R.I.B.A.
ARCHITECT
405 - 540 BARRARD STREET
VANCOUVER 1, B.C.
DRAWN: B.C. LAW
CHECKED: M.F.H.S.
DATE: 10 JUNE 77

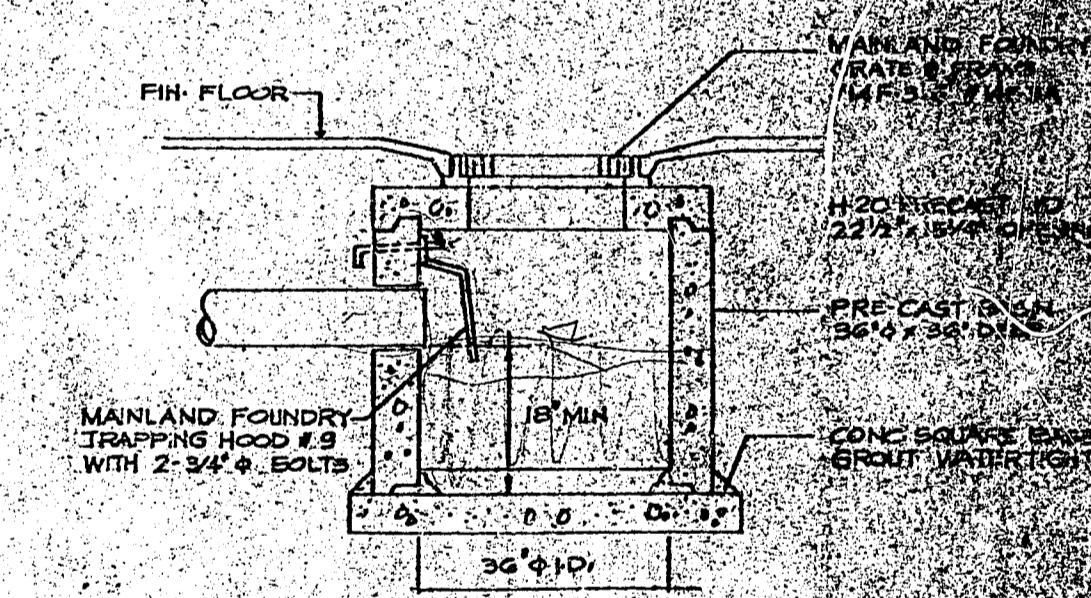
COMMERCIAL DEVELOPMENT FOR 'LAMBDA' HOLDINGS
JOHNSTON ROAD, WHITEROCK B.C.
PLUMBING - GROUND FLOOR PLAN



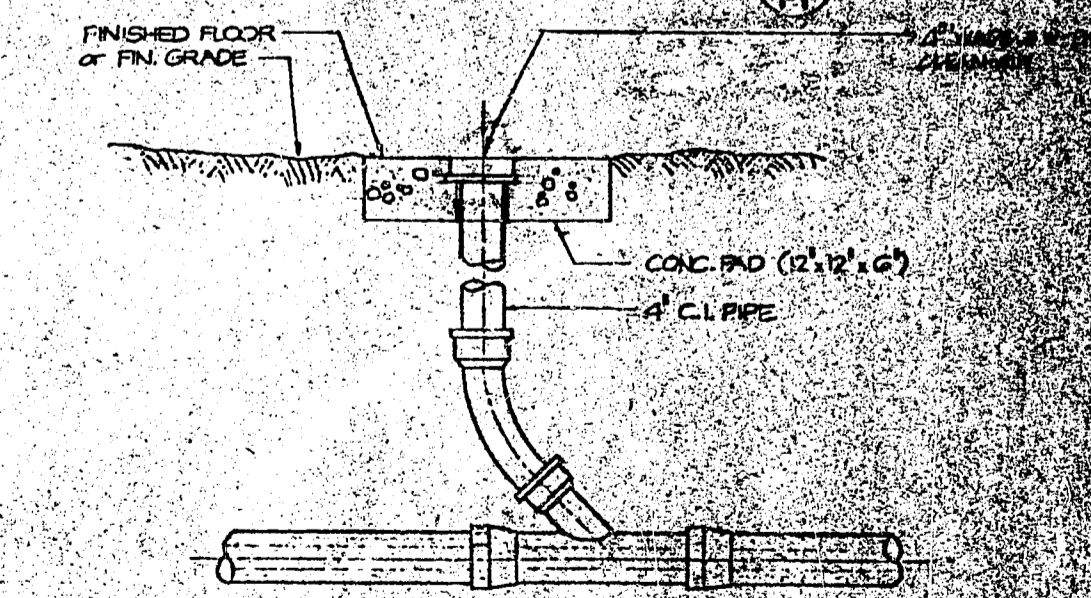
DETAIL OF GAS PIPE THRU ROOF AND FLEXIBLE CONNECTION



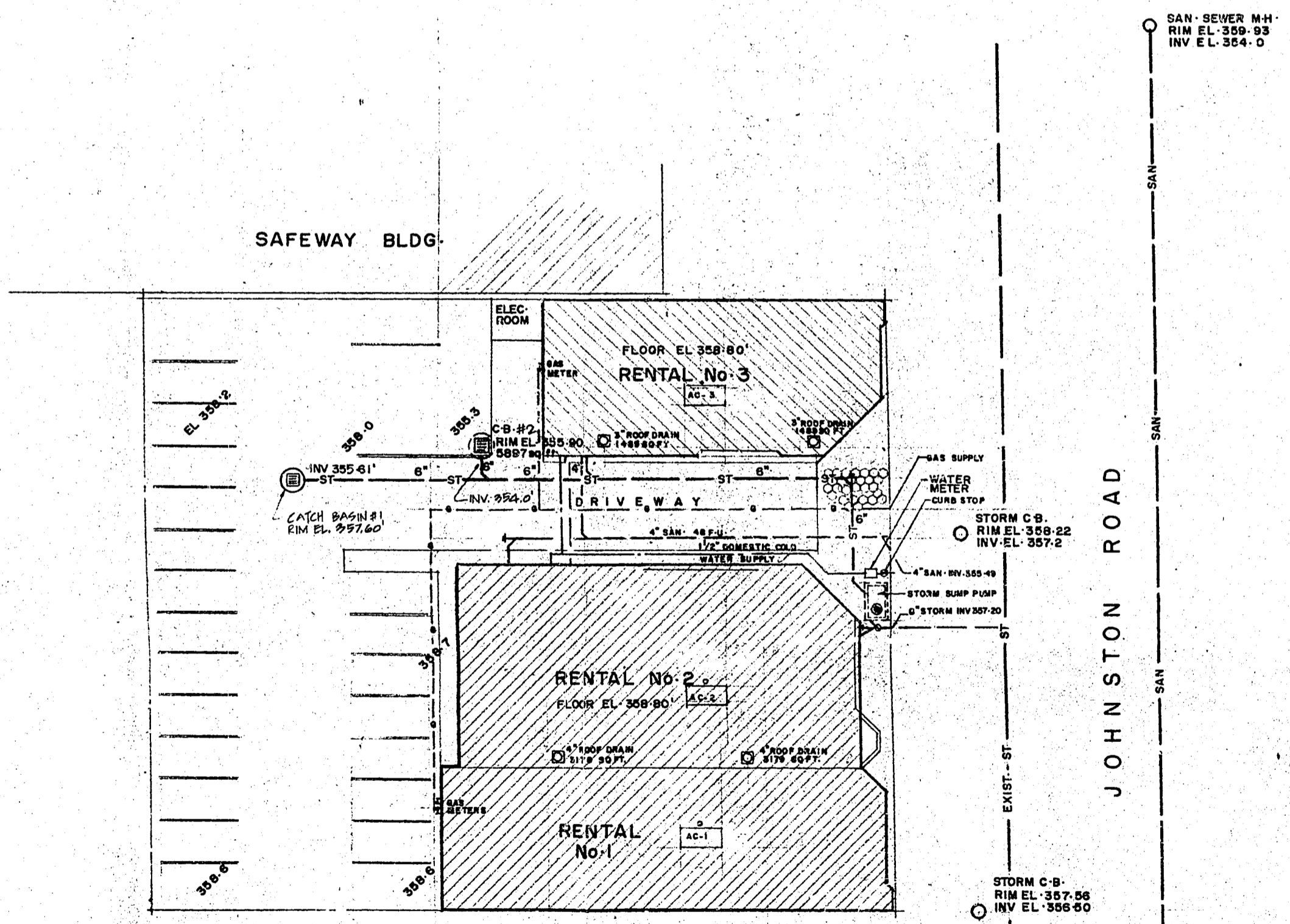
TYPICAL WASHROOM HOOK-UP DETAIL



CATCH BASIN DETAIL



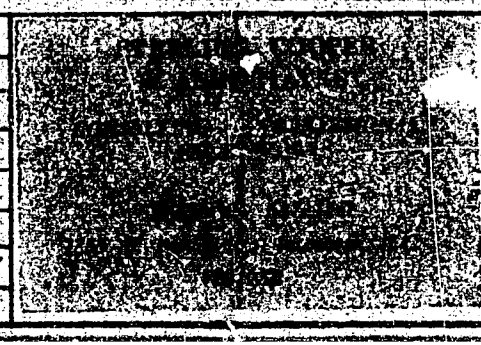
A-G TILE CLEAN-OUT DETAIL



SITE PLAN
SCALE 1" = 20'-0"

LEGAL DESCRIPTION
LOT 4 OF PART OF BLOCK 7
OF THE N.E. 1/4 OF SECTION 10
T.P. 1 PLAN 8146 N.W.D.

NO.	REVISION	DATE
1	ROOF DRAINS RELOCATED, GAS LINES ADDED	24 JUNE 77



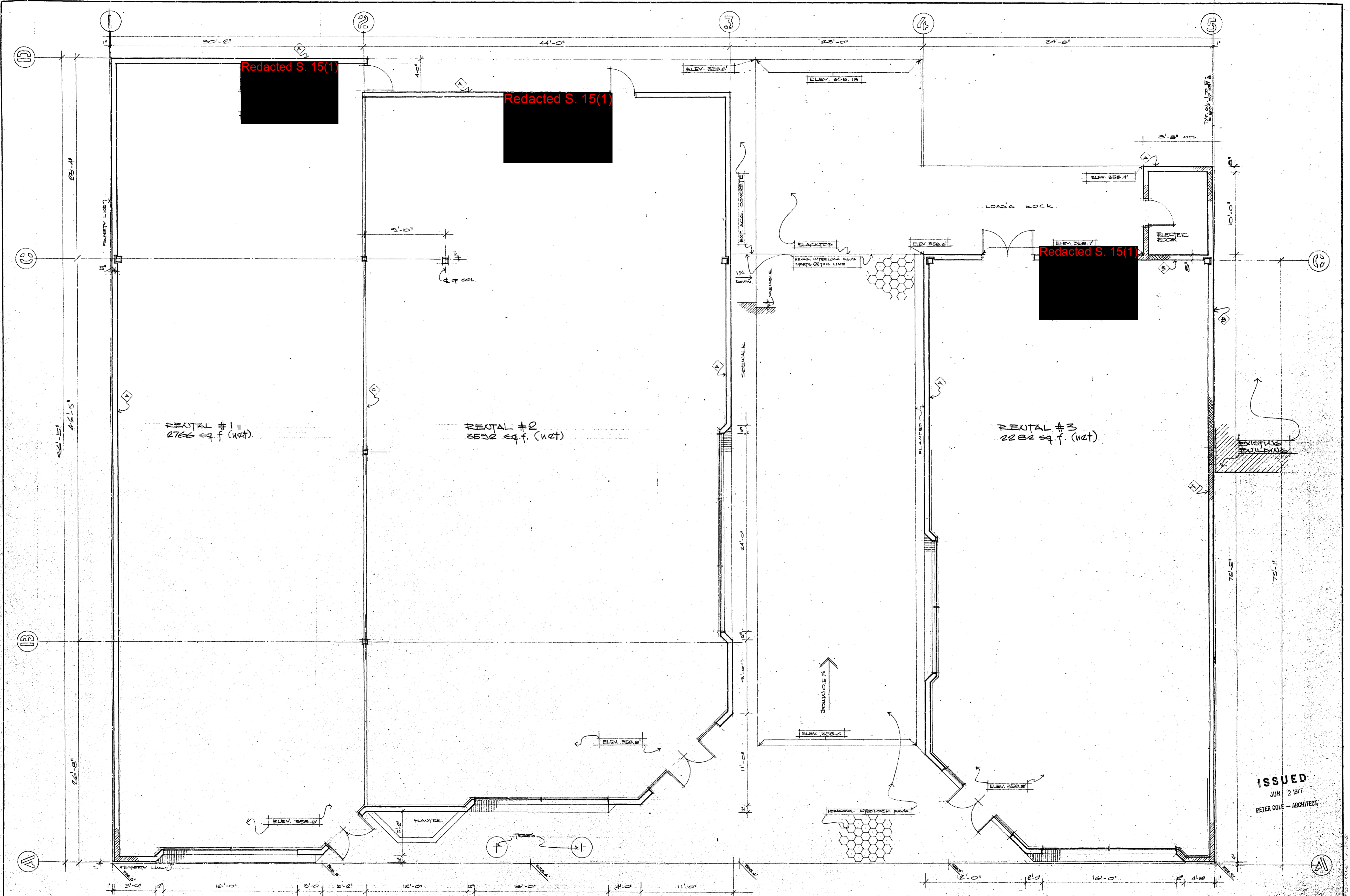
PETER COLE, M.R.A.I.C., A.R.I.B.A.
ARCHITECT
405 - 540 BARRARD STREET
VANCOUVER 1, B.C.

DRAWN: 98-CADIZ
SCALE: AS SHOWN


CHECKED: M.F.H.S.
DATE: 10 JUNE 77

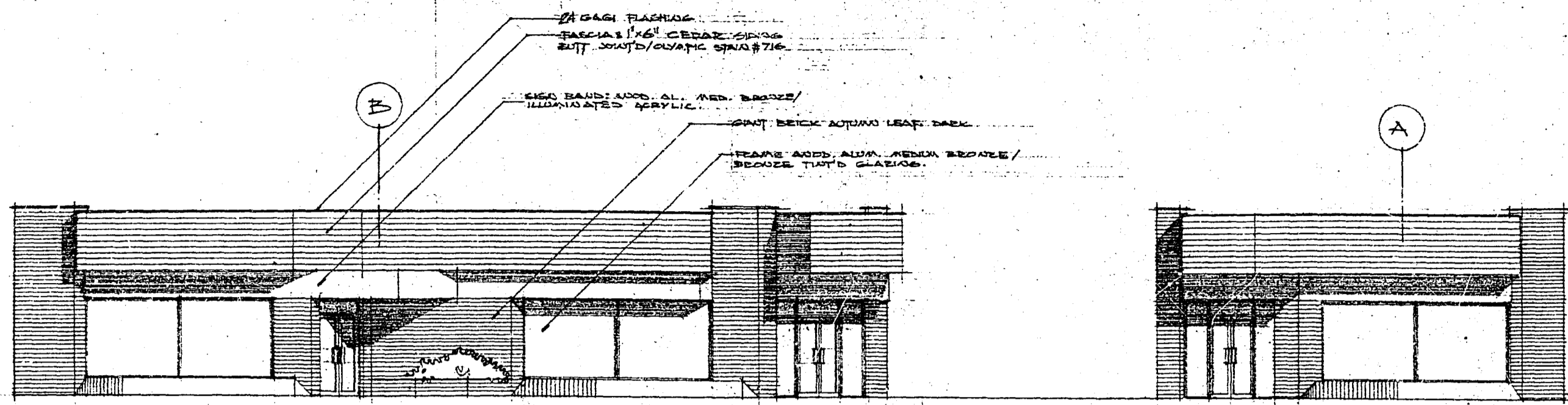
COMMERCIAL DEVELOPMENT
FOR 'LAMBDA' HOLDINGS
JOHNSTON ROAD, WHITEROCK B.C.

PLUMBING- SITE/ROOF PLAN & DETAILS

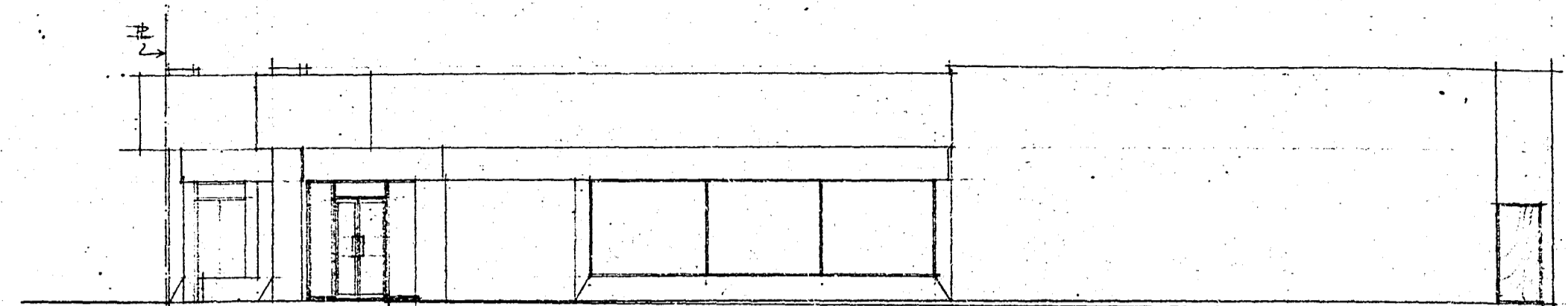


ISSUED
JUN 2 1977
PETER COLE - ARCHITECT

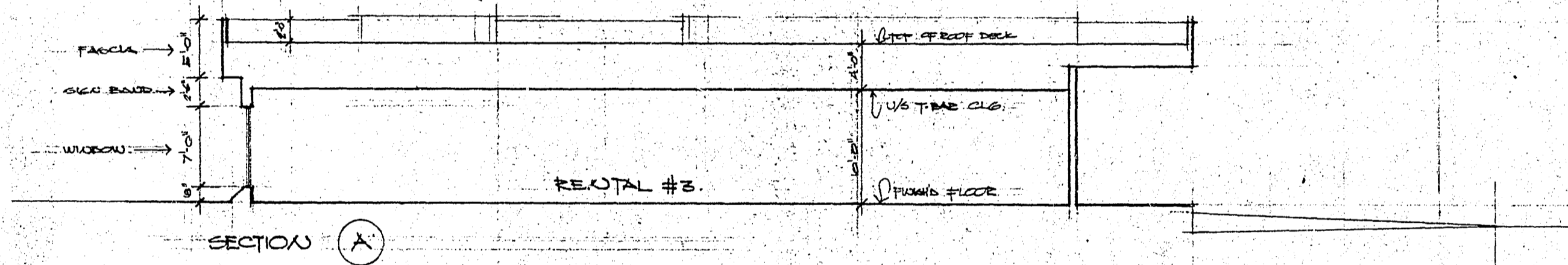
 PETER COLE, ARCHITECT M.A.I.C., A.R.I.B.A. 405 - 540 BURREAD STREET VANCOUVER 1, B.C.	DRAWN ADVA POLIZER	CHECKED	COMMERCIAL DEVELOPMENT FOR 'LAMBDA' HOLDINGS JOHNSON RD., WHITEROCK, B.C. FLOOR PLAN	PROJECT NO. 622 SHEET NO. A1	
	SCALE 1/4" = 1'-0"	DATE MAY 30-77			
	GARY CONLEY LTD.				DESTROY PRINTS BEARING PREVIOUS LETTERS



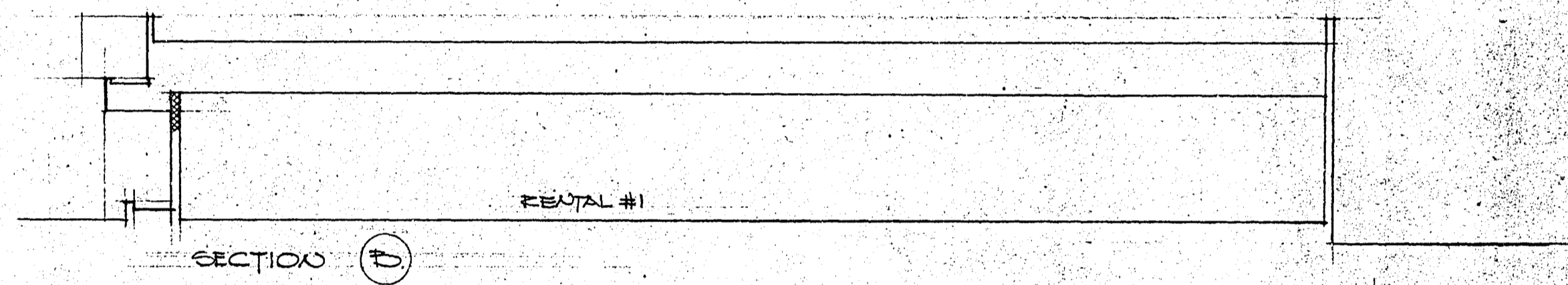
EAST ELEVATION (JOHNSTON RD)



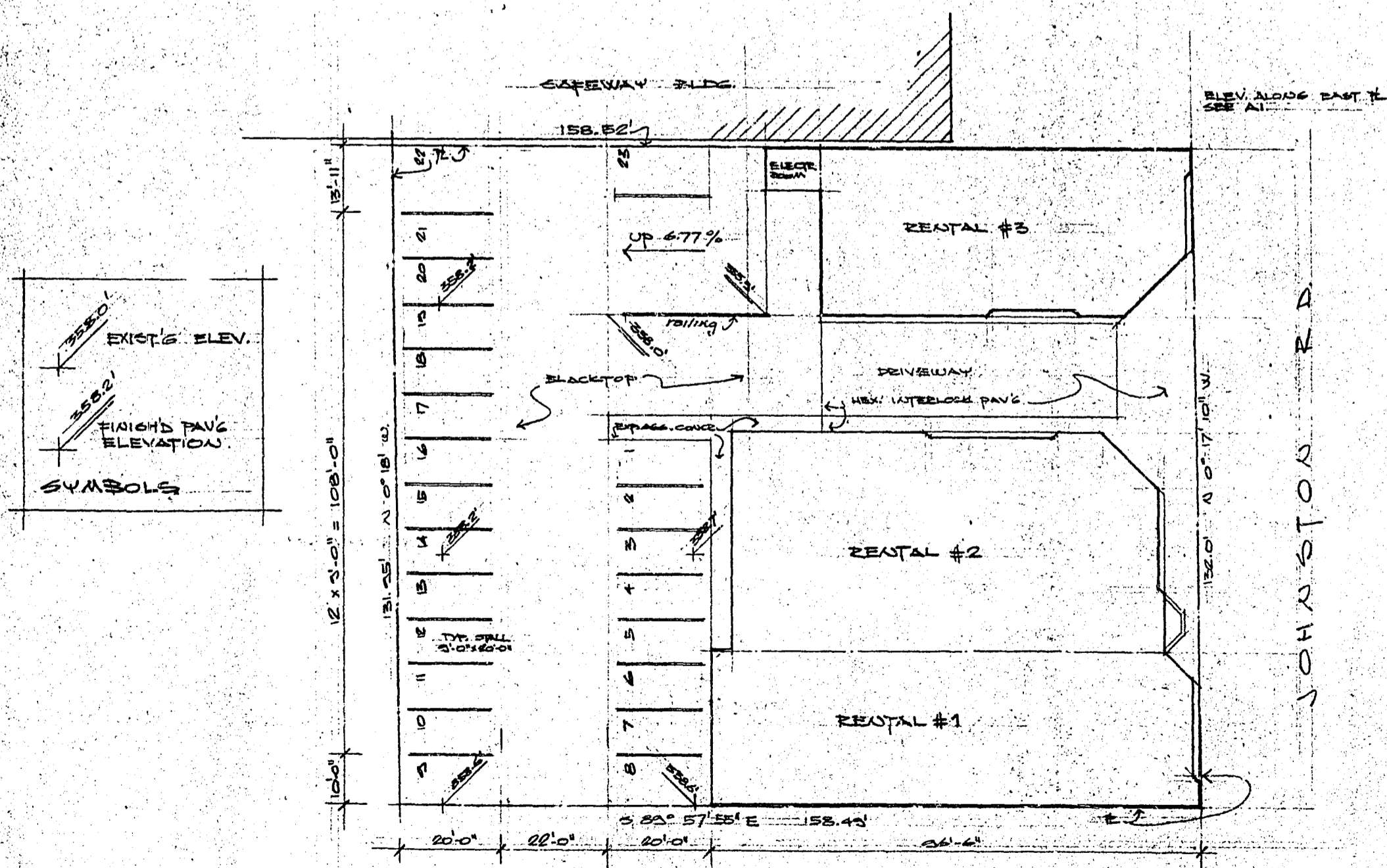
NORTH ELEVATION RENTALS #1 & 2



SECTION A



SECTION B



SITE PLAN SCALE 1" = 20'-0"

WALL SCHEDULE			
TYPE	SYMBOL	DETAIL	SPECIFICATION
A			GRANITE BLOCK, POLISH OUTWARD LEAF SIDE
B			HOLLOW CORE BLOCK
C			1 HOLE FIRE RATED WALL PAINT CERAMIC TILE/GR DAY TYPE INSULATION 2\"/>

LEGAL DESCRIPTION:
LOT 4 OF PART OF BLK. 7 OF THE A.B. 14 OF
SEC. 10, T.P. 1, PLAN 8146, D.W.D.

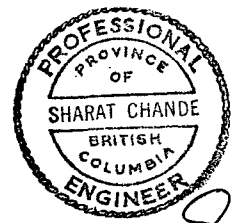
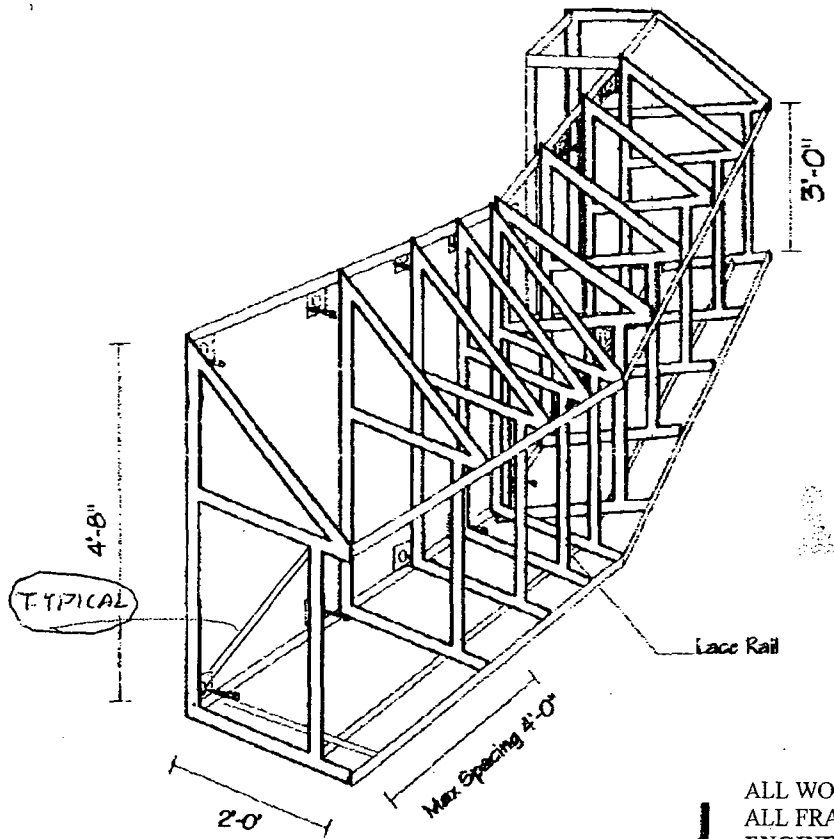
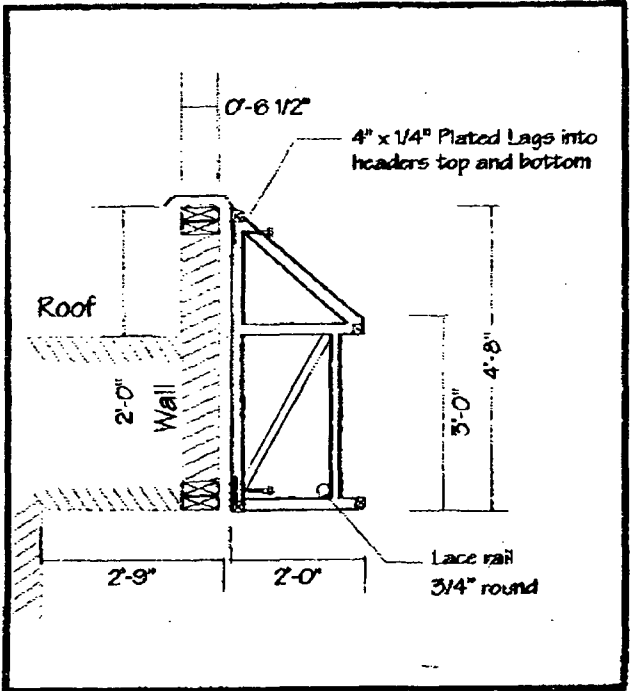
	PETER COLE ARCHITECT 405 - 540 BARRARD STREET VANCOUVER 1, B.C.	COMMERCIAL DEVELOPMENT FOR LAMBDA HOLDINGS JOHNSTON RD, WHITEOCK B.C.	622
	DRAWN: [Signature] CHECKED: [Signature] SCALE: 1/8" = 1'-0" DATE: JAN 20-77	DATE: [Signature] DATE: [Signature]	SITE PLAN, ELEVATIONS, SECTIONS

SITE ADDRESS 1549 Jhonston Rd.
White Rock
B.C.

TYPICAL Station

- All members (1) x (1) x (0.09) x wall Aluminum (6061-T5) unless noted.
- Maximum station spacing not to exceed (48) x.

Scale 3/8" = 1'-0"



g. Jay

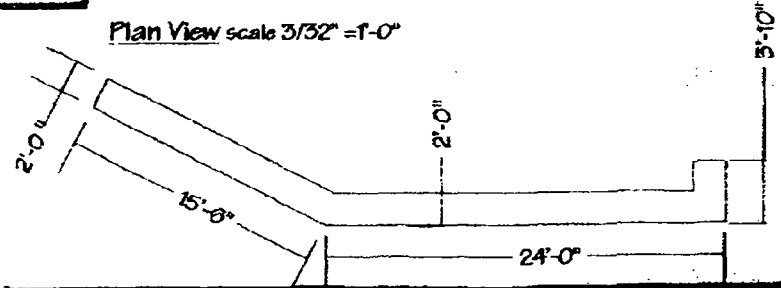
RESPONSIBLE FOR STRUCTURAL REVIEW ONLY.

FEB 12 2002

ALL WORKS TO CONFIRM TO BCBC 1998
ALL FRAMING MEMBERS TO 6063-T5
ENGINEER TO INSPECT THE
INSTALLATION OF THE FRAME

DESIGN LOADS
GROUND SNOW LOAD = 48 PSF
RAIN LOAD = 42 PSF
WIND LOAD (q10) = 0.5 PSF

Plan View scale 3/32" = 1'-0"



Tim Barker's Dental Office
1349 Johnson Rd., White Rock

Contact John MacDonald 604-219-0548

seismic restraint
hot water tank

RP device required on
this compressor/suction machine.

Redacted S. 15(1)

Redacted S. 15(1)

exterior light req'd.

min 6' x 7'-4"
room

* see attached sheet for
clearance under wash basin
& washroom accessories.

Scale 1"=1'



CITY OF WHITE ROCK
Permits & Licences

JAN 21 2002

RECEIVED

The review of these plans shall not in any way
relieve the owner of any building or structure from full
responsibility for carrying out the work or having the
work carried out in accordance with the requirements
of all the applicable by-laws of the Corporation of the
City of White Rock.

05-000 1249 Vancouver Rd.
City 1064
1990 VTD